

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 863 Jennifer St STR 10+ Application			
Project Description:			
Project Address: 863 Jennifer Street, Incline Village, NV 89451			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
12524107			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Robert Philkill		Name: Robert Philkill	
Address: 190 Nadina Way		Address: 190 Nadina Way	
Kentfield, CA	Zip: 94904	Kentfield, CA	Zip: 94904
Phone: 415-336-1011	Fax:	Phone: 415-336-1011	Fax:
Email: robertphilkill@yahoo.com		Email: robertphilkill@yahoo.com	
Cell: 415-336-1011	Other:	Cell: 415-336-1011	Other:
Contact Person: Susan Philkill		Contact Person: Susan Philkill	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Robert Philkill		Name: Robert Philkill	
Address: 190 Nadina Way		Address: 190 Nadina Way	
Kentfield, CA	Zip: 94904	Kentfield, CA	Zip: 94904
Phone: 415-336-1011	Fax:	Phone: 415-336-1011	Fax:
Email: robertphilkill@yahoo.com		Email: robertphilkill@yahoo.com	
Cell: 415-336-1011	Other:	Cell: 415-336-1011	Other:
Contact Person: Susan Philkill		Contact Person: Susan Philkill	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Short Term Rental
Supplemental Information**

(All required information may be separately attached)

1. What is the square footage of habitable area of the proposed short term rental (exclude the bathrooms, hallways, garage, etc)?

approximately 3,000

2. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?.

4

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

N/A

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

4

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

N/A

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a short term rental on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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CALIFORNIA JURAT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA }

COUNTY OF Marin }

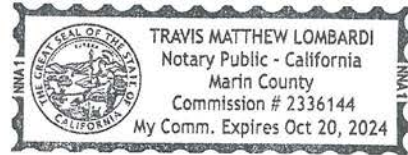
Subscribed and sworn to (or affirmed) before me on this 17 day of June, 2021
Date Month Year

by Robert Philkell

Name of Signers

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature: [Handwritten Signature]
Signature of Notary Public



Seal
Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent attachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Property Owner Affidavit

Document Date: N/A

Number of Pages: 1

Signer(s) Other Than Named Above: N/A

Record WSTRAR22-0010: Short Term Rentals Administrative Review

Record Info ▾

Payments ▾

Custom Component

Work Location

863 JENNIFER ST, INCLINE VILLAGE, NV 89451

Record Details

Project Description:

Katy Stark

Owner:

PHILKILL LIVING TRUST, ROBERT
190 NADINA WAY
KENTFIELD CA 94904

▼ More Details

▣ Related Contacts

▣ Application Information

GENERAL INFORMATION

STR Application Number:

