

### Board of Adjustment Staff Report

Meeting Date: February 2, 2023 Agenda Item: 8A

AMENDMENT OF CONDITIONS CASE WAC22-0012 (Copart Sublot) for CASE NUMBER: WAC22-0012 (Copart Sublot) For CASE NUMBER WSUP20-0027

BRIEF SUMMARY OF REQUEST: To amend a condition to extend the date

of when the building permit is issued

STAFF PLANNER: Julee Olander, Planner

Phone Number: 775.328.3627

E-mail: jolander@washoecounty.gov

### **CASE DESCRIPTION**

For hearing, discussion, and possible action to approve an amendment of conditions to amend condition 1(c) for Case Number WSUP20-0027, to extend the requirement that the initial building permits be issued on or before February 4, 2023, to February 4, 2025.

Applicant/Owner: Copart of Arizona, Inc Location: 19905 Reno Park Blvd.

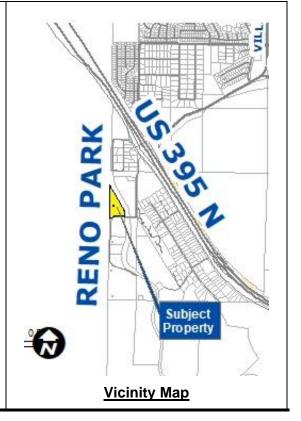
APN: 081-131-35/34
Parcel Size: 10.26/ 0.57 acres
Master Plan: Industrial (I)
Regulatory Zone: Industrial (I)
Area Plan: Cold Springs

Development Code: Authorized in Article 302,

Allowed Uses & Article 810,

Special Use Permits

Commission District: 5 – Commissioner Herman



### STAFF RECOMMENDATION

APPROVE APPROVE WITH CONDITIONS DENY

### **POSSIBLE MOTION**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC22-0012 for Copart of Arizona, Inc, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30,

(Motion with Findings on Page 7)

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### **Exhibits Contents**

Amended Conditions of Approval	Exhibit A
Agency Comments	Exhibit B
WSUP20-0027 Action Order Dated 2/4/21	Exhibit C
Project Application	Exhibit D

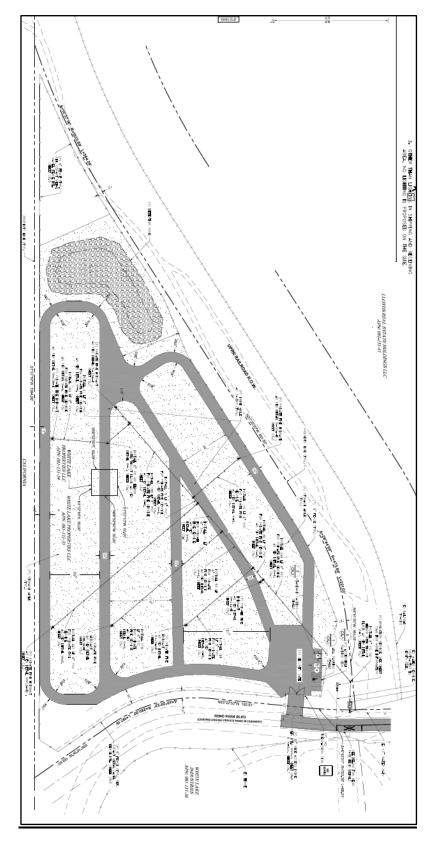
### **Amendment of Conditions**

An amendment of conditions application is necessary in order to change a condition(s) of an approved discretionary permit, such as a special use permit, a variance, an abandonment of an easement or a tentative subdivision map. Some examples of why an amendment of conditions application is submitted are listed below:

- Change in operating hours
- Physical expansion
- Extend the expiration date of the discretionary permit
- Extend the time to complete phases of the approved project

The amendment of conditions request is required to be heard by the same board that approved the original application and only the specific amendment may be discussed and considered for approval. The amendment of conditions application is processed in the same manner as the original discretionary permit application, including a public hearing, noticing, possible involvement of a citizen advisory board, agency review and analysis, and satisfying the required findings. If the Board of Adjustment grants an approval of the amendment of conditions request, an amended Action Order is created along with amended conditions of approval.

The conditions of approval for Amendment of Conditions Case Number WAC22-0012 are attached to this staff report and will be included with the action order.



Site Plan

### **Background and Evaluation of Amendment Request**

On February 4, 2021 the Board of Adjustment approved WSUP20-0027 for inoperable vehicle storage use type and major grading in the amount of approximately 6,465 cubic yards and a disturbance of approximately 9.3 acres (approximately 405,336 square feet). The request also eliminated all required landscaping in accordance with Article 412, Landscaping, and eliminated all required pavement in accordance with Article 410, Parking and Loading on the two parcels of land.

The applicant is now requesting to amend the conditions of approval for item 1c to read as follows:

The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2025. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

The request it to extend the date to issue the building permit to February 4, 2025. The extension is needed to allow the applicant time to finalize the railroad crossing with the Union Pacific Railroad (UPRR). The UPRR property is located along the eastern property line and a crossing permit is needed to access the site.

The applicant has applied for a building permit (WBLD21-105404), however the railroad crossing has not been approved by UPRR at this time. The application was conditioned by WSUP20-0027 to obtain the right to "traverse the UPRR to access the site". The applicant had been informed by the UPRR that the approval would come in September 2022 and that did not occur. The applicant is hopeful by extending the building permit requirement to February 4, 2025 will provide the needed time to finalized the railroad crossing with the UPRR.

### **Cold Springs Area Plan**

The subject parcel is located within the Cold Springs Area Plan. There are no other relevant policies related to amending a special use permit condition to extend the date of when the building permit is issued.

### **Reviewing Agencies**

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact	
Washoe County Building & Safety	Х				
Washoe County Engineering & Capital Projects	x	x		Robert Wimer, rwimer@washoecounty.gov	
Washoe County Land Development (All Apps)	х				
Washoe County Sewer	Х				
Washoe County Water Rights Manager (All Apps)	Х	х		Timber Weiss, tweiss@washoecounty.gov	
WCHD Environmental Health	Х	х		James English, jenglish@washoecounty.gov	
TMFPD	Х	Х		Brittany Lemon. blemon@tmfpd.us	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

### Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, Special Use Permits, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan.
  - Staff Comment: There are no policies or action programs within the Cold Springs Area Plan addressing the proposal to amend a special use permit condition to extend the date of when the building permit is issued. For this reason, the request is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan.
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.
  - Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities are either available or have been provided.
- (c) Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading and for the intensity of such a development.
  - Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact the site suitability.
- (d) <u>Issuance Not Detrimental</u>. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact the public health, safety or welfare; be injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

(e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the required noticing distance for this application. Therefore, there is no effect on a military installation.

### Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the Amendment of Conditions request. Therefore, after a thorough review and analysis, Amendment of Conditions Case Number WAC22-0012 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC22-0012 for Copart of Arizona, Inc, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- 1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
- 2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven:
- 3. Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading, and for the intensity of such a development;
- Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to 4. the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- 5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s), unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s).

Applicant/ Property Owner: Copart of Arizona, Inc.

matthew.strother@valfair.com

Representatives: CFA, Inc.

dsnelgrove@cfareno.com



### Amended Conditions of Approval

Amendment of Conditions Case Number WAC22-0012 For Special Use Permit Case Number WSUP20-0027

The project approved under Amendment of Conditions Case Number WAC22-0012 for Special Use Permit Case Number WSUP20-0027 shall be carried out in accordance with the Amended Conditions of Approval granted by the Board of Adjustment on February 2, 2023. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

<u>Unless otherwise specified</u>, all conditions related to the amendment of conditions approval regarding the Special Use Permit Case Number WSUP20-0027 shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the amended conditions of approval related to the Special Use Permit Case Number WSUP20-0027 is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the amended conditions imposed regarding the approved Special Use Permit Case Number WSUP20-00270 may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the amended conditions of approval related to this Special Use Permit Case Number WSUP20-0027 should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this approval.
- b. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before **February 4, 2025**. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- c. The applicant shall also meet all conditions of approval previously approved on January 20, 2022 by Special Use Permit WSUP21-0027 (Copart Sublot).

\*\*\* End of Amended Conditions \*\*\*





Date: December 27, 2022

To: Julee Olander, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit Case WAC22-0003 – Extension of time for WSUP19-0003

APN: 061-010-49

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Amendment of Conditions case is to approve an Amendment of Conditions to extend the approval of Special Use Permit Case Number WSUP20-0027 for two additional years, until February 4, 2023. The Engineering and Capital Projects Division recommends approval with no comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by CFA, Inc.





