

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

27 Somers Loop

WCC Section 110.220.60 Findings

Section 110.220.60 Siting on Corner Lots and Sloped Lots.

The following standards apply to any primary building or accessory structure on a corner lot or lot with slopes meeting the thresholds established below.

1. The front yard setback for accessory structures may be extended to the front property line on and corner lot when built no closer than sixty (60) feet from the corner, and on any interior or through lot where the slope of the front half of the lot is greater than a two (2) foot rise (or fall) for every ten (10) feet above (or below) the established street grade. The structure shall conform to the height and story limits provided within this section. When a primary building or accessory structure is placed within the front yard setback as described in this section, all the following shall apply:

- a. The Engineering Division must be able to determine that county right-of-way maintenance and road work operations will not be impeded or sufficient measures have been incorporated in the structure's design to mitigate an impediment to county right-of-way maintenance and road work operations. The county may also require that the county be held harmless from liability resulting from its right-of-way maintenance and road work operations;

Response: Design will not impede county right-of-way maintenance.

- b. The Engineering Division must be able to determine that the speed of traffic and the volume of traffic on the street is such that the placing of the garage within the front yard setback will not cause a safety problem for vehicles using the street; and

Response: No Garage.

- c. The Engineering Division must be able to determine that the placement of the structure within the front yard setback will not impede the ability of the county to widen the street in accordance with the adopted Capital Improvements Program, or in accordance with a possible widening of the street shown in the adopted master plan.

Response: will not impede ability of county to widen street.

- d. The placement of the structure is not sited closer than fifteen (15) feet from the edge of pavement of the abutting street.

Response: Structure is 20 ft from edge of pavement

- e. The maximum square footage of the portion of the structure designed to encroach on the established setback shall not exceed 25% of the size of the primary structure.

