

Office of the Washoe County District Attorney

Memorandum

To: Board of Review Members;
Cc: Jeanette Gross; Don Jeppson

From: Greg Salter, Deputy District Attorney

Re: Board of Review proceedings on October 8, 2012.

Date: October 5, 2012

Dear Board of Review Members:

Thank you for agreeing to be on the Washoe County Board of Review. We will be meeting on Monday, October 8, 2012, with Jeanette Gross to review some decisions made by County Building Official Don Jeppson regarding the location of a detached garage being built on her neighbor's (Mr. Gyford) property.

I am the Deputy District Attorney who will be providing advice and assistance to you on October 8, in accordance with Rule 2.c of the Board of Review Rules. I do not represent Mr. Jeppson or any member of the Washoe County staff. I am there only to advise you.

Today you will be getting several pages of rules and evidence for you to look over if you choose. On Monday we will go through the step by step procedures and review the evidence as it is needed. Throughout these proceedings, I suggest that we all keep focused on the Board's mission and limitations as set out in Washoe County Code [WCC] enacted by the Washoe County Board of County Commissioners.

This Board is being convened under WCC 100.112.1 to "consider an order, decision, or determination made by"... Mr. Don Jeppson (Building Official of Washoe County) ... "for the purpose of correcting an error, omission or oversight." Toward that end, Ms. Gross will identify orders, decisions, or determinations for you to consider, and under WCC 100.112.2 your task will be to "simply re-examine the decisions of the building official to determine whether such decisions are supported by substantial evidence, are reasonable, are not arbitrary, and are within the intent and purpose of the code." The term "substantial evidence" means (as set out in the Rule 8.c) evidence which a reasonable mind might accept as adequate to support a conclusion. So if you look at the materials that Mr. Jeppson had when he made the challenged decision or determination and you conclude that a reasonable mind might draw the same conclusion from it, then the substantial evidence rule has been met. Then you can go on to determine whether the decision is reasonable, not arbitrary, and within the intent of the building code. Then you can decide which course of action to take as set out in Rule 8.d

The Board of Review is subject to the Nevada Open Meeting law, and the hearing will be public. It will be informal. We will all sit around a large table and there will be no lawyers examining or cross examining witnesses or haggling over evidence and motions. Ms. Gross (and/or her representative) and Mr. Jeppson will be permitted to say whatever they want, and you can ask questions as they go along and look at documents in the evidence packet or as may be introduced at the hearing.

The first decision to be evaluated by the Board has to do with the approval of a building permit for the detached garage structure that included a “stem wall” which Ms. Gross objects to. See the first couple of pages of the request packet submitted by Ms. Gross which has already been sent to you and which will be Exhibit 1 in the evidence packet. To review that decision, we will ask Mr. Jeppson to explain the decision, then ask Ms. Gross why she feels it is erroneous, and you can look at the site plan and building specifications and consider Mr. Jeppson’s decision approving the building permit. The stem wall structure was built but most of it has subsequently been removed by the property owner and is no longer there.

Ms. Gross also wishes you to review some additional decisions, orders, and determinations as discussed in a new email dated October 1, which will be Exhibit 2 in your evidence packet. We will ask Ms. Gross to take the lead in going through the list of her concerns and identify which orders, decisions or determinations are to be reviewed, and then you can determine whether those decisions are supported by substantial evidence, are reasonable, are not arbitrary, and are within the intent and purpose of the code, or are in need of correction.

The County is drawing on your expertise and experience to review decisions and correct those which are erroneous from a professional or technical standpoint. The County is not asking you and you are not authorized to determine if there has been any misconduct or professional incompetence or the like on the part of any person or whether or not there should be any punishment, compensation or damages. That can only be done by the supervisors of Mr. Jeppson, the Board of County Commissioners, or a court of law.

I look forward to meeting and working with you all on Monday and hope for a productive review.

Exhibit 1

Appeal Packet



From: jeanette gross <jagrenonv@juno.com>

To: jagrenonv@juno.com

Sent: Mon, Sep 17, 2012 11:53 AM

Subject: APPEAL FOR THE BOARD OF REVIEW

APPEAL FOR THE BOARD OF REVIEW

SEPTEMBER 17, 2012

WASHOE COUNTY
DEPARTMENT OF BUILDING AND SAFETY
1001 EAST NINTH STREET
RENO, NV 89512

I AM SUBMITTING MY APPEAL TODAY, AND INCLUDING A PERSONAL CHECK FOR \$250.00 FILING FEE.

JEANETTE A. GROSS
14180 RANCHEROS DRIVE, WTCY
RENO, NV 89521
PH# 775-852-0133
E-MAIL jagrenonv@jcom

VIRGINIA FOOTHILLS UNIT 2

(RANCHEROS DRIVE LOCATED OFF OF RIM
ROCK DRIVE IN THE VIRGINIA FOOTHILLS AREA)

APN 016-473-08

THE BUILDING PERMIT AT ISSUE
12-0944

14190 RANCHEROS DRIVE , WTCY



JEANETTE A GROSS 09/17/2012

The logo for JUNO Message Center, featuring the word "JUNO" in a bold, blue, sans-serif font, followed by "Message Center" in a smaller, black, sans-serif font. A blue square icon is positioned to the left of the word "JUNO".

From: jeanette gross <jagrenonv@juno.com>

To: jagrenonv@juno.com

Sent: Mon, Sep 17, 2012 11:10 AM

Subject: ERRORS / OMISSIONS / OVERSIGHTS

ERRORS / OMISSIONS OVERSIGHTS

One of the things that I would like to change out of this very bad situation is Mr Jeppson's decision (stated in his e-mail dated August 24,2012) that the former garage stem wall, approximately 24" high will remain as an exterior wall along the North side of the garage as allowed by County Code. What he failed to state is that this wall is connected to the back East retaining wall of the garage which is also 24' high. My main concern is erosion, rain runoff and snow from the East slope of the garage roof to the ground. With the current slope of both properties, the water will now be diverted even closer and over my property area. My property is slightly lower than Mr Gyford's and dips down lower than his. I have enclosed a picture, showing the dip just West of that large bolder, where the concrete base for the fence had to be raised to hold back the ground on their side. In the past I have had problems with rain and snow runoff from that same property, which collected in my lower area. In the past previous owners had to correct the same problem.

I would like to see that wall removed, because it was (and still is) the original violation and the erosion issues stated above. They measured incorrectly, and tried to cut costs by not having a professional survey. A survey was later requested by the County, but was never completed, because the neighbor decided to move the wall further from the property line. I think the first survey pin (started by Mr Gyford's survey) which is located on the front road between the properties, showed them how far they were off with their measurements..

I have also included pictures, e-mails, and permits.



My main concern is erosion, rain runoff from the East slope of the garage roof to the ground. With the current slope of both properties, the water will now be diverted even closer to my property area. My property is slightly lower than Mr Gyford's and dips down lower than his just to the right of the large bolder. This picture shows the concrete base of the fence is deeper to hold their ground in place. In the past I had a problems with rain runoff's from that same property, which collected in that lower area, but those people corrected that runoff.

The logo for JUNO Message Center, featuring the word "JUNO" in a bold, blue, sans-serif font, followed by "Message Center" in a smaller, black, sans-serif font.

From: jeanette gross <jagrenonv@juno.com>

To: jagrenonv@juno.com

Sent: Mon, Sep 17, 2012 11:36 AM

Subject: HISTORY OR BACKGROUND BEHIND THE APPEAL----1

THIS IS A COPY OF THE E-MAIL I SENT TO THE COUNTY MANAGER, KATY SIMON.

Subject: Fw: COMPLAINT AGAINST BUILDING AND SAFETY DEPARTMENTS / MAINLY INVOLVING DON JEPPSON

Date: Wed, 18 Jul 2012 14:42:55 GMT

To The County Manager, Katy Simon,

I am sending this e-mail to you because I do not see on your current e-mail list, an entry for a Dave Childs, Assistant County Manager who should be over the Building and Safety department. I would like to file a complaint against the Building Official, Don Jeppson in the Washoe County Department Of Building and Safety. I am accusing him of misusing his position of authority and making unjust decisions. In the past few weeks, I have requested him to remeasure a contractors setback measurement of a concrete base for a garage, and requested a stop work order be placed. Don never came out to remeasure, and was slow to issue the stop work order, (I called the Code Violation Hot-line, Bob Webb, he got results), but later Don was quick to remove the work order again without the problem being resolved. Don took the word of a contractor,(whatever they talked about), and ignored my complaint. Don had approved some of the work on this garage, no survey was done and now both Don and the contractor seems to be covering up each others mistakes. At least the contractor admitted to me that he may be off in his measurement, but now both are back pedaling, saying there is no problem with the setback, and trying to finish the project ASAP. Now that I started to question their work and I hired an attorney, Don is pointing the guilty finger in my direction. Their playing some sort of game here, or are the boys playing the GOOD OLD BOY routine? Don called and informed me that my fence is illegal, can't find a permit for it, he even called Tholl fencing to check it out. The contractor is doing a survey with some poles and string, and claimed to have found my survey stakes(in the ground since 1989), the neighbor kids, at one time had pulled out the back easement marker. The mother had them put it back, and informed me, but I never thought I would need that marker again. The front marker has also been moved over the years by new water meters and a recent leak in a pipe in that same area. The permit number for the neighbor's new garage is 12-0944. When my fence was put installed in 1989, I had the land surveyed by a licensed land surveyor, had two companies work together, putting a concrete base under the fence. The base is twelve inches wide with the fence going down the center of the concrete. I had the concrete base placed three inches inside the property line. I had talked to the neighbors before it was installed, informing them that if they did not like the chain link fence, that it would be completely on my property and they were welcome to build on the property line what ever they wanted. I figured that they wouldn't like the fence view, because I had all the poles face outward, because I just wanted to see just the fence. Well, the contractor showed up at my attorneys office with a picture of where the survey pins are and he claims all lots are 110 feet across the back, (which we already knew) and my is 110 feet 3.2 inches and the neighbors is 109 feet 7.5 inches. Amazing, how accurate a survey can be with a couple of poles and string. Now, do I have to defend myself by having another professional land survey? The contractor informed my attorney that the fence was right on top of the property line. Are we to be held at the mercy of Don and this contractor? Please look into this, and stop this circus. My name is Jeanette A. Gross, address 14180 Ranchers Drive. Phone number 852-0133. You may also contact me by e-mail at jagrenonv@juno.com Thank you for your time.

 **JUNO** Message Center

From: jeanette gross <jagrenonv@juno.com>

To: jagrenonv@juno.com

Sent: Mon, Sep 17, 2012 09:38 AM

Subject: SPECIFIC ISSUES TO BE REVIEWED

SPECIFIC ISSUES TO BE REVIEWED BY THE BOARD OF REVIEW

I am requesting a review of Don Jeppson's interpretations of polices and procedures that he followed in processing Permit number 12-0944. I'm questioning if he was in compliance with the intent and purpose of the code and related provisions in the Washoe County Code (WCC).

HERE ARE THE ISSUES:

Did he check or verify that the permit had the correct owners name. (previous home owner's name was listed)

Did he verify or assume where the property line was located.

Did he verify or assume that the side setback of (5') requirement was met. (distance from my property line is 4" 1 1/2" at rear NE corner)

06/11/2012, Permit 12-0944, comments column states: He ok'ed vertical stabbed. Did he not take notice that this yard had three different fences?

One neighbor to the North had a green chain link fence on three sides of that lot. The other neighbor to the South had a wood fence on three sides of that lot.

And the lot where the garage was being built had one tan chain link section in the back of that lot.

06/19/2012, Permit 12-0944, comments column states: Setback letter from Kelly Wilcox is questionable. Then Brodie Lewis, in the contractor's comment: "we have received them b/4"---that in itself should of raised a red flag.

06/25/2012, First call by Ms Gross, to Don Jeppson, please issue a Stop Work Order, because contractor, Brodie Lewis has measured incorrectly the setback distance. I asked Mr. Jeppson to come out and remeasure that day, he stated that Mr Lewis had also dropped by to inform him. (informed him about what?)

Mr Jeppson never did come out that day, The Stop Work Order was not issued as requested.

06/26/2012 Tuesday-- 06/29/2012 Friday, Men still working on garage, what happened to the Stop Work Order?

07/02/2012 Monday, --07/04/2012 Wednesday, Men still working, even on the holiday, (worked half a day), still no Stop Work Order. Nothing resolved between myself or Mr Lewis.

07/05/2012 Thursday, Called Mr Jeppson, asked about the Stop Work Order. Mr Jeppson responded, no need to put it (work order) in, Mr Lewis took care of the problem. Mr Lewis talked to the Department Of Community Development. I then called the Code Enforcement Hotline and talked to Mr Bob Webb. Mr Webb would check it out and get back to me.

07/06/2012 Friday, Stop Work Order now in place, thanks to Mr Webb. Mr Webb sent me an e-mail and a copy of the order. (Side yard setback per section 110.306.10 (b)) It stated all work must cease immediately. Mr Jeppson backdated the order to 07/05/2012. Workmen continued working on the garage.

07/09/2012 Monday, Workmen showed up, and are working. Called Mr. Jeppson, he stated that he mailed the Stop Work Order, contractor probably had not picked up the letter as yet. Work stopped around noon.

07/12/2012 Thursday, Mr Jeppson called my attorney, Ms Carol Pope, to state we have a one day notice, he is removing the Stop Work Order, because my fence is illegal? The setback violation had not been resolved at this time. Mr Jeppson had been checking County Records and even called Tholl Fencing company, looking for a permit for my fence. So by Monday, 07/16/2012 work continued on the garage.

07/18/2012 Wednesday, Stop Work Order put back in place by Charlene Parish, Service Manager of Permit Services. She was checking to see if the problem between Mr Lewis and myself been resolved. I stated no, and she put in the Stop Work Order and notified Mr Lewis. (Mr Jeppson was on vacation)

1e

Article 114--STOP WORK ORDER (in the Washoe County Code) 100.114.3 UNLAWFUL CONTINUANCE-- Why was construction allowed to continue when the original setback violation had not been resolved?

At that time I was also asking Mr Jeppson to recheck the side setback measurements, the slope they graded, and the height of that three car garage. It did not seem to fit into the guide lines for the SOUTHEAST TRUCKEE MEADOWS AREA (Article 212). He stated that it was only for the Hidden Valley subdivision. According to the map I found on-line, the Virginia Foothills is included in the Hidden Valley Community area. Perhaps that is why Mr. Lewis had been checking with the Department Of Community Development.

08/10/2012, Friday, E-mail from Mr ~~Repsin~~^{JEPPSON} stated that Mr Gyford, the owner, is moving the garage wall six feet back from current wall position, the Stop Work Order will be lifted.

08/24/2012 Friday, E-mail from Mr Jeppson states that the former stem wall, approximately 24" high will remain as exterior retaining wall along the North side of the garage as allowed by county code. I strongly feel that the placement of that stem wall on the North side is a violation of my property setback rights and should of never been placed there. I have measured that stem wall placement to be approximately 4' 1 1/2' from my property line.



From: jeanette gross <jagrenonv@juno.com>

To: jagrenonv@juno.com

Sent: Mon, Sep 17, 2012 11:24 AM

Subject: HISTORY OR BACKGROUND BEHIND THE APPEAL----2

MS ROSEMARY MENARD IS THE ACTING DIRECTOR OF THE NEWLY FORMED WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT, AND COUNTY MANAGER, KATY SIMON HAD ASKED HER TO RESPOND TO THE ISSUES I HAD RAISED.

From: jagrenonv@juno.com

Sent: Tuesday, August 14, 2012 3:03 PM

To: Menard, Rosemary

Subject: Fw: COMPLAINT AGAINST BUILDING AND SAFETY DEPARTMENT / MAINLY INVOLVING DON JEPSON

Hi Rosemary,

You asked if there was any more to consider in the complaint, I have recorded the garage activity on a daily bases and these were some of the facts:

06/25/2012, Monday The date that I asked for the stop work order and someone to come out and remeasure that morning. I had talked to the office girl at Washoe Building and Safety and she had me leave a voice message for Don Jeppson. Brodie Lewis stopped me in my driveway shortly afterward, to state an office girl had just called him and stated he has an angry neighbor, and something about the setback. I proceeded to tell him where the property line was. Last Sunday, I had knocked down all the junk his construction company had propped up against my fence. I noticed how close the concrete base was to my fence. He stated he would remeasure it right away and that I should come over and watch him. I stated I was going to wait for Don Jeppson to return my call. A few minuets later Mr Lewis rang my doorbell and stated that he may be 5 1/2 inches off in his measurement. I had been on a phone call just then and told him I would take it up with the county because I knew it was more than 5 1/2 inches off. Later that afternoon Don Jeppson called, I told him the problem and what Mr Lewis had stated and requested a stop work order be placed, have someone come right out to remeasure. He stated that Mr Lewis had also dropped by to notify him. Don did not place the stop work order that day, nor to my knowledge did he have anyone remeasure the setback. Only the concrete base and concrete sides were in place at this time. (took pictures of garage progress)

06/26/2012 Tuesday -----06/29/2012 Friday Workmen still working, no stop work order in place. (took pictures).

07/02/2012 Monday -----07/03/2012 Tuesday Workmen still working in garage, (took pictures)

07/05/2012 Thursday -----Called Don Jeppson, questioned why are they still permitted to work? Don stated that he had talked to Brodie recently and that Brodie talked to Washoe County Development Department and it is all straighten out What conclusion did they come too? I don't know Brodie stated it is ok now. Did you check it out? No need too. So you just took Brodie's word? Does Brodie now run your department? (no answerer) Who did he talk too? Paul Kelly Can I have that phone number. (328-3621) On calling Paul, Paul stated: Brodie was here, but Paul did not talk to him, Bill Witney did. Can I speak to Bill? Oh he is on vacation. Is there a record or something to indicate what decision they came to on this setback problem? No, wait till Bill comes back from vacation. I called Don back and reached voice mail. I stated on the voice mail I wanted that stop work order in place now! I realized I was getting the good old boy routine, I was furious. (took more pictures)

This is when I contacted the Code Enforcement Hotline (328-6106), left my information. Renay called back and stated it would be better if I talked to her boss when he gets back from lunch. Bob Webb called me back, listened to the whole story, not quite sure what he could do but will look into it and call me back.

07/06/2012 Friday -----Work on garage continues.(took more pictures) Mr Bob Webb called back, He stated that he could not reach Don Jeppson yesterday, they said Don was on vacation? Bob had talked to Don today, and stated that Don had to call Paul and get the information before he could put the stop work order in place. I thought it funny that Paul now had the information. Mr Webb did e-mail me a copy of the stop work order, it had been back dated to 07/05/2012. The work order did state: All construction activities must cease immediately, but the workmen just kept working.

1g

07/09/2012 Monday -----Workmen showed up today and are working on garage. Called Don Jeppson, he stated Brodie probably has not received the letter to stop. Around 11:00 a.m., work has finally stopped. (took pictures) Don Jeppson had stated, to me that he will stop by the work site later this afternoon.

07/12/2012 Thursday -----Don Jeppson called me to state that my fence is illegal, I told him to call my attorney, (Carole Pope). Carole called me back, Don gave us one day notice that he was going to lift the stop work order. No agreement was made at that point on the setback violation. I called around that day to get copies of the permit Tholl fencing had charged me for. Tholl fencing records did not go back to 1989, and Joy stated to me that a guy named Don Jeppson had just called her, checking on any permit under my name or address. When I called County Records, I think I spoke to Stephenie, she stated she had just checked that out for Don Jeppson and could not find the permit, but He was checking the 2000's years.

07/16/2012 Monday-----Work order lifted, and they are working on the garage again. (took pictures)

07/18/2012 Wednesday-----I sent the e-mail to Katy Simon, at dawn. Received a phone call that morning from Charlene Parish, thinking it was in response to the e-mail sent to Ms Simon. She asked if an agreement had been reached on that permit number? I went through the whole story, and even sent her a copy of the e-mail I had sent to Ms Simon. She was also going to check with Ms Simon. I think she may of stated that Don Jeppson was on vacation and that she was just trying to clean up some of the paperwork. Within about an hour she managed to put the stop work order back in place, had a person show up at the site and notify the workers at 09:15 a.m. about the stop work order. I also think she notified Brodie by cell phone. At 11:00 a.m. the workers left the site. I was really impressed by her action. We did e-mail that day but she did not reply back after that and that is when I received your e-mail.

So as stated before I want an complaint filed against Don Jeppson, covering improper governmental action in the performance of his official duties. This includes his failure to enforce the code violation against the incorrect setback measurements which he also ok'ed at the work site, ignoring the questionable setback letter recorded on the permit, stalling for days and not wanting to place the stop work order and ignoring my repeated requests to place that order, allowing the contractor to continue the building during the dispute, no fees or penalties against the contractor, siding with the contractor by lifting the stop work order during the dispute, abuse of authority, not checking out the facts with the Washoe County Development Department, in taking Brodie's word that all was ok, threatening me that my fence was illegal, treating me like I was the problem, why did I end up defending myself against the County and the contractor, back checking with Tholl fencing, discriminating against me as a woman, giving me the run around, leaving me with the feeling of being intimidated, inferior, and not as knowledgeable. Let them handel the situation! I think that about covers most of my complaint, If I excluded anything I will e-mal you. Thanks again for your help. Jeanette Gross (I have also recoded the daily progress of the garage with my pictures I took)

Ms Menard also requested a copy of the e-mail that I had sent to Katy Simon.



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Detail for Permit 12-0944

Permit Information

Permit Number: [12-0944](#) **Parcel Number:** [016-473-07](#)
Type Description of Permit: RESIDENTIAL BLDG PERMIT
Sub-Type Description of Permit: Garages & Carports
Address: 14190 RANCHEROS DR, WCTY

Permit Description: 28' x 40' DETACHED GARAGE WITH ELEC***REVISION TO REDUCE BLDG SIZE TO 34 X 28 TO ACCOMODATE GREATER SETBACK

Permit Status: ISSUED

Date Applied: 05/11/2012 **Date Issued:** 06/08/2012 **Date Finalized, Certificate of Occupancy, or Complete:**

Permit Fees

Total Fees \$1,199.34 **Total Paid** \$1,199.34 **Balance Outstanding** \$0.00

Permit Parties

Name	Relationship
GYFORD DARREN & KRISTIN J	OWNER
M B LEWIS CONSTRUCTION INC DBA CONTACT	
M B LEWIS CONSTRUCTION INC DBA CONTRACTOR	

Permit Inspections

Date	Inspection ID	Description	Action Entered	Status	Comments
06/11/2012	100	FOOTINGS/SETBACKS/REBAR	PA	Partial Approval	vertical stabbed per - D. Jeppson-ok. SETBACK LETTER ENROUTE
07/18/2012	100	FOOTINGS/SETBACKS/REBAR	CN	Correction Notice	I spoke with Brodie this afternoon and required that he provide a survey by a licensed NV land surveyor to determine the setback of the garage.
08/23/2012	100	FOOTINGS/SETBACKS/REBAR	PA	Partial Approval	

					12:50 PER T.S - APPROVED, VIA BRODIE DCJ OK TO POUR
06/19/2012	110	STEMWALL/GROUT/REBAR	AP	Approved	LARGER SSTB'S INSTALLED AT FRONT PORTALS, ADD REBAR AT TOP OF STEM Setback letter from Kelly Wilcox, is questionable, Brodie stated that we have recieved them b/4. Called Brodie -6-22-12, 4:00, v.m box full- no v.m possible
08/29/2012	110	STEMWALL/GROUT/REBAR	PA	Partial Approval	E.O.R to address pins into slab missing
08/28/2012	120	UNDERFLOOR-PRIOR TO SHEATHING	PA	Partial Approval	actual inspection- stemwall revision to reduce structure size to ensure P.L issues
09/06/2012	125	HOLD DOWNS	NR	Not Ready	
09/06/2012	145	ROOF DECK	NR	Not Ready	
09/06/2012	155	EXTERIOR SHEARWALL	PA	Partial Approval	Dunagan to address B.P gap @ top of stemwall due to wall has no bearing in between studs Ad A.B's at plate breaks
09/12/2012	260	GRADING & FINAL	NR	Not Ready	A.B.'S NEED TO BE INSTALLED AT PL BRKS & 4' O.C ELECTRIC NEEDS INSTALLED

Search for permits

You may search the database by address, permit number, or parcel.