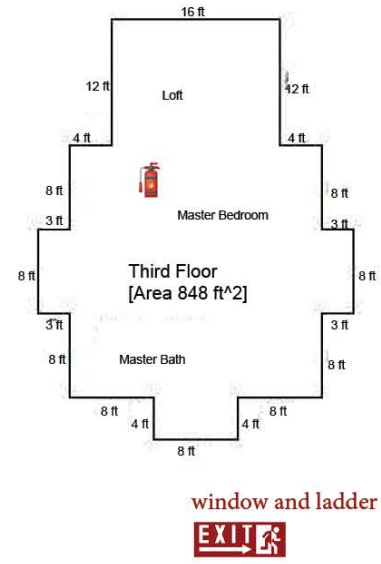
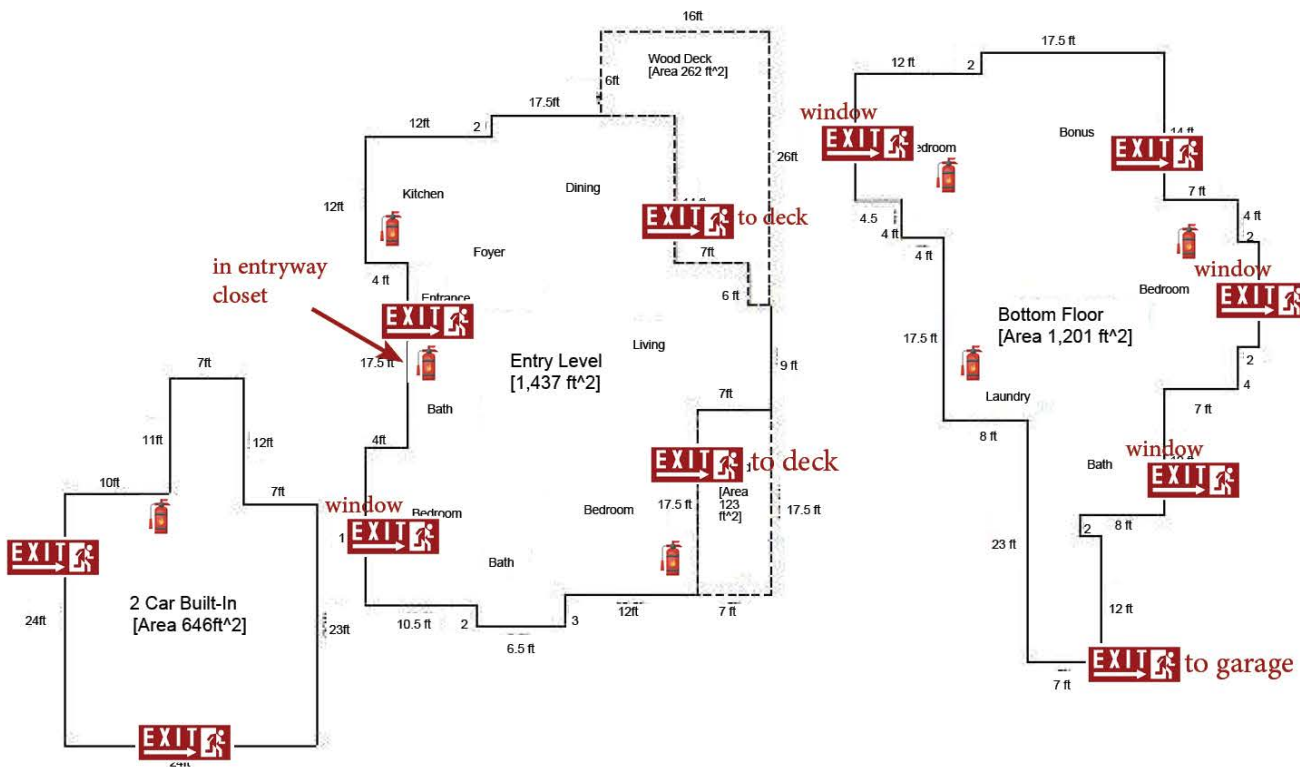
Verified STR Occupancy:

▣ Parcel Information

WSTR21-0141

15





in entryway closet

window

EXIT to deck

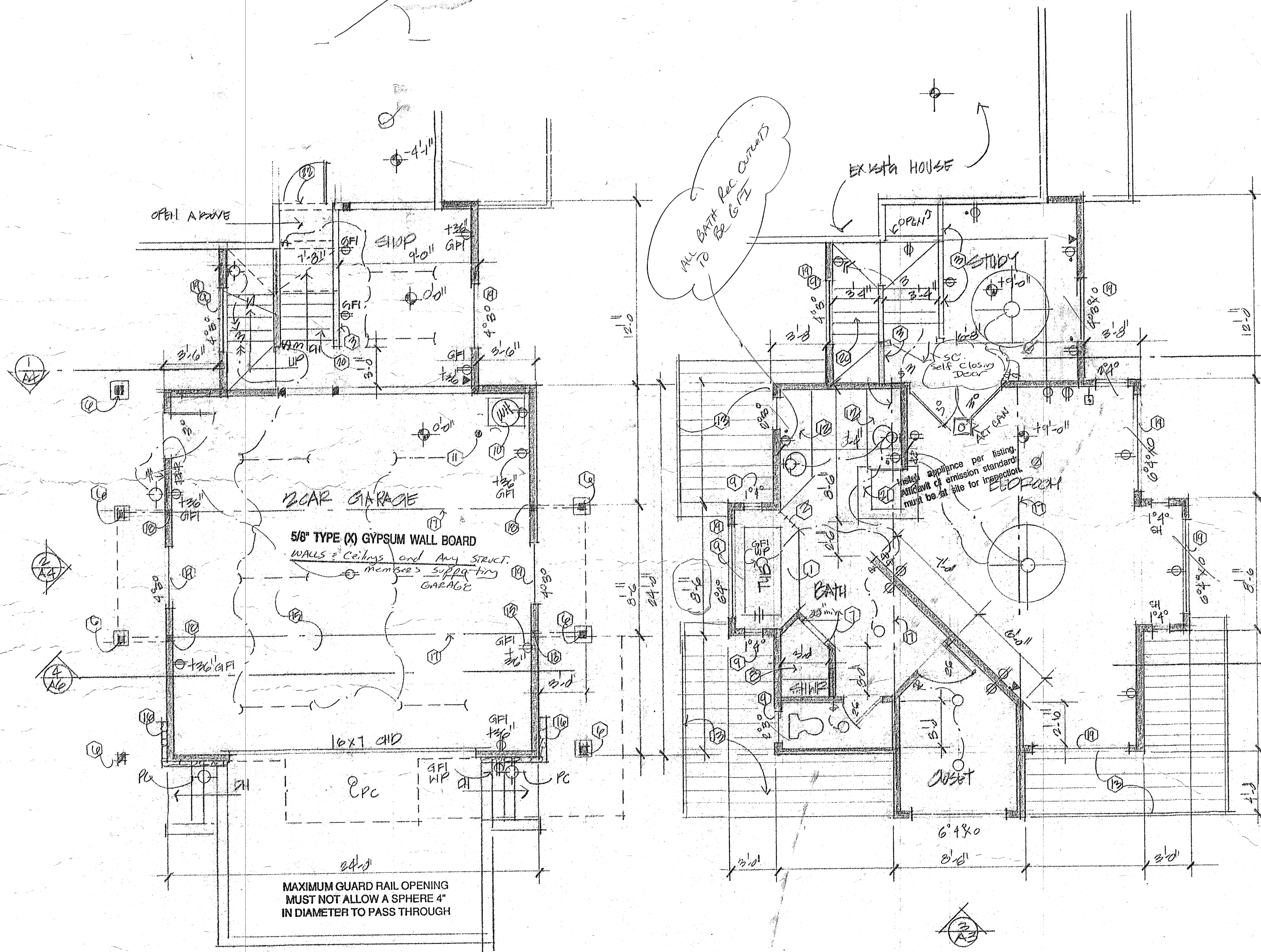
window

window

window and ladder

EXIT to garage

EXIT



① First Floor Plan
 1/4" = 1'-0"
 GARAGE = 576 SF
 SHOP
 STAIRS = 173 SF

② Second Floor Plan
 1/4" = 1'-0"
 BEDROOM — 601 SF
 STUDY
 STAIRS — 173 SF
 TOTAL SF = 1,533 SF.

PLAN REVISIONS
 (IN CONFORMANCE WITH ORIGINAL APPROVAL)
 K. Caspell / B. DE 6/30/03
 EXECUTIVE DIRECTOR / DESIGNER / DATE
 THIS APPROVAL EXPIRES ON 11/30/05
 DATE
 TAHOE REGIONAL PLANNING AGENCY

— ALL BEDROOMS —
 One window shall open
 min. 20" wide, 24" high,
 44" maximum sill height,
 min. 5.7 sq. ft. of
 openable area

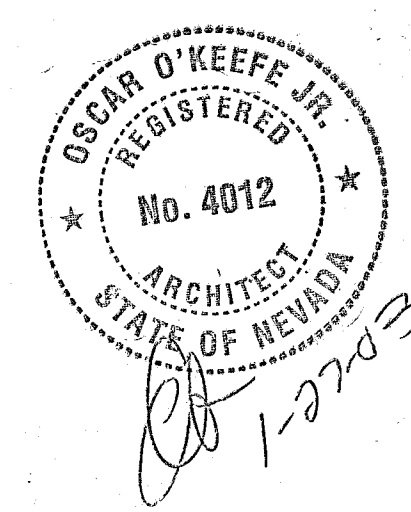
- ① RAISED TUB PLATFORM
- ② JACOZZI ACCESS PANEL @ PLATFORM
- ③ 40" HIGH GUARD RAIL
- ④ HAND RAIL 30" ABOVE STAIR TREAD
- ⑤ PROVIDE REQUIRED RISER / TREAD TO MEET VARIOUS LANDINGS
- ⑥ POST W/ STONE VENEER
- ⑦ TEMPERED GLASS SHOWER DR.
- ⑧ ALL CERAMIC TILE SHOWER @ WALLS / FLOOR / CEILING
- ⑨ TEMPERED GLASS @ WINDOW
- ⑩ RAISED PLATFORM 18" APP
- ⑪ 1/2" PIPE EDWARD 3/8" HIGH APP 3/8" BELOW F.F. SET IN CONC. PIER 24" x 24" x 24"
- ⑫ LAV COUNTER
- ⑬ POF BELOW
- ⑭ ELEC. SUB PANEL LOCATION
- ⑮ ALL ELEC. OUTLETS @ GARAGE TO BE 120" AFF & GFI
- ⑯ STONE VENEER SEE ELEVATIONS
- ⑰ BEAM ABOVE STE STRUCT. DRIVOS
- ⑱ COLUMN @ WALL - SEE STRUCT. DRWG
- ⑲ SLIDING WINDOW W/ SCREEN
- ⑳ 8" HIGH RISERS 10" WIDE TREADS
- ㉑ GAS APPLIANCE W/ DIRECT VENT
- ㉒ REMOVE & RAISE DOOR THRESHOLD FOR NEW 28' x 68' DOOR / FRAME