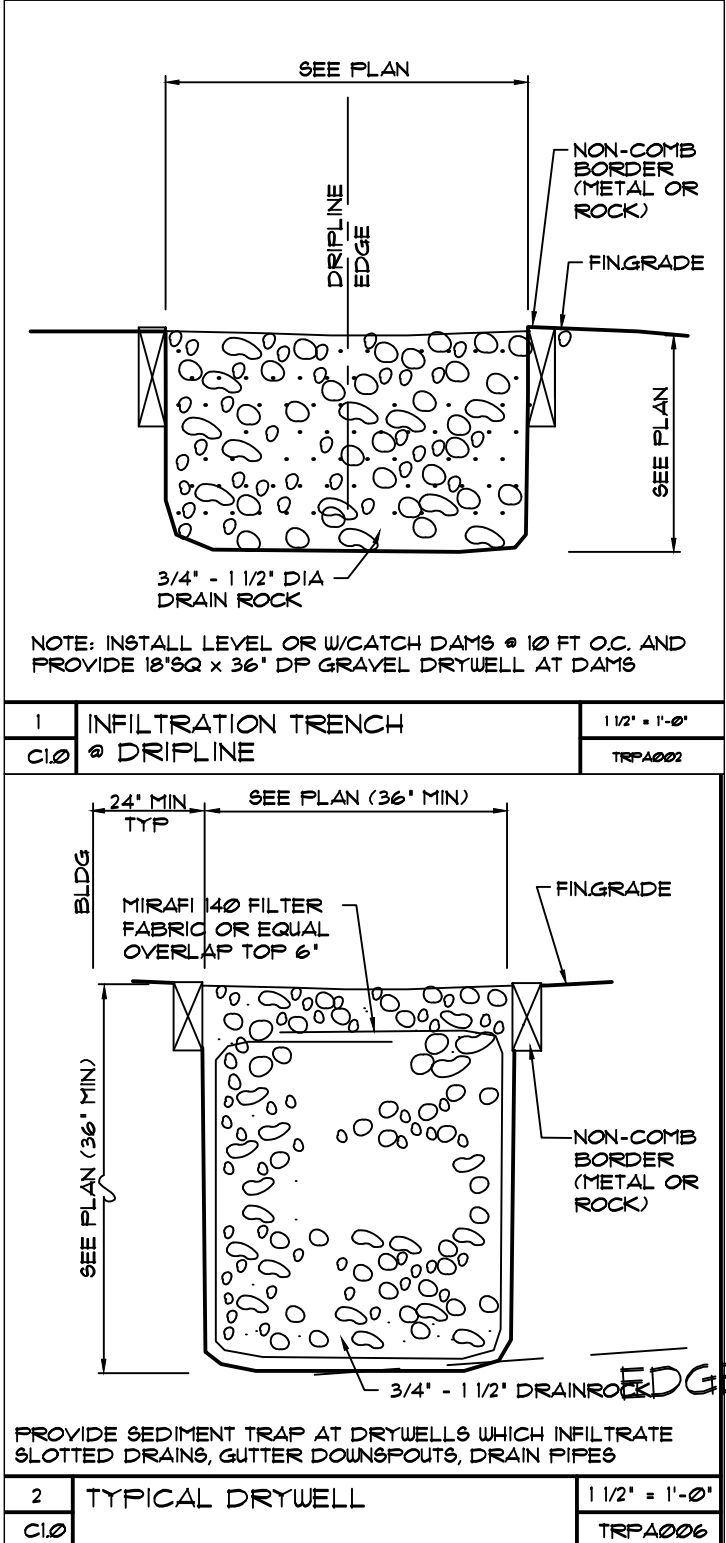
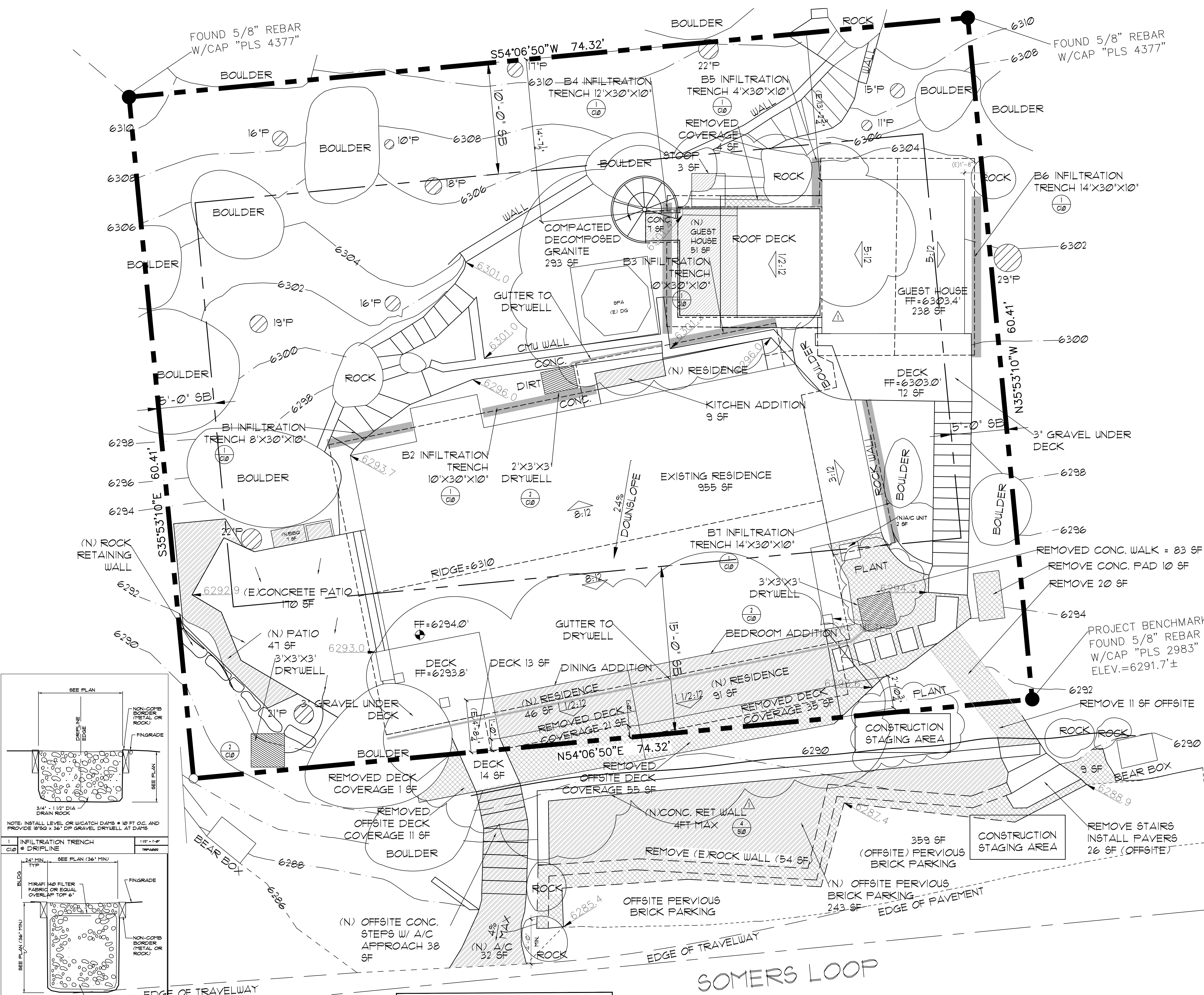
Response: SF of structure encroachment into setback is 6% or 87 SF out of 1,390SF.

- f. Structures proposed within 20 feet of the rights-of-way of state routes 28 or 431 may only be approved pursuant to Subparagraph 36.5.4.a.2 of the TRPA Code of Ordinances.