Search By



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Detail for Permit 12-0944

Permit Information

Permit Number: 12-0944 Parcel Number: 016-473-07
 Type Description of Permit: RESIDENTIAL BLDG PERMIT
 Sub-Type Description of Permit: Garages & Carports
 Address: 14190 RANCHEROS DR, WCTY

Permit Description: 28' x 40' DETACHED GARAGE WITH ELEC

Permit Status: ISSUED

Date Applied: 05/11/2012 Date Issued: 06/08/2012 Date Finalized, Certificate of Occupancy, or Complete:

Permit Fees

Total Fees \$1,154.34 Total Paid \$1,154.34 Balance Outstanding \$0.00

Permit Parties

Name	Relationship
DAILEY FAMILY TRUST	OWNER
M B LEWIS CONSTRUCTION INC DBA CONTACT	
M B LEWIS CONSTRUCTION INC DBA CONTRACTOR	

Permit Inspections

Date	Inspection ID	Description	Action Entered	Status	Comments
06/11/2012	100	FOOTINGS/SETBACKS/REBAR	PA	Partial Approval	vertical stabbed per -D. Jeppson-ok. SETBACK LETTER ENROUTE ✓
06/19/2012	110	STEMWALL/GROUT/REBAR	AP	Approved	LARGER SSTB'S INSTALLED AT FRONT PORTALS, ADD REBAR AT TOP OF STEM Setback letter from Kelly Wilcox is questionable, Brodie stated that we have received them b4. Called DWG 6-22-12 at 4:00 p.m. box full- no v.m possible. ✓

Search for permits

You may search the database by address, permit number, or parcel.

Search By
 Parcel



Washoe County
Department of Building & Safety
1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020
FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bldgsafety



July 5, 2012

MB Lewis Construction Inc.
2171 W Williams Ave, #295
Fallon, Nevada 89406

RE: Notice of Violation, APN: 016-473-07, Permit 12-0944

Dear Contractor,

The property located at 14190 Rancheros Dr is in violation of the following Washoe County Code (WCC):

- Side yard setback per section 110.306.10 (b).

This letter serves as an official Notice of Violation and Stop Work Order for the above violation. All construction activities must cease immediately. Full compliance with all applicable Washoe County codes must be achieved before any work can continue.

All corrective action must be approved by the Washoe County Department of Building & Safety and Washoe County Department of Community Development. Please be aware, failure to comply with the Notice of Violation by not correcting the violation could result in additional fines and citations requiring your appearance in front of a Justice of the Peace.

Washoe County looks forward to resolving these issues with you.

Sincerely,

A handwritten signature in black ink, appearing to read "Don Jeppson".

Don C. Jeppson, AIA
Director of Building and Safety

Cc: District Attorney
Engineering Division
Community Development

 **JUNO** Message Center



From: "Webb, Bob" <bwebb@washoecounty.us>

To: "jagrenonv@juno.com" <jagrenonv@juno.com>

Cc: "Whitney, Bill" <BWhitney@washoecounty.us>, "Jeppson, Don C" <DCJeppson@washoecounty.us>

Sent: Fri, Jul 06, 2012 09:08 AM

Subject: FW: Permit 12-0944

 [img-706070845-0001...](#) (33KB),  [img-706070845-0001...](#) (33KB)

(2 COPIES OF STOP WORK ORDER)

Ms. Gross:

Per our conversation a few moments ago. Again, variance applications are regulated through Article 804, Division 8 of the Development Code (Chapter 110 of the County Code).

Bob Webb
Planning Manager
Washoe County Department of Community Development
328-3623
bwebb@washoecounty.us

-----Original Message-----

From: Jeppson, Don C

Sent: Friday, July 06, 2012 8:27 AM

To: 'brodielewis@gmail.com'

Cc: Kelly, Paul; Whitney, Bill; Webb, Bob; Salter, Gregory

Subject: Permit 12-0944

Please see attachment. Original is being sent certified through US Mail.

Don C. Jeppson, AIA
Director
Washoe County
Building & Safety Department
Mail: P.O. Box 11130, Reno, NV 89520
Phone: 775-328-2030; Fax: 775-328-6132
e-mail: dcjeppson@washoecounty.us web: www.washoecounty.us

1m

The logo for JUNO Message Center, featuring the word "JUNO" in a bold, blue, sans-serif font, followed by "Message Center" in a smaller, black, sans-serif font. A blue square icon is positioned to the left of the text.

From: "Jeppson, Don C" <DC.Jeppson@washoecounty.us>

To: "Jeppson, Don C" <DC.Jeppson@washoecounty.us>, "cmp7000@aol.com" <cmp7000@aol.com>

Cc: "jagrenonv@juno.com" <jagrenonv@juno.com>, "Salter, Gregory" <gsalter@da.washoecounty.us>, "Menard, Rosemary" <RMenard@washoecounty.us>, "Parish, Charlene" <CParish@washoecounty.us>

Sent: Fri, Aug 24, 2012 04:21 PM

Subject: RE: 14190 Rancheros - Permit 12-0944

Ms. Pope,

The contractor submitted plans on Wednesday, August 22, 2012, moving the end wall back another six feet from the property/fence line for a total setback of 11 feet. The plans were reviewed by required county departments and were approved. Your client should see some progress this week. This extra foot should resolve any concern over the placement of the actual property line without a need for a survey. The department will require a revised engineer's setback letter.

As a side note, the former garage stem wall, approximately 24" high, will remain as an exterior retaining wall along the north side of the garage as allowed by county code.

At this point I am considering the setback issue resolved, but I will let you know when we final the permit which should be in a few weeks. As always, if you have any questions, please contact me.

Have a great weekend.

Don C. Jeppson, AIA

Director

Washoe County

Building & Safety Department

Mail: P.O. Box 11130, Reno, NV 89520

Phone: 775-328-2030; **Fax:** 775-328-6132

e-mail: dcjeppson@washoecounty.us **web:** www.washoecounty.us

P Please consider the environment before printing this message.

From: Jeppson, Don C

Sent: Friday, August 10, 2012 11:19 AM

To: 'cmp7000@aol.com'

Cc: 'jagrenonv@juno.com'; Salter, Gregory; Menard, Rosemary; Parish, Charlene

Subject: 14190 Rancheros - Permit 12-0944

Ms. Pope,

Mr. Gyford has indicated he will move the end wall of his garage six feet back from the current wall position of the garage that is being built at 14190 Rancheros. New plans will be submitted for review shortly. He has asked the Stop Work Order be lifted so the contractor can secure the structure from any wind or weather damaged. Partially built structures are unstable and dangerous when the structural system is only partially erected. Therefore, I am lifting the Stop Work Order

1n

based on Mr. Gyford's proposal of moving the wall back which should satisfy your client's main concern with the setbacks and even the setback for the CC&Rs. Changes to the construction of the end wall will not be immediately apparent, so I am asking for a little patience while the contractor secures the structure and prepares a new foundation for the end wall.

I would also like to address Ms. Gross's other concerns. First, the average height limit of 12 feet will no longer apply to the structure since the structure is outside the building setback under the County Code. A maximum height of 36 feet will still apply, but the building height remains unchanged at approximately 16'-2" at the peak of the roof. Second, County Code 110.212.10 only pertains to Hidden Valley and not to the rest of the planning area such as Virginia Foothills. Even if that section did apply to this project, the cut for the building into existing grade is about two feet and does not exceed the standards. Finally, the County will require a new setback letter signed by a licensed engineer or surveyor attesting the building meets the County's setback. A full survey will not be required.

As always, I appreciate working with everyone to get this resolved and hope this outcome will satisfy everyone as much as possible. If you or your client have additional concerns please feel free to contact us.

Don C. Jeppson, AIA

Director

Washoe County

Building & Safety Department

Mail: P.O. Box 11130, Reno, NV 89520

Phone: 775-328-2030; **Fax:** 775-328-6132

e-mail: dcjeppson@washoecounty.us **web:** www.washoecounty.us

P Please consider the environment before printing this message.

Don,

As you know I have decided to move my garage to the 10 foot required setback. Brody called and told me that you would lift the red tag and allow us to start right away if I sent you something in writing that stated we are having drawings done and will submit them right away. No addition will be added we are simply going to cut into the slab, pour a footing and erect a wall 6 feet from the original wall. Let me know if you need a signed document or anything else to assure you we are modifying the building to meet the required setback.

Regards,

Darren Gyford

14190 Rancheros Drive

Reno, NV 89521

775-223-3261



SAME VIEW - HAD TO LIGHTEN PICTURE



WALL TO BE LEFT →
PER MR JEPSON'S
LETTER

← DISTANCE FROM
PROPERTY LINE 4' 1 1/2" →



GARAGE
NORTH
WALL



MY
FENCE
+
BASE

*Property line is
3" from concrete base
1.





Washoe County
Department of Building & Safety
 P.O. Box 11130
 Reno, NV 89520-0027
www.washoecounty.us/bldgsafety
(775) 328-2020



*"Dedicated to Excellence
 In Public Service"*

RECEIPT

RECEIPT NUMBER: BR-0057419

Permit #: 12-2087 TYPE: GENERIC Miscellaneous Fees
 SITE ADDRESS:
 PARCEL:

TRANSACTION DATE: 09/17/2012	TOTAL FEES DUE:	\$250.00
	TOTAL PAYMENT:	250.00
	BALANCE DUE:	\$0.00

TRANSACTION LIST:

Type	Method	Description	Amount
Payment	Check	757	250.00
TOTAL:			250.00

ACCOUNT ITEM LIST:

Description	Account Code	Current Pmts
OTHER - MISCELLANEOUS	600011-491340	250.00
TOTAL:		250.00

RECEIPT ISSUED BY: TSCOTT INITIALS: TS
 ENTERED DATE: 09/17/2012 TIME: 02:07 PM

Permit Expires Date: As of today: 09-17-2012

RENEWAL OF A PERMIT IS PROHIBITED IF THE WORK IS NOT COMMENCED WITHIN 18 MONTHS AFTER ISSUANCE. PERMITS MAY BE RENEWED THREE (3) TIMES.

Exhibit 2

E-mails

Webb, Bob

From: jagrenonv@juno.com
Sent: Monday, October 01, 2012 8:44 AM
To: Webb, Bob
Subject: Fw: Please add to my appeal

Hi Mr Webb,

I received my packet on the Notice Of Meeting And Agenda, and on the current agenda (number 7, A) it states that they will review the 24" stem wall etc., which is in line with my request. Your past e-mail also stated that once I received the packet I could also include anything more that I wanted to add for the board members to consider.

On looking up NRS 241.020, number 4 and 5, I want to include these on the agenda. I want the board to also consider the character, misconduct and professional incompetence which I personally feel that Mr Jeppson is guilty of. I strongly feel administrative action should be taken against Mr Jeppson. Being a building official, he lacked judgment in following and not enforcing the code and related provisions in the WCC. He is in violation of the law and codes set forth, and in my opinion I feel these codes which were not properly addressed:

ARTICLE 104 DUTIES AND POWERS OF BUILDING OFFICIAL

100.104.1 GENERAL, Mr Jeppson's interpretations, polices and procedures were not, I feel in compliance with the intent and purpose of the code. He did not issue a Stop Work Order when I requested, even with Mr Lewis's admission of the incorrect measurement of setback.

100.104.3 NOTICES AND ORDERS, The building official shall issue all necessary notices or orders to ensure compliance with this code. Mr Jeppson seems to follow that order only when it suites him.

100.104.4, INSPECTIONS, The building official is authorized to engage such expert opinion as deemed necessary to report upon usual technical issues that arise. He did not request a survey, as Ms Charlene Parish, did, but allowed them to continue building. There was no Stop Work Order, violation still noted, and no agreement reached between Mr Lewis and myself.

100.104.8, LIABILITY, Was Mr Jeppson acting in good faith and without malice in his discharge of his duties required by this code or was it a breach of duty?

100.105.4, VALIDITY OF PERMIT, The issuance of a permit based on construction documents and other data shall not prevent the building official from requiring the correction of errors in the construction documents and other data. This permit was issued 06/08/2012, and Mr Jeppson was on site to approve the setback on 06/11/2012, and he didn't check the name of the owner? The permit party was listed incorrectly as the previous owner of the property, (Daily Family Trust). Ms Menard apparently had that corrected after we communicated by e-mail.

100.105.6 SUSPENSION OR REVOCATION, Being the permit was issued, based on incorrect and inaccurate permit owner being listed, why did Mr Jeppson, not order the suspension or revoke the permit?

100.106.2, SITE PLAN, Apparently the plan looked good on paper, and they (Mr Jeppson & Mr Lewis) both assumed they knew where the property line was. Did they overlook the clause, in the code that states, " and it shall be drawn in accordance with an accurate boundary line survey". The Setback for the side was not the required 5' from the property line, but became the 4' 1 1/2 " and the setback violation.

ARTICLE 109 INSPECTIONS

100.109.1 GENERAL, Approval as a result of an inspection shall not be construed to be an approval of a violation of the provisions of this code or of other ordinances of the jurisdiction. Mr Jeppson, knowing about the violation, and not putting the Stop Work Order in, allowed Mr Lewis to continue building. The violation was the placement of the North wall of the garage, so why was it allowed continue? Was this an attempted to complete the garage and the hope that I would just give up?

100.109.3.10, OTHER INSPECTIONS, The building official is authorized to make or require other inspections of any construction work to ascertain compliance with the provisions of this code etc.. When the measurement was disputed 06/25/2012, did Mr Jeppson ever come out to remeasure as requested?

Article 113 VIOLATIONS

100.113.1, UNLAWFUL ACTS, It shall be unlawful for any person, firm, or corporation, to erect, construct, alter, grade, extend, repair, move, remove, demolish or occupy any building, structure or equipment regulated by this code and related provisions of the WCC, or cause same to be done, in conflict with or in violation of any of the provisions of this code and related provisions of the WCC. That did not stop Mr Jeppson or Mr Lewis from continuing with the building.

No agreement had been reached on that side setback violation, Mr Jeppson was still reluctant to place the Stop Work Order.

100.113.2, NOTICE OF VIOLATION, The building official, shall direct the discontinuance of the illegal action or condition and the abatement of the violation. Why did Mr Jeppson delay putting in the Stop Work Order as requested on 06/25/2012 and then to continue ignoring repeated requests in the following days for that order? Why did I have to contact Mr Webb, (Violation Hotline, 07/06/2012), to get the Stop Work Order in? Why did Mr Jeppson try to remove that same order over a charge that my fence was illegal, even with the side setback violation had not being resolved?

100.113.3, ENFORCEMENT, If the notice of violation is not complied with promptly, the building official is authorized to institute or seek the institution of the appropriate measure process to prosecute, restrain, correct or abate such violation, etc.. Mr Jeppson informed Mr Lewis of the Stop Work Order by letter. When Ms Parish placed her Stop Work Order, she had called Mr Lewis on his cell phone and also sent someone right out to the site, all on that same day.

ARTICLE 114 STOP WORK ORDER

100.114.1 AUTHORITY, Here again Mr Jeppson could issue a Stop Work Order, (06/25/2012) he had the authority, and did nothing. Thanks to the Violation Hotline and Mr Webb, the Stop Work Order was issued and back dated to 07/05/2012. But Mr Jeppson found a way to remove it, my fence was illegal?

100.114.2 ISSUANCE, Work shall immediately cease. The stop work order shall state the reason for the order, and the conditions, including any mitigation, under which the cited work will be permitted to resume. Mr Jeppson, did not mention any mitigation or conditions.

100.114.3 UNLAWFUL CONTINUANCE, 07/09/2012, I had to call Mr Jeppson to inform him that they are still working on the garage, in disregard of the Stop Work Order. Then again on 07/12/2012, Mr Jeppson accused me of having an illegal fence so he could lift the Stop Work Order.

The examples above and the letters I sent to Ms Katy Simon and Ms Rosemary Menard, covers my complaints and my observations of Mr Jeppson's actions. He apparently followed the code only when it suited him to do so. If the Stop Work Order would of been put in place in the beginning, (06/25/2012), then just the concrete base and retaining walls would of needed correction. But, Mr Jeppson, ignoring my requests to put in a Stop Work Order. He allowed the building of the garage, (during this stop and lift stop work order period), to the point that the garage was almost completed, because the rafters for the roof were now all in place. How was that going to correct the side setback violation? On 07/18/2012, when a survey was required, with Ms Charlene Parish's help, the building construction stopped. Mr Gyford started the survey, but never had it completed, due to Ms Menard's request. Instead, later Mr Gyford stated that he was going to have Mr Lewis move that North wall of the garage to the South by so many feet. Without Ms Parish and Ms Menard's intervention, I am sure Mr Jeppson would of allowed the garage to be completed in the original spot even thought that original setback of 4' 1 1/2" from the property line. Also with the North soffit of the garage, it would of been even closer to my property line.

Mr Jeppson called me to state that my fence was illegal, and also called my attorney. We were being notified that the fence was illegal and for that reason he was giving us a one day notice that he was going to lift the Stop Work Order. At this time the violation had not been resolved. He may has the legal right to check with county property records for a permit record, but in calling Tholl Fence company to check for a permit, I feel he has crossed the line. When I had my fence put in in 1989, I had a survey, a permit, and everything was installed legally. I feel he used his position with the county, to harass, intimidate, and threaten me.

Woman is 53 But Looks 25

Mom reveals 1 simple wrinkle trick that has angered doctors...
ConsumerLifestyleMag.com

Webb, Bob

From: jagrenonv@juno.com
Sent: Monday, October 01, 2012 1:28 PM
To: Webb, Bob
Subject: Fw: RE: Please add to my appeal

Hi Mr Webb,

I appreciate you time in checking into this matter (on the my last e-mail), which stated what I want added to my appeal). That very last line of 100.112.2 Limitations Or Authority, is why I want the board to re-examine Mr Jeppson's decisions, and to show he was not in compliance with the intent and purpose of this code. If I was to remove that first line of that second paragraph, would that be more acceptable? I want the board to especially re-examine those points. Thanks again, Jeanette

----- Forwarded Message -----

From: "Webb, Bob" <bwebb@washoecounty.us>
To: "jagrenonv@juno.com" <jagrenonv@juno.com>
Cc: "Salter, Gregory" <gsalter@da.washoecounty.us>, "Webb, Bob" <bwebb@washoecounty.us>
Subject: RE: Please add to my appeal
Date: Mon, 1 Oct 2012 19:04:38 +0000

Jeanette:

The Board of Review is limited in it authority.

100.112.2Limitationson authority. Theboardofreview shallhavenoauthority
relativetotheinterpretationoftheadministrativeprovisionsofthiscodenorshallthe
boardbeempoweredtowaiverequirements ofthiscode.Concerningtheother provisionsofthe
code,theboardshallnotconsideranymatterde novo,butshall simply re-
examinethedecisionsofthebuildingofficialtodeterminewhethersuchdecisionsare
supportedbysubstantialevidence,arereasonable,arenotarbitrary,andarewithinthe
intentandpurposeofthiscode.

After examining your appeal with legal counsel from the District Attorney's Office, we determined that the actionable matter for the Board centered on the stem wall/retaining wall left in place after the garage was moved. The Board has no authority or power to consider the character, misconduct or professional incompetence of the Building Official (Don Jeppson).

However, I am meeting again with legal counsel this Wednesday morning to review the exhibit packet (which includes your appeal) and the issues to be considered by the Board. I will provide this information to our legal counsel so we can discuss the other matters outlined in this e-mail and determine if any others fall within the authority of the Board. You will receive your own copy of both the issues to be considered and the exhibit packet.

Webb, Bob

From: jagrenonv@juno.com
Sent: Tuesday, October 02, 2012 1:15 PM
To: Webb, Bob
Subject: Stem Wall / Retaining Wall

Hi Mr Webb,

The remaining stem wall and retaining wall may now be a mute point. Someone was hired to knock it down to ground level and will be filling it in with gravel or ground. There are two men working right now on that area with air hammers. I do not know if Mr Gyford or Mr Lewis is having the job done. I don't think the Board Of Review has anything to do with this. I was working in my back yard and over heard some of the conversation between My Gyford and the two men. They also said something about drainage, but I couldn't make that out because I was walking back to my house. All I can assume is that Mr Gyford was not happy with Mr Jeppson' decision or he may be unhappy with how his yard looked after the garage was completed. Just thought I would drop you a line to let you know what was happening. I still want to proceed with the review, especially to complain about the codes not being enforced as they should of been. Jeanette

Woman is 57 But Looks 27

Mom publishes simple facelift trick that angered doctors...
ConsumerLifestyles.org

Exhibit 3

Don Jeppson Letter
Regarding Stem Wall
Dated October 3, 2012



Washoe County
Department of Building & Safety
1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020
FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bldgsafety



October 3, 2012

To: Board of Review
From: Don Jeppson, AIA CBO
Subject: Permit 12-0944 – Review of wall in easement

It is common for small sheds, landscape walls, retaining walls, landscaping, fencing, yard lightning, and irrigation to occur in these types of easements. Often those types of work don't even require a permit. The setback review and approvals are done by the Department of Community Development and the Department of Public Works, Engineering Division. Attached is their statement indicating no issue with this wall in the easement.

Based on the building code and practices, Department of Building & Safety does not have an issue with the retaining wall less than four feet in height and the associated slab as approved in the revised drawings.



Community Development

"Dedicated to Excellence in Public Service"



October 2, 2012

Memoranda

To: Don Jeppson, AIA, Director of Building and Safety

From: Eva M. Krause, AICP, Planner

RE: 14190 Rancheros Drive, Building Permit 12-0944 – wall in side yard

Per Mr. Jeppson's photograph and notes, as well as the site plan submitted as part of the building permit process, it is my understanding that the wall in question is approximately four-feet tall at its highest point.

Section 110.406.50 Fences, Walls or Perimeter Planting, allows fences, walls and perimeter planning in the side and rear yard setbacks up to six feet high and may be built on the property line. Since the wall in question is less than six feet high and is contained within the property owner's parcel, the wall is an allowed structure.

Planning and Development Services does not require the removal of the wall built in the side yard setback. Washoe County Development code does not address or enforce drainage easements.

3b



Post Office Box 11130, Reno, NV 89520-0027 – 1001 E. Ninth St., Reno, NV 89512
Telephone: 775.328.3600 – Fax: 775.328.6133
www.washoecounty.us/comdev

October
is
National
Community
Planning
Month

Jeppson, Don C

From: Vesely, Leo
Sent: Wednesday, October 03, 2012 4:42 PM
To: Jeppson, Don C
Cc: Corbridge, Kimble
Subject: RE: Building Permit Appeal

Don,

Engineering has reviewed the appeal and we feel that the existing concrete is now functioning as a landscaping and retaining wall and does not violate sections 420 or 438. Also, based on the photograph provided, it does not appear that the concrete wall will interfere with local drainage.