NOTES
 #1. ALL SHADED WALLS ARE NEW

SEE WARNING SHEET BOTH SIDES

ELECTRICAL LEGEND

- ⊙ • ELEC. OUTLET @ COUNTER TOP HEIGHT
- ⊙ • ELEC. OUTLET PER CODE
- ▲ PHONE OUTLET
- ⊙ TV CABLE
- LIGHT FIXTURE @ CEILING
- ⊙ WALL MOUNTED LIGHT FIXTURE
- ⊙ CEILING FAN W/ LIGHT KIT
- 4' LONG FLUORESCENT LIGHT
- LIGHT ON PHOTO CELL



Revised 6/3/03

OSCAR O'KEEFE ARCHITECT
 876-3543

Addition to Kulla Residence
 Incline Village, Nevada

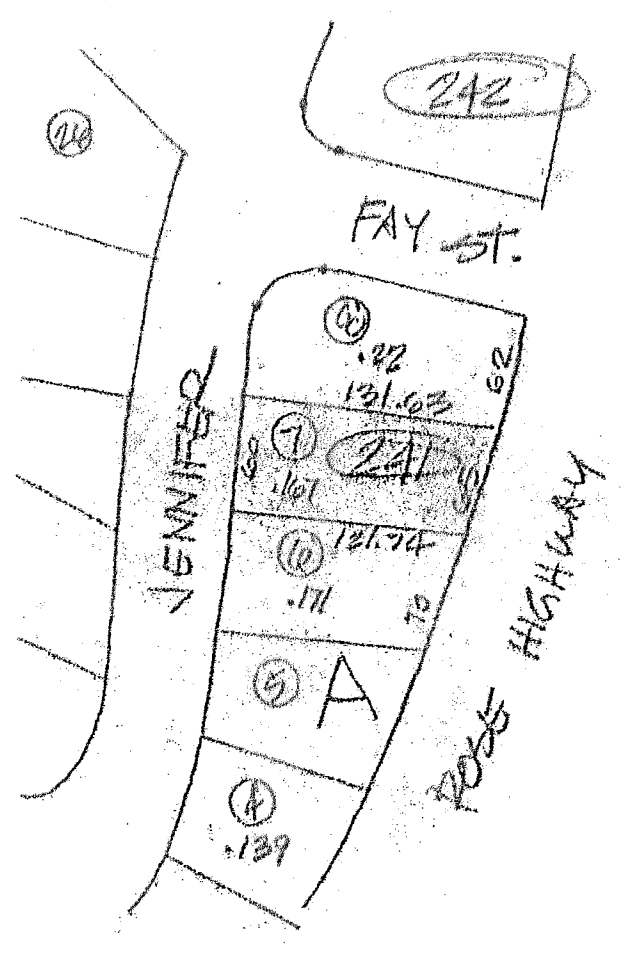
DATE	1/22
SCALE	
JOB NO.	
SHEET	A2

**STRUCTURAL OBSERVATION
REQUIRED BY RANDY
Vogelgesang E.O.R.**

- ① NEW DRIVEWAY AC
- ② DRIP LINE TRENCH
- ③ NEW SIDE WALK
- ④ NEW PLANT SPACE
- ⑤ TEMPORARY EROSION CONTROL
- ⑥ EXIST'G WOOD WALK
- ⑦ SETBACK
- ⑧ UNEXCAVATED
- ⑨ EXIST'G DECK ABOVE
- ⑩ OPEN SPACE
- ⑪ STAIRS
- ⑫ PROPERTY LINE
- ⑬ PARKING BOLLARDS / BARRIER
4' ABOVE GROUND, 2' INTO GROUND,
@ 4" x 4"
- ⑭ EXIST'G OFF SITE