Response: Structure is not along rights-of-way of either 28 or 431.

1. Proposals to establish primary structures utilizing the same development standards for accessory structures found above shall be reviewed pursuant to the administrative review process described in WCC section 110.306.25 for the approval of detached accessory dwellings. However, appeals of administrative reviews for extending the front setback for primary structures to the property line shall be held before the Board of County Commissioners.

Response: N/A.



SITE PLAN EXHIBIT
 SCALE: 1/4" = 1'-0"

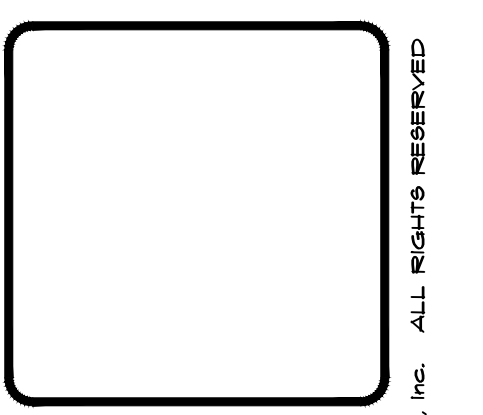
COVERAGE CALCULATIONS	
AREA OF LOT	4,490 SF / 0.10 AC
LAND CLASSIFICATION	1a (1%)
ALLOWABLE COVERAGE	45 SF
EXISTING COVERAGE	
RESIDENCE	955 SF
DECKS / STAIRS	351 SF
CONCRETE / ROCK	861 SF
GUEST HOUSE	238 SF
TOTAL (E) COVERAGE	2,405 SF
(E) TOTAL OFFSITE COVERAGE	359 SF
PROPOSED COVERAGE	
RESIDENCE	1,021 SF
DECKS / STAIRS	151 SF
CONCRETE / ROCK / SPA / BBQ / A/C	808 SF
GUEST HOUSE	289 SF
TOTAL (N) COVERAGE	2,355 SF
BANKED COVERAGE	50 SF
(N) TOTAL OFFSITE COVERAGE	545 SF
CUT	42 CY
FILL	12 CY
NUMBER OF TREES FOR REMOVAL	(0)

- SITE NOTES**
- CALL UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA AND NEVADA (800-221-2600) PRIOR TO ANY DIGGING.
 - TOPOGRAPHICAL INFORMATION IS BASED ON TRPA APPROVED SITE INSPECTION AND LETTER DATED 05/10/2019 BY ARNETT & ASSOCIATES, INC. JOB 19-03-04
 - ALL BARREN AND DISTURBED AREAS TO BE REVEGETATED PER TRPA/BMP STANDARDS.
 - ALL SLOPES GREATER THAN 2:1 ROAD SIDE DITCHES AND BANKS SHALL BE MECHANICALLY STABILIZED WITH EITHER ROCK PROTECTION OR VEGETATION.
 - REMOVE TREES AS INDICATED. REMOVE DEAD TREES & BRANCHES PER THE FOREST MANAGEMENT AND DEFENSIBLE SPACE RECOMMENDATIONS.
 - CONTRACTOR SHALL INSURE PROPER PLACEMENT OF ADDITION WITHIN THE REQUIRED SETBACKS PER SITE PLAN.
 - CONTRACTOR TO VERIFY LOCATIONS & CONNECTIONS OF WATER / SEWER / GAS / ELECTRIC / TELEVISION / TELEPHONE UTILITIES WITH APPROPRIATE SERVICE PROVIDERS PRIOR TO DIGGING. INSTALL ALL UTILITIES IN AN APPROVED TRENCH & IN ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES.
 - ALL IMPROVEMENTS WITHIN WASHOE CO RIGHT OF WAY SHALL BE CONSTRUCTED WITH THE LATEST COUNTY CODES AND COUNTY STANDARD SPECIFICATIONS AND DETAILS.
 - AN ENCROACHMENT, STREET CUT AND EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO STARTING WORK WITHIN COUNTY RIGHT-OF-WAY. A REVOCABLE ENCROACHMENT PERMIT IS REQUIRED FOR ANY IMPROVEMENTS (PAVERS, CONCRETE, LANDSCAPING, WALLS, ETC.) IN THE COUNTY RIGHT-OF-WAY.
 - FINISH GRADE AROUND RESIDENCE SHALL SLOPE AWAY FROM STRUCTURE • 3/4" MIN FOR 10' TYPICAL.
 - BMP CONTRIBUTING SURFACES AND TREATMENTS ARE LABELED IN THE ATTACHED DOCUMENT "BMP AREAS".
 - ALL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED IN PERFECTION TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMPs TO BE PERIODICALLY REINSTALLED OR REPLACED.
 - TEMPORARY AND PERMANENT BMPs MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
 - EXISTING NATURAL FEATURES OUTSIDE OF THE BUILDING SITE SHALL BE RETAINED AND INCORPORATED INTO THE SITE DESIGN TO THE GREATEST EXTENT FEASIBLE. THE SITE SHALL BE DESIGNED TO AVOID DISTURBANCE TO ROCK OUTCROPS AND TO MINIMIZE VEGETATION REMOVAL AND MAINTAIN THE NATURAL SLOPE OF THE PROJECT SITE.
 - ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND APPROVED BY TRPA PRIOR TO USE ON PROJECT.
 - CONTRACTOR SHALL UTILIZE AN APPROVED DISPOSAL LOCATION FOR ALL MATERIAL EXPORTED FROM SITE.
 - A HOT WORK OPERATIONS PERMIT IS REQUIRED WHEN OPERATIONS INCLUDE CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, METAL SPRAYING, TRAILING PIPES, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITY. PERMITS SHALL BE OBTAINED THROUGH NLTDP.