 From:
 Lemon, Brittany

 To:
 Olander, Julee

 Cc:
 Way, Dale

Subject: Amendment of Conditions Case Number WAC22-0012 (Copart Sublot Amendment of Conditions)

**Date:** Monday, December 19, 2022 2:46:03 PM

Attachments: <u>image001.png</u>

Hi Julee,

We have no additional conditions aside from what was originally provided.

Thank you,

### **Brittany Lemon**

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



<sup>&</sup>quot;Committed to excellence, service, and the protection of life and property in our community"



December 27, 2022

Washoe County Community Services Planning and Development Division

RE: Copart Sublot Amendment of Conditions; 081-131-35 & 34

Amendment of Conditions; WAC22-0012

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, (WCHD), which shall be responsible for determining compliance with these conditions.

### Contact Name - James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has reviewed the above referenced project and has no concerns with the approval of the amendment of conditions.
- b) Condition #2: It is noted the parcels of the proposed project are served by community water and sewerage systems.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,

Jarnes English REHS/ CP-FS EHS Supervisor

Environmental Health Services Washoe County Health District

From: Weiss, Timber A.

To: Olander, Julee
Cc: Behmaram, Vahid

Subject: No water right comments for WAC22-0012

Date: Thursday, December 22, 2022 11:04:15 AM

Attachments: <u>image001.png</u>

image002.png image003.png image004.png image005.png

No water right comments for this amendment of conditions.

### Thank you,



### **Timber Weiss, PE | Professional Engineer**

### **Engineering & Capital Projects Division | Community Services Department**

1001 E. 9th Street, Bldg A Reno, NV 89512

tweiss@washoecounty.gov | Office Voice Mail: 775.954.4626 or 775.433.0769

Visit us first online: www.washoecounty.us/csd

For additional information, email <a href="mailto:emai



From: Landis, Rosa To: Olander, Julee Cc: Holly, Dan

Subject: December Agency Reviews - Item 1, Memorandum 1

Date: Thursday, December 29, 2022 3:42:56 PM

Attachments: image001.png

image002.png image003.png image004.png image005.png

Good afternoon Julee,

Please find Building's comments for item 1 on memorandum 1.

### Item 1 – WAC22-0012 (Copart Sublot Amendment of Conditions)

No additional comments or conditions. Please extend any Building comments or conditions from the prior special use permit (WSUP20-0027) to this amendment of conditions.

Thank you,



### **Rosa Landis**

### **ICC Certified Plans Examiner | Community Services Department**

RLandis@washoecounty.gov | Direct Line: 775.328.2034

In-Office Hours: Mon & Tues, 7:30 am – 4:30pm

Visit us online: www.washoecounty.us/csd

For Building call: 775.328.2020

Building Email: building@washoecounty.gov

1001 E. 9<sup>th</sup> Street, Reno, NV 89512







Have some kudos to share about a Community Services Department employee or experience?

☆ Submit a Nomination ☆



### **WASHOE COUNTY**

### COMMUNITY SERVICES DEPARTMENT Planning and Building

1001 EAST 9<sup>TH</sup> STREET RENO, NEVADA 89512-2845 PHONE (775) 328-6100 FAX (775) 328.6133

### Board of Adjustment Action Order

Special Use Permit Case Number WSUP20-0027 (Copart Sublot)

Decision: Approval with Conditions

Decision Date: February 4, 2021

Mailing/Filing Date: February 10, 2021

Applicant: Copart of Arizona, Inc.

Assigned Planner: Roger Pelham, Senior Planner

Washoe County Community Services Department

Planning and Building Division

Phone: 775.328.3622

E-Mail: <a href="mailto:rpelham@washoecounty.us">rpelham@washoecounty.us</a>

**Special Use Permit Case Number WSUP20-0027 (Copart Sublot)** – For possible action, hearing, and discussion to approve a special use permit for Inoperable Vehicle Storage Use Type and to approve Major Grading in the amount of approximately 6,465 cubic yards and a disturbance of approximately 9.3 acres (approximately 405,336 square feet) and to eliminate all required landscaping in accordance with Article 412, Landscaping, and to eliminate all required pavement in accordance with Article 410, Parking and Loading on two parcels of land.

Applicant: Copart of Arizona, Inc
 Property Owner: White Lake Properties, LLC

Location:
 19905 Reno Park Boulevard, approximately ½ mile

southwest of its intersection with North Virginia Street

APN: 081-131-35 and 081-131-34
 Parcel Size: ± 10.268 and ± .057 acres

Master Plan: Industrial
 Regulatory Zone: Industrial
 Area Plan: Cold Springs
 Citizen Advisory Board: North Valleys

Development Code: Authorized in Article 302, Allowed Uses and Article 438

Grading

• Commission District: 5 – Commissioner Herman

Notice is hereby given that the Washoe County Board of Adjustment granted approval with conditions for the above referenced case number based on the findings in accordance with Washoe County Development Code Article 302, Allowed Uses, and 810, Special Use Permit. If no appeals have been filed within 10 calendar days from the Mailing/Filing Date shown on this Action Order, the approval by the Washoe County Board of Adjustment is final. If filed, an appeal stays any further action on the decision until final resolution of the appeal. An appeal shall be filed in accordance with the provisions found in Article 912 of the Washoe County Development Code.







To: Copart of Arizona, Inc.

Subject: Special Use Permit Case Number WSUP20-0027

(Copart Sublot)

Date: February 10, 2021

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The action was based on the following findings in accordance with Washoe County Code Section 110.810:30:

- 1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
- 2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- 3. Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading, and for the intensity of such a development;
- 4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- 5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

This Action Order is issued subject to the attached conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within 7 days of receipt of this Order to review the steps necessary to satisfy the Conditions of Approval. Any business license, certificate of occupancy, or final approval shall not be issued until all of the Conditions of Approval are satisfied. Additionally, compliance shall be required with all federal, state, and local statutes, ordinances, and regulations applicable to the approved project.

This Action Order does not authorize grading or building without issuance of the necessary permits from the Washoe County Planning and Building Division.

Washoe County Community Services Department

Planning and Building Division

Trevor Lloyd

Trevor Lloyd

Secretary to the Board of Adjustment

TL/RP/df

Attachments: Conditions of Approval

Applicant: Copart of Arizona, Inc.

Attn: Amy Clark and Randy Racine 14185 Dallas Parkway, Suite 300

Dallas, TX 75254

To: Copart of Arizona, Inc.

Subject: Special Use Permit Case Number WSUP20-0027

(Copart Sublot)

Date: February 10, 2021

Page: 3

Owner: White Lake Properties, LLC

Attn: Joel Coviello

18124 Wedge Parkway, Suite 207

Reno, NV 89511

Representatives: CFA, Inc

Attn: Dave Snelgrove 1150 Corporate Blvd, Reno, NV 89502

Action Order xc: Mike Large, District Attorney's Office; Keirsten Beck, Assessor's Office;

Rigo Lopez, Assessor's Office; Tim Simpson, Utilities; Leo Vesely, Engineering and Capital Projects; Dale Way, Truckee Meadows Fire Protection District; Nevada Division of Environmental Protection, 901 South Stewart Street, Suite. 4001, Carson City, NV 89701-5249; Regional Transportation Commission; Truckee Meadows Regional Planning

Agency; North Valleys Citizen Advisory Board



### Conditions of Approval

Special Use Permit Case Number WSUP20-0027

The project approved under Special Use Permit Case Number WSUP20-0027 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 4, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

<u>Unless otherwise specified</u>, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

### **Washoe County Planning and Building Division**

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit, and as required to be modified to comply with these conditions of approval. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

### NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. A business license must be obtained for the new use, prior to any industrial activity on the subject site.
- e. The required screening fence shall be setback at least 5 feet from the property lines on the eastern and western sides of the site. The required screening fence shall be placed at the front yard setback line on the south. The fence shall be 8 feet in height. The fence shall be tan, sage, or another color acceptable to the Director of Planning and Building that blends in with the surrounding topography. The fence shall be constructed of metal panels as noted in the application materials. Barbed wire may not be installed above the metal panels.
- f. Landscaping shall consist of one evergreen tree for each 20 feet of site frontage on Reno Park Boulevard. Trees may be clustered for a more natural appearance. The trees shall be placed between the screening fence and the property line, adjacent to the roadway. Permanent irrigation shall be provided to all trees in accordance with Article 412.
- g. All disturbed areas shall be permanently stabilized with native vegetation, including the required landscape area adjacent to Reno Park Boulevard. Temporary irrigation shall be provided to all disturbed areas for a period of not less than three years, and for as long as necessary until the disturbed areas contain native vegetation equal to 70 percent of native vegetation on adjacent, undisturbed areas.
- h. Plans for this project shall demonstrate compliance with all generally applicable Development Code requirements, with the exception of Landscaping, which shall be modified as noted in Conditions 1f and 1g.
- i. Grading shall include importation of fill on the south side of the project, such that the front yard setback area is raised in elevation approximately level with Reno Park Boulevard.
- j. No well may be drilled or utilized on this parcel for commercial purposes without the benefit of valid ground water rights as required and approved by the Nevada State Engineer's

- office. The applicant shall also be aware that the acquisition of any ground water rights in the Cold Springs Valley will be extremely challenging and may be impossible.
- k. Operation of the facility shall be limited to daylight hours only.
- I. All interior drive isles and driveways shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer.
- m. All required parking areas shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer, and in conformance with applicable standards of Article 412.
- n. The following **Operational Conditions** shall be required for the life of the business:
  - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
  - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
  - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
  - iv. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.
- o. Prior to approval of any building or grading permit for the proposed use, the applicant shall provide documentation, acceptable to Washoe County, that the applicant has a right to traverse the Union Pacific Railroad to access the subject site, for an industrial use.
- p. At least 8 parking spaces shall be provided on site (one of which will be an accessible parking space) to accommodate employees who will need to come to the site from time-to-time to move, pick-up or place a vehicle at the site. Should a formal building or structure be placed on the site in the future allowing employees to be based at this site for daily work, parking will need to be increased to meet the code requirement at the time of building permit submittal for the building/structure.

### Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

### Contact Name - Leo Vesely, P.E. (775) 328-2041

a. A complete set of construction improvement drawings, including an on-site grading plan/slope stabilization plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

- b. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading or building permit.
- c. The applicant shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading revegetation bond shall be provided to the Engineering Division prior to approval of the grading or building permit.
- e. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
- f. The pavement on Reno Park Boulevard shall be extended to the project entry and shall meet Washoe County standards for private streets.
- g. All disturbed areas not covered with hardscape, gravel or road base shall be revegetated. Seed mix shall be designed by a licensed landscape architect.
- h. A drainage report prepared by a licensed engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- i. Any increase in peak stormwater runoff flow rate resulting from the development and based on the 5 year and 100 storm(s) shall be detained onsite.

### **Truckee Meadows Fire Protection District**

3. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions.

Contact Name – Dale Way / Brittany Lemon, 775.326.6000, <a href="mailto:dway@tmfpd.us">dway@tmfpd.us</a> / blemon@tmfpd.us

a. The Truckee Meadows Fire Protection District (TMFPD) will require that this project meet all applicable requirements of Washoe County Code 60 to include infrastructure, access, and water for fire suppression.

\*\*\* End of Conditions \*\*\*

### **Washoe County Development Application**

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	n Staff Assigned Case No.:					
Project Name: Copart 10 Acre Sublot - Amendment to Conditions for Time Extension						
Project Amendment to a condition of approval relating to time limits for approval of Description: building permit (Condition 1.C) from WSUP20-0027.						
Project Address: 19905 & 18995	Reno Park Boulevar	d, Washoe County, NV 89508				
Project Area (acres or square fe	et): +/-10.268 acres and +/	/-0.57 acres.				
Project Location (with point of re	eference to major cross	streets AND area locator):				
19905 Reno Park Boulevard app	roximately 1/2 mile so	outhwest from its intersection with	North Virgina Street.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:			
081-131-35	+/-10.268					
081-131-34	+/-0.57					
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WSUP20-0027						
Applicant Inf	<b>ormation</b> (attach	additional sheets if necess	sary)			
Property Owner:		Professional Consultant:				
Name: Copart of Arizona, Inc		Name: CFA, Inc				
Address: 14185 Dallas Parkway, Suite 300		Address: 1150 Corporate Boulevard				
Dallas, TX	Zip: 75254	Reno, NV	Zip: 89502			
Phone: (972) 391-5088	Fax:	Phone: 775-856-7073	Fax:			
Email: matthew.strother@valfair.com		Email: dsnelgrove@cfareno.com				
Cell:	Other:	Cell:	Other:			
Contact Person: Matt Strother		Contact Person: David Snelgrove, AICP				
Applicant/Developer:		Other Persons to be Contacted:				
Name: Copart of Arizona, Inc		Name:				
Address: 14185 Dallas Parkway, Suite 300		Address:				
Dallas, TX	Zip: 75254		Zip:			
Phone: (972) 391-5088 Fax:		Phone: Fax:				
Email: matthew.strother@valfair.com		Email:				
Cell:	Other:	Cell:	Other:			
Contact Person: Matt Strother		Contact Person:				
For Office Use Only						
Date Received:	Initial:	Planning Area:				
County Commission District:		Master Plan Designation(s):				
CAB(s):		Regulatory Zoning(s):				

### Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

### **Required Information**

- 1. The following information is required for an Amendment of Conditions:
  - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
  - Identify the specific Condition or Conditions that you are requesting to amend.
  - c. Provide the requested amendment language to each Condition or Conditions, and provide both the *existing* and *proposed* condition(s).

Requested with this application is an amendment to condition #1.C under the Washoe County Planning and Building Division portion of the approved special use permit (WSUP20-0027). The request is made due to delays associated with obtaining the final permit approval for the railroad crossing that is necessary in condition 1.o. of the action order conditions for WSUP20-0027. UPRR has a very lengthy process of which the applicant has no control of the ultimate timeframe for obtaining the final permit. A building permit (WBLD21-105404) is nearing completion of review and the rail permit necessary under condition 1.o. is one of the final items needed and is not in the applicant's control from a timing standpoint.

Please see the provided Request Description for additional detail for the request.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

The proposed amendment to Condition #1.C under the Washoe County Planning and Building Division portion of WSUP20-0027 will not cause any adverse impacts to public health, safety of welfare.

### **Copart 10 Acre Sublot – Amendment to Condition for Time Extension**

### **Request Description**

This request to amend condition 1.c from the approval of WSUP20-0027 is made due to delays in working with Union Pacific Railroad (UPRR) for the formal permit approval for the rail crossing improvements. Condition 1.o. from the county approval requires that documentation of the applicant's right to traverse the UPRR line be provided prior to the approval of any building permit for the project. Significant work and coordination have been accomplished with UPRR inclusive of design of the crossing improvements to meet the UPRR standards and requirement, however UPRR's process can be very slow. The project applicant had been previously informed by UPRR that the final approval of our permit would likely come in September of 2022, but that did not occur. We are hopeful for the permit to be approved soon but cannot jeopardize our Washoe County approval while awaiting the final permit approval.

To safeguard the County approval in light of this outside party approval that is out of the control of the applicant, it is requested that condition #1.c be amended. The specific request is to change the current date/deadline for approval of initial building permits from February 4, 2023 to February 4, 2025. This request equates to a two-year extension of time. We are very hopeful that the UPRR permit approval is provided very soon. However, since we have no control over the review and approval timeframe of UPRR, we have requested a two-year extension to provide (what we feel) is more than sufficient time to assure that the UPRR approval can be provided, allowing for the issuance of the building permit by Washoe County. We do not want to find ourselves in the situation where we must come back to request additional time should a shorter timeframe be requested or approved.

Following is the identification of the existing and proposed condition language.

### **Existing Condition Language**

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

### **Proposed Condition Language**

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before <u>February 4, 2025</u>. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

# COPART - 10 ACRE SUBLOT

19905 RENO PARK BLVD. RENO, NV 89508 APN: 081-131-35

OWNER/DEVELOPER: COPART, INC.

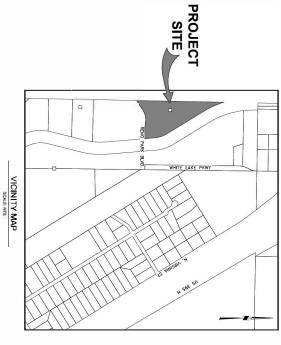
DALLAS, TX 75254

CIVIL ENGINEER:

14185 DALLAS PARKWAY, SUITE 300

# CATA CONTROL LAND SUMMANDER RACE CONTROL CONT

10751 GRAYSLAKE DR. RENO, NEVADA 89521



## Sheet List Table





THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDB8) BASED UPON GPS OBSERVATIONS UTILIZING GEIOD 99.