TRPA COVERAGE CALCS

LOT SIZE	7219 SF
LOV 1B (1% ALLOWED)	72 SF
EXISTING COVER	
HOUSE	1507 SF
DECKS 3:1	222 SF
WALKS	234 SF
AC DRIVEWAY	76 SF
APT PARKING	550 SF
TOTAL ON SITE	2239 SF
EXISTING OFF SITE	280 SF
PROPOSED COVER	
HOUSE & DECKS	1507 SF
DECKS 3:1	222 SF
WALKS	200 SF - 369' AS PER OITOLL
GARAGE	768 SF - 576' " " "
AC	302 SF
TOTAL ON SITE	2999 SF + 2976 AS PER OITOLL
PROPOSED OFF SITE	160 SF



VICINITY MAP

WASHOE COUNTY NO LONGER CHECKS
STRUCTURAL CALCULATIONS
It is the Design Professional's sole
responsibility to use sound engineering
principles and to ensure that the plans
accurately reflect the engineering calculations.
The following parameters will be verified:
97 NBC and WCC Title 100
Elevation and snow load,
Seismic zone 3,
Wind exposure
Designs include load for drift and valley loads.

OITOLL

PLAN REVISIONS
(IN CONFORMANCE WITH ORIGINAL APPROVAL)
Mark Kulla / DE 4/2/05
EXECUTIVE DIRECTOR / DESIGNER DATE
THIS APPROVAL EXPIRES ON 11-30-08 DATE
TAHOE REGIONAL PLANNING AGENCY

OWNER
MARK KULLA
200 S. 3RD ST.
LAS VEGAS
NV, 89101
(702) 385-4994

- INDEX OF DRAWINGS
- A-1 SITE PLAN
 - A-2 FLOOR PLAN
 - A-3 ELEVATIONS
 - A-4 SECTION

MAP 12B-241-07
LOT 2 BLK A, IV #1
863 JENNIFER ST.

**SEE WARNING
SHEET
BOTH SIDES**

FIRE HOTS

UPPER EXIST'G FLOOR	1,600 SF
LOWER EXIST'G FLOOR	1,116 SF
TOTAL	2,716 SF



Community Development Date 7/25/05
County Fire Dept. Date 4/2/05
County Engineering Date 5-5-05
County Health Dept. Date
County Bldg. Dept. Date