- DEFENSIBLE SPACE NOTES**
- ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION MUST BE REMOVED.
 - ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF TEN-FEET (10') ABOVE THE GROUND ON THE HIGH SIDE. REMOVAL OF LOWER BRANCHES SHOULD NOT EXCEED 10% OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN MUST BE REMOVED TO ACCOMPLISH THIS CLIPPING, THEN USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH UNDER ITEM 6 BELOW.
 - ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE A TEN-FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF LESS THAN 60% OF THE LIVE CROWN WOULD BE LEFT AFTER CLIPPING, THE TREE SHOULD BE REMOVED.
 - ALL BRUSH TREES AND FLAMMABLE MATERIALS MUST BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
 - WITHIN FIVE-FOOT (5') OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING, REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS.
 - WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, TREE CANOPIES WILL BE SPACED AT LEAST 10-FOOT (10') APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET. WITHIN THE THIRTY (30') TO ONE-HUNDRED-FOOT (100') ZONE, STANDS OF LARGE TREES DO NOT HAVE TO BE REMOVED SO LONG AS THE VEGETATION UNDERNEATH THEM IS REMOVED. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEPER SLOPES.
 - WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, BRUSH FIELDS MUST BE SPACED HORIZONTALLY A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS CANNOT EXCEED 100-SQUARE FEET (100') IN AREA AND THREE (3') IN HEIGHT.
- FOR SLOPING PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS:
- | TREES | SLOPE | SPACING |
|-------|----------|--------------------------------------|
| TREES | 0 - 20% | 10- FEET BETWEEN EDGES OF CROWNS |
| | 20 - 40% | 20- FEET BETWEEN EDGES OF CROWNS |
| | 40% + | 30- FEET BETWEEN EDGES OF CROWNS |
| BRUSH | 0 - 20% | 2 TIMES THE HEIGHT OF RESIDUAL BRUSH |
| | 20 - 40% | 4 TIMES THE HEIGHT OF RESIDUAL BRUSH |
| | 40% + | 6 TIMES THE HEIGHT OF RESIDUAL BRUSH |