Leo R. Vesely, PE, CFM
Licensed Engineer
Washoe County Department of Public Works
Engineering Division
1001 East Ninth Street
Reno, NV 89520
775.325.8032
Fax.328.3699
lvesely@washoecounty.us

Exhibit 4

Site Photos



4a

4a



4b



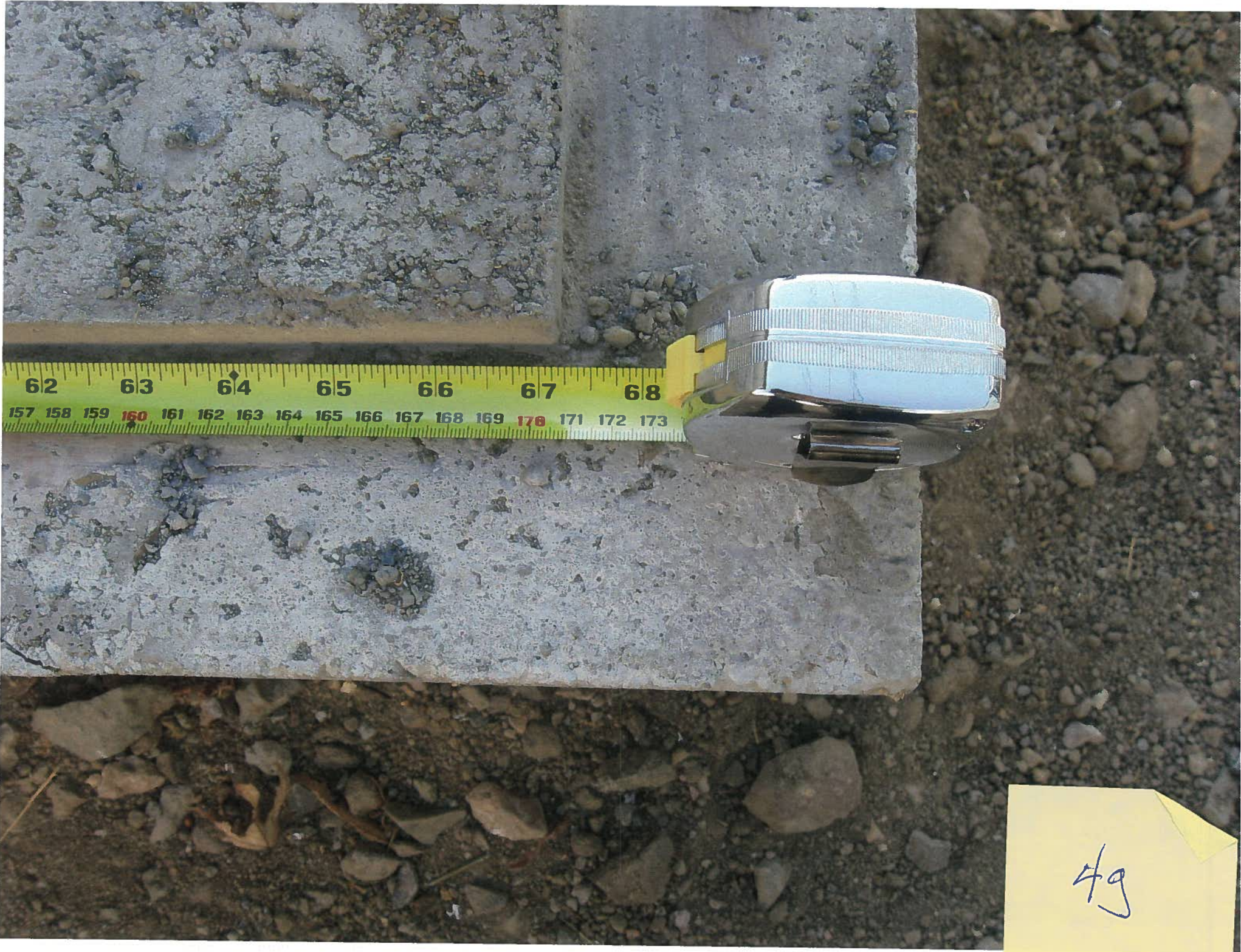




4e



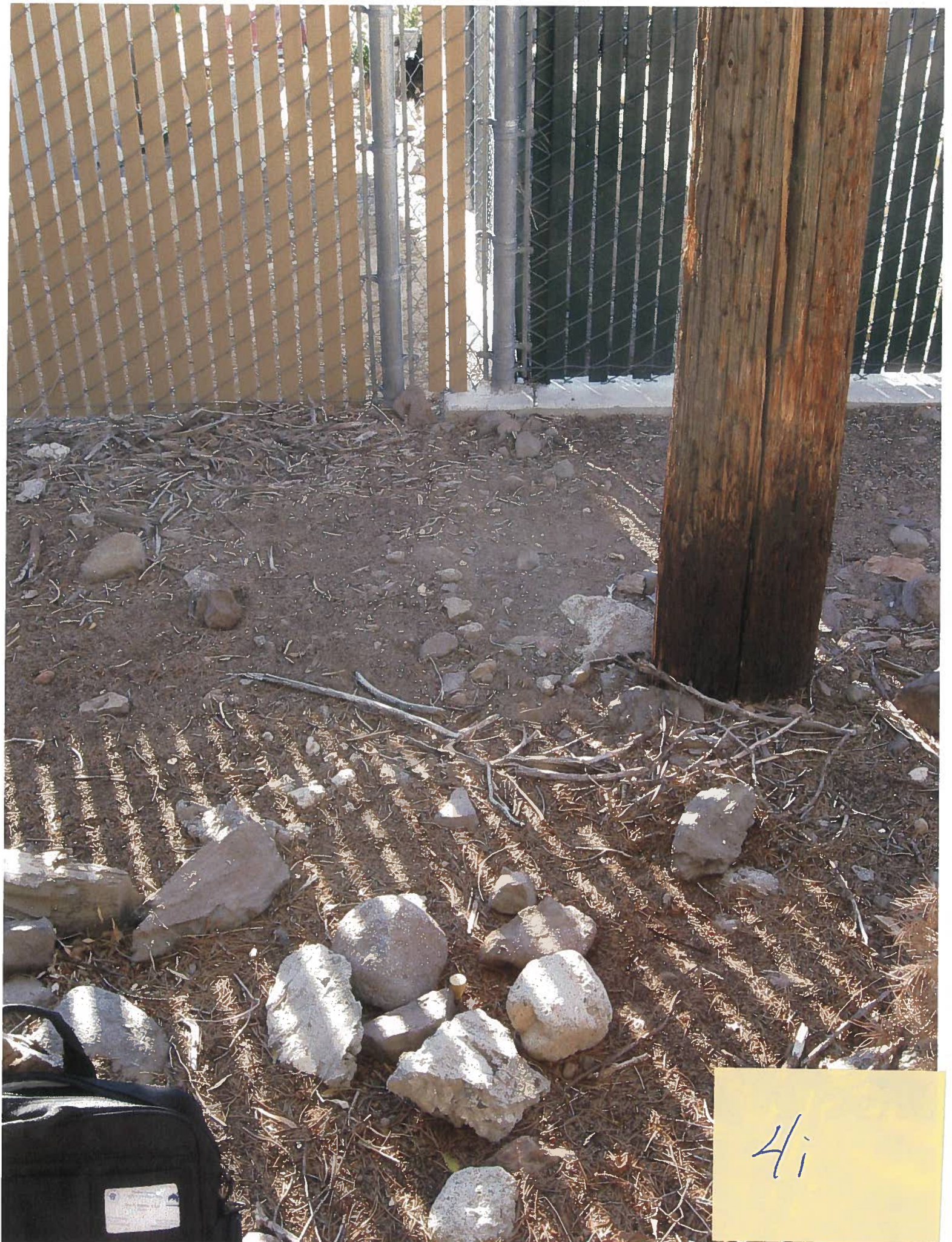
47



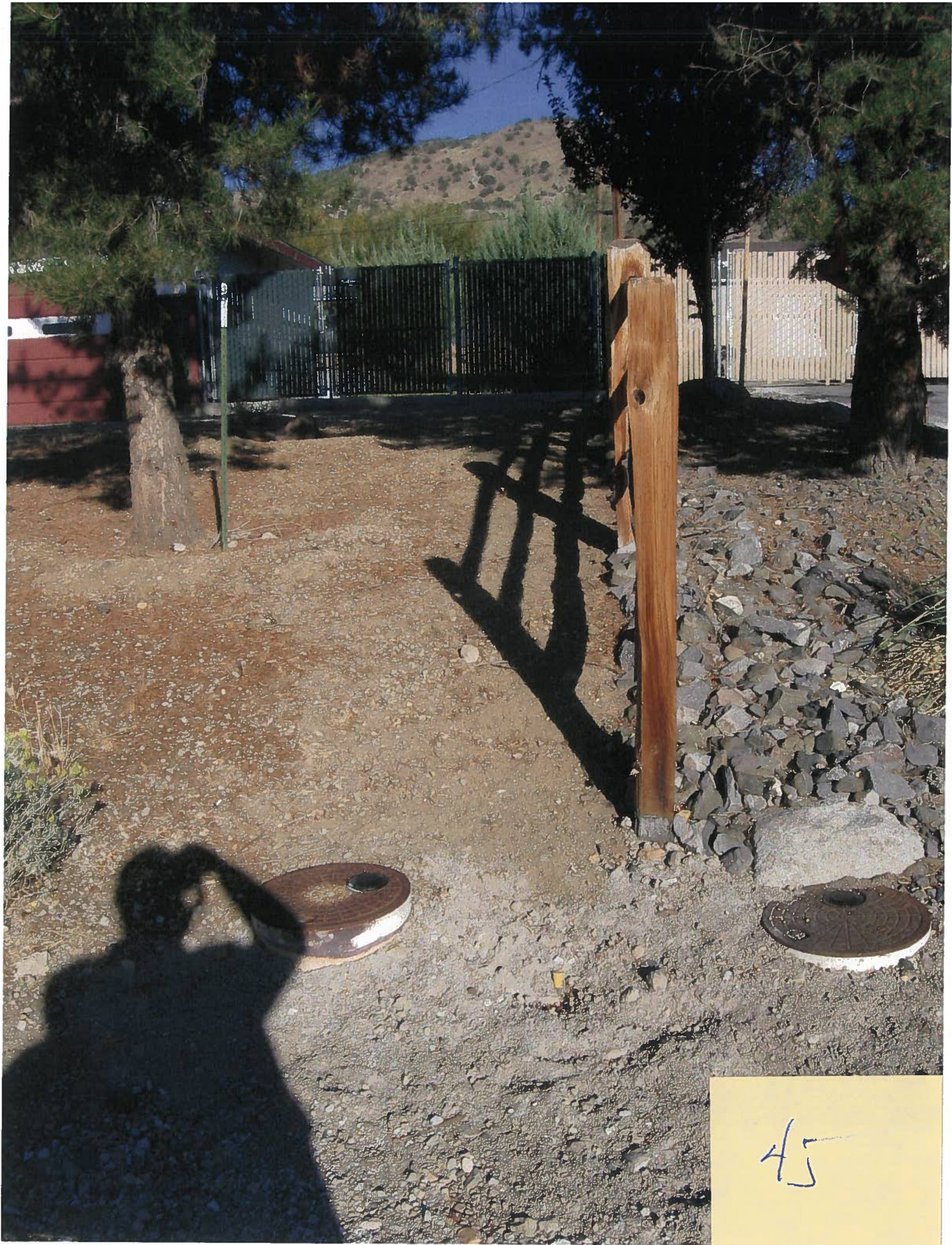
49



4h



41



45

Exhibit 5

Soil and Setback Policy

Soil and Setback Certification

All commercial construction, single family dwellings or additions, and manufactured homes shall require that a Civil Engineer, Soils Engineer, Engineering Geologist or Land Surveyor with current Nevada registration provide a wet stamp/signed certification to the Building Official for the following:

Footing Inspection

1. A Certification letter is needed stating the soils supporting the foundation are adequate for structure stability. (**Exception:** detached accessory buildings when fill or expansive soil is not apparent and approved by the building inspector.)
2. Survey certification stating foundation setback and elevation are per the approved construction plans. (**Exception:** Detached accessory buildings and attached additions when the building inspector can clearly verify setbacks and elevations.)

Final Inspection

Survey certification stating the final elevation, drainage and grading are per the approved construction plans. (**Exception:** Detached accessory buildings when grading, drainage and elevations can be clearly verified by the building inspector.)

Manufactured Home Set-up Inspection

1. A Survey certification stating setbacks, grading, elevation and drainage are per the approved plans. (Exception: Homes on parcels in excess of two (2) acres when the building inspector can clearly verify setbacks, grading and drainage.

If you have questions regarding these requirements, contact your inspector by phone between (8 a.m. and 8:30 a.m.)

Footnotes:

1. Elevation changes of (1) foot +/- when outside a flood plain and does not create a driveway slope or drainage problem, need not be re-approved.
2. Certifications will be required before final approved by the building inspectors, but prior to issuance of a C of O.

Exhibit 6

Setback Letters

ATT Don Dupson



HONEYCOMB ENGINEERING

Kelly L. Wilcox, P.E.
Telephone (775) 673-5912
174 Staci Way, Sun Valley, NV 89433

LETTERGRAM

September 26, 2012

M.B. Lewis Construction
2171 W. Williams Ave., PMB 295
Fallon, NV 89406

ATT: Bodie Lewis, 221-1284

RE: Foundation Setback for a Detached Garage located at 14190 Rancheros Dr,
Reno, NV 89521

I have inspected the setbacks for the above referenced structure and find the north setback to be +10' and the rear setback from the fence to +10'.

Please contact me if you have any questions.

Sincerely,



SEP 26 2012



HONEYCOMB ENGINEERING

Kelly L. Wilcox, P.E.
Telephone (775) 673-5912
174 Staci Way, Sun Valley, NV 89433

LETTERGRAM

12-0944

June 13, 2012

M.B. Lewis Construction
2171 W. Williams Ave., PMB 295
Fallon, NV 89406

ATT: Bodie Lewis, 221-1284

RE: Foundation Setback for a Detached Garage located at 14190 Rancheros Dr,
Reno, NV 89521

I have inspected the setbacks for the above referenced foundation and found the right setback to be a minimum of 5' and the rear setback to much greater than 5'.

Please contact me if you have any questions.

Sincerely,

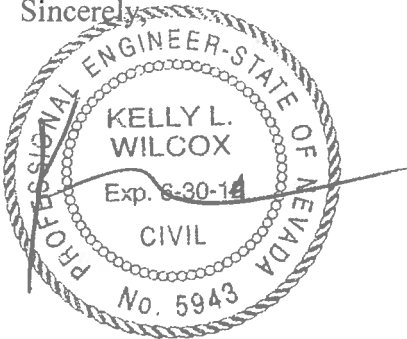


Exhibit 7

Standards of Practice for Professional Land Surveyors

STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS

General Provisions

NAC 625.651 “Positional certainty” defined. (NRS 625.140, 625.250) As used in NAC 625.651 to 625.795, inclusive, “positional certainty” means a measurement of the relative accuracy of positions with respect to the location of a controlling monument.

(Added to NAC by Bd. of Professional Eng’rs & Land Surv., eff. 11-14-97)

NAC 625.655 Applicability of statutes and regulations. (NRS 625.140, 625.250) When engaging in the practice of land surveying in this State, a professional land surveyor shall apply all applicable statutes and regulations in addition to the minimum standards of practice for professional land surveyors established in NAC 625.651 to 625.795, inclusive.

(Added to NAC by Bd. of Reg’d Professional Eng’rs & Land Surv., eff. 7-18-88; A 7-10-92; A by Bd. of Professional Eng’rs & Land Surv., 11-14-97)

NAC 625.660 Responsibility for compliance with standards of practice. (NRS 625.140, 625.250) Responsibility for adherence to the minimum standards of practice for engaging in the practice of land surveying rests with the professional land surveyor in responsible charge of the work. Failure on the part of any Nevada professional land surveyor to comply with these minimum standards may be considered by the Board as evidence of gross negligence, professional incompetence or misconduct in the practice of land surveying.

(Added to NAC by Bd. of Reg’d Professional Eng’rs & Land Surv., eff. 7-18-88; A 7-10-92; A by Bd. of Professional Eng’rs & Land Surv., 11-14-97)

NAC 625.662 Units of measurement. (NRS 625.140, 625.250)

1. Lineal measurements on a survey may be expressed in feet or meters. Measurements of area may be expressed in acres, square feet, hectares or square meters. If any measurement is reported in metric units, the professional land surveyor shall include on the survey the information necessary to convert the measurement to its nonmetric equivalent.

2. As used in this section, the words “foot” and “meter” have the meanings ascribed to them in NRS 327.030.

(Added to NAC by Bd. of Professional Eng’rs & Land Surv., eff. 11-14-97)

NAC 625.664 Positional certainty: Minimum confidence level. (NRS 625.140, 625.250) For the purposes of NAC 625.651 to 625.795, inclusive, the positional certainty of a point or monument or of the horizontal or vertical component of a survey must be based upon a confidence level of not less than 95 percent.

(Added to NAC by Bd. of Professional Eng’rs & Land Surv., eff. 11-14-97)

NAC 625.666 Positional certainty: Horizontal and vertical components of certain land surveys. (NRS 625.140, 625.250)

1. The requirements for positional certainty for the horizontal component of land boundary, topographic, control and geodetic surveys are as follows:

Type of Survey	Positional Certainty	
	Meters	U.S. Survey Feet
Land Boundary Surveys		
High Urban.....	±0.02 m	±0.05 ft
Low Urban.....	±0.04 m	±0.15 ft
High Rural.....	±0.1 m	±0.3 ft
Low Rural.....	±0.15 m	±0.5 ft
Control and Geodetic Surveys		
Precise Measurement Studies.....	±0.001 m to ±0.01 m	±0.002 ft to ±0.03 ft
State Network.....	±0.02 m	±0.05 ft
County Network.....	±0.04 m	±0.15 ft
Local Network.....	±0.06 m	±0.2 ft
Photogrammetric Control.....	±0.06 m to ±1 m	±0.2 ft to ±3 ft
Topographic Surveys		
Engineering Design Surveys.....	±0.01 m to ±0.1 m	±0.03 ft to ±0.3 ft
Planning Study Surveys.....	±0.02 m to ±0.05 m	±0.05 ft to ±0.15 ft
Utilities Mapping.....	±0.15 m	±0.5 ft
Feature Mapping.....	±0.3 m	±1 ft
Resource Mapping.....	±0.5 m to ±100 m	±1.5 ft to ±330 ft

2. The requirements for positional certainty for the vertical component of land boundary, control, geodetic and topographic surveys are as follows:

Type of Survey	Positional Certainty	
	Meters	U.S. Survey Feet
Land Boundary Surveys.....	±0.05 m	±0.15 ft
Control and Geodetic Surveys Other Than Photogrammetric Control Surveys.....		
	±0.005 m to ±0.03 m	±0.02 ft to ±0.1 ft
Photogrammetric Control Surveys.....		
	±0.03 m to ±0.5 m	±0.1 ft to ±1.5 ft
Topographic Surveys.....	National Map Accuracy Standards	

3. For the purposes of this section, the National Map Accuracy Standards, as they existed on November 14, 1997, are hereby adopted by reference. A copy of the National

Map Accuracy Standards may be obtained from the United States Geological Survey, Department of the Interior, 12201 Sunrise Valley Drive, Reston, Virginia 20192, at no cost.

(Added to NAC by Bd. of Professional Eng'rs & Land Surv., eff. 11-14-97)

NAC 625.668 Positional certainty: Horizontal and vertical positions of monuments. (NRS 625.140, 625.250) When conducting a land boundary, topographic, control or geodetic survey, a professional land surveyor shall ensure that the horizontal and vertical positions of the monuments established by the surveyor comply with the requirements for positional certainty set forth in NAC 625.666.

(Added to NAC by Bd. of Professional Eng'rs & Land Surv., eff. 11-14-97)

Land Boundary Surveys

NAC 625.670 Required research, identifications, measurements and computations. (NRS 625.140, 625.250) In conducting a land boundary survey, a professional land surveyor shall:

1. Search pertinent documents, including, but not limited to, maps, deeds, title reports, title opinions and the records of the U.S. Public Land Survey System.
2. Thoroughly examine the information and data acquired.
3. Diligently search for and identify monuments and other physical evidence which could affect the location of the boundaries of the property being surveyed.
4. Conduct field measurements necessary to relate adequately the position of all apparent evidence pertinent to the boundaries of the property being surveyed.
5. Make computations to verify the correctness of field data acquired and confirm that results of measurements are within acceptable limits of tolerance. Computations must be made to determine the relative positions of all found evidence.

(Added to NAC by Bd. of Reg'd Professional Eng'rs & Land Surv., eff. 7-18-88; A 7-10-92; A by Bd. of Professional Eng'rs & Land Surv., 11-14-97)

NAC 625.680 Disagreements concerning measurements or positions of monumented corners. (NRS 625.140, 625.250) If a professional land surveyor has a material disagreement with the measurements or monumented corner positions of another land surveyor, the professional land surveyor shall contact the other land surveyor and attempt to resolve the disagreement.

(Added to NAC by Bd. of Reg'd Professional Eng'rs & Land Surv., eff. 7-18-88; A 7-10-92)

NAC 625.690 Location of corners, boundaries and monuments. (NRS 625.140, 625.250)

1. The professional land surveyor shall make a final analysis and reach a conclusion as to the most probable location of corner positions and boundary lines.
2. A professional land surveyor shall set monuments pursuant to the provisions of NRS 625.380 and all applicable local ordinances.

(Added to NAC by Bd. of Reg'd Professional Eng'rs & Land Surv., eff. 7-18-88; A 7-10-92; A by Bd. of Professional Eng'rs & Land Surv., 11-14-97)

NAC 625.700 Report to client of discrepancies concerning boundary lines. (NRS 625.140, 625.250) The professional land surveyor shall:

1. Advise his or her client of discrepancies which raise doubts concerning the boundary lines of the property being surveyed; and

2. Provide a written report to the client concerning the discrepancies.

(Added to NAC by Bd. of Reg'd Professional Eng'rs & Land Surv., eff. 7-18-88; A 7-10-92)

NAC 625.710 Identification and description of monuments. (NRS 625.140, 625.250)

1. All monuments, whether set or found, must be thoroughly described and specifically identified as set or found, whenever shown on maps or referred to in documents prepared by a professional land surveyor. Descriptions of monuments must be sufficient in detail to facilitate readily future recovery and to enable positive identification, including map references.

2. If the Nevada Coordinate System, as defined in chapter 327 of NRS, is used to describe a monument:

(a) The control used as the coordinate basis must be shown on any maps on which the monument is shown or documents in which reference is made to the monument; and

(b) The source of the control data used must be described.

(Added to NAC by Bd. of Reg'd Professional Eng'rs & Land Surv., eff. 7-18-88; A 7-10-92; A by Bd. of Professional Eng'rs & Land Surv., 11-14-97)

Exhibit 8

Public Duty

NRS 41.033 Failure to inspect or discover hazards, deficiencies or other matters; inspection does not create warranty or assurance concerning hazards, deficiencies or other matters.

1. No action may be brought under NRS 41.031 or against an officer or employee of the State or any of its agencies or political subdivisions which is based upon:

(a) Failure to inspect any building, structure, vehicle, street, public highway or other public work, facility or improvement to determine any hazards, deficiencies or other matters, whether or not there is a duty to inspect; or

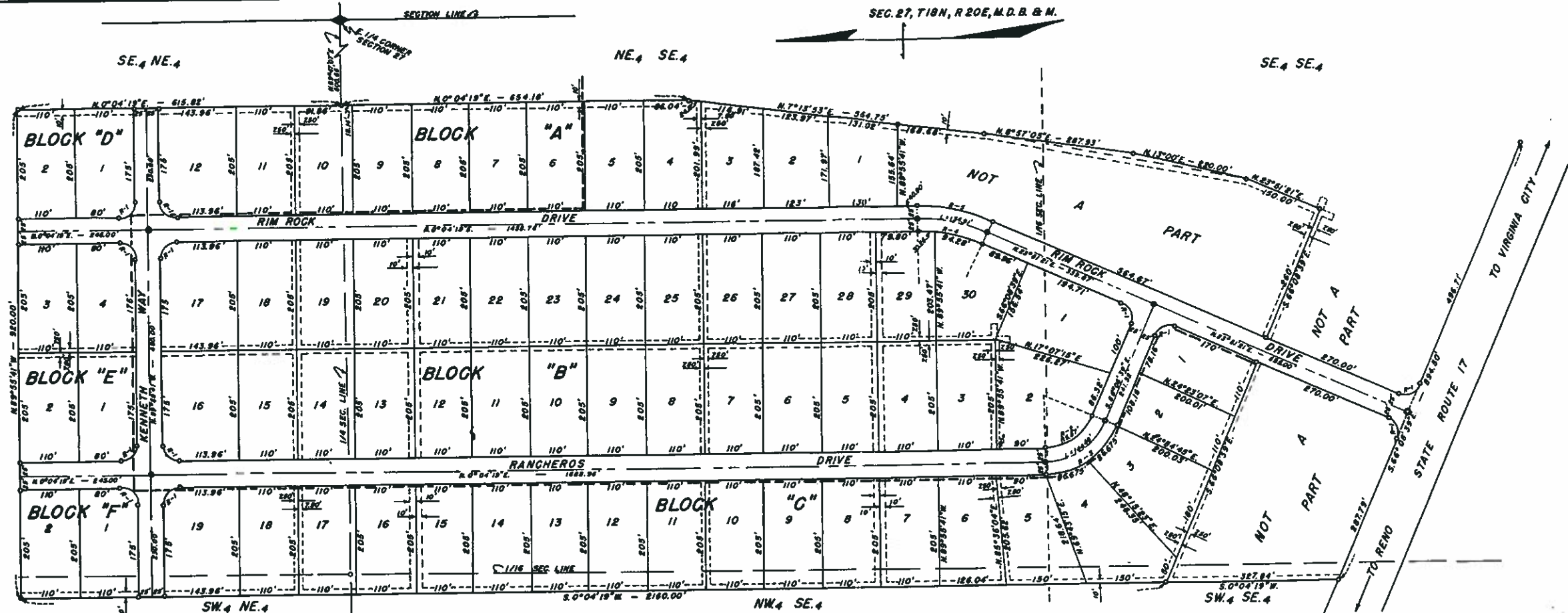
(b) Failure to discover such a hazard, deficiency or other matter, whether or not an inspection is made.