BASIS OF ELEVATIONS

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BASIS OF BEARINGS

### GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO HE MAIST WASHOLD CONFIT STAMARDS. THE STAMARD SPECIFICATIONS FOR PUBLIC WARS CONSTRUCTION (SSPWC), 2017 EDITION, AND THE STAMARD ETAILS FOR PUBLIC WORSE CONSTRUCTION (SSPWC), LATEST EDITION, AS ADD'TED BY WASHOE COUNTY, AND STALL BE STABLET TO THE APPROVAL OF THE OWNERS ALL SPECIFICATIONS RETEATED THEM REPERTO THE SWAFF CALLSS MODERALD DITERMINE.
- THE CONTRACTOR SHALL PROVIDE AND MANTÁN ALL NECESSARY TRAFFIC CONTROL THROUGHOUT CONSTRUCTON, IN ACCORDANCE WITH APPLICABLE PARTS OF SPECIFICATION SECTION 322, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD, LATEST EDITION).
- THE CONNECTOR SHALL BE RESPONSIBLE FOR THE CREWN SHETTY DIRNOL CONSTRUCTION, AND ALL WORK SHALL CHORNAN TO PERMIST SHETT RECOLATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND OR SHRENCHOT THE CONSTRUCTION AND CASE ASSESSMENT THE CONTRACTOR SHALL BE SOLITY AND COMPLETE PROPERTY THE CONTRACTOR SHALL BE SOLITY AND COMPLETE FOR COMPLETE ON PRACTICES FOR ALL SHALL BE SOLITY AND CONFIDENT SHALL BE SOLITY AND CONFIDENT RESPONSIBLE FOR COMPLETE ON THE CONSTRUCTION PRACTICES FOR ALL EMPLOYES DIRECTLY CHAPTER SHALL BE SOLITY AND CONFIDENT SHALL BE SOLITY AND COMPLETE ON THE CONSTRUCTION PRACTICES FOR ALL EMPLOYES DIRECTLY CHAPTER SHALL BE SOLITY AND CONFIDENT SHALL BE SOLITY SHALL BE SOLITY AND CONFIDENT SHALL BE SOLITY AND CO
- THE CONTRACTOR SHALL PURSUE WORK IN A CONTINUOUS AND DILIGENT MANNER ENSURE A TIMELY COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PHING, UNLITES, TRAFFIC SIGNAL EQUIMENT (BOTH ABOVE GROUND AND BELOW GROUND), STRICTINESS ADJACENT TO STREETS, AND ALL OTHER EXISTING MAPROFENENTS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRANAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND/OR EROSION. ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- THE COMPACTOR SHALL BE RESPONSIBLE FOR COMMINUS DIST COMPACT IN THROUGHOUT THE COMPACT WAS THE COMPACT OF THE COMPACT WITH SCHOOL ADDOLOF WASSIG COMPT ARE FALLINGS FOR THE COMPACT OF THE COMPACT WITH SCHOOL OF RESPONSIBLE FOR THE REGULAR CLAMBOR OF ALL MID. BRIT. DEBRIS. ETC., FROM ANY AND ALL ABLACKET STREETS AND SIDEWALCS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY MANUER THROUGHOUT THE CONSTRUCTION PROCESS. ALL MATERIALS SHALL BE STORED WITHIN AMPRIONED CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL BE RESPONSBLE FOR OBTAINING ALL PERMITS AS REQURED BY WASHOE COUTRY. THE DUST CONTROL PERMIT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- SHOULD MAY PRESIDENC OR HISTORIC REMAINS OR ARTHACTS BE DESCRIBED DARHO STEE DESCRIBENT, WORK SHALL BE TRANSPARKE HALTD AT THE STEED'S STEE AND THE START HISTORIC PRESENATION OFFICE OF THE OPERATION OF MISCHAEL, LEBRAY AND ARTS, SHALL BE OFFICE TO RECORD AND PROTOCOMEN IT CF) HOWERS OF THE OFFICE OF MISCHAEL BE LIMITED TO A MAXIMAM OF THO (2) HOWERS ON'S FRAM THE DIES OF MISCHAEL BE. ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE
- NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE ON ASPHALT SURFACES IN PUBLIC RIGHT-OF-WAY. CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
- HE CONTROLTOR SHALL THRISH PRODUCT SHAMTIAS FOR HIGH C MERCHANTS NOLUNDA MANDESTER SECTION SHAMTIAS TO PRIBLIC MERCHANTS NOLUNDA SHAMTIAS COMPANIOS, COMPANIOS, COMPANIOS, COMPANIOS, COMPANIOS, CONTROLTOR, TICK TORREST MANDESTER OF PRODUCT SHAMTIAS SHALL BET SHAMESTO PROMPTLY AFTER SECUTION OF THE CONTRACT, BUT IN ALL CASES PRICE TO EXLICENCE OF SHOWNITHMAS.

THE CONTRACTOR UPON COMMERTION OF THE PROJECT, SHALL PREPARE AND SUBMIT RECORD DRAWINGS TO THE CONMER. SUBMITTAL SHALL BE IN THE FORM OF A CO IN 300 DPI, MULTIPAGE PDF FORMAT.

17. HE OWNER OR CONTRACTOR IS REQUIRED TO FILE A NOTICE OF INTEXT (MO) WITH THE REMAIN DEPORATION OF DIMENSIONAL REQUESTIONS. HE CONTRACTOR SMALL APPROACH OF STREAM OF STREAM OF THE CONTRACTOR SMALL APPROACH OF STREAM OF THE OFFICE WAS THE OFFICE OF RECEIVED AND THE OFFICE OF SMALL FROM COLOR SMALL APPROACH OF STREAM OF THE AMADEMICAN DEPORATION OF SMALL FROM CONTRACTOR SMALL AND SMALL REPORTED AND THE AMADEMICAN OF THE AMADEMICAN OF THE OFFICE OF SMALL FROM SMALL FROM THE OFFICE OF THE OFFICE OF SMALL FROM THE OFFICE OF THE OFFICE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OFF

## DEMOLITION NOTES

- THE REMOVAL OF EXISTING IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIAL TECHNICAL SPECIFICATIONS AND THE STAMPARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (SSPWG, 2012), SECTION 301.00.
- EXISTING IMPROVEMENTS, ADJACENT PROPERTY, FENONG, WALLS, UTILITES AND OTHER FACILITIES, TREES AND PLANTS THAT ARE NOT TO BE REMOKED SHALL BE PROTECTED FROM INJURY OR DAMAGE RESULTING FROM THE CONTRACTORS OPERATIONS IN ACCORDANCE WITH SPECIFICATION SECTION 301.04 AND 300.04.

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- ALL EXISTING FÉATURES IN CONFLICT WITH PROPOSED SHALL BE REMOVED, RELOCATED AND/OR REPLACED, CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER AND THE GOVERNING AGENCIES PRIOR TO SUCH REMOVAL, RELOCATION AND/OR REPLACEMENT.

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## PAVEMENT MARKING, STRIPING AND SIGNAGE

ALL PAVEMENT MARKING AND STRIPING SHALL BE TRAFFIC PAINT OR THERMOPLASTIC IN ACCORDANCE WITH SPECIFICATION SECTION 214.00 AND 324.00. THE LOCATION OF THE PAVEMENT MARKINGS SHALL BE VERIFIED WITH THE ENGINEER PRIOR TO INSTALLATION.

## EARTHWORK NOTES

UTILITY NOTES (CONT'D)

THE CONTRACTOR IS TO PROVIDE ALL MISCELLANEOUS PIPE. FITTINGS APPURTENANCES AS REQUIRED TO COMPLETE THE UTILITY WORK AS SHOWN.

- CLEARING AND ORUBBING, SUBGRADE PREPARATION AND EARTHWORK SHALL PERFORMED IN ACCORDIANCE WITH SPECIFICATION SECTIONS 50,00, 302.00, 303.
  AND 304,00 AND AS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION, "T PREPARED CORESTONE ENGINEERING, DATED NOVEMBER 22, 2021.
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  MATERIAL FOR THE NOTES OF B INVEST.

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- FINE GRADING ELEMTONS, SLOPES, AND OTHER ELEMINONS NOT SHOWN SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD TO OBTIAN DANAGES IN THE DIRECTION AND TO THE DRAMAGES WAYS INDICATED. ALL GRADING ELEVATIONS SHALL BE APPROVED BY THE EXOLUTION.

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- A CONTRACTOR SHALL MANTAN ALL EXISTING DRAWAGE FACILITIES WITHIN THE CONSTRUCTION RACE ANTIL NEW DRAWAGE MAPROPRIENTS ARE IN PLACE AND FLINGTOWING.

  B. NO ERICE DO OTHER OBSTRUCTION, WHICH INTERCEES WITH DISCLARGE SHALL BE CONSTRUCTED WITHIN THE DRAWAGE OR STORM MINAN EASEMBNIS.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LATEST WASHOE COUNTY REGULATIONS.