SITE LEGEND

[Solid Grey]	EXISTING COVERAGE
[Hatched]	REMOVED COVERAGE
[Dotted]	NEW COVERAGE



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 FAX: (775) 831-8068

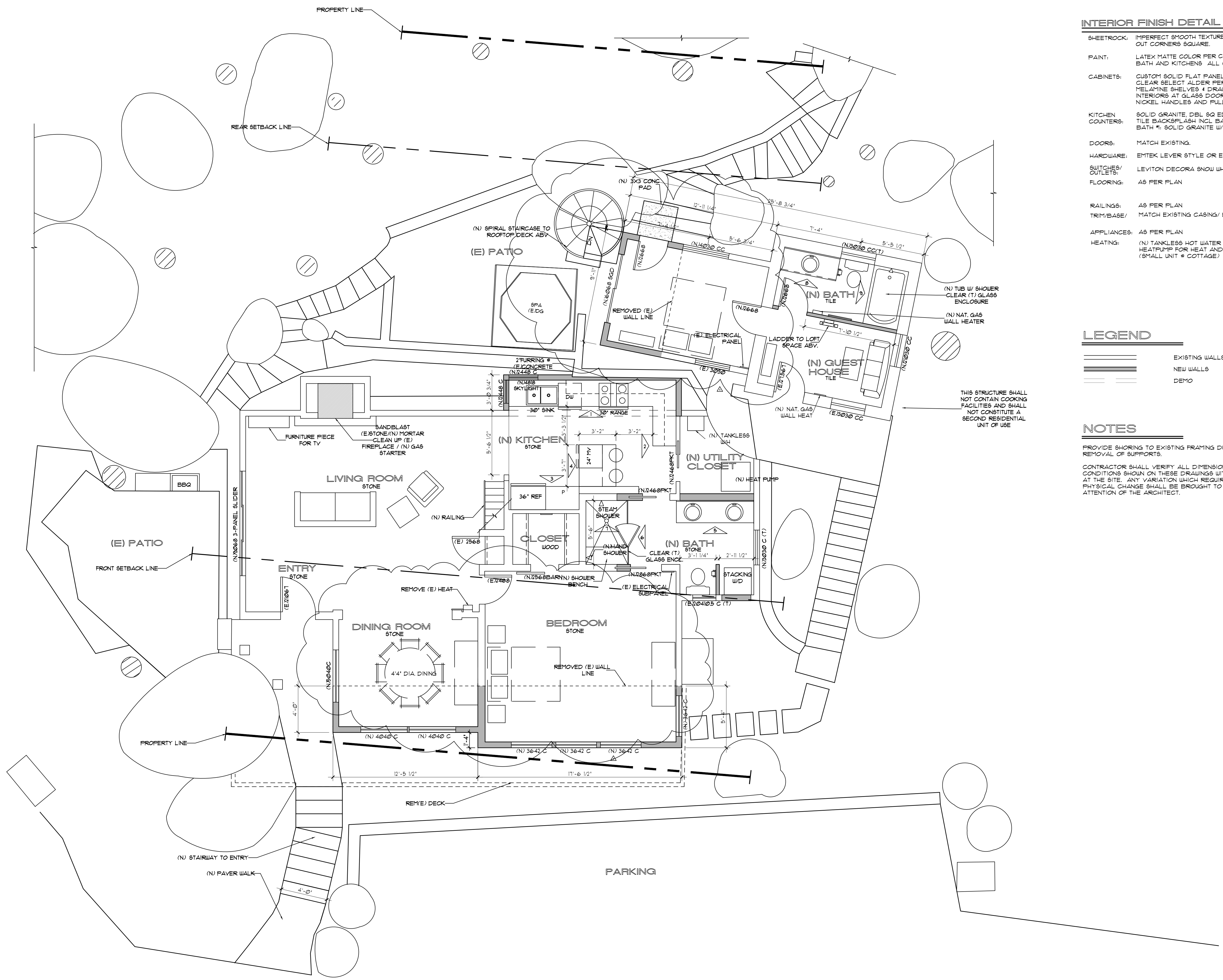
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SITE PLAN EXHIBIT
 CUSTOM RESIDENCE FOR:
HEATH AND AMANDA RUSHING
 5041 DESERTION LOT 4, 15 BLK C, SUBDIVISION NEVADA VISTA
 APR. 13-03-04

REVISIONS

NO.	DATE	DESCRIPTION
1	01/06/22	VARIANCE

FILE: 21 SOMERS LOOP
 DATE: October 21, 2020
 SCALE: 1/4" = 1'-0"
 DRAWN: GFA
 SHEET: C1.b
 OF 77 SHEETS



INTERIOR FINISH DETAIL

- SHEETROCK:** IMPERFECT SMOOTH TEXTURE PER CLIENT. ALL STAND OUT CORNERS SQUARE.
PAINT: LATEX MATTE COLOR PER CLIENT, SEMI-GLOSS FINISH IN BATH AND KITCHENS. ALL CEILING'S HALF TONE.
CABINETS: CUSTOM SOLID FLAT PANEL, ARTS & CRAFTS STYLE. CLEAR SELECT ALDER PER PLAN. FLYWOOD BOX W/ MELAMINE SHELVES & DRAWERS. ALDER FINISH INTERIORS AT GLASS DOOR CABINETS BRUSHED NICKEL HANDLES AND PULLS.
KITCHEN COUNTERS: SOLID GRANITE, DBL SQ EDGE EASED W/ FULL HGT TILE BACKSPLASH INCL BACK OF COOKTOP. BATH #1: SOLID GRANITE W/ 4" TILE BACKSPLASH.
DOORS: MATCH EXISTING.
HARDWARE: EMTEK LEVER STYLE OR EQUAL (BN).
SWITCHES/ OUTLETS: LEVITON DECORA SNOW WHITE MATTE.
FLOORING: AS PER PLAN.
RAILINGS: AS PER PLAN.
TRIM/BASE: MATCH EXISTING CASING/ BASE.
APPLIANCES: AS PER PLAN.
HEATING: (N) TANKLESS HOT WATER AND (N) HEATPUMP FOR HEAT AND A/C (SMALL UNIT @ COTTAGE).

LEGEND

- EXISTING WALLS
= NEW WALLS
--- DEMO

NOTES

- PROVIDE SHORING TO EXISTING FRAMING DURING REMOVAL OF SUPPORTS.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

THIS STRUCTURE SHALL NOT CONTAIN COOKING FACILITIES AND SHALL NOT CONSTITUTE A SECOND RESIDENTIAL UNIT OF USE.