2. An inspection conducted with regard to a private building, structure, facility or improvement constitutes a public duty and does not warrant or ensure the absence of any hazard, deficiency or other matter.

(Added to NRS by 1965, 1413; A 1967, 993; 1977, 1537; 1993, 2886)

Exhibit 9

Subdivision Maps



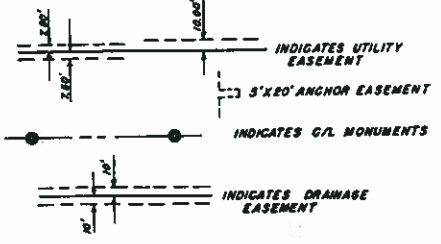
STATE OF NEVADA S.S.
 COUNTY OF WASHOE
 I, JOHN E. CURRAN, DO HEREBY CERTIFY THAT THIS PLAT IS A TRUE AND ACCURATE MAP OF THE LAND SURVEYED BY ME OR UNDER MY SUPERVISION AND LAID OUT INTO LOTS, BLOCKS, STREETS AND PUBLIC PLACES AT THE INSTANCE OF THE HEREINAFTER SIGNED OWNERS, THAT THE LOCATION OF SAID LOTS, BLOCKS, STREETS AND PUBLIC PLACES HAS BEEN DEFINITELY ESTABLISHED AND PERPETUATED IN STRICT ACCORDANCE WITH THE LAW AND AS SHOWN HEREON, THAT THE LOTS, BLOCKS, STREETS AND PUBLIC PLACES SHOWN HEREON ARE SITUATED WHOLLY WITHIN THE E. 1/2 OF SECTION 27, T18N., R.20E., M.D.B. & M. AND THAT THE SURVEY WAS COMPLETED ON THE 24th DAY OF JULY 1962.

John E. Curran
 REGISTERED LAND SURVEYOR NO. 238

SUBSCRIBED AND SWORN TO BEFORE ME THIS 24th DAY OF JULY 1962.
John E. Curran
 NOTARY PUBLIC IN AND FOR THE COUNTY OF WASHOE, STATE OF NEVADA.
 MY COMMISSION EXPIRES JAN 9 1965.

STATE OF NEVADA S.S.
 COUNTY OF WASHOE
 THIS IS TO CERTIFY THAT THE UNDERSIGNED, KENNETH F. JOHNSON AND KATHRYN H. JOHNSON ARE THE OWNERS OF THE TRACT OF LAND REPRESENTED ON THIS MAP OR PLAT AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF CHAPTER 278 OF NEVADA REVISED STATUTES AUTHORIZING OWNERS OF LAND TO LAY OUT AND PLAT SUCH LANDS INTO LOTS, BLOCKS, STREETS AND PUBLIC PLACES AND PROVIDING FOR THE APPROVAL AND FILING OF MAPS OR PLATS THEREOF APPROVED JANUARY 25, 1957, AS AMENDED, AND THAT THE STREETS AND AVENUES AS SHOWN ON THIS MAP OR PLAT ARE HEREBY DEDICATED AND SET APART TO BE USED AS PUBLIC THOROUGHFARES FOREVER.
 IN WITNESS WHEREOF, THE SAID OWNERS HAVE HEREUNTO SET THEIR HANDS THIS 24th DAY OF JULY 1962.

Kenneth F. Johnson Kathryn H. Johnson



NOTE:
 LOTS 6 THROUGH 12 BLOCK A, LOTS 1 THROUGH 19 BLOCK C, LOTS 1 AND 2 BLOCK D, LOTS 1 THROUGH 4 BLOCK E, AND LOTS 1 AND 2 BLOCK F, ARE NOT A PART OF THIS SUBDIVISION.

CURVE DATA

Curve	Chord	Angle	Radius	Length
A-1	20.00'	20°	47.18'	30.00'
A-2	27.18'	100°	118.81'	55.81'
A-3	27.18'	100°	118.81'	55.81'
A-4	27.18'	200°	118.81'	55.81'
A-5	27.18'	20°	118.81'	55.81'

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND THAT ALL PROVISIONS OF ALL ACTS AND ORDINANCES APPLICABLE HAVE BEEN COMPLIED WITH AND THAT I AM SATISFIED THAT THIS MAP IS SUBSTANTIALLY CORRECT.
Ernest S. England
 COUNTY SURVEYOR

The subdivision shown hereon is the same as previously shown. The difference is in the affidavits of the signers.
 THE EASEMENTS ON THIS PLAT HAVE BEEN CHECKED AND APPROVED BY THE S.P. CO. AND THE BELL TELEPHONE CO. OF NEVADA.
M.H. (Mason) P.H. (Holt)
 S.P. CO. BELL TEL. CO.

STATE OF NEVADA S.S.
 COUNTY OF WASHOE
 ON THIS 24th DAY OF JULY 1962, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, KENNETH F. JOHNSON AND KATHRYN H. JOHNSON, KNOWN TO ME TO BE THE PERSONS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND UPON OATH DID DEPOSE AND SAY THAT THEY EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.
 IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN THE COUNTY OF WASHOE, STATE OF NEVADA, THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

John E. Curran
 NOTARY PUBLIC IN AND FOR THE COUNTY OF WASHOE STATE OF NEVADA.

MY COMMISSION EXPIRES JAN 9 1965.

APPROVED AND ACCEPTED THIS 5th DAY OF OCTOBER 1963 BY THE BOARD OF COUNTY COMMISSIONERS OF WASHOE COUNTY, NEVADA.

J.C. McFarlane
 CHAIRMAN
 ATTEST: W. Brown
 COUNTY CLERK

A TENTATIVE MAP OF THIS SUBDIVISION WAS APPROVED BY THE REGIONAL PLANNING COMMISSION OF RENO, SPARKS AND WASHOE COUNTY ON THE 17th DAY OF JULY 1962.

BY: W.D. Hammond
 CHAIRMAN

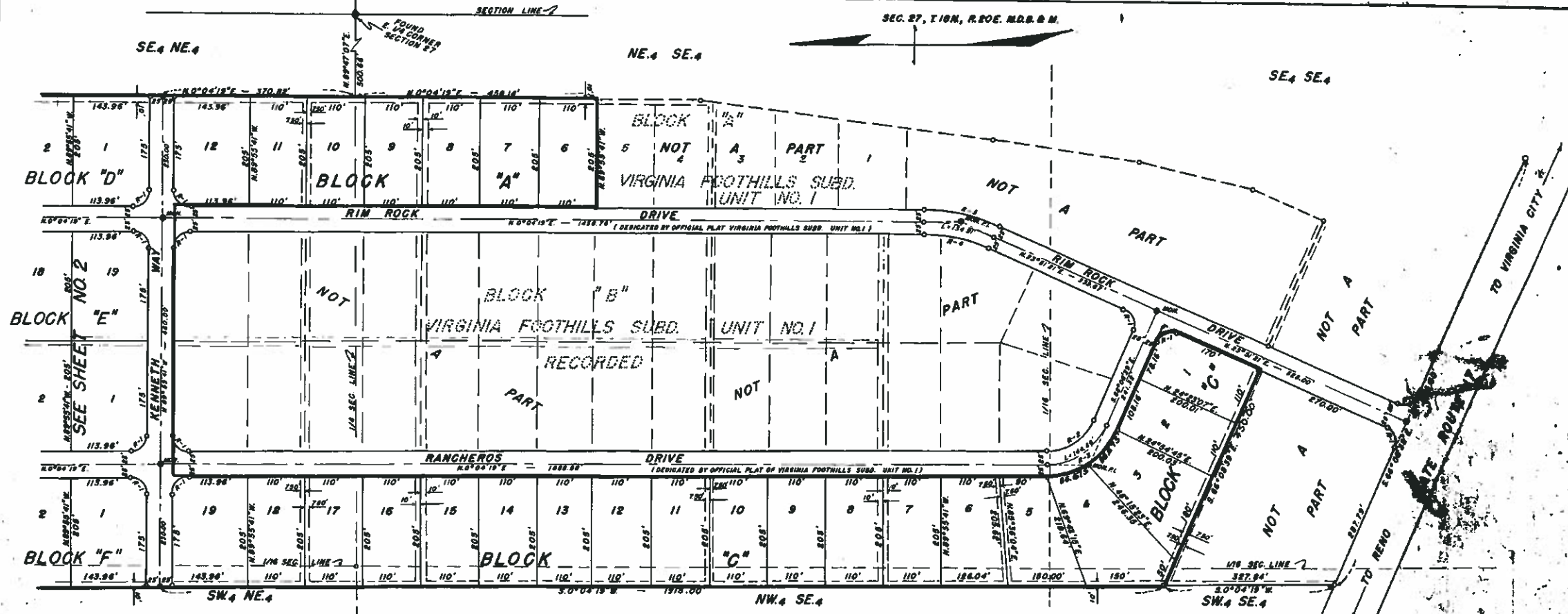
THIS SUBDIVISION HAS BEEN APPROVED FOR THE INSTALLATION OF SEPTIC TANKS, SUBJECT TO LIMITATIONS SET FORTH IN LETTER OF July 31 1962.

W.W. White
 DIRECTOR OF THE DIVISION OF PUBLIC HEALTH ENGINEERING.

396437
 Filed at the request of Joe Hill October 9, 1963 at 45 cents per page. 9 pages. 40 cents. Joe Hill
 By Orville Deputy
 AMENDED PLAT

VIRGINIA FOOTHILLS SUBDIVISION
 UNIT NO. 1
 WASHOE COUNTY, NEVADA
 JOHN E. CURRAN CIVIL ENGINEER
 SCALE: 1" = 100'

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR SUBSEQUENT CHANGES TO THIS MAP



STATE OF NEVADA S.S.
 COUNTY OF WASHOE S.S.
 I, JOHN E. CURRAN, DO HEREBY CERTIFY THAT THIS PLAT IS A TRUE AND ACCURATE MAP OF THE LAND SURVEYED BY ME OR UNDER MY SUPERVISION AND Laid out INTO LOTS, BLOCKS, STREETS AND PUBLIC PLACES AT THE INSTANCE OF THE HEREINAFTER SIGNED OWNERS, THAT THE LOCATION OF SAID LOTS, BLOCKS, STREETS AND PUBLIC PLACES HAS BEEN DEFINITELY ESTABLISHED AND PERPETUATED IN STRICT ACCORDANCE WITH THE LAW AND AS SHOWN HEREON, THAT THE LOTS, BLOCKS, STREETS AND PUBLIC PLACES SHOWN HEREON ARE SITUATED WHOLLY WITHIN THE E. 1/2 OF SECTION 27, T.18N., R.20E., M.D.R. & M. AND THAT THE SURVEY WAS COMPLETED ON THE 21ST DAY OF FEBRUARY 1963.

John E. Curran
 REV. ENGINEER & LAND SURVEYOR NO. 258

SUBSCRIBED AND SWORN TO BEFORE ME THIS 14TH DAY OF FEBRUARY 1963.

NOTARY PUBLIC IN AND FOR THE COUNTY OF WASHOE, STATE OF NEVADA.

MY COMMISSION EXPIRES 1967.

STATE OF NEVADA S.S.
 COUNTY OF WASHOE S.S.
 THIS IS TO CERTIFY THAT THE UNDERSIGNED, NEVADA LAND SALES AND DEVELOPMENT CORPORATION, A NEVADA CORPORATION, IS AN OWNER OF THE TRACT OF LAND REPRESENTED ON THIS MAP OR PLAT AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF CHAPTER 278 OF NEVADA REVISED STATUTES AUTHORIZING OWNERS OF LAND TO LAY OUT AND PLAT SUCH LANDS INTO LOTS, BLOCKS, STREETS AND PUBLIC PLACES AND PROVIDING FOR THE APPROVAL AND FILING OF MAPS OR PLATS THEREOF, APPROVED JANUARY 25, 1957, AS AMENDED, AND THAT THE STREETS AND AVENUES AS SHOWN ON THIS MAP OR PLAT ARE HEREBY DEDICATED AND SET APART TO BE USED AS PUBLIC THOROUGHFARES FOREVER.

IN WITNESS WHEREOF, THE SAID, NEVADA LAND SALES AND DEVELOPMENT CORPORATION, HAS CAUSED ITS NAME TO BE SIGNED AND ITS CORPORATE SEAL HERETO AFFIXED BY ITS DULY AUTHORIZED OFFICERS.

NEVADA LAND SALES AND DEVELOPMENT CORPORATION
 BY: *Walter J. Gage* PRESIDENT
 BY: *Robert Hayman* SECRETARY

STATE OF NEVADA S.S.
 COUNTY OF WASHOE S.S.
 ON THIS 14TH DAY OF FEBRUARY 1963, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ROBERT HAYNES KNOWN TO ME TO BE THE SECRETARY OF THE CORPORATION THAT EXECUTED THE FOREGOING INSTRUMENT, AND UPON OATH DID DEPOSE THAT HE IS THE OFFICER OF SAID CORPORATION AS ABOVE DESIGNATED; THAT HE IS ACQUAINTED WITH THE SEAL OF SAID CORPORATION AND THAT THE SEAL AFFIXED TO SAID INSTRUMENT IS THE SEAL OF SAID CORPORATION; THAT THE SIGNATURES TO SAID INSTRUMENT WERE MADE BY OFFICERS OF SAID CORPORATION AS INDICATED AFTER SAID SIGNATURES; AND THAT THE SAID CORPORATION EXECUTED THE SAID INSTRUMENT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED. IN WITNESS WHEREOF, I HAVE HERUNTO SET MY HAND AND AFFIXED BY OFFICIAL SEAL AT MY OFFICE IN SAID COUNTY THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC IN AND FOR THE COUNTY OF WASHOE, STATE OF NEVADA.

MY COMMISSION EXPIRES 1967.

CURVE DATA

Curve	A	R	L	T
R-1	90°00'	30'	47.12'	30.00'
R-2	66°15'28"	100'	115.82'	65.91'
R-3	66°15'28"	100'	115.82'	65.91'
R-4	23°47'08"	200'	124.53'	62.12'
R-5	23°47'08"	200'	124.53'	62.12'
R-6	90°00'00"	205'	332.01'	205.00'
R-7	90°00'00"	255'	400.83'	255.00'

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND THAT ALL PROVISIONS OF ALL ACTS AND ORDINANCES APPLICABLE HAVE BEEN COMPLIED WITH AND THAT I AM SATISFIED THAT THIS MAP IS SUBSTANTIALLY CORRECT.

Reginald S. Bradford
 COUNTY SURVEYOR

THE EASEMENTS ON THIS PLAT HAVE BEEN CHECKED AND APPROVED BY THE S.P.F. CO. AND THE BELL TELEPHONE CO. OF NEVADA.

Walter J. Gage S.P.F. CO.
A. B. Jones BELL TEL. CO.

APPROVED AND ACCEPTED THIS 7TH DAY OF MARCH 1963 BY THE BOARD OF COUNTY COMMISSIONERS OF WASHOE COUNTY, NEVADA.

ATTEST: *H. K. Brown*
 COUNTY CLERK
by [Signature] Deputy

A TENTATIVE MAP OF THIS SUBDIVISION WAS APPROVED BY THE REGIONAL PLANNING COMMISSION OF RENO, SPARKS AND WASHOE COUNTY ON THE 21ST DAY OF FEBRUARY 1963.

BY: *[Signature]*
 CHAIRMAN

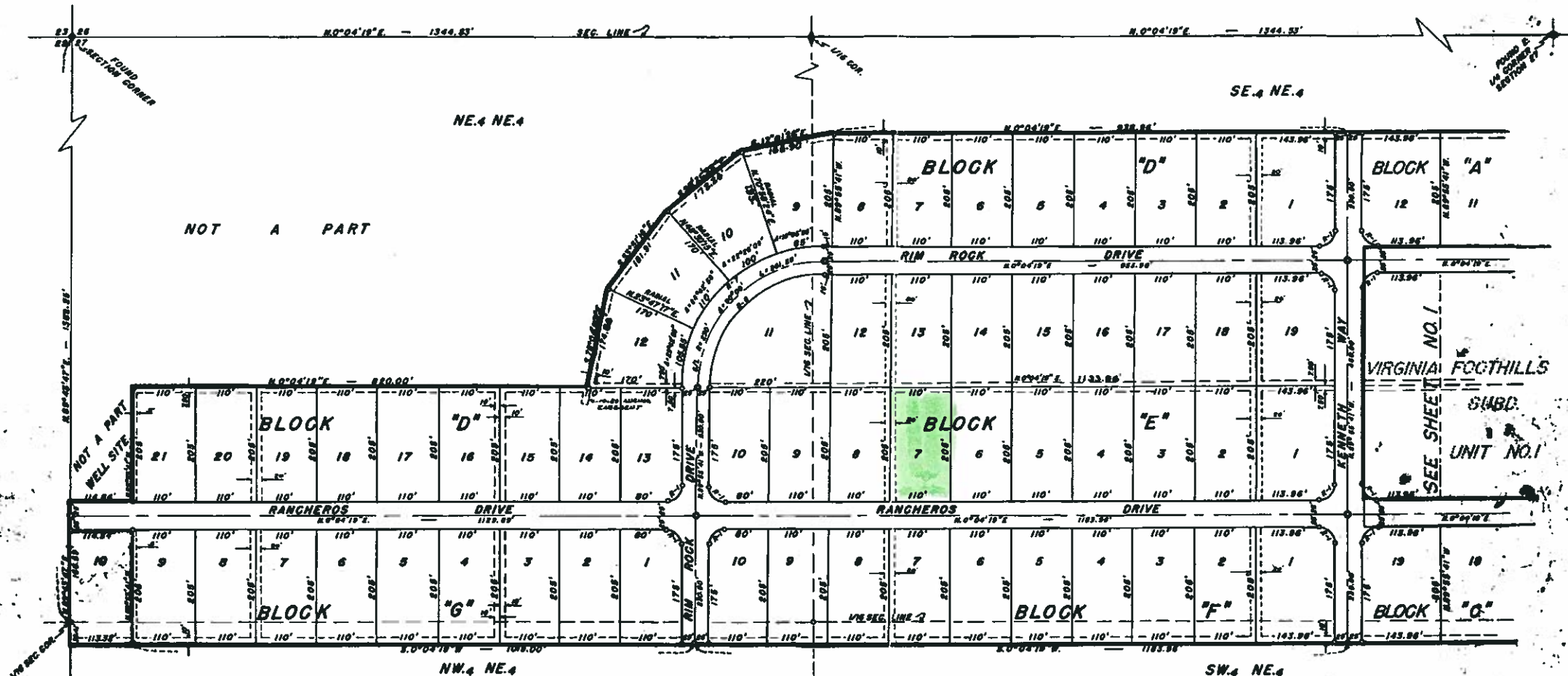
THIS SUBDIVISION HAS BEEN APPROVED FOR THE INSTALLATION OF SEPTIC TANKS.

[Signature]
 DIRECTOR OF THE DIVISION OF PUBLIC HEALTH ENGINEERING.

412498
 Filed for record at the request of Nevada Land Sales & Dev. Corp. April 21-1964 at 3 o'clock P.M. Records of Washoe County, Nev.
 Sec 27.00
Donald Equata
County Recorder
By [Signature]

OFFICIAL PLAT
 VIRGINIA FOOTHILLS SUBDIVISION
 UNIT NO. 2
 WASHOE COUNTY, NEVADA
 JOHN E. CURRAN CIVIL ENGINEER
 SCALE: 1" = 100'

COMPARATIVE INDEXES SHOULD BE OBTAINED FOR SUBSEQUENT CHANGES TO THE MAP



NEVADA LAND SALES & DEVELOPMENT CORP.
 PRESIDENT: *Wolfram L. Pifer*
 ALSO: As Attorney in Fact for the following Property Owners:

- | | |
|--|--|
| <i>H.G. & Grace R. Isabrande</i> | <i>Eldred F. & Juanita Buffinger</i> |
| <i>Bert L. & Eliza V. Clark</i> | <i>Donald E. & Evelyn C. Pierce</i> |
| <i>Jan B. Jaffar</i> | <i>R. & Alva V. Combs</i> |
| <i>Walter A. & Ida M. Rasmussen</i> | <i>Leola E. Faye (formerly Leola Cook)</i> |
| <i>Harold L. & Barbara Q. Adams</i> | <i>Duane R. & Beatrice Leota</i> |
| <i>Jerry E. & Diana E. Evans</i> | <i>Wayman E. & Dolores E. Smith</i> |
| <i>Leo R. Hovineer</i> | <i>Robert E. Strahan</i> |
| <i>James M. & Darlene J. McClure</i> | <i>Joseph R. & Delores Pifer</i> |
| <i>Oliver J. Jr. & Ruby M. Larson</i> | <i>Mrs. Joanna C. Fisher</i> |
| <i>Arthur & Pauline Ballou</i> | <i>Clifford M. & Helen E. Switten</i> |
| <i>Rene P. Riviere</i> | <i>Alvin D. & Jane K. Bruner</i> |
| <i>Robert L. & Lois E. Hayes</i> | <i>Roy L. & Ella J. Strain</i> |
| <i>Jack A. & Tonia Peterson</i> | <i>Regina B. Dornin</i> |
| <i>Louanna B. & Patricia L. Robinson</i> | <i>Glenn & Theresa M. Torrio</i> |
| <i>Melvin M. & Sandra M. Jones</i> | <i>Billy G. & Elton J. Payne</i> |
| <i>F.J. & Louisa Haas</i> | <i>Harold H. & Louise L. Sutherland</i> |
| <i>George W. & Mrs. Lee Ringener</i> | <i>Clyde J. & Florence L. Smith</i> |
| <i>Robert C. & Alida C. Davies</i> | <i>Mrs. Patricia Ware & Nellie M. Ware</i> |
| <i>Jeanette Legge</i> | <i>Dixie Chilcott</i> |
| <i>John W. Jr. & Ruth A. Galtner</i> | <i>John A. Roberts</i> |
| <i>Elmer R. Vallejo</i> | <i>Rhett J. & Velva J. Brown</i> |
| <i>Frank H. & Charlotte B. Phillips</i> | <i>Keith Allen & Maxine Blutsack</i> |
| <i>Glenn & William R. Craig</i> | <i>Frank E. & Barbara H. Rodman</i> |
| <i>Howard C. & Judith E. Strasser</i> | <i>Johanna L. Crow</i> |
| | <i>Wolfram L. Pifer</i> |

STATE OF NEVADA S.S.
 COUNTY OF WASHOE
 THIS IS TO CERTIFY THAT THE UNDERSIGNED, PIONEER TITLE INSURANCE COMPANY OF NEVADA, A NEVADA CORPORATION, IS AN OWNER OF THE TRACT OF LAND REPRESENTED ON THIS MAP OR PLAN AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF CHAPTER 270 OF NEVADA REVISED STATUTES AUTHORIZING OWNERS OF LAND TO LAY OUT AND PLAT SUCH LANDS INTO LOTS, BLOCKS, STREETS AND PUBLIC PLACES AND PROVIDING FOR THE APPROVAL AND FILING OF MAPS OR PLATS THEREOF, APPROVED JANUARY 25, 1957, AS AMENDED, AND THAT THE STREETS AND AVENUES AS SHOWN ON THIS MAP OR PLAN ARE HEREBY DEDICATED AND SET APART TO BE USED AS PUBLIC THROUGHFARES FOREVER.