CONCRETE & PAVEMENT NOTES

- ALL PORTLAND CEMENT CONCRETE (PCC) AND ASPHALT CONCRETE PAKENT PLACED IN ACCORDANCE WITH THE CEDITCHNICAL INVESTIGATION REPORT. "BY CORESTONE ENGINEERING, DATED NOVEMBER 22, 2021. PREPARED
- REFERENCE DETAIL 1, SHEET C2.1 FOR ASPHALTIC CONCRETE SECTION.
- ASPHALT CONCRETE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 320.00.
- PCC SHALL NEET THE REQUIREMENTS OF SPECHOATION SECTION 202.00 PCC EXPOSED TO FREEZE—THAW EVINCONNENTS SHALL HAKE A MINIMUM 28 DAY COMMPRESSIVE STRAIGHT B-F 4,000 PSI AND MEET THE SPECIFIC REQUIREMENTS OF SPECIFICATION SECTION 337.10.01.01. CURB, GUITER AND SIDEMALK SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 312.00.
- CONCRETE PAVEMENTS SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 31400

### **UTILITY NOTES**

- UILLIES MAY DOST THAT ARE NOT STORM ON THE PLANS, HOROCONTAL A VERTICAL LOCATIONS OF EXISTING UILLIES ACE APPROXIMET ONLY. THE CONTRACT SHALL MERRY ACTUAL LOCATIONS OF EXISTING UILLIES ACE AND OTO DOSTSIBLATION OF THE CONTRACT OF THE CONT
- THE CONTRACTOR SHALL NOTIFY NV ENERGY AND GREAT BASIN WATER CO. AT LEAST 48 HOURS PRIOR TO THE START OF UTILITY CONSTRUCTION. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHICH MAY CONFLICT WITH THE NEW WORK PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL WAVE EVERY ATTEMPT TO AND SHIT OFF OR DISCONNECTION OF ACTIVE UTILITIES IT SHIT OFF AR CHAMMODABLE, THE CONTRACTOR SHALL GOODBOAKE THAN SHALL OF WHIT HE AFFECTED CLEDWARDS AND UTILITY COMPANIES AT LEAST 48 HOURS IN ADVANCE OF THE DISCONNETS HE SERVICE.

ABBREVIATIONS

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- WATER PIE SMALL BE POLYTHICESE (PS) OR POLYMYN CHIOREE (PS) ANNA
  GOOD PRES SECRICIONO SECTION ACOUNT FINES. WHICE REPER SECRICIONO SECTION ACOUNT FINES.
  SMALL MEIT AMMIN. SECRICIACIONS. WHITE PIE, ITHINGS AND APPRIFEMANCES
  SMALL BEE RESTALLE PRE APPLICABLE BRASTS OF SECREFICHOUS SECTIONS COLOGO AND
  WATCO. THE MANIAUM DEPIR OF COPER SMALL BEE 36 INCHES, MESSINED FROM
  BASSI-GRADE TO THE PIEE.
- 13. ALL WATER LINES SHALL BE TESTED FOR PRESSURE AND LEAKAGE PER UTILIT COMPANY REQUIREMENTS.
- BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY THE COMPRACTOR FER GREAT BISNN WATER CO. STANDARDS. THE COMPRACTOR SHALL BE RESPONSIBLE FOR COMPRACT IN THE COLLECTION OF THE REQUIREST AND FOR THE COLLECTION OF THE REQUIRES
- 15. COORDINATE LOCATIONS OF ALL UTILITIES WITH RESPECTIVE TRADES. ALL BURKED INCO MIPE, FITTINGS, AND VALVES SHALL BE WRAPPED POLYETHYLENE MIPE WRAP IN ACCORDANCE WITH AWWA C105.
- ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL BE CONSTRUCTED PER ORBAT WATER CO. STANDARDS.
- 18 A MANHOLE PROTECTION PLAN SHALL BE SUBMITED AND APPROVED PROOK TO ANY MANHOLE PROTECTION OF GOODWIGH, THE PLAN SHALL BE SUBMITED STREAM OF A DESTRUCTION SHALL DESSREE AND A SETUL OF HOW THE CONFIDENCE OF SHALL DESSREE AND A SETUL OF HOW THE CONFIDENCE OF GOODWIGH, THE ENDERSHEE SHORT HOW STREAM AND A SHALL BE SUBMITED AND APPROVED PROOK TO ANY DESTRUCTION OF THE PROTECTION OF THE CONFIDENCE OF THE CONF
- 20. ALL CATCH BASIN COVERS DESIGNATED TO BE RESET TO GRADE SHALL BE REPLACED WITH A NEW FRAME AND COVER AT THE CONTRACTOR'S EXPENSE. MANHOLES AND CATCH BASINS SHALL BE PORTIAND CEMENT CONCRETE FER SPECIFICATION ZECTION ZALOO, MANHOLES AND CATCH BASINS SHALL BE PLEASE PER APPLICABLE PARTS OF SPECIFICATION SECTIONS 305.00, 306.00, AND 311.00.
- ALL BMPS SHALL BE REMOVED FROM CATCH BASINS & MANHOLES PRIOR TO FINAL ACCEPTANCE AND RELEASE OF RETENTION. CONTRACTOR TO VACUUM CLEAN ALL STORM DRAIN & SANTARY SEVER MANHOLES AND CATCH BASINS AFTER REMOVING CONTAINMENT DEVICES UPON COMPLETION OF THE PROJECT.

## EXISTING CURB & CUTTER

4390 -PROPOSED 5' CONTOUR PROPOSED 1' CONTOUR EXISTING 5' CONTOUR EXISTING 1' CONTOUR PROPOSED CURB & GUTTER

EXISTING SPOT ELEVATION EXISTING STORM DRAW EXISTING SANITARY SEWER PROPERTY/BOUNDARY LINE PROPOSED SPOT ELEVATION

EXISTING PIBER OPTIC EXISTING WATER AND GAS LINE EXISTING WATER AND GAS LINE EXISTING OVERHEAD LINES EXISTING TELEPHONE XISTING CABLE XISTING CAS XISTING ELECTRIC

CAUTION — NOTICE TO CONTRACTOR . THE COMPACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELECTRONIQUE OF ENSINE UTILITIES AND FERMINANCE OF THE SECTION OF THE SEC S. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONTORNAL ANGE WITH THE LATEST EDITION OF MUTED WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL BUSINES UTILITIES AND FEMILIES WHICH CONFLICIT WITH THE PROPOSED MEROPLEMENTS SHOWN ON THE PLANS. CONFINENCING SHALL DISTAIL PROPOSULS PRODUCE THE DISTAIL SHALL DISTAIL PROPOSULS PRODUCED TO SUCH REMOVEL MO JOH RESIDENCING. 2. IT SHALL BE THE CONTRACION'S RESPONSIBILITY TO KERNY PRINTS OF CONTRICTION AND IN AREAS OF POSSEBLE CONFLICT BRIGHT OF CONTRACTION AND IN AREAS OF POSSEBLE CONFLICT CONTRACTION AND ADMINISTRATION AND ADMINISTRATION OF CONTRACTION AND ADMINISTRATION OF CONTRACTION AND ADMINISTRATION OF CONTRACTION AND ADMINISTRATION OF CONTRACTION OF CONTRACTION OF CONTRACTION WITH CONSTRUCTION. 10. PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.

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CFA, RIC. LAND SUMMERUMS CIVIL EMPHRENS LANDAME PLANNE USO COMPUBATE OCH



WAC22-0012 EXHIBIT D

COPART - 10 ACRE SUBLOT CIVIL IMPROVEMENT PLANS **GENERAL NOTES** 

19905 RENO PARK BLVD. RENO, NV 89508

EXISTING CHAINLINK FENCE

EXISTING TREE TO BE REMO EXISTING TREE EXISTING WATER VALVE XISTNG WATER METER

XISTING UTILITY MANHOLE

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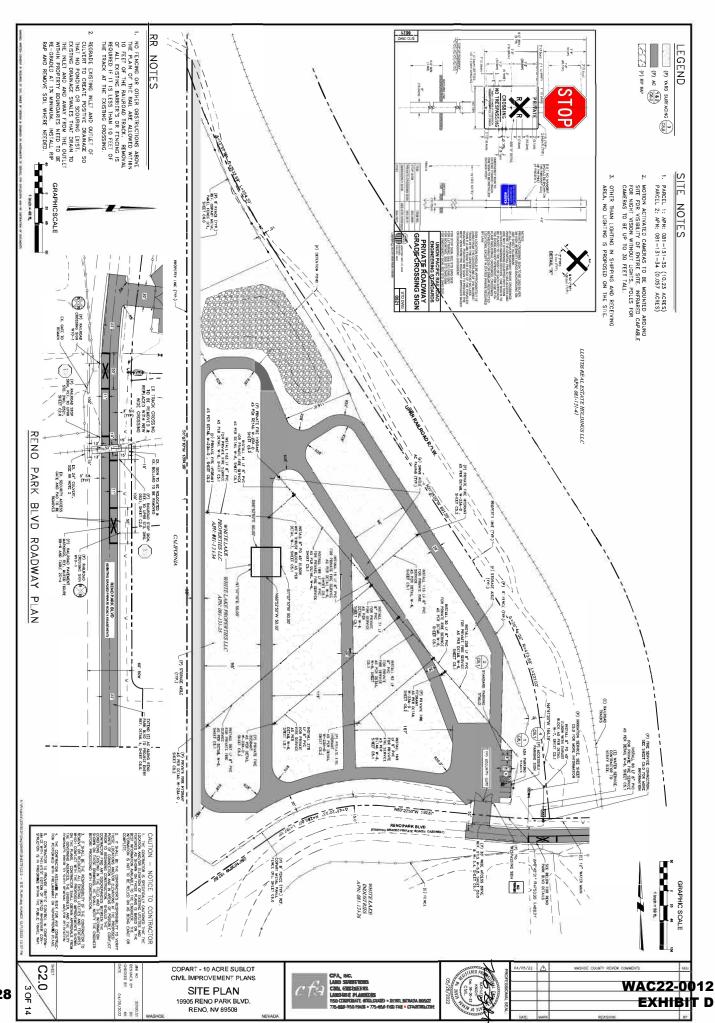
XISTING POWER POLE