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TITLE: PROPOSED PLAN

CUSTOM RESIDENCE FOR:
HEATH AND AMANDA RUSHING
15000 LAGUNA LOOP, CRYSTAL BAY, NEVADA 89402
71.00 ACRES, LOTS 11, 12 & 13, BLDG C, SUBDIVISION NEVADA VISTA
APN: 123-021-004

REVISIONS
VARIANCE 07/06/22

FILE:

DATE: August 20, 2020

SCALE: 1/4" = 1'-0"

DRAWN: GFA

SHEET:

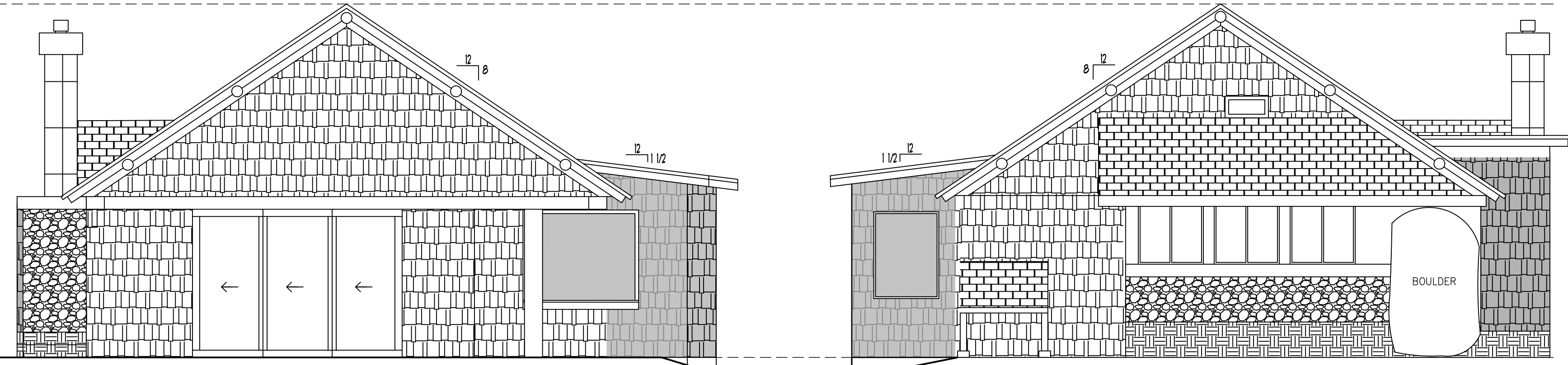
A1.b

OF 11 SHEETS

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RIDGE LEVEL = 6310'

1ST LEVEL LEVEL = 6293.8'

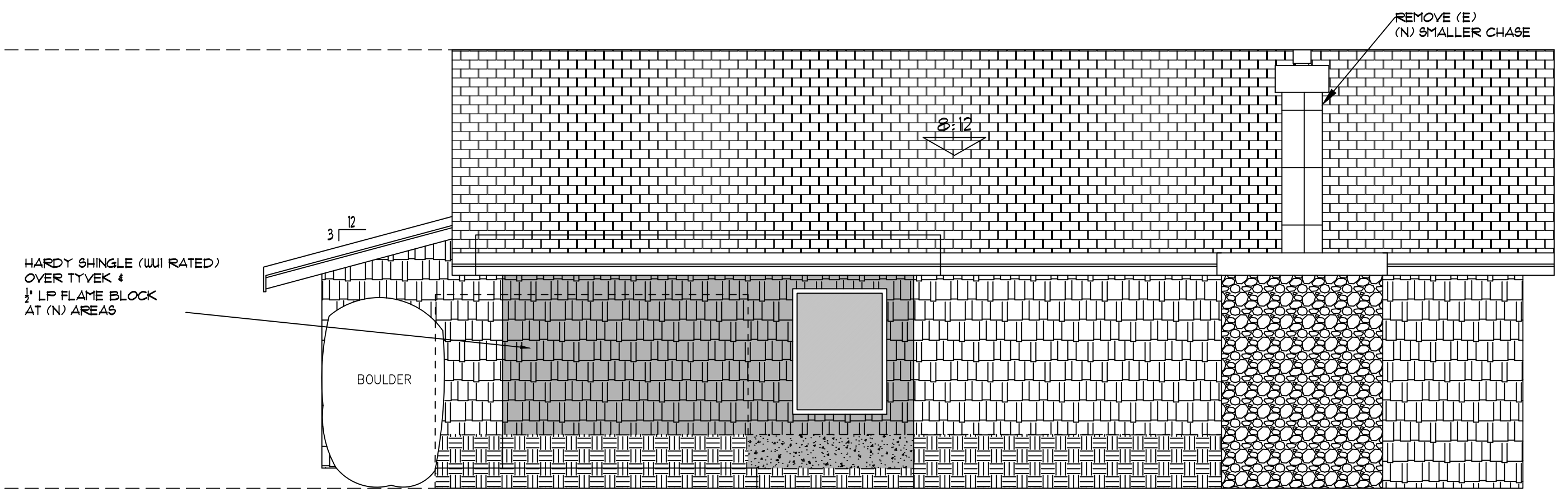


WEST ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION
SCALE: 1/4" = 1'-0"