IN WITNESS WHEREOF, THE SAID, PIONEER TITLE INSURANCE COMPANY OF NEVADA, HAS CAUSED ITS NAME TO BE SIGNED AND ITS CORPORATE SEAL HERETO AFFIXED BY ITS DULY AUTHORIZED OFFICER,
 PIONEER TITLE INSURANCE COMPANY OF NEVADA
 BY: *Clarence A. Jensen*
 VICE PRESIDENT.

STATE OF NEVADA S.S.
 COUNTY OF WASHOE
 ON THIS 12TH DAY OF APRIL 1964, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, CLARENCE A. JENSEN KNOWN TO ME TO BE THE VICE PRESIDENT OF THE CORPORATION THAT EXECUTED THE FOREGOING INSTRUMENT, AND UPON OATH DID DEPOSE THAT HE IS THE OFFICER OF SAID CORPORATION AS ABOVE DESIGNATED; THAT HE IS ACQUAINTED WITH THE SEAL OF SAID CORPORATION AND THAT THE SEAL AFFIXED TO SAID INSTRUMENT IS THE SEAL OF SAID CORPORATION; THAT THE SIGNATURE TO SAID INSTRUMENT WAS MADE BY THE OFFICER OF SAID CORPORATION AS INDICATED AFTER SAID SIGNATURES; AND THAT THE SAID CORPORATION EXECUTED THE SAID INSTRUMENT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.
 IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN SAID COUNTY THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Clarence A. Jensen
 NOTARY PUBLIC IN AND FOR THE COUNTY OF WASHOE,
 STATE OF NEVADA.
 BY COMMISSION EXPIRES JANUARY 9 1965.

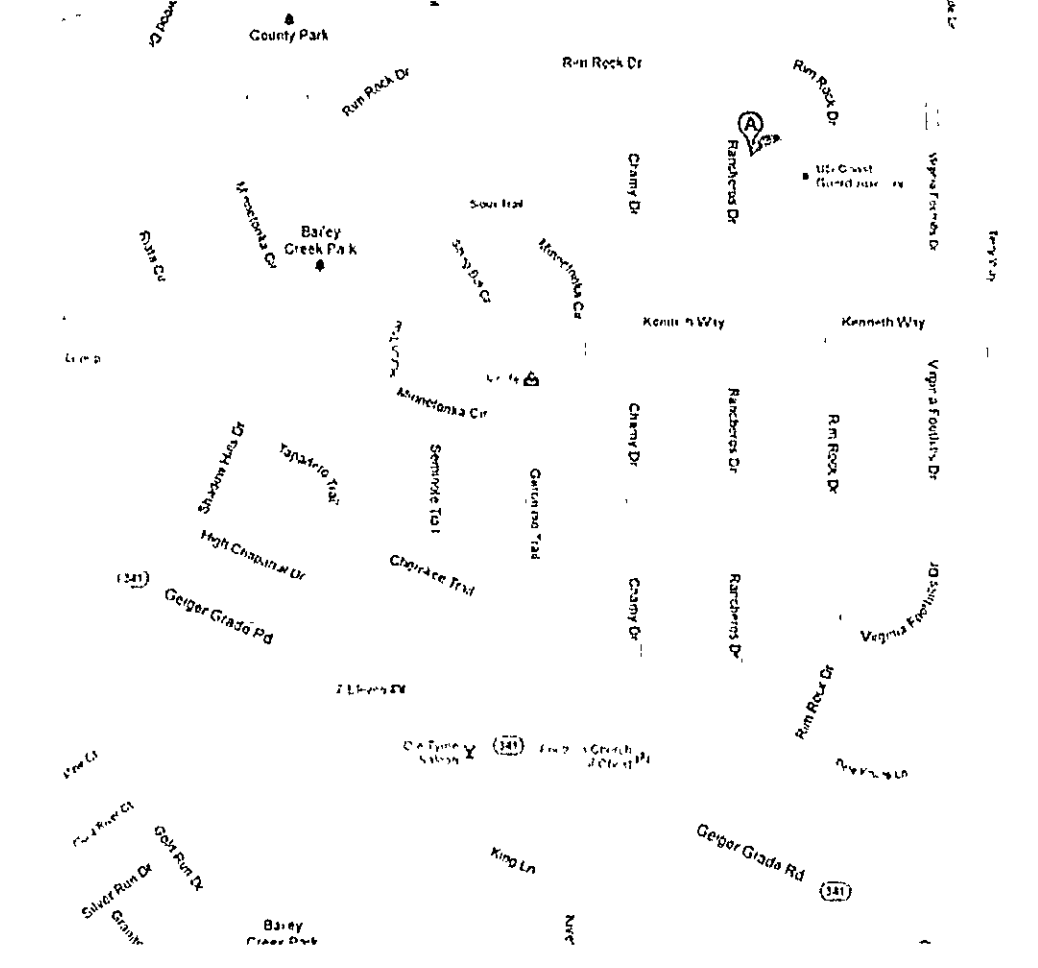
OFFICIAL PLAT
 VIRGINIA FOOTHILLS SUBDIVISION
 UNIT NO. 2
 WASHOE COUNTY, NEVADA
 JOHN E. GURRAN CIVIL ENGINEER
 SCALE: 1" = 100'

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR SUBSEQUENT CHANGES TO THIS MAP

Exhibit 10

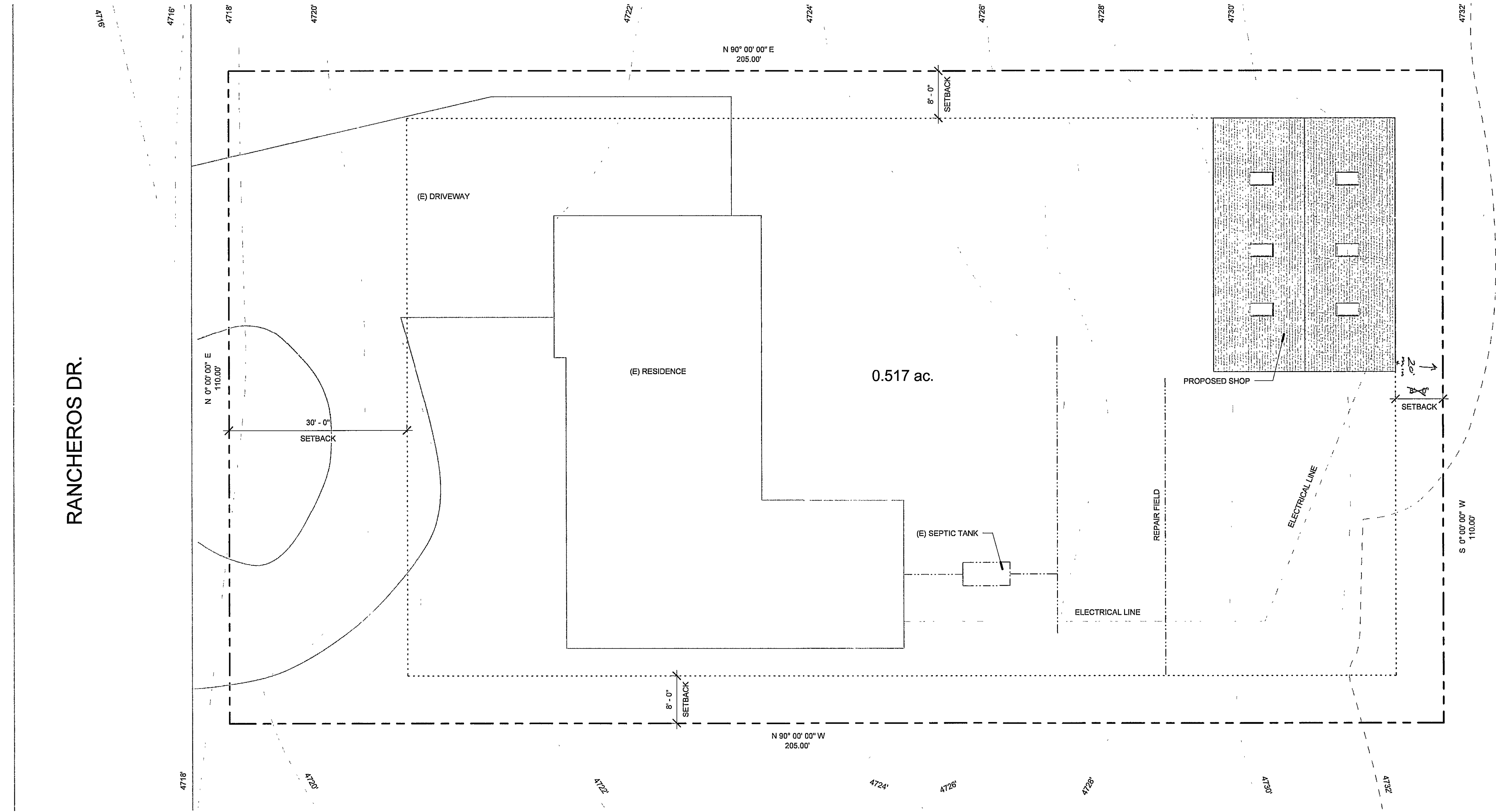
Permit Drawings

12-0944



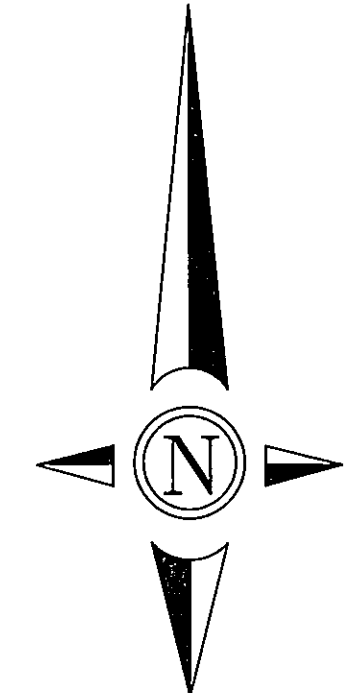
VICINITY MAP
N.T.S.

NO KNOWN PUBLIC WELLS WITHIN 200 FEET OF PARCEL
NO KNOWN 100 YEAR FLOOD PLAIN WITHIN 100 FEET OF PARCEL
NO KNOWN WELLS OR SEPTIC SYSTEMS WITHIN 100 FEET OF PARCEL OTHER THAN NOTED
NO DRAINAGE IMPROVEMENTS
NO KNOWN SEWERS WITHIN 400 FEET OF PARCEL
NO KNOWN WATER CHANNELS OR NATURAL DRAINAGE WITHIN 100 FEET OF PARCEL OTHER THAN NOTED
<p>SITE PLAN FOR:</p> <p>DARREN GYFORD</p> <p>14190 RANCHEROS DR. RENO, NV 89521 APN# 016-478-001</p> <p>5/2/2012 8:38:02 AM</p>
<p>THESE PLANS ARE PREPARED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS 623.330 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624</p> <p>MB LEWIS CONSTRUCTION</p> <p>2171 W. WILLIAMS AVE., SUITE 295 Washoe FALLON, NV 89406 PHONE: (775) 324-3511 B-2 LICENSE # 0039667A LIMIT \$250,000</p> <p>WASHOE COUNTY BUILDING DEPT. OFFICE COPY</p>
SIGNATURE OF QUALIFIED INDIVIDUAL OR REPRESENTATIVE

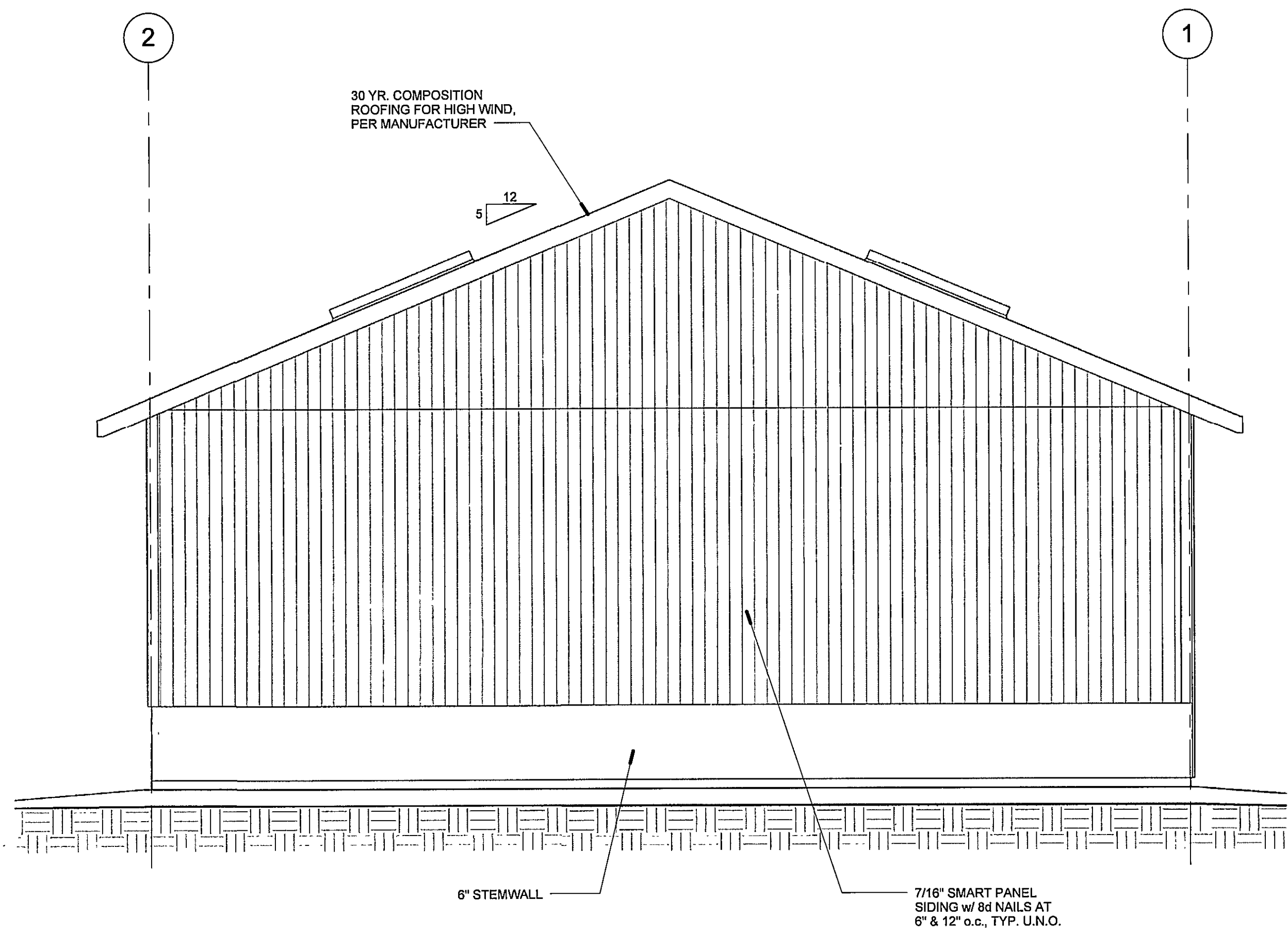


RANCHEROS DR.

SITE PLAN
N.T.S.

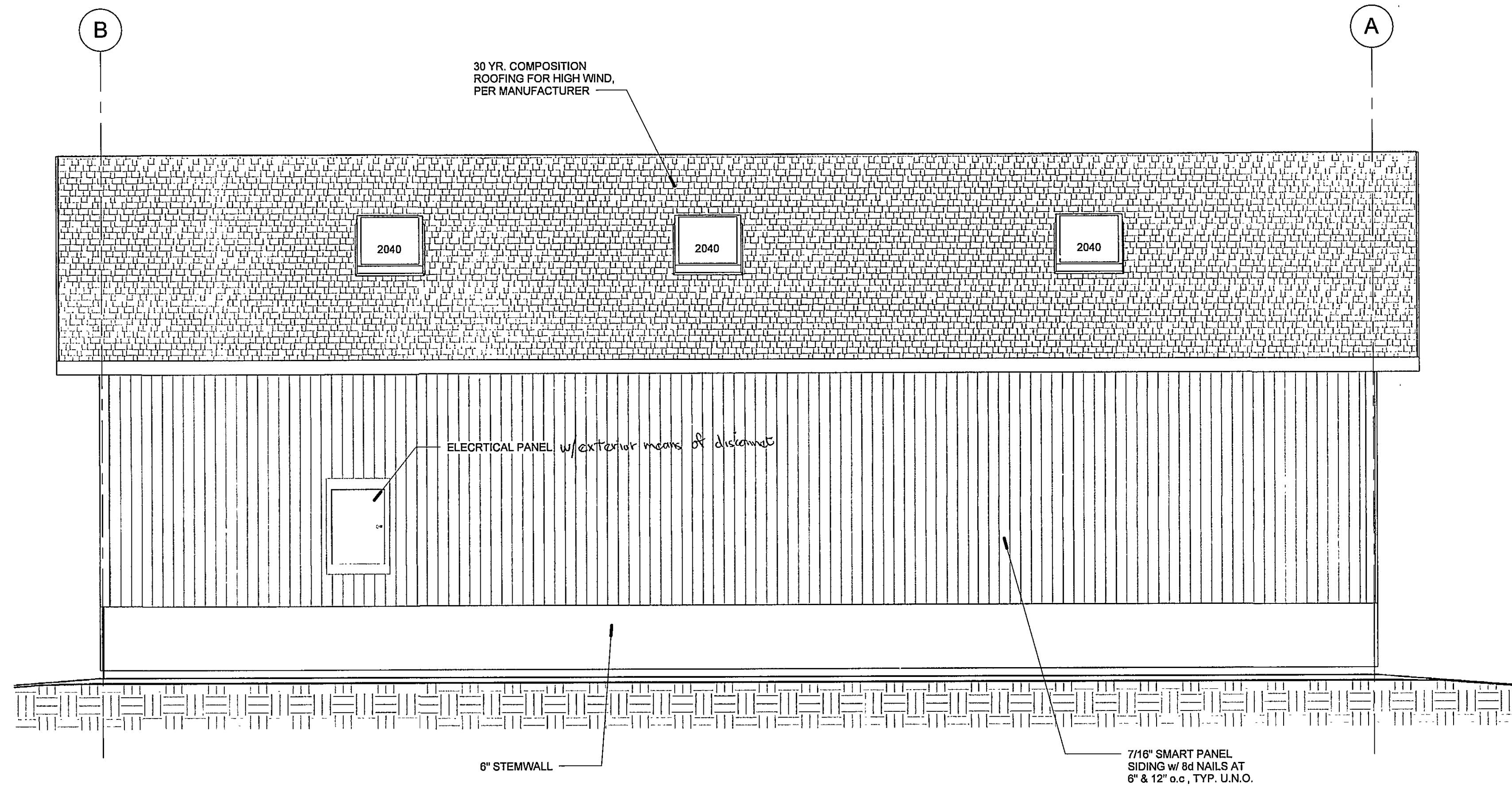


A1



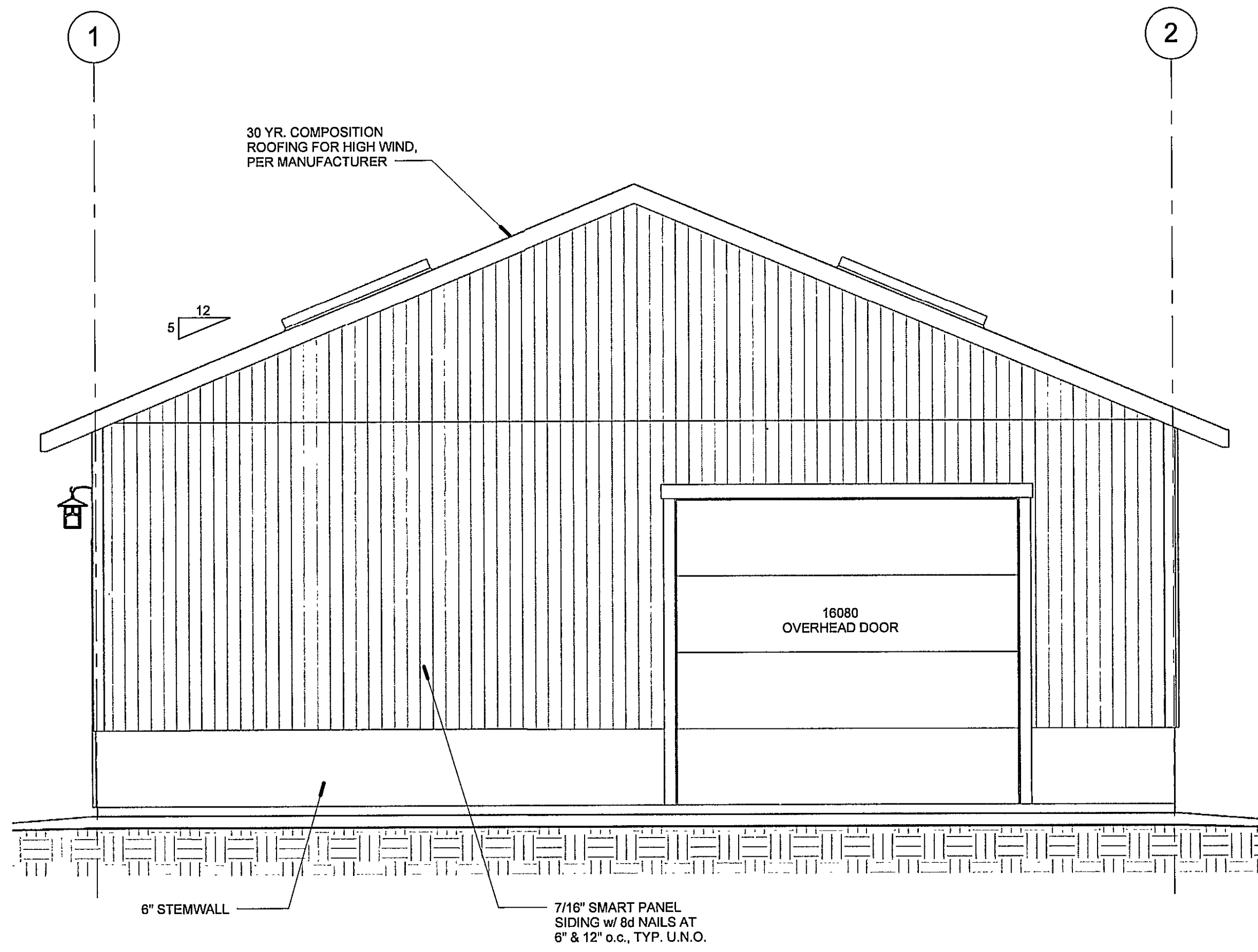
NORTH ELEVATION

N.T.S.