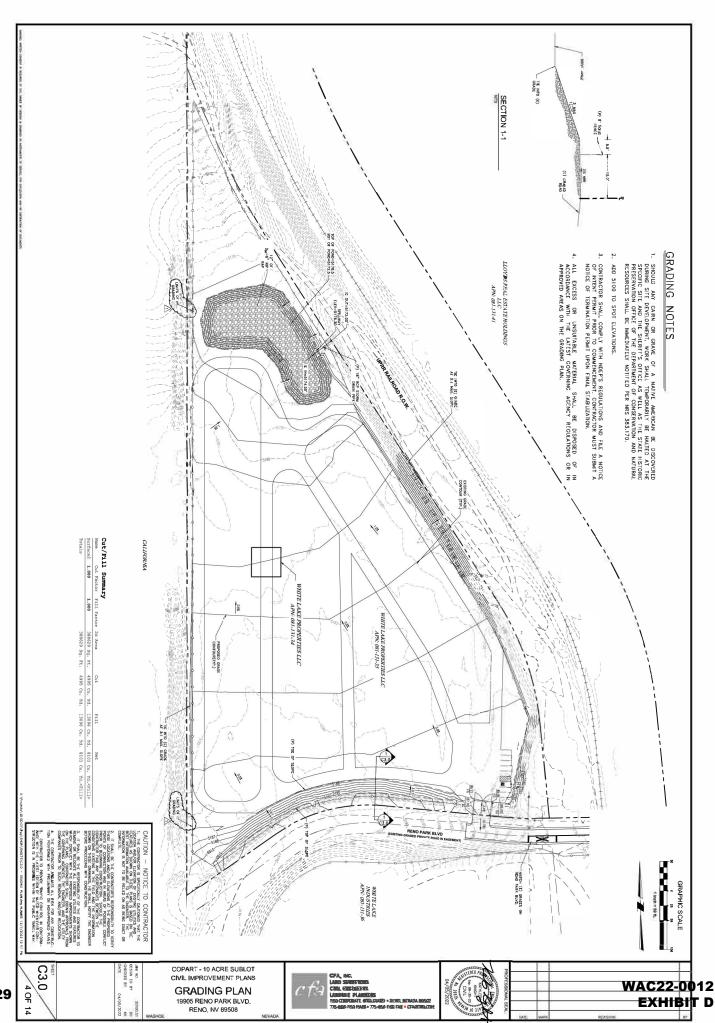
EXISTING ELECTRIC WALLT EXISTING TRANSFORMER PAD XISTING TELEPHONE VALUE

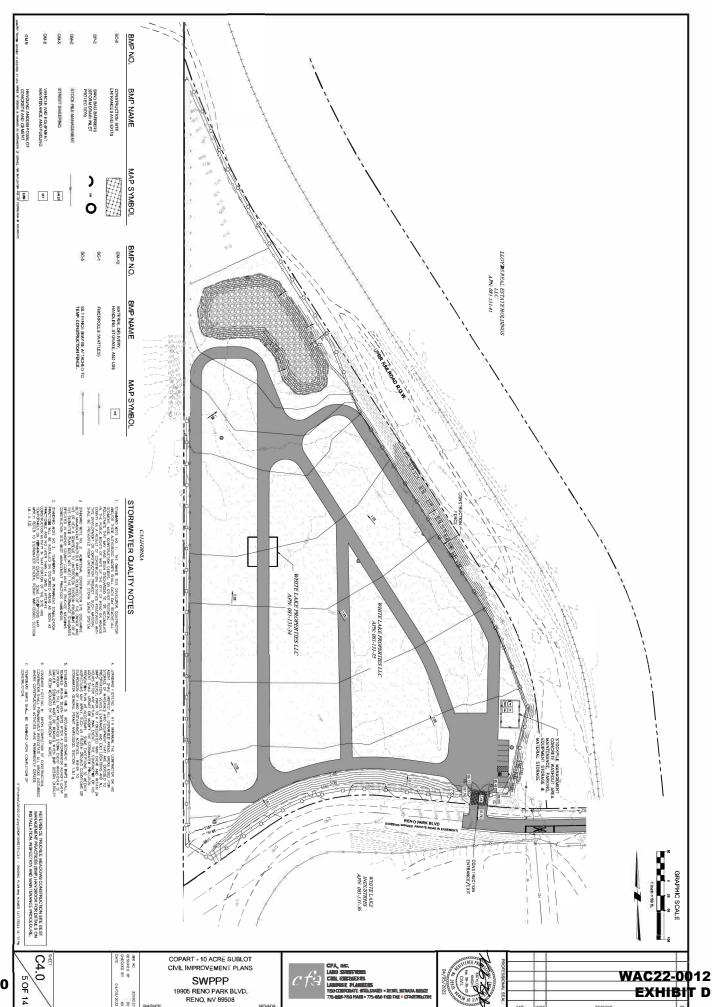
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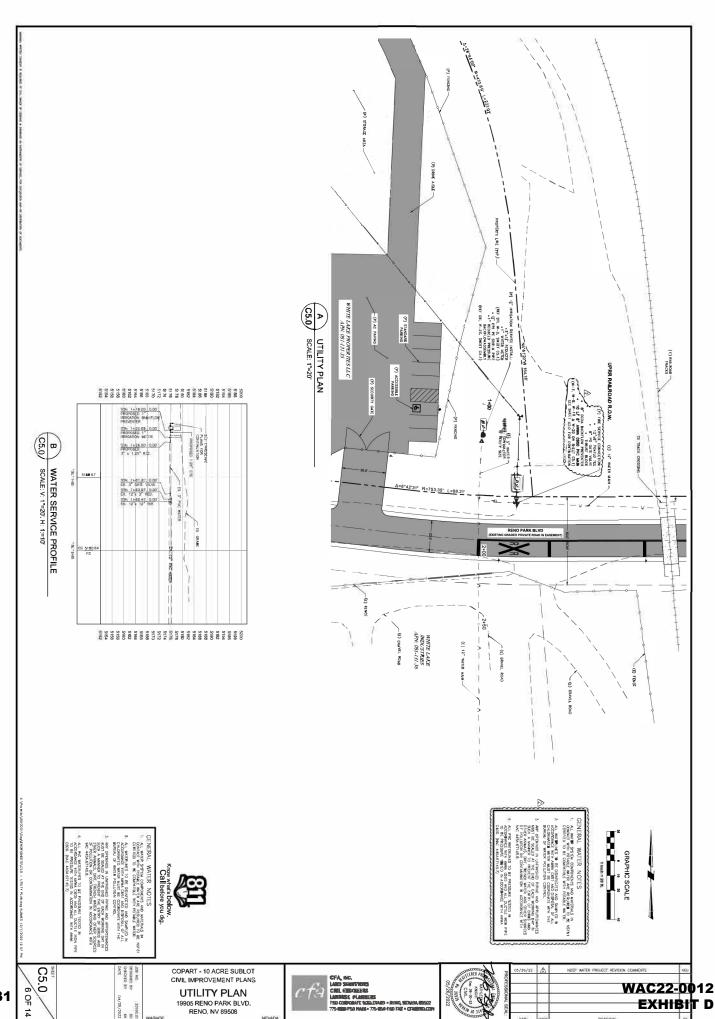
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LEGEND









CONTRACTOR SHALL VERITY AVAILABLE TLON AND RESISERE DONNSTREAM TROOT THE TOTAL CONTRACTOR SHALL NOTHER CONTRACTOR SHALL NOT PROCEED TO NOT MORPHER NOTHER PROMISED ON THE SHALL NOTHER SHA

), THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATIVE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.

