

November 4, 2022

Julee Olander, Planner Washoe County – Planning and Building Division 1001 East Ninth Street Reno, NV 89512

Julee,

Please find the attached Amendment of Conditions Application. Within this application I have included the following: (i) check #8000065 in the amount of \$1,341.60; (ii) Amendment of Conditions Application; (iii) Vicinity Map; (iv) Site Map; and (v) Setback Display of the existing and proposed side yard setbacks being asked to be considered for amendment.

The current side yard setbacks call for 13' between dwellings, in keeping with the same concept, we are proposing an 8' minimum and a 5' minimum side yard (13' total between dwellings) to allow for better flexibility with the house placement, eliminating the nuances of shared property lines and to assist with addressing the existing terrain as related to lot grading and drainage. Please see the Setback Display exhibit for clarification on the side yard setbacks.

If you have any questions or concerns, please feel free to contact me directly at 209-595-1703 or via email at ipronoitis@florsheimhomes.com. Also, feel free to contact Patricia Lynch, Esq of Robertson, Johnson, Miller and Williamson, a local representative of Reno Sun, LLC, at 775-329-5600 or patricia@nvlawyers.com.

Thank you,

John Pronoitis

Forward Planning Manager

Reno Sun, LLC / Florsheim Homes

cc Patricia Lynch, Esq. Robertson, Johnson, Miller and Williamson

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information S		taff Assigned Case No.:			
Project Name: LADERA RANCH (PHASE 2 AND 3)					
Project WTM20-001 AMEND SETBACK CONDITION (BUILDING 1W) WITHIN PHASE 2 AND 3 OF Description: TENTATIVE MAP PER PROPOSED SETBACK EXHIBIT AS PROVIDED IN THIS APPLICATION					
Project Address: 0 QUAIL RIDGE COURT WASHOE COUNTY, NV 89433					
Project Area (acres or square feet): 43.8 ACRES					
Project Location (with point of reference to major cross streets AND area locator):					
SOUTH OF EAST GOLDEN ROAD AND EXTENTION OF DREAM CATCHER DRIVE					
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:		
502-700-08	43.8				
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WTM20-001					
Applicant Information (attach additional sheets if necessary)					
Property Owner:		Professional Consultant:			
Name: RENO SUN, LLC		Name: SUMMIT ENGINEERING CORPORATION			
Address: 1701 W MARCH LANE, STE D		Address: 5405 MAE ANNE AVENUE			
STOCKTON, CA	Zip: 95207	RENO, NV	Zip: 89523		
Phone: 209-473-1106	Fax:	Phone: 775-787-4331 Fax:			
Email: JPRONOITIS@FLORSHEIMHOMES.COM		Email: ROBERT@SUMMITNV.COM			
Cell: 209-595-1703	Other:	Cell:	Other:		
Contact Person: JOHN PRONOITIS		Contact Person: ROBERT GELU, PE			
Applicant/Developer:		Other Persons to be Contacted:			
Name: SAME AS PROPERTY C	WNER	Name: ROBERTSON, JOHNSON, MILLER AND WILLIAMSON			
Address:		Address: 50 WEST LIBERTY STREET, SUITE 600			
Zip:		RENO, NV	Zip: 89501		
Phone: Fax:		Phone: 775-329-5600 Fax:			
Email:		Email: PATRICIA@NVLAWYERS.COM			
Cell: Other:		Cell: Other:			
Contact Person:		Contact Person: PATRICIA LYNCH			
For Office Use Only					
Date Received: Initial:		Planning Area:			
County Commission District:		Master Plan Designation(s):			
CAB(s):		Regulatory Zoning(s):			

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

- 1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the *existing* and *proposed* condition(s).

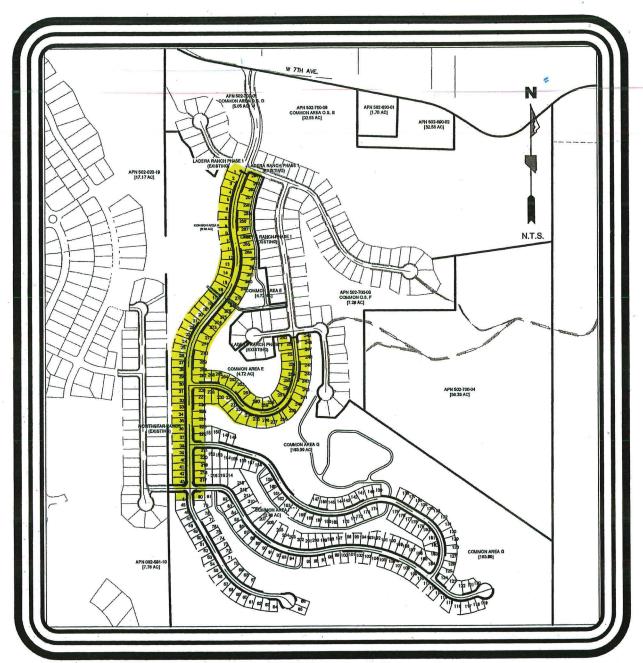
Existing Condition (Building 1w): Building setbacks for this subdivision shall be as follows: Front - 10 feet, Garage - 20 feet, Rear - 10 feet, Side - 13 feet and 0 feet.