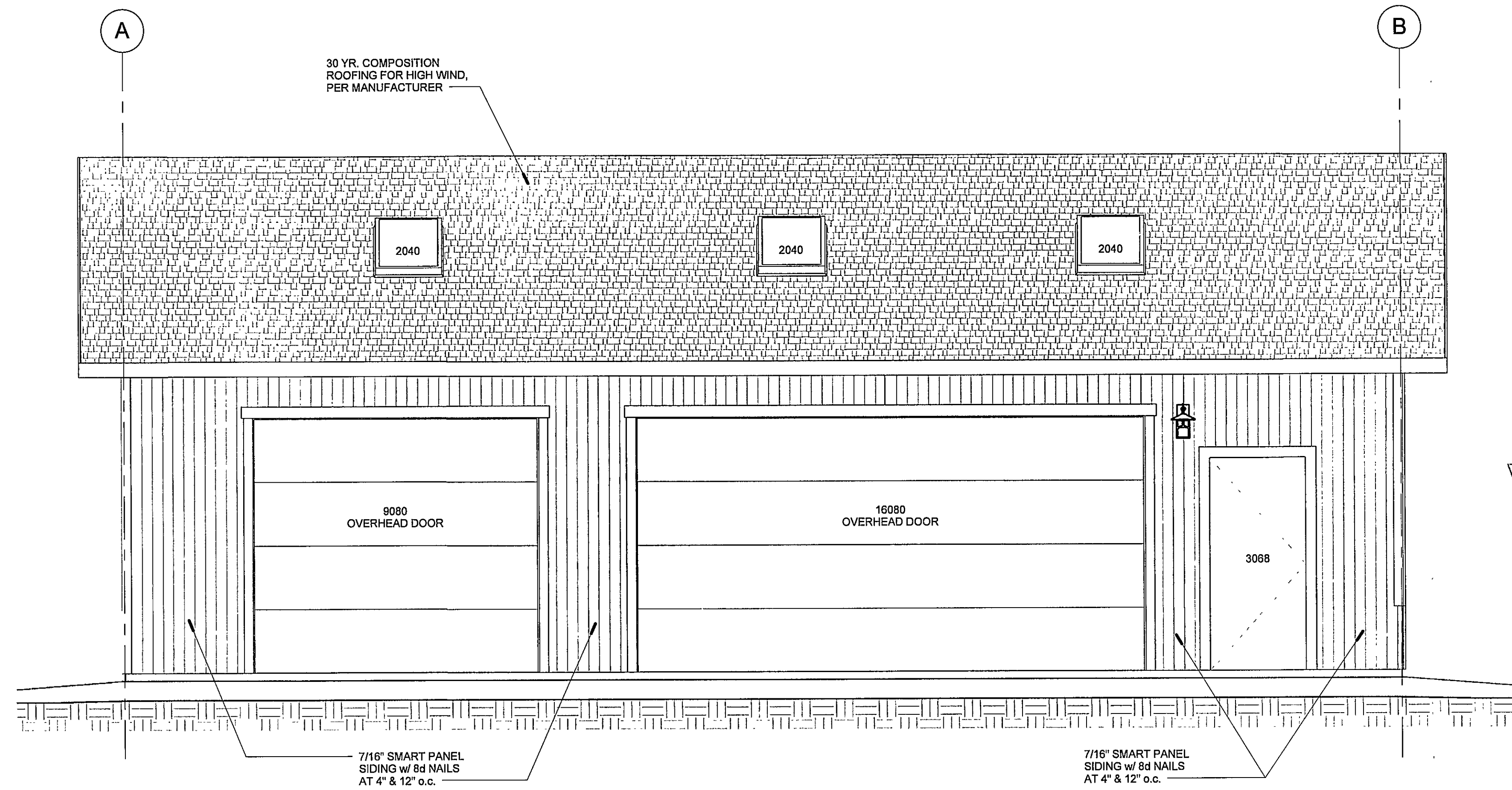
EAST ELEVATION

N.T.S.



SOUTH ELEVATION

N.T.S.



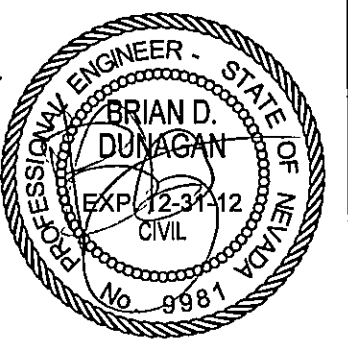
WEST ELEVATION

N.T.S.

REVISIONS			
#	Date	Description	By

DEI
Design Engineers Inc.
Dunagan Engineering, Inc.
 4790 Caughlin Parkway #766, Reno, NV 89519
 T: 775-329-2733 | F: 888-873-0790 | W: DEIengineers.com

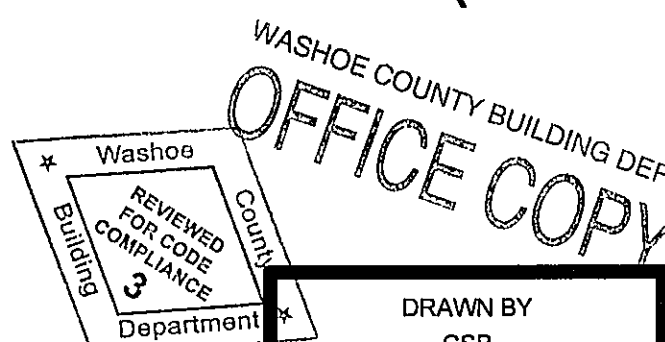
STRUCTURAL ONLY



5/2/2012 8:38:11 AM

MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE., SUITE 285
 FALLON, NV 89406
 PHONE: (775) 324-3511
 B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
 14190 RANCHEROS DR.
 RENO, NV 89521
 APN# 016-473-07



DRAWN BY	CSB
CHECKED BY	BDD
DATE	-
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	A2
OF SHEETS	-

GENERAL NOTES AND SPECIFICATIONS:

DIVISION 1 - GENERAL

- a. All work shall conform to the 2006 IBC and applicable local codes.
b. Where applicable allowable stresses have been increased 15% (Except Alpine and Placer Counties) for short duration and 60% for seismic and wind loading.
c. Dunagan Engineering, Inc. is responsible for the structural items in the plans only. Should any changes be made, or should the results of these calculations not be fully or properly transferred to the plans by others, Dunagan Engineering, Inc. assumes no responsibility for the structure.
d. No deviation from structural details shall be made without the written approval of the Structural Engineer.
e. All codes and standards shall be the most current edition as of the date of the calculations.
f. The calculations shown on the drawings are typical. Similar details apply to similar conditions.
g. The calculations are based upon a complete structure. Should an unfinished structure be subjected to loads, Dunagan Engineering, Inc. should be consulted for an interim design or if not, will assume no liability.
h. Temporary supports, etc., are the sole responsibility of the framing contractor and have not been considered by the structural engineer.
i. Dunagan Engineering, Inc. expressly reserves its common law copyright and other property rights in these plans.
j. Building sites are assumed to be drained and free of clay or expansive soil.
k. Backfill trenches shall be compacted to 90% relative density per ASTM D1557 to within 12" of finished grade.
l. Backfill at pipe trenches shall be compacted on both sides of pipe in 6" lifts.
m. Waterproof exterior faces of all foundation walls adjacent to usable spaces.
n. All backfill against foundation walls must be compacted to 90% relative density, unless otherwise directed by a soils report.
o. Perforated pipe sub-drain typical behind all retaining walls.
p. All concrete shall have a minimum 28 day compressive strength of 2500 psi for footings and 2500 psi for retaining walls.
q. Reinforcement shall be per ASTM A615 grade 60 ksi, U.N.O.
r. Lap reinforcing a minimum of 40 bar diameters at all splices, U.N.O.
s. Reinforcement cover in cast-in-place concrete shall be as follows:
t. All slabs on grade, S.O.G. shall have a minimum thickness of 4" and be reinforced with #3 at 18" o.c., or with Fibermesh as per manufacturers specifications equivalent to reinforcement specified above.
u. Concrete shall be air-entrained to 5% +/- 1%.
v. Provide slab control joints (saw cut or plastic inserts) at 10'-0" maximum spacing each way for 4" slab.
w. All hardware called for shall be Simpson Strong-Tie Co. Inc. and installed per the manufacturers specifications.
x. All nails specified are common nails.
y. The minimum nailing for all framing shall conform to IBC Table 2304.9.1.
z. Wood plates or sills shall be bolted to the foundation or foundation wall.
aa. All lumber framing shall be Douglas Fir Larch with moisture content < 19%, U.N.O.
ab. Glu-Lams used for simple spans shall be 24F-V4 U.N.O.
ac. All plywood shall conform to APA PS 1.
ad. Where multiple trimmers or studs are specified, those trimmers are to be stacked in all wall framing and solid blocking to be provided at all floors down to the foundation.
ae. All laminated veneer lumber (LVL) and parallel strand lumber (PSL) specified shall have the following minimum design strengths:
af. Foundation sill plates, nailers, and ledgers in direct contact with concrete and within 6" of ground to be preservative treated Douglas Fir.
ag. All framing members specified in these calculations and/or plans are minimums, and larger members of equal or better grade may be substituted.
ah. No green lumber shall be used on this project.
ai. No framing of any type shall be concealed prior to inspection by governing agencies.
aj. Sawn lumber shall have the following minimum grades (u.n.o.):
ak. All resawn and roughsawn beams are to be free of heart center.
al. Double joists shall be attached with (2) rows of 16d's at 12" o.c. edge distance of nailing to be 2".
am. All multiple studs to be attached with 16d's at 12" o.c.

DESIGN CRITERIA

2006 International Building Code (IBC)
Local Building Department Standards
Soil Bearing (IBC Table 1804.2)

WIND DESIGN DATA

Basic wind speed = 100 m.p.h. (3 sec. gust.) Iw=1.00, Building Category II
Wind exposure C

SEISMIC DESIGN DATA

Ie = 1.0 Occupancy Category II
Ss = 1.500 g and Si = 0.600 g
Site class = D
SDs = 1,000 g, SD1 = 0.600 g
Seismic design category = D
Basic seismic-force-resisting system(s) = wood structural panels.
Analysis procedure used: Equivalent lateral force

SNOW LOADS:

Site Elevation: < 5300 FT.
Roof Snow Load: 23 PSF

TRUSSES (if used)

- Engineering to be provided by truss manufacturer.
The truss manufacturer shall provide shop drawings for approval by this engineer and shall be responsible for the design and certification of the trusses.

TRUSS REVIEW APPROVAL:

CONTRACTOR: MB LEWIS
DATE:
TRUSS MANUFACTURER: BURTON COMPONENTS

This letter is to confirm that Dunagan Engineering, Inc. has reviewed the above referenced truss calculations for use at the above address, prior to submittal to the Building Dept., and find them to be in general compliance with the plans and specifications (including but not limited to drag trusses, connections, loading, and eave paths). The contractor is responsible for dimensions, which shall be confirmed and collaborated at the job site, fabrication processes and techniques of construction, the coordination of his work with that of all other trades, and the satisfactory performance of his work.

DUNAGAN ENGINEERING INC.

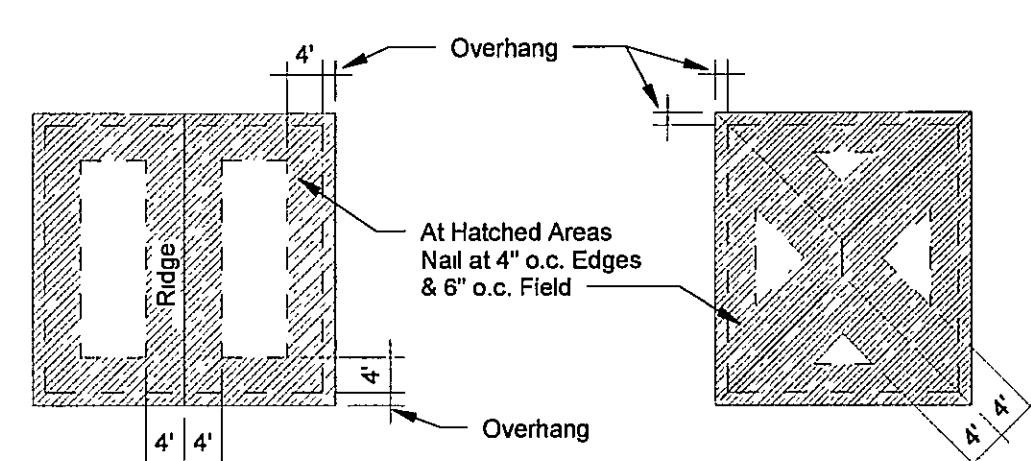
- Truss Manufacturer to design "shear" trusses to resist the lateral load indicated on plans (minimum shear load = 1500 lb).
Truss Manufacturer to verify location of and provide reinforced trusses for the support of any mechanical equipment where occurring.
Truss Manufacturer to verify location of and design for all ceiling height changes, attic accesses, return air grills, etc as required by the Architect.
Approved truss shop drawings shall be a part of these construction documents. They shall be attached to these drawings and shall be on the construction site for duration of the project.
Each truss shall be legibly branded, marked or otherwise have permanently affixed thereto the following information located within 2 feet of the center of the span on the face of the bottom chord:
a. Identity of the company manufacturing the truss.
b. The design load.
c. The spacing of trusses
It is the responsibility of the truss manufacturer to conform the truss design according to the loading conditions as called for in the structural calculations, such as (1) snow, live and dead loads; (2) truss spacing; (3) spans and eave overhangs and their loading; (4) roof pitch; and (5) bearing points of all trusses.
When trusses are spaced at 16" o.c. the truss manufacturer shall provide a means of attic access.
When snow loads exceed 30 psf the trusses shall be designed to stack over wall studs at bearing points unless truss manufacturer provides alternate design.
All girder trusses are to be supported by multiple studs, U.N.O.
Cable and trusses shall be structural; designed to support the overhang and to allow a top chord notch of 1 1/2". Use min. drag load of 200 P.L.F.
All non bearing walls are to have a 1/4" gap to the bottom chord of the trusses. Secure bottom chord to wall with Simpson STC clip.
Trusses are to be handied, installed, and braced in accordance with BCSI-B1 of the Truss Plate Institute (TPI).
Truss Spacing = 24" o.c.

TRUSS LOADING:

Table with 2 columns: TYPICAL and PSF. Rows include Top Chord Live/Snow Load, Top Chord Dead Load, Bottom Chord Live Load, Bottom Chord Dead Load, and Total Load.

ROOF PLYWOOD

1/2" CDX APA Rated (32/16) or OSB equivalent. Apply face grain perpendicular to framing. Stagger panels and nail with 8d's common at 6" o.c. at edges and boundaries (blocking, drag trusses, shear blocks, etc.), and 12" o.c. field. U.N.O. (See special diaphragm nailing requirements this sheet)

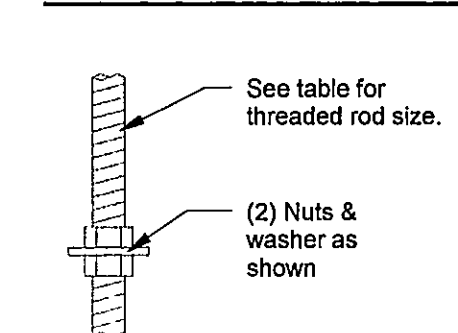


SPECIAL DIAPHRAGM NAILING

SOILS & FOUNDATIONS

Dunagan Engineering, Inc. has not made a geotechnical review of the building site and is not responsible for general site stability or suitability for the proposed project. A review by a geological engineer or qualified civil engineer may be desirable. Foundation design is based on minimum footing dimensions and bearing capacities set forth in Table 1804.2 of Chapter 18 in the 2006 International Building Code Assume Class 4 soil with allowable soil bearing pressure of 2000 psf, with a constant expansion index less than 20. Footings shall extend 24" (minimum) below grade.

THREADED ROD END CONDITION



Connection Cross-Reference

Table with 8 columns: Simpson Strong-Tie, USP Structural Connectors, Simpson Strong-Tie, USP Structural Connectors, Simpson Strong-Tie, USP Structural Connectors, Simpson Strong-Tie, USP Structural Connectors. Rows list product numbers and descriptions for various connections.

HOLDOWN SPECIFICATION TABLE

Table with columns: HOLDOWN, CL, POST THICKNESS, SCREWS, BOLTS OR NAILS, THREADED ROD (A.B. DIA., EMBEDMENT, FOOTING), SSTS BOLT (SGL POUR, DBL POUR). Rows list holdown types like HTT4, HTT5, PHD0, HDU5, HD08, HDU11, HHQ11, HHQ14.

NAIL SPECIFICATIONS

Table with columns: NAIL TYPE, NOMINAL DIAMETER (GAGE), NOMINAL MIN. EMBED FOR LENGTH P.W. SHEATHING, MIN. NAIL LENGTH, PLY. THICKNESS, MIN. EMBED. Rows list nail types like 6d COMMON, 8d COMMON, 10d COMMON, 12d COMMON, 16d COMMON, 18d G.V. SINKER.

DETERMINE REQ'D NAIL DIAMETER AND LENGTH

Table with columns: REQ'D COMMON NAIL, 8d, 10d. Rows include PLYWOOD THICKNESS, MINIMUM EMBEDMENT, MIN. NAIL LENGTH REQ'D, MIN. DIAMETER REQ'D.

THESE NOTES APPLY TO ALL SHEETS

- 1. It shall be the contractor's direct responsibility to comply with typical details and general notes as delineated or defined on the typical detail drawings of these construction documents regardless of specific flagging or reference to applicable note or detail.
2. It shall be the contractor's responsibility to coordinate with all trades regarding utilities passing through and under footings. Structural requirements for these conditions are delineated in typ. details.
3. Top of footing elevations noted are minimum. See note 2 for additional requirements.
4. Contractor to verify and coordinate all locations and sizes of openings in slabs, slab depressions, and curbs for all related construction prior to floor layout or construction. Contractor shall then use appropriate details or appropriate wall section for each applicable condition.
5. Contractor to verify dimensions with architect prior to construction.
6. Drawings are diagrammatic in nature and are not intended to indicate every opening or penetration in roof or other structure. Contractor shall coordinate and verify location and size of all such openings and penetrations with related subcontractors prior to roof or other framing layout or construction. Contractor shall then use appropriate typical or referenced details for each opening or penetration.
7. Contractor to verify with appropriate sub-contractors the exact location, weight, and intended method of attachment of all items to be suspended from or in any way attached to any roof framing or other structural member unless such item(s) are clearly addressed by the structural construction documents. This information shall be transmitted in writing to structural engineer prior to final design or fabrication of structural framing members.
8. Contractor to verify all existing conditions and dimensions and notify the architect in writing of any discrepancies.

SHEET INDEX

- A1 SITE PLAN
A2 ELEVATIONS
S0.1 GENERAL NOTES & DETAILS
S0.2 TYP. DETAILS
S0.3 TYP. & STANDARD DETAILS
S0.4 STANDARD DETAILS
S1.1 STRUCTURAL PLANS & SECTION

ABBREVIATIONS:

- ADDITIONAL ALTERNATE ANCHOR BOLT APPROXIMATE
BEAM BRACING
BELOW BETWEEN
BLOCK BOTH SIDES
BOTTOM BOUNDARY NAILING
BUILDING CANTILEVER
CARRIAGE BOLT
CEILING CENTERLINE CHANNEL CLEAR COLUMN COMPLETE PENETRATION CONCRETE CONTROL MASONRY UNIT CONTINUOUS CONTROL JOINT CONTROL MASONRY JOINT COUNTERSINK DEAD LOAD DETAIL DIMENSION DITTO DOWEL JOINT DOUBLE DOUGLAS FIR DRAWING EACH EACH END EACH WAY EDGE NAIL ELEVATION EMBEDMENT EQUAL EXISTING EXPANSION EXPANSION BOLT EXPANSION JOINT EXTERIOR FACE OF CONCRETE FACE OF MASONRY FACE OF STUDY FIELD NAIL/FACE NAIL FINISH FLOOR FOOTING FACE OF CONCRETE FACE OF MASONRY FIELD NAIL/FACE NAIL FINISH FLOOR FOOTING FORCED-ENTRY FASTNERS FOUNDATION GAGE GALVANIZED GLU-LAM GLUED-LAMINATED BEAM GYPSUM BOARD HANGER HEADER HEIGHT HEM-FIR HSB HIGH-STRENGTH BOLT HORIZONTAL INFORMATION INSIDE DIAMETER INTERIOR ISOLATION JOINT JOIST KILN DRIED KING STUD LAMINATED VENEER LUMBER LIGHT LIVE LOAD LONG LONG LEG HORIZONTAL LONG LEG VERTICAL MACHINE BOLT MALLEABLE IRON WASHER MANUFACTURER MAXIMUM MECHANICAL MICRO-LAM (BY TRUS JUST) MINIMUM MISCELLANEOUS (N) N.I.C. NOT IN CONTRACT NOT TO SCALE NUMBER/POUNDS ON CENTER ONE SIDE OPPOSITE OPPOSITE HAND ORIENTED STRAND BOARD OUTSIDE DIAMETER OVER PARALLAM (BY TRUS JUST) PARALLEL PARTIAL PENETRATION PENETRATION PLATE PLYWOOD POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POWER ACTUATED FASTENER POWER DRIVEN FASTENER PRESERVATIVE TREATED PRESERVATIVE TREATED PROPERTY LINE RADIUS REDWOOD REFERENCE REQUIRED ROSBORO MFG. TIMBER SCHEDULE SEE ARCHITECTURAL DWGS SELF-TAPPING SCREW SHEAR WALL SIMILAR SLAB JOINT SLAB ON GRADE SOLID BLOCK SPECIFICATION SQUARE STANDARD STEEL SYMMETRICAL THREADED TOE NAIL TONGUE & GROOVE TOP & BOTTOM TOP OF TUBE STEEL TRIMMER TYPICAL UNIFORM BUILDING CODE UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL WEAKENED PLANE JOINT WEIGHT WELDED STUD/WOOD SCREW WELDED WIRE FABRIC WELDED WIRE MESH

Table with columns: #, Date, Description, By. Row 1: 1, 6-1-12, PLAN CHECK, CSB

Dunagan Engineering, Inc. logo and contact information: 4750 Caughlin Parkway #168, Reno, NV 89519, T: 775-329-2733, F: 888-673-0790