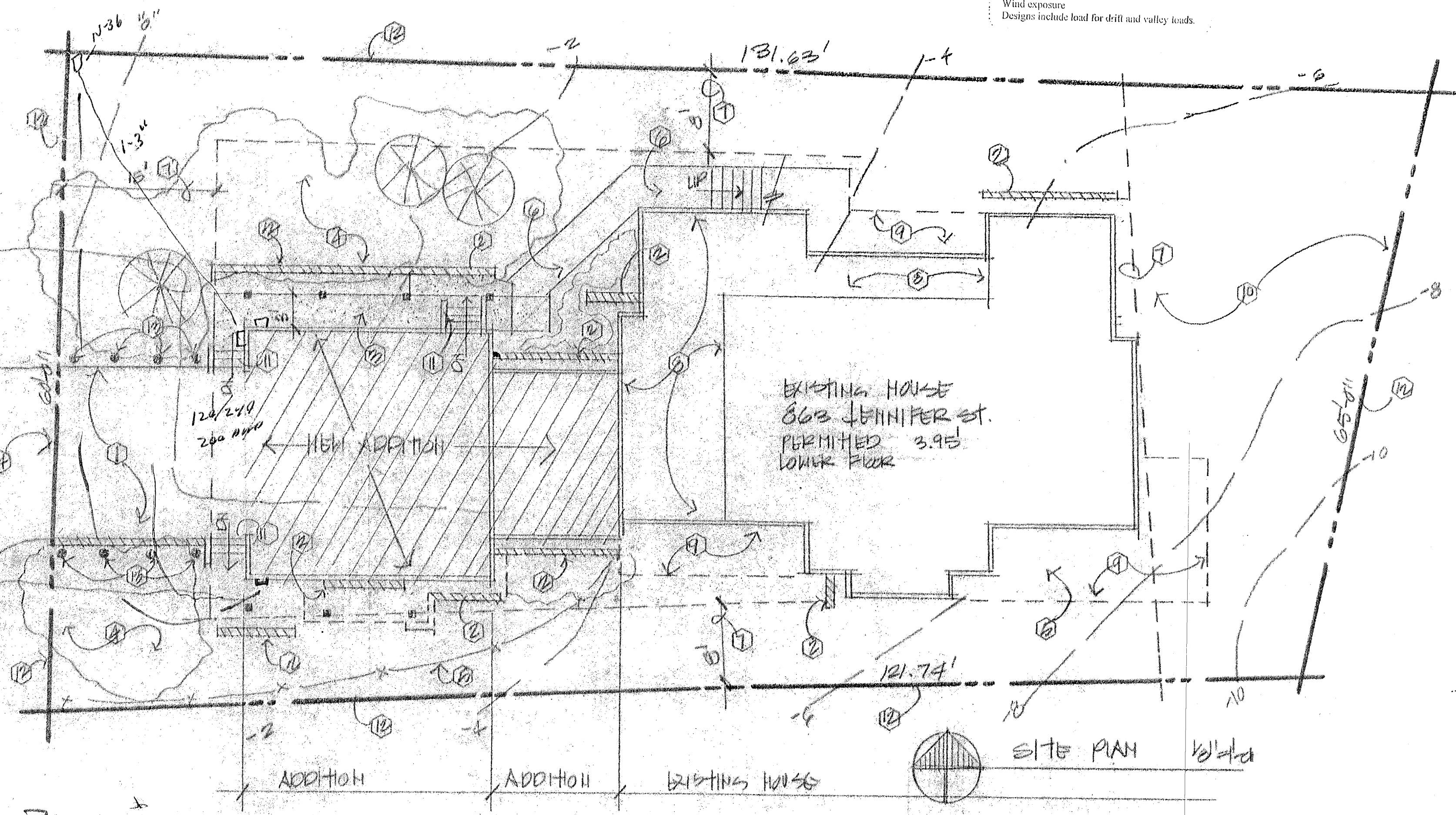


JOB COPY

EXIST'G 2239 SF
PROPOSED 2976 SF
NET 203 SF
REMAIN'G 180 SF
CASE PERMIT 'E'

Work Under This Permit:
This is a plan revision to the existing permit #96-1850
Changes include 200 sq ft addition between garage and
existing home and framing changes. TRPA plan revision
required for minor changes to coverages.

Revised 6/2/05



- #1 A 2" INCH LAYER OF GRAVEL (PER 3/4" DRAIN ROCK) BENEATH ALL PAVED DECKS.
- #2 A NOTE INDICATING "ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT."

REVISIONS
DATE 12-23-04 BY [Signature]
APPROVED FOR CONSTRUCTION
DATE 12-22-04 BY [Signature]
SIERRA PACIFIC POWER COMPANY
APPROVAL FOR 60 DAYS FROM ABOVE DATE