The CONTROLLES SHALL NO THEIR RESEARCH SSTEED AS SHEED AS 6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED MANEACTRERS RECOMMENDATIONS AND SPECIFICATIONS.

PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND TRAOS STALL BE DETERMINED IN THE THIEF AND APPROVIDED OF THE OWNER'S PRINCESSITATION. LINES SHALL BE IN A COMMON STRICK PREDICTE TO YOSSIELE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.

IRRIGATION SPECIFICATIONS

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CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL IRRIGATION NATIESTAL INCLUDING ALTH THE LANDOLATE DRAWINGS TO AVOID INTERPERING WITH THE PLANTING OF TREES, SPRING, OTHER PLANTINGS.

ALL VALVES ARE TO BE LOCATED IN PLANTINS AREAS WEREVER POSSIBLE.

 BACKFILL FOR TREIX-ING SHALL BE COMPACTED TO A DRY DEBITY EQUAL TO THE PRESENCE DALEARY SOLIL AND SHALL COMPORY TO ADJACENT GRADES WITHOUT DIPS, HAMPS, OR THER IRREGALARTIES. 1. A MINAM OF THE WORKING DAYS PRICE TO PERFORMS ANY DIGGING, CALL INDERREADING SERVICE ALLEY AT I-BOCAZI-1460P OF INDERVATION ON THE LOCATION OF INTIRAL, GAS LINES, IELECTRICAL, CARLES, TELECTRICAL, CARLES, TELECTRICAL AL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE IS GAUSE UL DIRECT BURIA. NOSER AS REGUIRED BY LENGTH PIR NAALFACHRERS SPECIFICATIONS.

4. INSTALL ALL PIPE AND CONTROL WRE, WHICH RUNG WORR PAYING, MITHIN SCH. 40 PVC SLEEVES I'T DIA, MINIMAN SIEL AS REGUIRED TO ALLON INSTALLATION WITHOUT BINDING. REOVIDE (I) SLEEVE THE "REOVIDE SEPRANTE SLEVES FOR CONTROL WRE. I INSTALL ALL PIPE AND CONTROL WRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES HERVERY POSSIBLE. CONTRACTOR ASSESS THAT, IN ACCORDANCE WITH GENERALLY ACCORDING THE CONSTRUCT OF ASSESS ACCORDING TO ASSESS OF ACCORDING THE RESPONDEDLE TO SERVICE OF ASSESS OF ACCORDING THE RESPONDED IN THE SERVICE INCLUDES SHEET TO ASSESS OF THE CONSTRUCT OF THE MODIFICIAL INCLUDES SHEET THE PROCESS IN CONSTRUCT INCLUDES SHEET THE RESPONDED THE PROCESS IN THE PROC IS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAIN. BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LON POINTS. PIPING SYALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIG PIPONENTS AND DRAIN VALVES.

1. A PITER TILESIAS AND WARE ALL VANCES AND CAUGK COLORISES ARE IN FACE, CALL LANGE SCIENCE AND WASHINGTON THE TIED AT LOO PICARD PER SCIENCE IN THE TOWN TO PROSECUE OF THE TIME VIOLES CLOSED SHARMS IN THE TOWN TO PROSECUE OF THE TIME VIOLES THAT TOWN TO CONTROL THAT TOWN TO CONTROL THAT THE TOWN TO WASHINGTON THAT THE TOWN TO CONTROL THAT THE TOWN TO THAT THE VIOLES THAT THE TOWN TO THE TIME VIOLES THAT THE TOWN TO THE TIME VIOLES THAT THE TOWN OPERATIONAL TESTNO. PERSONAL DEFENDANT TESTNO AFTER HYDROSTATIC TESTNO. PROPERTY TO THE OPERATE TO THE OPERATE TO THE OPERATE TO THE OFFICE SECUREDIAL TESTNO. TO THE OFFICE THE OFFICE TO THE OPERATE. THE OFFICE THE OFFICE TO THE OFFICE THE OFFICE TO THE

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CONTRACTOR SHALL INCODITIONLY GURGNIET THE IRREATION SYTEM, FOR A PERIOD OF THE RESOLUTION STATES SHALL BLY THE ROOT THE LAST THE LAST THE LAST THE LAST THE LAST THE LAST THE SHALL BLY THE BLY THE SHARL SHALL BLY THE BLY THE SHARL SHALL BLY THE BLY THE BLY THE SHARL SHALL BLY THE BLY T

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## ALL DISTABLED AREAG WALL BE PERMARENTY STABLIED WITH NATIC YOBSTATION, NALIDING THE REGULELAND TO WORK THE RESISTANCE WHICH SOLILE NATION THE PERMARENTY OF ALL DISTABLE WAS A PERMO OF THE LIBERANT OF ALL DISTABLED AREAGON OF A PERMO OF THO LIBER THAN AND OF AND LOSA AND ENGINE THAN THE THANK THE THAN THE THANK THE THANK THE THANK THE THANK THE THANK THE THANK THE THE THANK TO THE THANK THE THE THANK THE CONDITION OF APPROVAL LANDSCAPE COVER SHEET LANDSCAPE PLAN IRRIGATION PLAN LANDSCAPE AND IRRIGATION DETAILS SHEET LEGEND

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I. PLAN IS DIAGRAMMATIC ONLY. ALL LOCAL GOVERNING CODES SHALL BE MET. EXACT LOCATION OF TREES AND SHALES SHALLE DETERMINED IN THE FIELD (NSTALL AS FER DETAILS). AND APPROVED BY THE OMERIS REPRESENTATIVE.

LANDSCAPE SPECIFICATIONS

S. DAMAGES. CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.

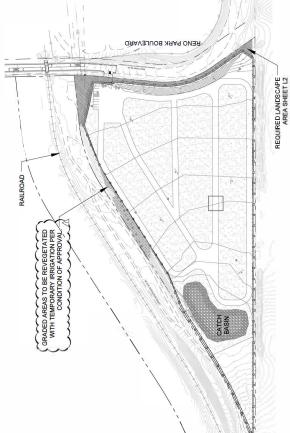
4. CONTRACTOR SHALL COORDINATE ALL MORK WITH OTHER TRADES (IE., PAVINS, PLINES ELECTRICAL, ETC.)

2.4. A MINERA OF THE ARRENES DAYS BEINGER PERFORMED ANY DEGREE CALL INCRESSEDING SERVICE ALTER TOR INCOMATION OF THE LOCATION OF NATIONAL OBJUSTICS, THE COLOMBINE OF THE LOCATION OF NATIONAL OBJUSTICS, THE COLOMBINE OF THE LOCATION OF NATIONAL OBJUSTICS, THE COLOMBINE OF THE CO

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S. THE CONTRACTORS WALL BE RESPONDED TO PED VERREY SITE. CONDITIONS ROOK TO CONTRACTOR AND TO NOTIFY THE OWNERS REPRESENTING SHALLD CONDITIONS DOST WHICH CONSTRUCTION AS THE PLANE. CONFIDENTIAL DRY WORK SHALL CONSTITUTION CONTRACTOR AND REPORTEDITY FOR CONSTRUCTIONS.

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BARK MUCH - INSTALL 4" OF WALK-ON" BARK MUCH (OAE) IN TREE WATERING WELLS, KEEP MUCH 4" AWAY FROM TREE TRUNG - DO NOT INSTALL LANDGOAPE FABRIC UNDER BARK. THE STATE TO STATE HOUSE OF ALL MAJOR ANNERS SHALL BE SERVEDTED TO ONESS REPRESENTED TO STATE OF MAY REPRESENTED THE STATE OF MAY MAD ANNERSHED MAJOR TO STATE OF MAY MAD ANNERSHED MAJOR TO STATE OF MAY MAD ANNERSHED MAJOR TO MAJOR TO MAJOR THE RESPONSED TO STATE OF MAY MAJOR THE RESPONSED TO THE OWNERSHED MAJOR TO CARREST THE SIGNED AN HIS DEPOSE.

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See a process for a pression was instructed, entered and consistent of the consisten

CONTRACTOR IS RESPONDED FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACINK DOCATED OF ILAN. SYMBOLS PREVAIL OF NAMED ON PLANT LIGHT, NO SUBSTITUTION WILL BE ACCUPTED MATERIAL ENVISION WITTEN CONDETF OF THE ONLINE REPRESENTATION.

## LANDSCAPE DATA

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ANIVESTIME BE ACCOMMID BY AT LINGT THREE NOTICES FROM PLANT MATERIAL THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE AND MILL NOT BE AVAILABLE AND MILL NOT BE AVAILABLE.

SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED RESENTATIVE PRIOR TO INSTALLATION.