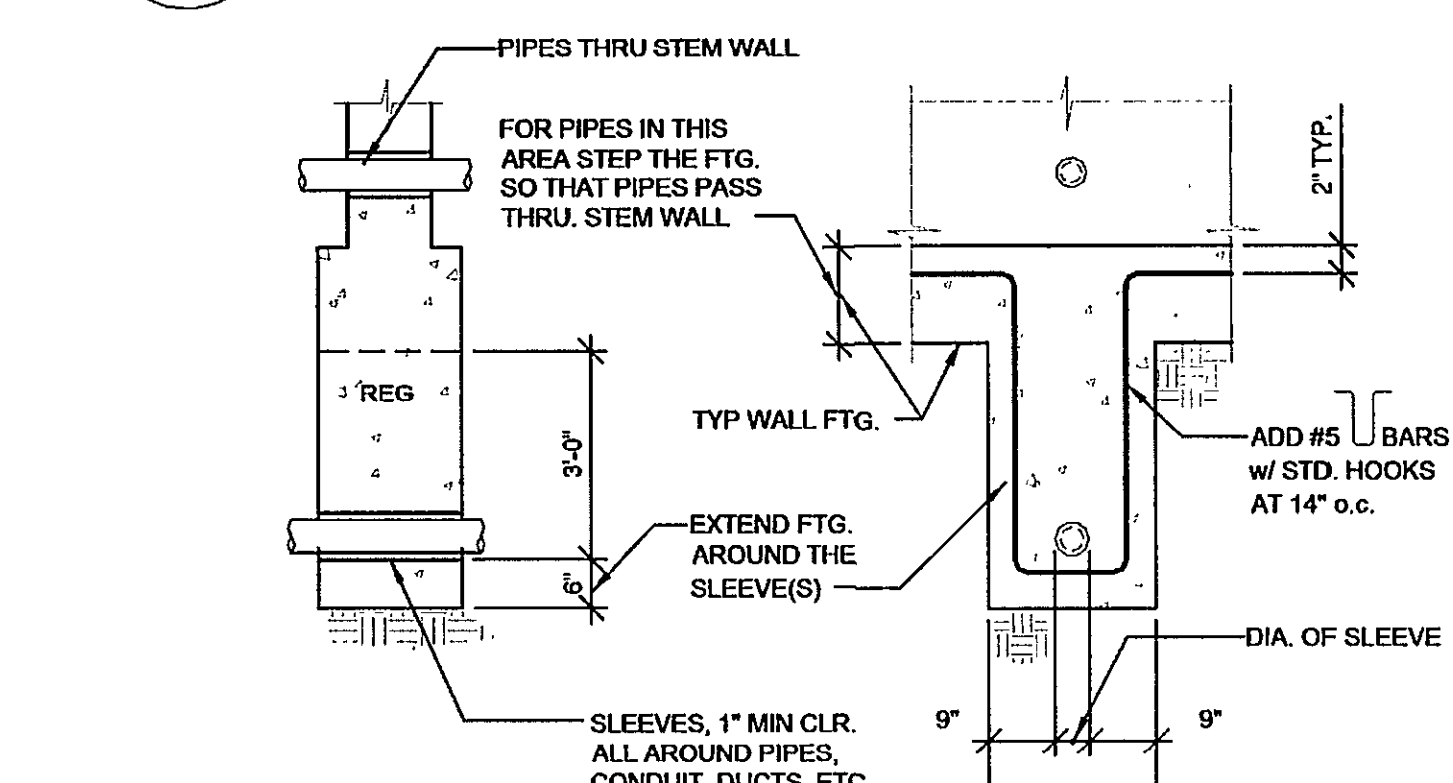
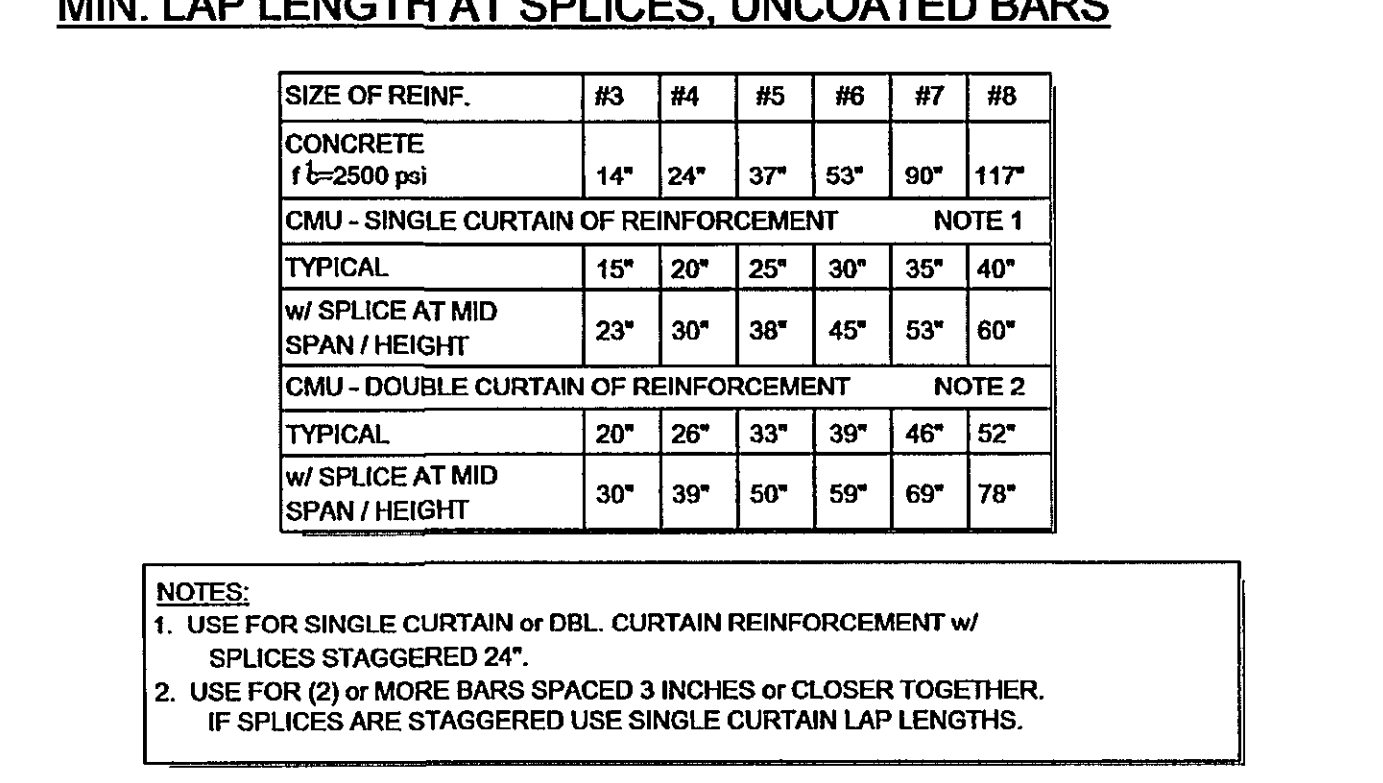
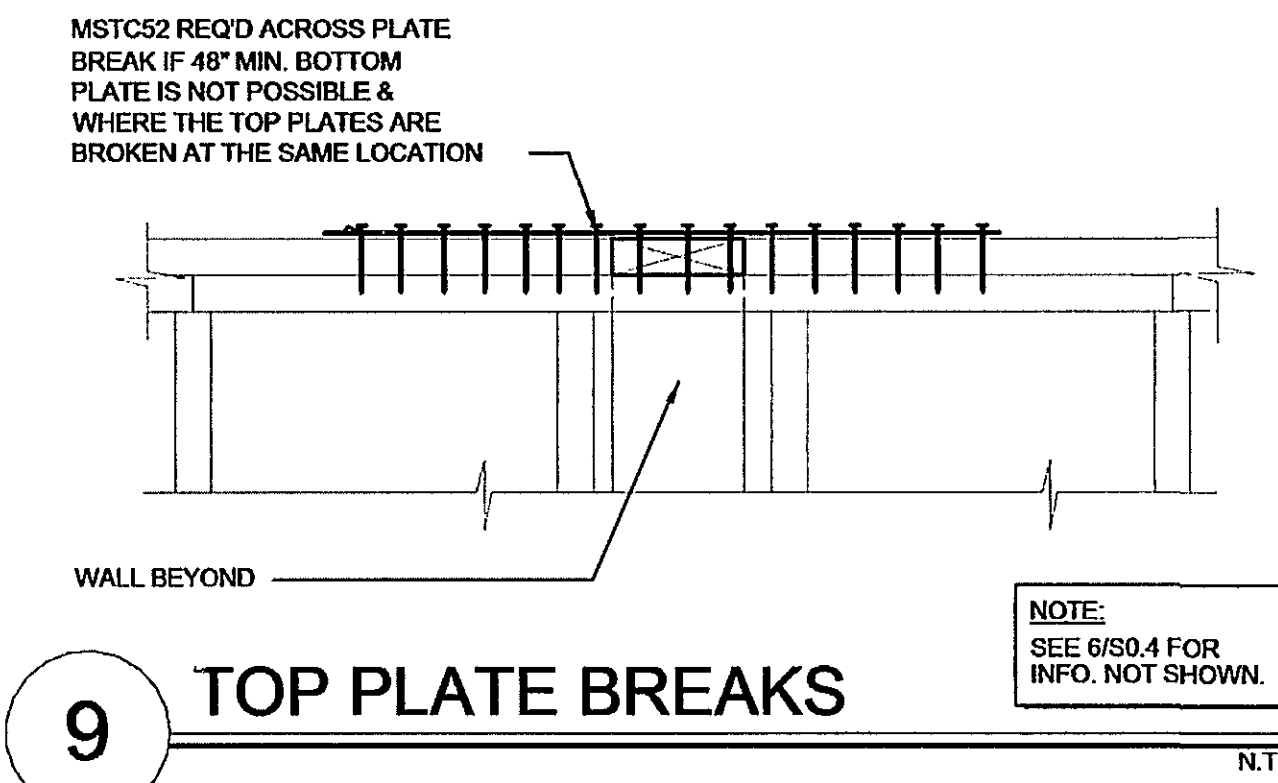
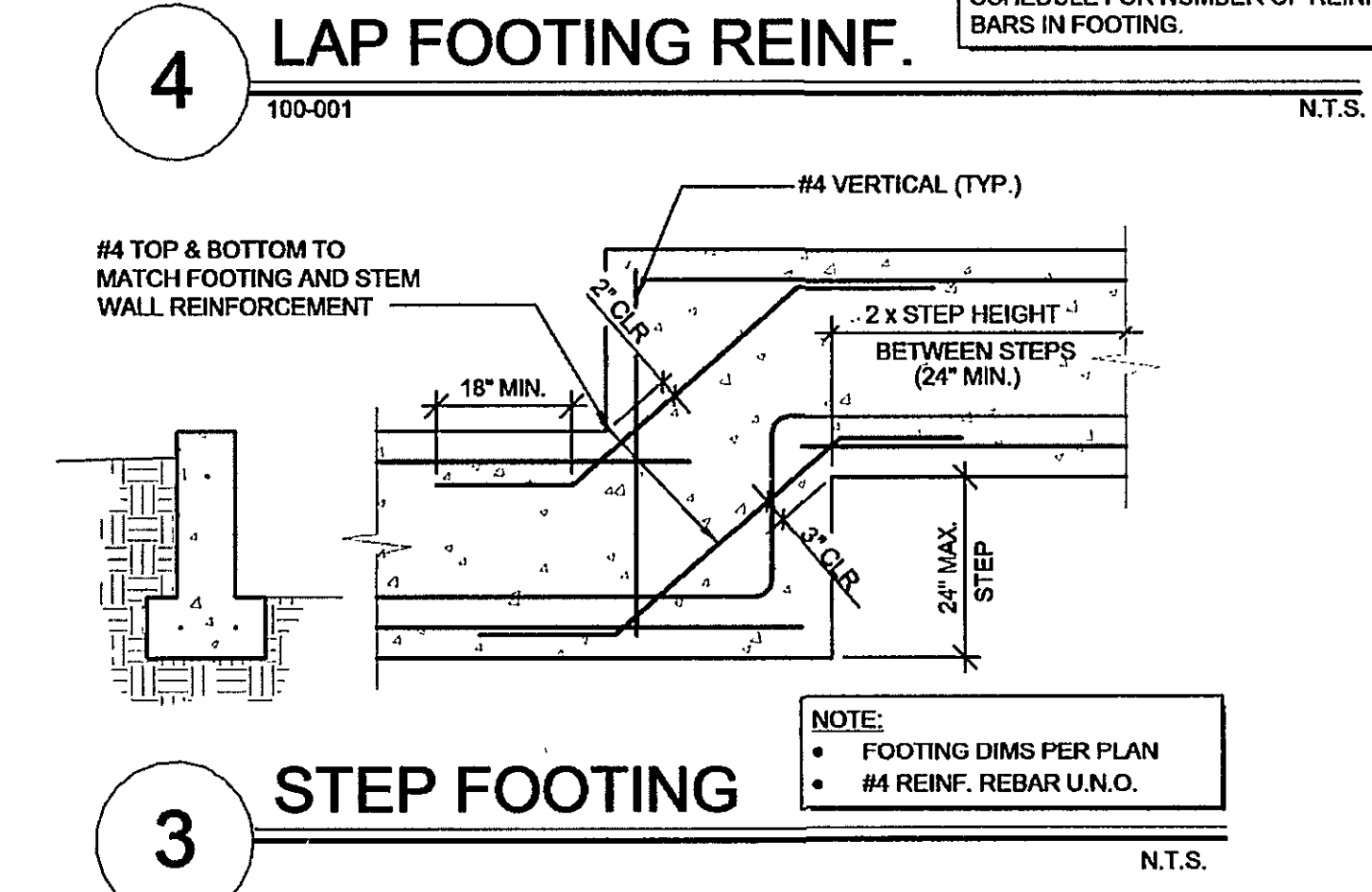
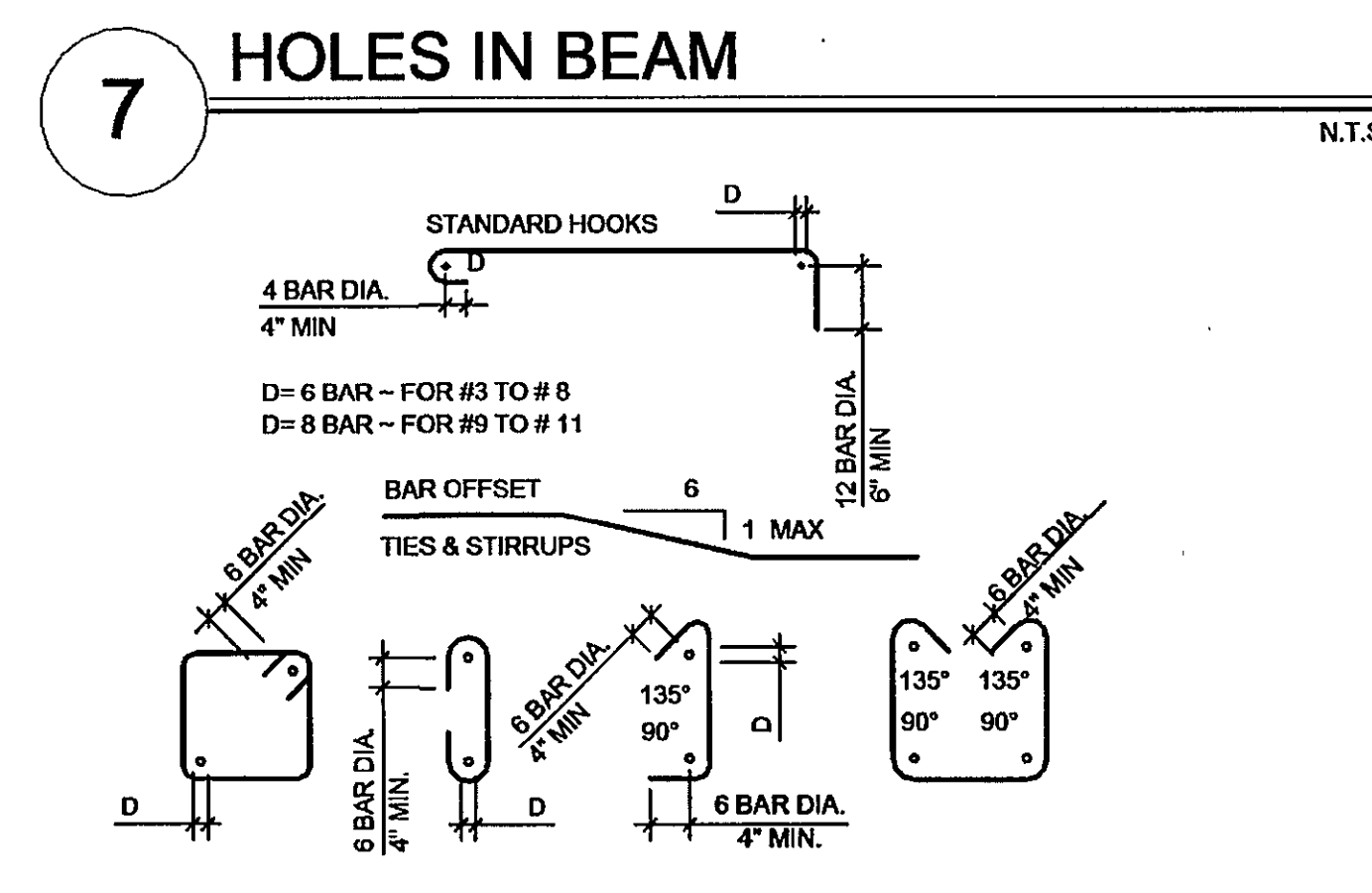
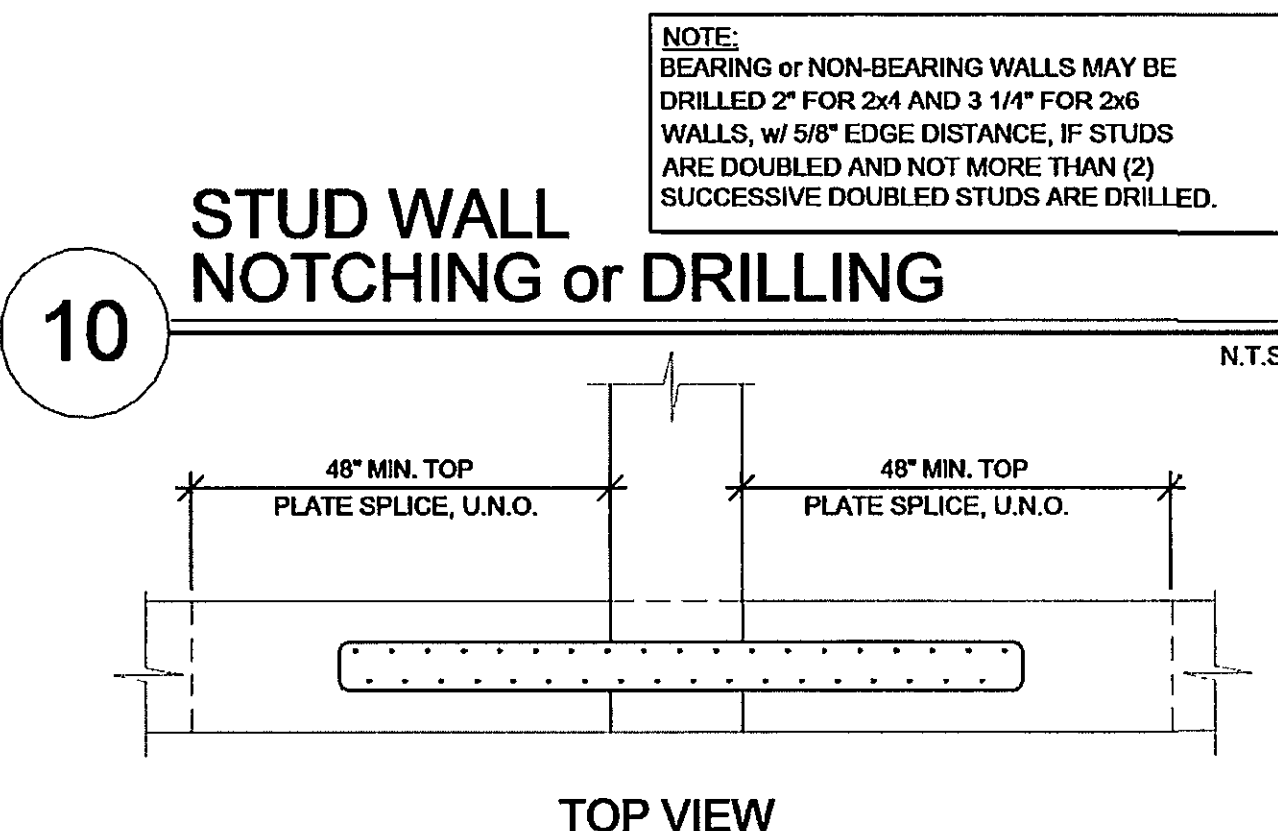
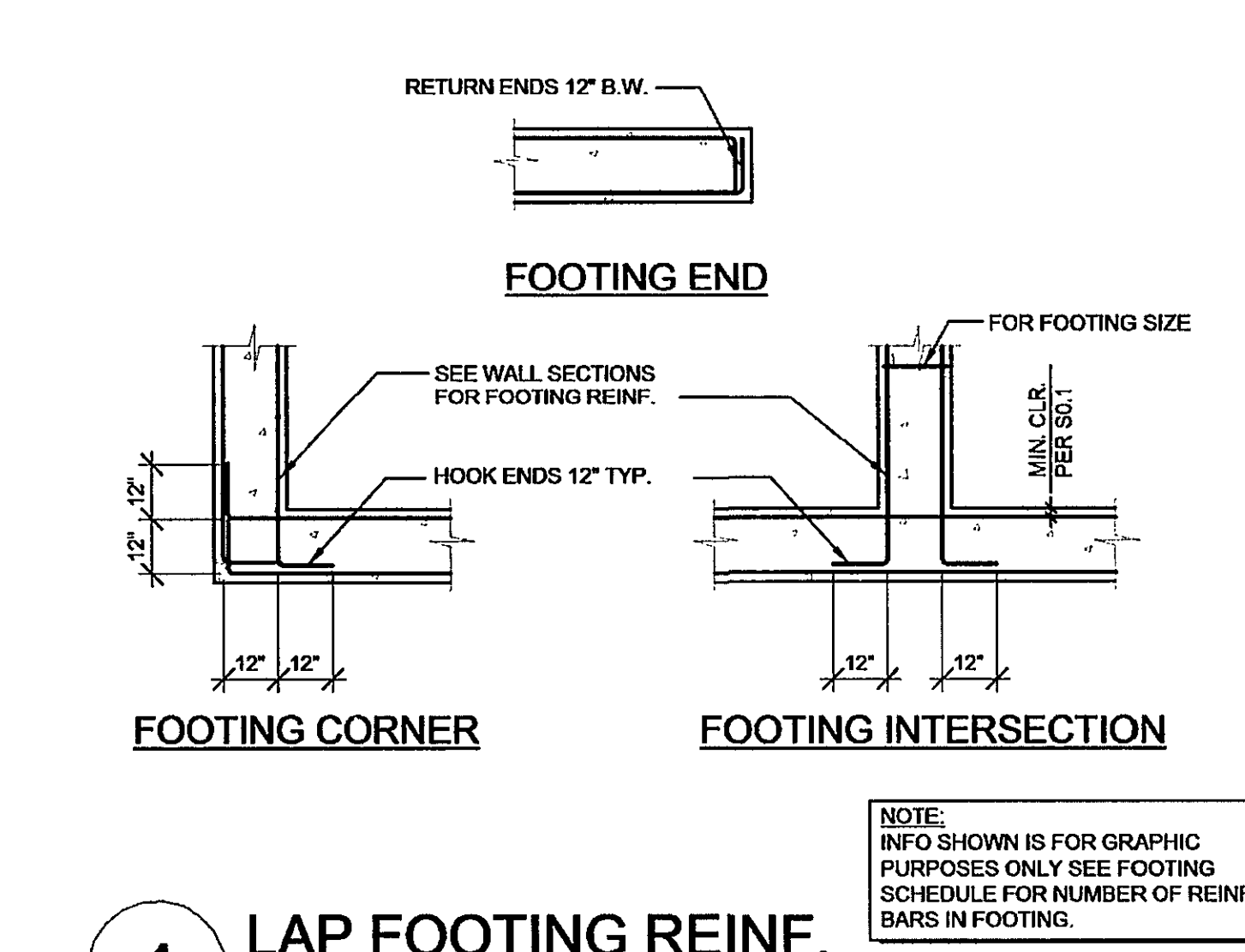
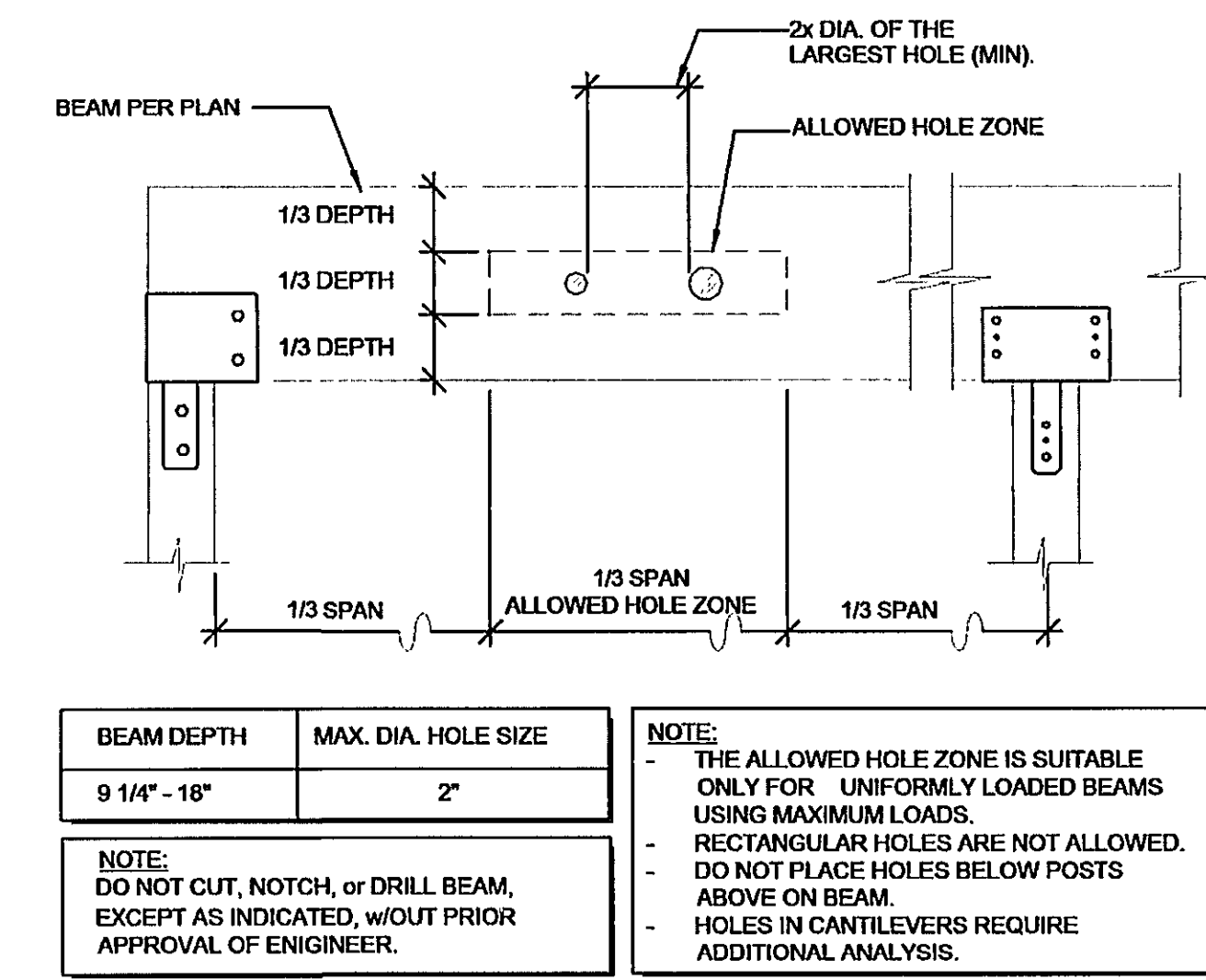
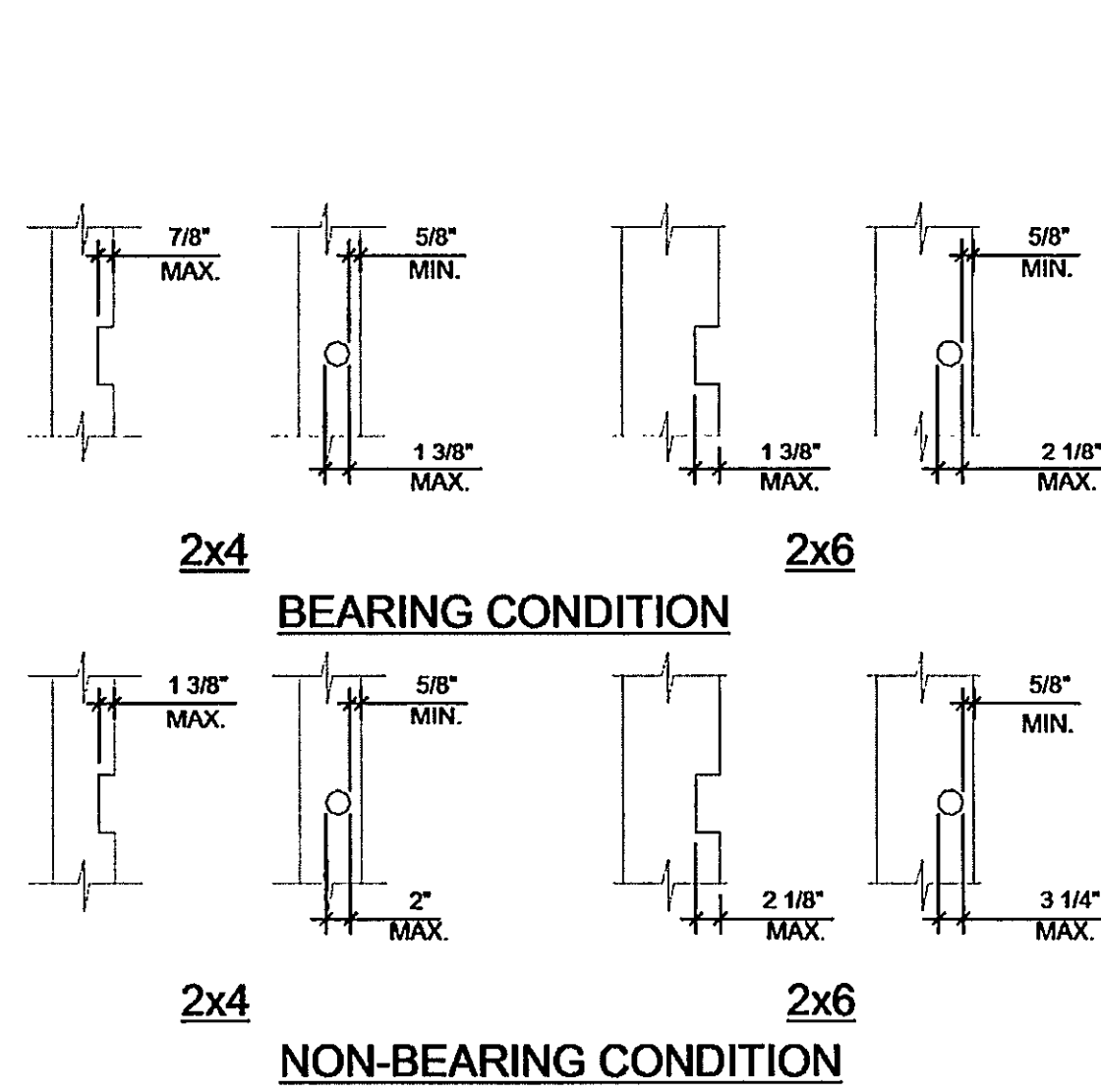
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MB LEWIS CONSTRUCTION logo and address: 2171 W. WILLIAMS AVE., SUITE 295, FALLON, NV 89405, PHONE: (775) 324-3511, B2 LICENSE # 0036967A LIMIT \$250,000