OSCAR O'KEEFE ARCHITECT
876-3543

Addition to Kulla Residence
Incline Village, Nevada

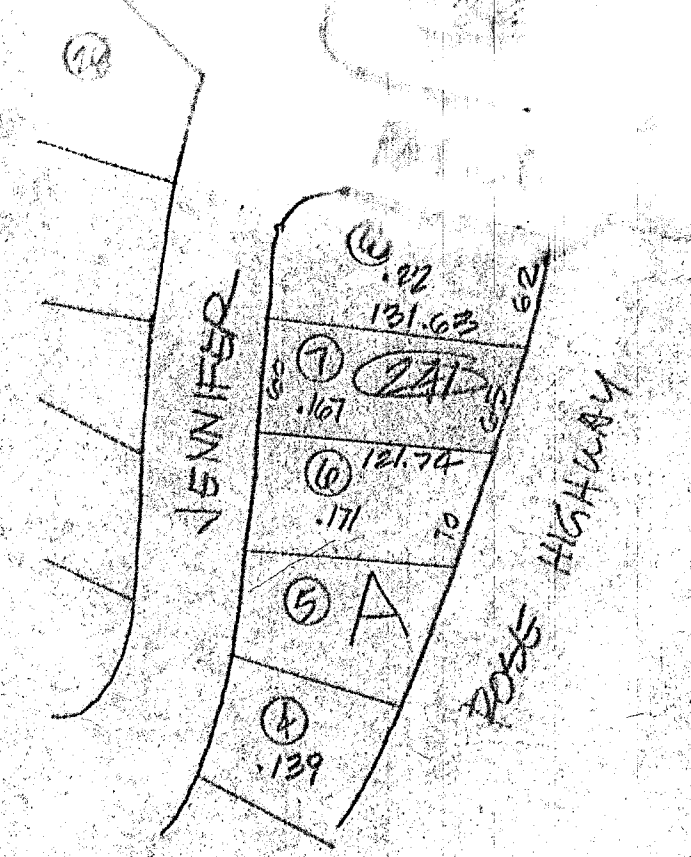
REVISIONS

NO.	DATE	DESCRIPTION
1	12-23-04	...
2	12-22-04	...
3		...
4		...
5		...

AI

**STRUCTURAL OBSERVATION
REQUIRED BY RANDY
Vogelgesang E.O.R.**

- 1 NEW DRIVE WAY
- 2 RAMP LINE TRENCH
- 3 NEW SIDE WALK
- 4 NEW PLANT SPACE
- 5 TEMPORARY PROVISION
- 6 EXIST'G WOOD WALK
- 7 SETBACK
- 8 UNEXCAVATED
- 9 EXIST'G DECK ABOVE
- 10 OPEN SPACE
- 11 STAIRS
- 12 PROPERTY LINE
- 13 PARKING BOLLARDS / BARRIER
- 14 ABOVE GROUND, 2 INTO GROUND @ 4:1 @ 12" OC
- 15 EXIST'G OFF SITE



VICINITY MAP

EXIST'G OFF SITE	1501 SF
EXIST'G OFF SITE	592 SF
EXIST'G OFF SITE	784 SF
EXIST'G OFF SITE	706 SF
EXIST'G OFF SITE	650 SF
TOTAL ON SITE EXISTING OFF SITE	3239 SF
PROPOSED COVER HOUSE & DECKS 3:1	1501 SF
WALKS	202 SF
GARAGE	706 SF
AC	302 SF
TOTAL ON SITE PROPOSED OFF SITE	2976 SF

WASHOE COUNTY NO LONGER CHECKS STRUCTURAL CALCULATIONS. It is the Design Professional's sole responsibility to use sound engineering principles and to ensure that the plans accurately reflect the engineering calculations. The following parameters will be verified: 97 UDC and WCC Title 100 Elevation and snow load, Seismic zone 3, Wind exposure. Designs include load for drift and valley loads.

PLAN REVISIONS
(IN CONFORMANCE WITH ORIGINAL APPROVAL)
DATE 6/2/03
EXECUTIVE DIRECTOR / DESIGNER
THIS APPROVAL EXPIRES ON 11-30-08
DATE
TAHOE REGIONAL PLANNING AGENCY

OWNER
MARK KULLA
626 S. BROOK ST.
LAS VEGAS
NV 89101
(702) 385-4994

- INDEX OF DRAWINGS
- A-1 SITE PLAN
 - A-2 FLOOR PLAN
 - A-3 ELEVATIONS
 - A-4 SECTION

MAP 125-241-07
Lot 2, Blk A, IV #1
863 JENNIFER ST.

SEE WARNING SHEET BOTH SIDES

FIRE HOLES

UPPER EXIST'G FLOOR	1,600 SF
LOWER EXIST'G FLOOR	1,116 SF
TOTAL	2,716 SF

WASHOE COUNTY APPROVED BLDG. DEPT.

Community Development Date 7/15/03
County Fire Dept. Date 7/23/03
County Engineering Date 8/5/03
County Health Dept. Date
County Bldg. Dept. Date