SUBJECT AND CHECK SAME TO CHARGE TO ONNERS REPRESENTATIVE FOR APPROVAL PRIOR INSTALLATION. FALLINE TO COPPLY NAY RESULT IN REJECTION OF MILCH OR AVENCHENT OR TO OR FOLLOWING SEFFELMING.

4. CONTRACTOR IS RESPONDED FOR NOTIFYING OWNERS REPRESENTATIVE, A MINAM OF HARS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS.

PRECONSTRUCTION MEETING MITH ALL PARTIES
PLANT WINGHALL ON SITE PROOF TO INSTALLATION
FINAL PROJECT WALK-TROUGH
D. ADDITIONAL SITE OBSERVATIONS AS INSERVIATIVE AND/OR COMPACTOR.

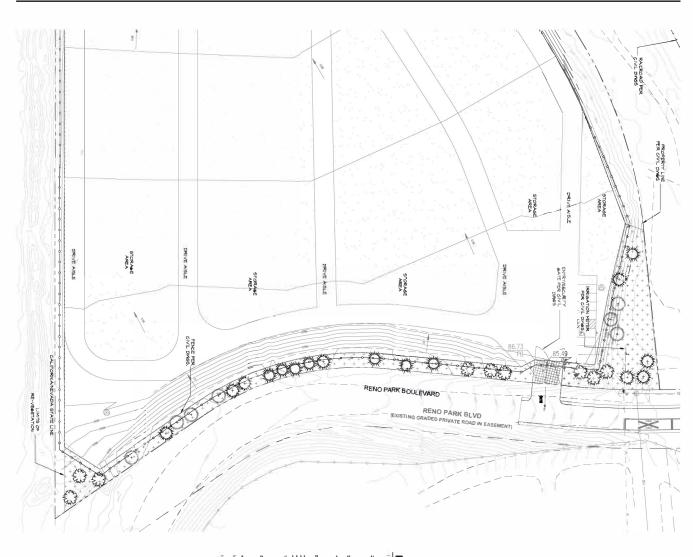
SECOND ACCOUNTS TO ANSWERS CONTINUES ACCOUNTS TO THE SECOND ACCOUNTS ACCOUN

VIDED TREES = 92 PER 20 LN FT OF STREET FRONTASE (692 LN FT. ROVIDED LANDSCAPAE AREA \* 17,708 SQ FT

AND THE SAME SHAPE TO SHAPE TO SHAPE THE SAME SHAPE

SITE AREA = 444,76| SQ FT (1032 ACRES) APN, 08(-181-34 AND 08(-181-35

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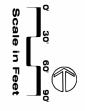
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SCARIFY PLACED TOPSOIL TO CAZATE FRIABLE CONDITIONS, EVENLY BLENDING FLACED TOPSOIL WITH TOP 6" OF SUBGRADT SOIL MATERIAL.

VERSIATION SEED BLENDS HAY BE ATLIED IN HYDRIG SEED SLERKY. THE ILLOHION RATE (1865 PER ACRE) SHALL BE APPLIED AT A MININDA MATE OF 3 PLA 'ACRE, ALL SEEDING SHALL BE CONDUCTED IN THE FALL OR SPRING. VERSIANION SEEDING SHALL BICE EN CONDUCTED IN THEAT OF SHAMER.









FERTILIZER, 0-10-10 9-200 LBS/ACRE
TACKIFIER H-HANDER 9-60 LBS/ACRE
MLCH FIBER MLCH 9-1550 LBS/ACRE
SEE D. REVERETATION SEED BLEYO

FOLLOWING SEEDING, APPLY HY DRO-SUMPRY MIX OVER SEEDED SLOPE FER NYSS SPECIFICATIONS. SUMPRY SMALL CONSIST OF THE FOLLOWING-

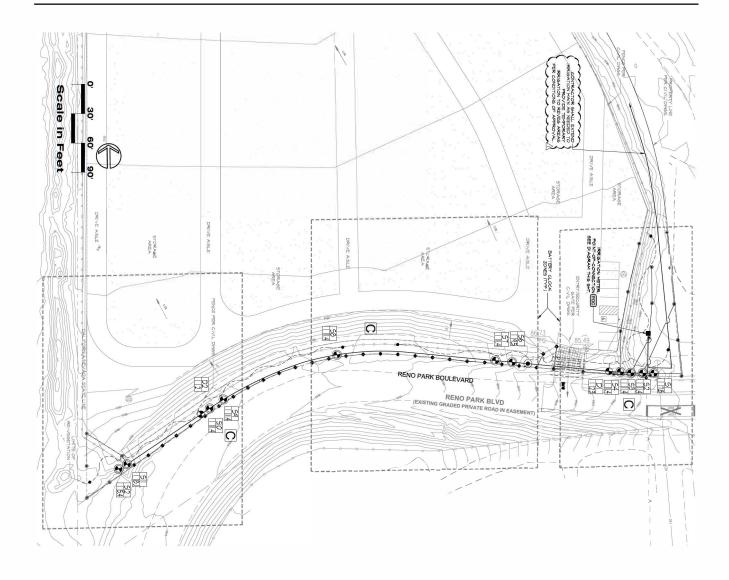
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COMPACTOR SHALL HAINTAIN SEEDING UITIL ESTABLISHED. REPAIR ANY SURFACE EROSIONARLING UPON DISCOVERY



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I REDUCED PRESSURE TYPE BACKFLOM PREVENTER, MILKENS 475XL (OAE). NSTALL PER DETAL(S)

"MATER METER: VERIFY SIZE AND LOCATION FER CIVIL DW65



MANAL DRAIN VALYE 3/4" BRASS GATE VALVE. (GRINIELL OR OAE) INSTALL AT ALL-LON POINTS ALONG MAINLINE

SATE VALVE GRINNELL (OAE) FOR MANLINE ISOLATION. SAME SIZE AS

QUICK CAUPLER: RAIN BIRD 44-LRC. PROVIDE OWNER WITH TWO VALVE KEYS (RAIN BIRD 44-K). BATTERY OPERATED SPRAY VALVE, RAIN BIRD FESB (WITH PRS-D MODULE TO PREVENT MISTING IF NEEDED DUE TO HIGH PRESSURE). SIZE FER PLAN

VE ASSEMBLY: RAIN BIRD XCZ-100-PRB-COM KIT (03-20 6PM).

2" MAINLINE. ALL MAINLINES SHALL DE SCH. 40 PVC. INSTALL ALL MAINLINES AT 24" MINIMUM DEPTH. SIZE PER PLAN. VALVE I.D.; STATION #, VALVE SIZE, AND APPROX. 6.P.M. ATERAL PIPES, SCH. 40 PVC LATERAL - SIZE PER CHART, NSTALL AT 10 MINIMUM

2-1/2\* SCH 40 2-1/2\* SCH 40 2-1/2\* SCH 40 2-1/2\* SCH 40 3-1/2\* SCH 40 BACKFLOW DEVICE
PER LEGEND
POINT OF CONNECTION - @ METER,
FIELD VERIFY SIZE AND LOCATION Z TION ELOX & ATE 1-8 GPM 12-22 GPM 12-22 GPM 13-30 GPM 5-10 GPM 5-10 GPM

Washoo County Comments

Irrigation Plan COPART STORAGE CFA, INC.

REAL TO AVALABLE WATER PRESSARE AT POC 19 60 PS. ASAFTE TION 19 12 6PM 8 5 PM CONTROL OF THE PRESSARE NAV. PROCESSARE TO A PM CONTROL OF THE PRESSARE NAV. PROCESSARE TO A PM CONTROL OF THE PRESSARE NAV. PROCESSARE TO A PM CONTROL OF THE PRESSARE AND A PM CONTROL OF THE PM CON

RRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. THERE POSSIBLE, ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN PLANTINS BEDS

EMITTER SCHEDULE EVERGREEN TREES, (4) RAIN BIRD XERI-BUS 2 GPH PRESSURE COMPENSATING EMITTERS

DESIGN PRESSURE NOTE:

SPRINKLER HEADS - TEMPORARY IRRIGATION

CONTRACTOR SHALL SELECT SPECIFIC ARE AND NOZZIE AS RECURSED FOR OPTIMA

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SPRINKLER HEAD DESCRIPTION

PACHED 2048-91, NAXLIBRD, 37' RAD. ● 35 PSI (NOZZLE 07 AT 2,7 6P4) WITH RADIUS SERVICTOR SCREW. HEAD SPACING ON PLAN IS SHOWN AT APPROX, 37 FT. REAN BIRD 2045PT, MAXIMIRD (8) RAD, 8 35 PS) (NOZZLE OTLA AT 1.4 GPM) WITH RADUS REZIVION SCREW HEAD SPACING ON PLAN 15 SHOWN AT APPROX, (6 PT.



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