RIDGE LEVEL = 6310'

1ST LEVEL LEVEL = 6293.8'



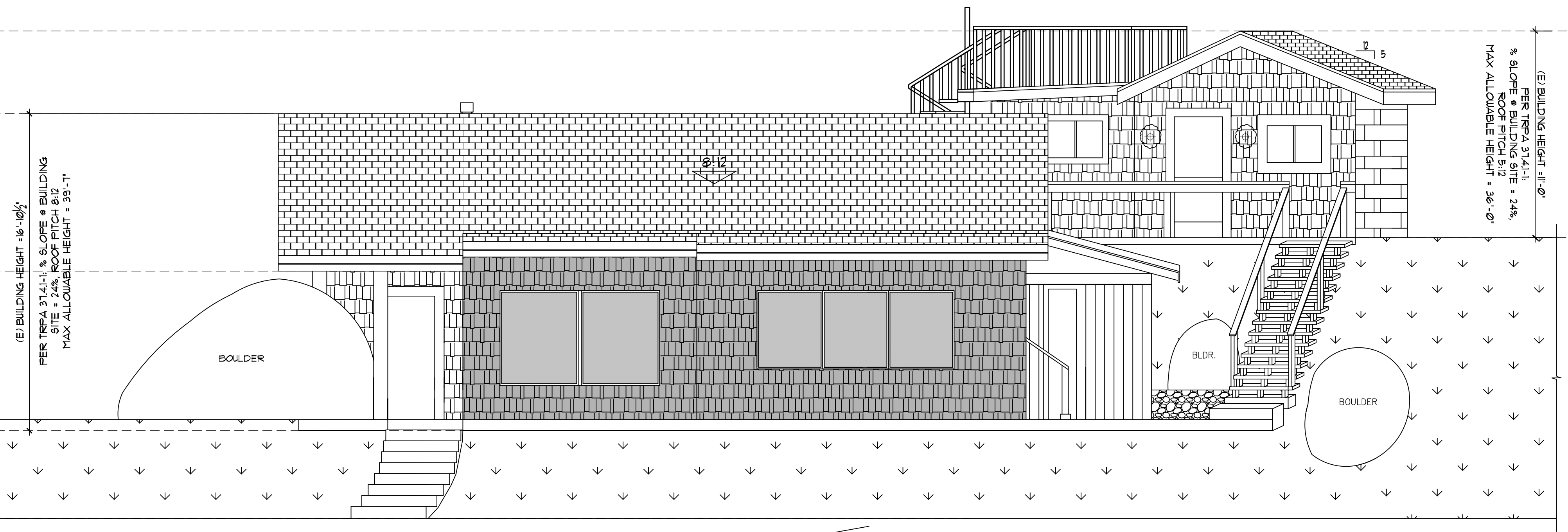
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

RIDGE LEVEL = 6310'

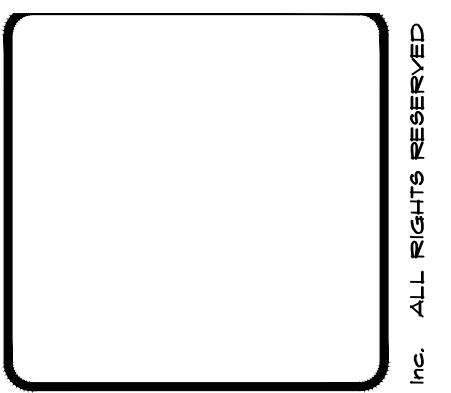
2ND LEVEL LEVEL = 6300.3'

1ST LEVEL LEVEL = 6293.8'

LOW POINT LEVEL = 6293.1'



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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TITLE: ELEVATIONS
CUSTOM RESIDENCE FOR:
HEATH AND AMANDA RUSHING
21 SQUIRES LOOP CRYSTAL BAY, NEVADA 89402
LEGAL DESCRIPTION: LOT 4, 4.5 BLK C, SUBDIVISION NEVADA VISTA
APN: 03-051-04

REVISIONS

▲	VARIANCE 07/06/22

FILE:

DATE: October 21, 2020

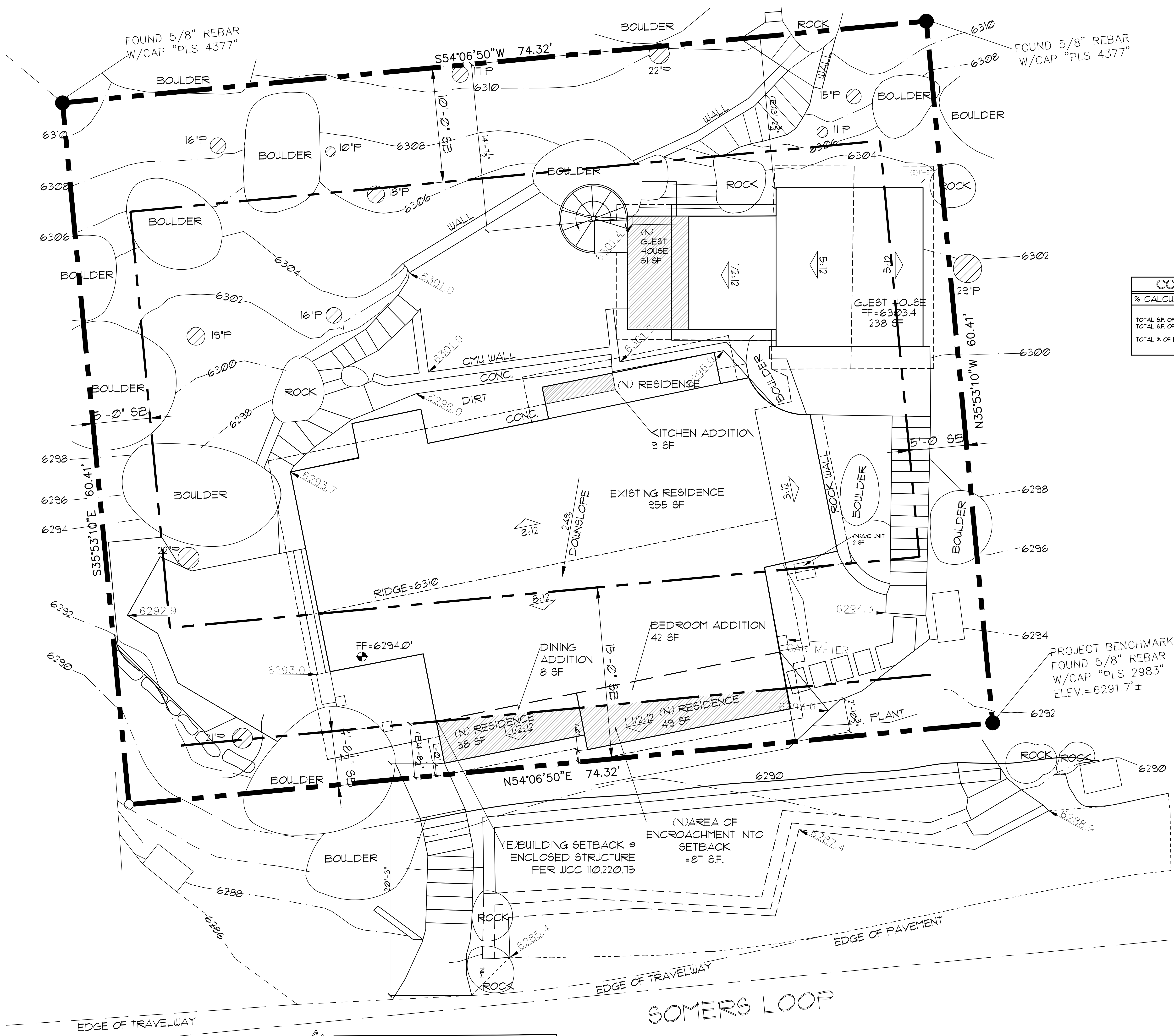
SCALE: 1/4" = 1'-0"

DRAWN: GFA

SHEET:


A2.b
OF 11 SHEETS

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COVERAGE CALCULATIONS	
% CALCULATION PER WCC 110.220.60	
TOTAL SF. OF STRUCTURES	1390 SF.
TOTAL SF. OF ENCROACHMENT INTO SETBACK	81 SF.
TOTAL % OF ENCROACHMENT	6%

SITE PLAN EXHIBIT
SCALE: 1/4" = 1'-0"



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TITLE: SITE PLAN EXHIBIT

CUSTOM RESIDENCE FOR:
HEATH AND AMANDA RUSHING
21 SOMERS LOOP, CRYSTAL BAY, NEVADA 89402
LEGAL DESCRIPTION: LOT 4 & 5 BLK C SUBDIVISION NEVADA 19174
APR 12-2014

REVISIONS

FILE: 21 SOMERS LOOP
DATE: October 21, 2020
SCALE: 1/4" = 1'-0"
DRAWN: GFA
SHEET: C1.b
OF 11 SHEETS

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