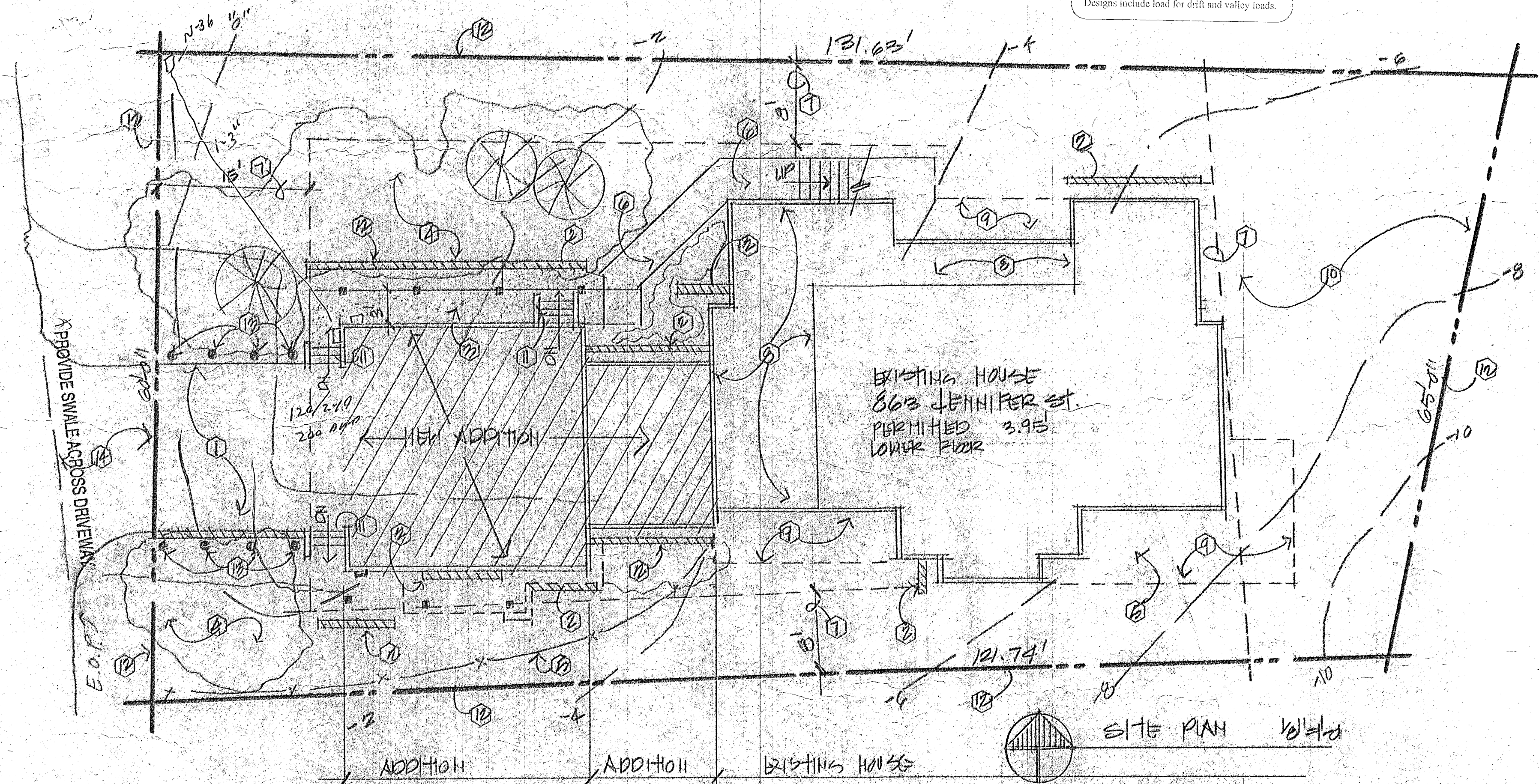
OSCAR O'KEEFE JR.
REGISTERED ARCHITECT
No. 4012
STATE OF NEVADA

JOB COPY

EXIST'G 3039 SF
PROPOSED 2976 SF
NET 263 SF
- 75
PERMIT 188 SF
SEE PERMIT 1E

Work Under This Permit
This is a plan revision to the existing permit #96-1650. Changes include 200 sq ft addition between garage and existing home and framing changes. TRPA plan revision required for minor changes to coverages.

Revised 6/2/03



- #1 A 12" HIGH LAYER OF GRAVEL (PER. OR 3/4" DRAIN ROCK) BENEATH ALL PROPOSED DECKS.
- #2 A NOTE INDICATING "ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT."

* ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.

Revised 12-23-01
APPROVED FOR CONSTRUCTION
DATE 12-2-02 BY
SIERRA PACIFIC POWER COMPANY
APPROVAL FOR 90 DAYS FROM ACCTG DATE

OSCAR O'KEEFE ARCHITECT

Addition to Kulla Residence
Incline Village, Nevada

CHECKED	DATE
SCALE	JOB NO.
SHEET	