Proposed Condition: Building setbacks for Phases 2 and 3 of this subdivision shall be as follows: Front - 10 feet, Garage - 20 feet, Rear - 10 feet, Side - 8 feet min. and 5 feet min., with 13 feet min. between dwellings.

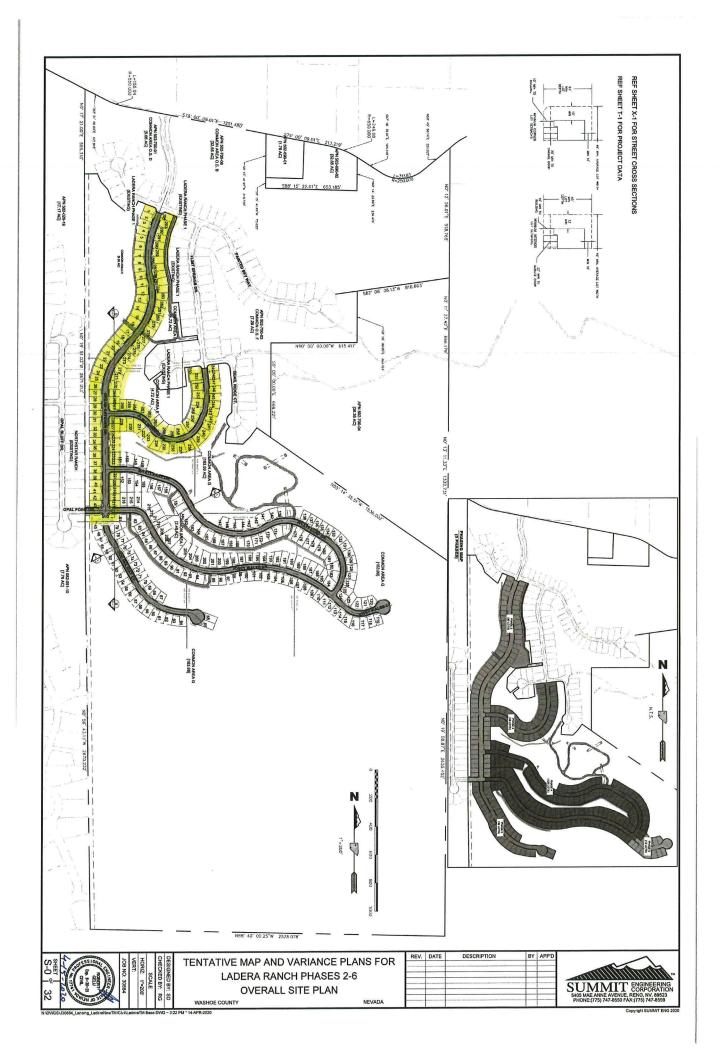
2.	Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.				
	None				



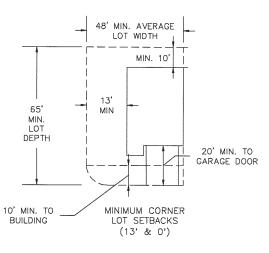
VICINITY MAP



SITE PLAN

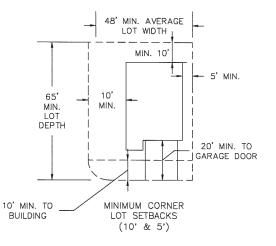


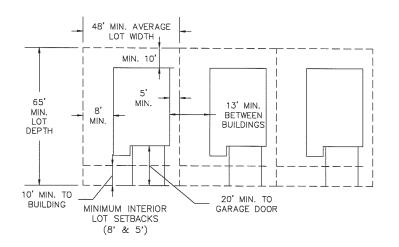
13' & 0' MIN. SETBACK APPROVED WITH TENTATIVE MAP



48' MIN. AVERAGE LOT WIDTH MIN. 10' 65' 13' MIN. MIN. LOT DEPTH 10' MIN. TO 20' MIN. TO BUILDING MINIMUM INTERIOR GARAGE DOOR LOT SETBACKS (13' & 0')

8' & 5' MIN. SETBACK PROPOSED WITH NEW DEVELOPMENT





SUMMIT ENGINEERING CORPORATION MOS MAE ANNIE AVENUE, RENO, NV. 80623 PHONE: (776) 747-8559 PAX: (776) 747-8559	

N:\DWGS\J30884_Lansing_LaderaNewTM\Civil\LaderaTM-Base.DWG ~ 1:47 PM * 11-OCT-2022				
Copyright SUMMIT ENG 2022	DRAWN BY:	kbowman		
JOB #: 31173	CHECKED BY:	RG		
SCALE: 1"=30"	DESIGNED BY:	KB		

LADERA PHASES 2 & 3 SETBACK DISPLAY SHEET

1

OF

1