GYFORD SHOP logo and address: 14190 RANCHEROS DR., RENO, NV 89521, APN# 016-473-07

OFFICE COPY stamp with date 6/1/12 and county information.

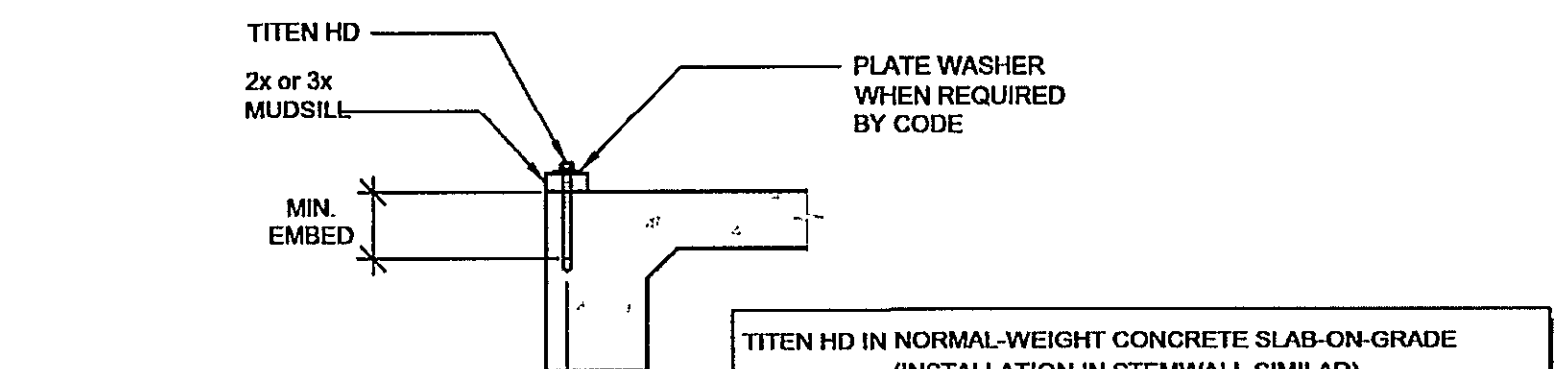
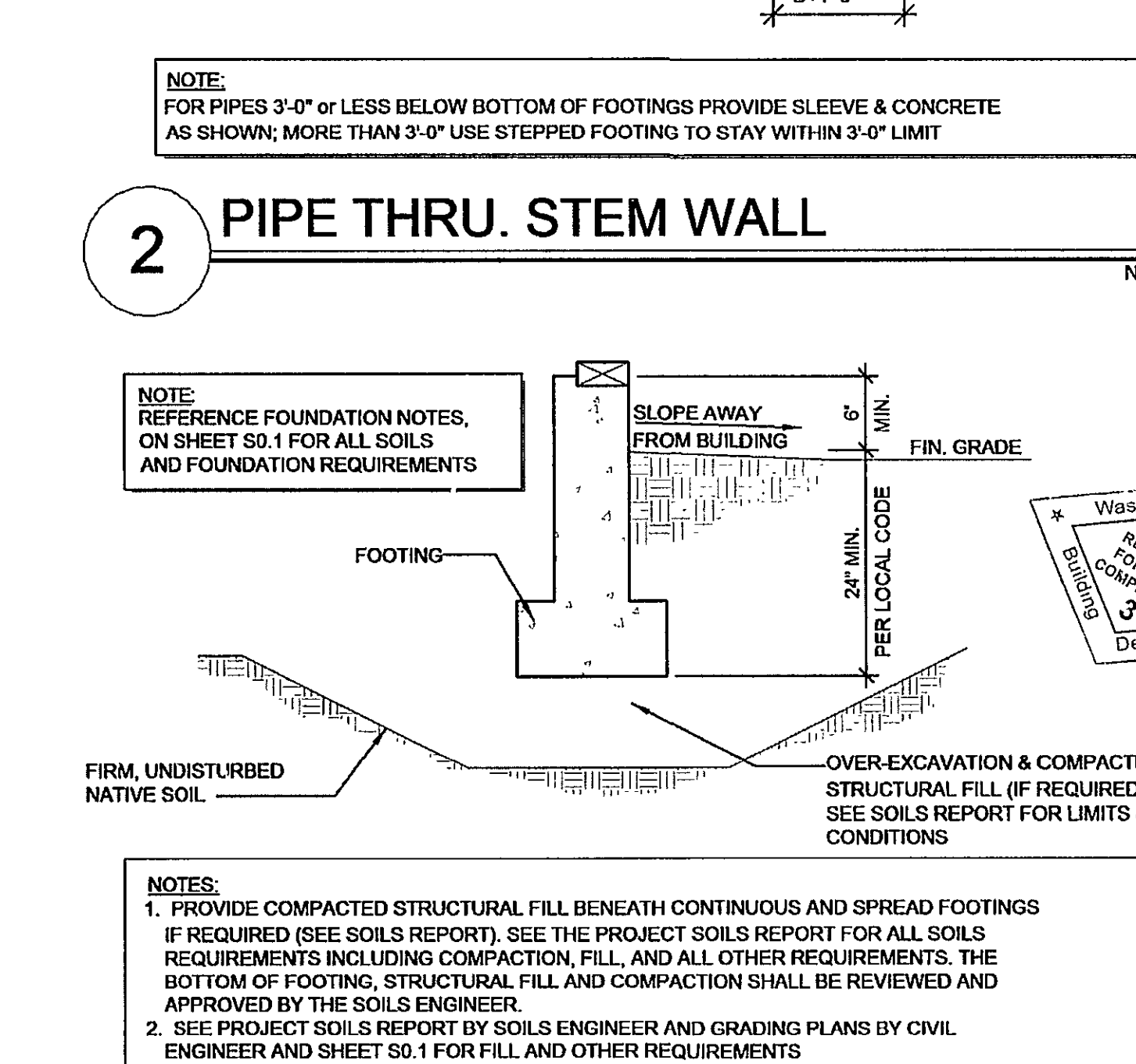
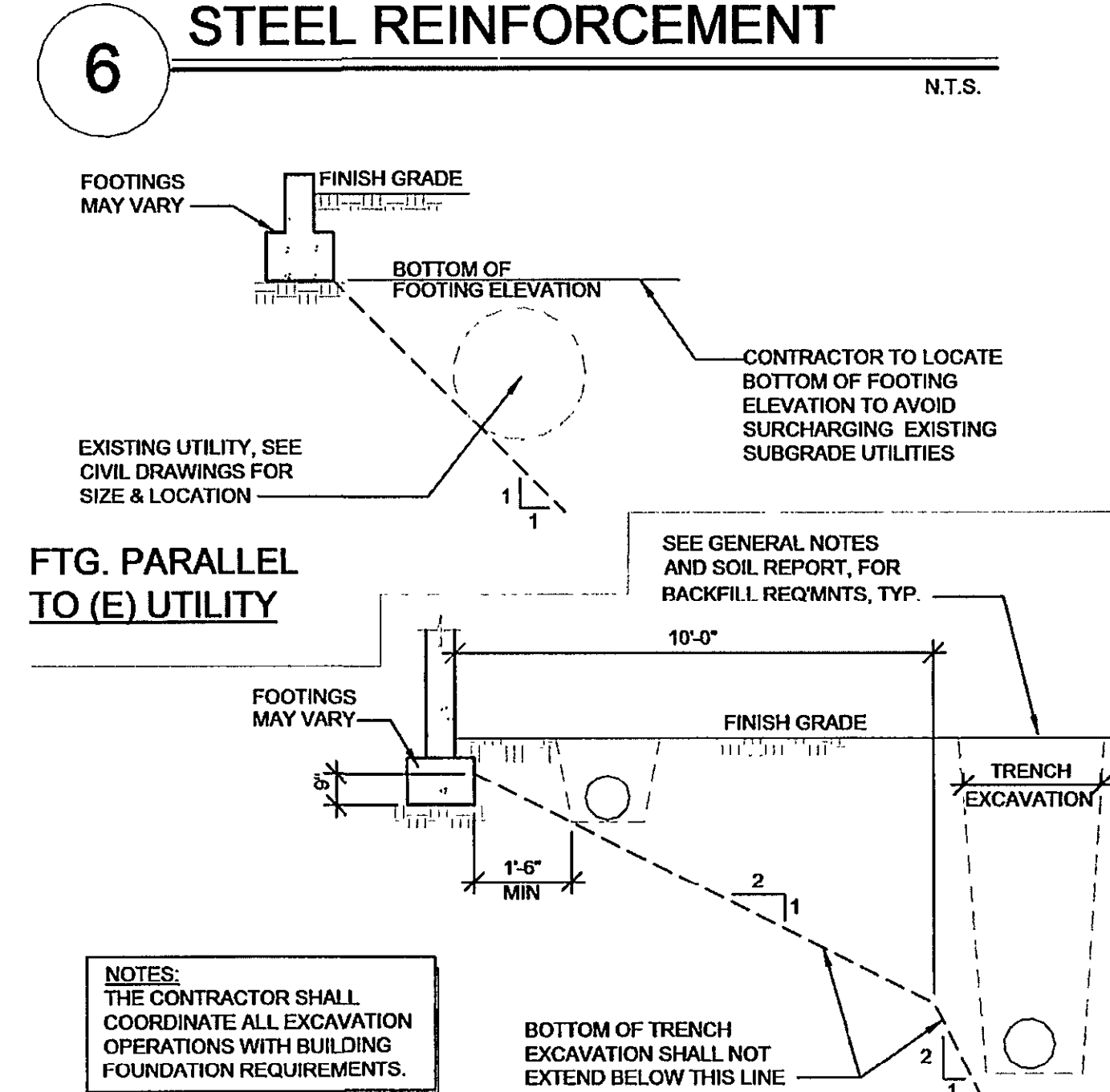
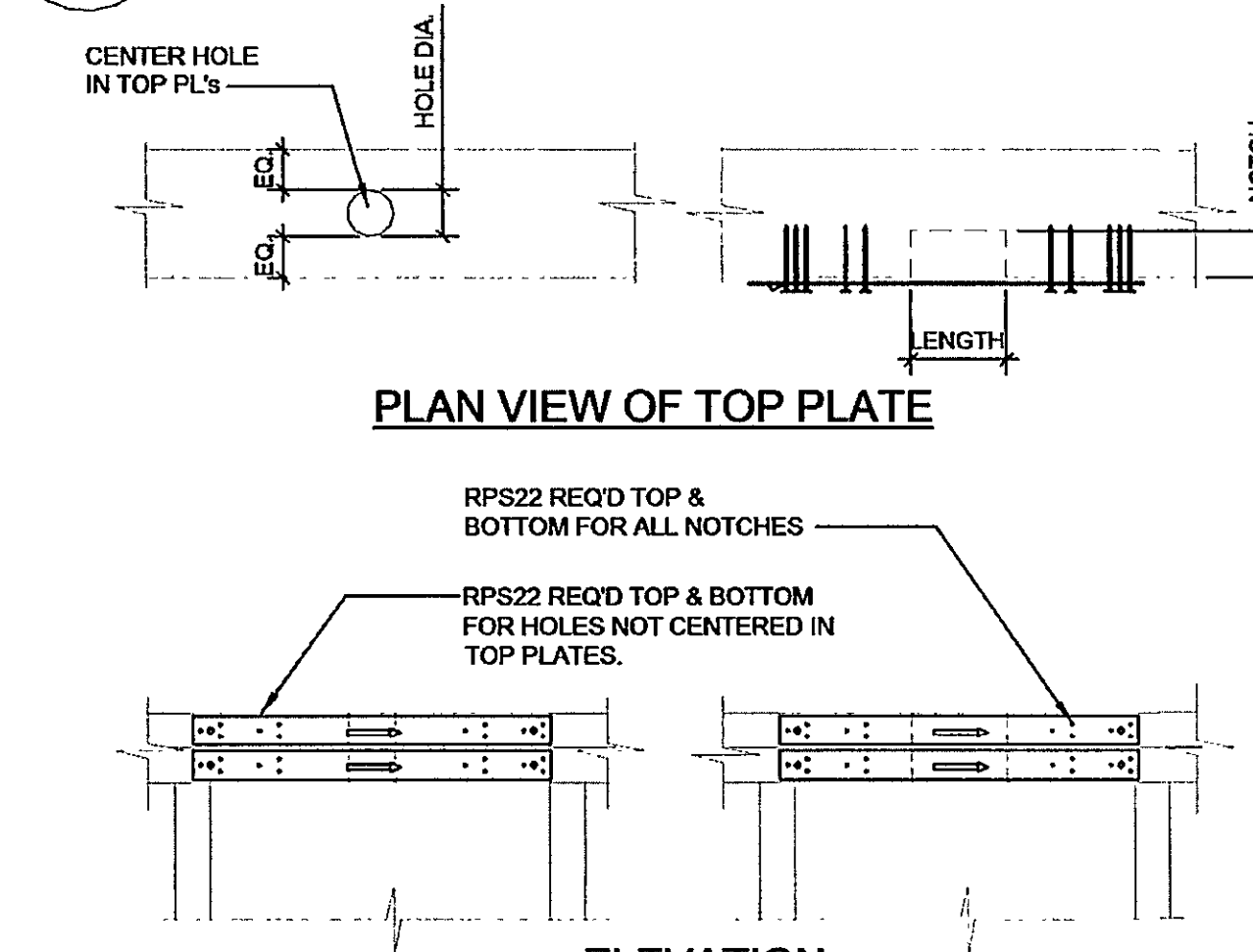
Project information table: DRAWN BY CSB, CHECKED BY BDD, DATE -, JOB NO. B10310, SHEET NO. S0.1 OF SHEETS.



SIMPSON STRONG-TIE TITEN HD AS A 1 TO 1 REPLACEMENT FOR MUDSILL ANCHOR BOLTS FOR SHEAR LOAD APPLICATIONS

CAST-IN-PLACE MUDSILL BOLT DIA (in)	TITEN HD MODEL #	DRILL BIT DIAMETER (in)	MINIMUM EMBEDMENT (in)	SILL PLATE SIZE	MIN. EDGE DISTANCE (in)	MIN. END DISTANCE (in)	MIN. STEM WALL WIDTH (in)
1/2	THD50600H	1/2	3 1/4	2x, 3x	1 3/4	8	6
1/2	THD50800H	1/2	3 1/4	DOUBLE 2x	1 3/4	8	6
5/8	THD62600H	5/8	3 3/4	2x	1 3/4	10	6
5/8	THD62612H	5/8	3 3/4	3x	1 3/4	10	6
5/8	THD62600I	5/8	3 3/4	DOUBLE 2x	1 3/4	10	6

- ICC-ES CODE REPORT ESR-1056.
- SPECIAL INSPECTION IS NOT REQUIRED FOR TITEN HD INSTALLATIONS RESISTING ONLY SHEAR LOADS.
- MINIMUM EDGE AND END DISTANCES ARE BASED ON DISTANCE FROM EDGE (OR END) OF CONCRETE TO CENTER OF BOLT.
- MINIMUM CONCRETE THICKNESS IS 1.5 TIMES THE TITEN HD ANCHOR EMBEDMENT.
- DIRECT 1 TO 1 REPLACEMENT IS BASED ON PARALLEL AND PERPENDICULAR TO PLATE SHEAR CAPACITIES THAT MEET OR EXCEED THE BOLT DESIGN VALUES FOR SINGLE SHEAR CONNECTIONS IN TABLE 11E OF THE 2001 NDS EDITION FOR WOOD CONSTRUCTION FOR CAST-IN-PLACE ANCHOR BOLTS USED TO ANCHOR FOUNDATION PLATES OR SILLS TO CONCRETE FOUNDATIONS PER THE FOLLOWING SECTIONS OF THE CODE:
 - 1997 UBC SECTION 1806.6
 - 2000, 2003 AND 2006 IRC SECTIONS 2308.6 AND 2308.12.9
 - 2000, 2003 AND 2006 IRC SECTION R403.1.6
 - 2010 CBC SECTION 2308.6 & 2308.12.9
- DRILL THE HOLE TO THE SPECIFIED EMBEDMENT DEPTH PLUS 1/2" TO ALLOW THE THREAD TAPPING DUST TO SETTLE AND BLOW IT CLEAN USING COMPRESSED AIR. ALTERNATIVELY, IN LIEU OF BLOWING THE HOLE CLEAN, DRILL THE HOLE DEEP ENOUGH TO ACCOMMODATE EMBEDMENT DEPTH AND DUST FROM DRILLING AND TAPPING.
- FOR ACO-C, ACO-D, CA-B AND CBA-A PRESSURE-TREATED WOOD, USE MECHANICALLY GALVANIZED TITEN HD. FOR ADDITIONAL INFORMATION CORROSION AND PRESSURE TREATED WOOD SEE SECTION 11.01 OF THE TITEN HD.
- SEE SIMPSON STRONG-TIE ANCHORING AND FASTENING SYSTEMS CATALOG FOR COMPLETE INFORMATION ON THE TITEN HD.



FRAMING	MAX. NOTCH	MAX. DRILLED HOLE
2x4 BEARING	1 1/2" x 5 1/2"	1 1/2" DIA. AT CL
2x4 NON-BEARING	2 1/2" x 5 1/2"	2 1/2" DIA. AT CL
2x6 BEARING	2 1/2" x 5 1/2"	3 1/2" DIA. AT CL
2x6 NON-BEARING	3 1/2" x 5 1/2"	4" DIA. AT CL

#	Date	Description	By

DEI
 Dunagan Engineering, Inc.
 4790 Caughlin Parkway #766, Reno, NV 89519
 T: 775.329.2733 | F: 688.873.0790 | W: DEnginers.com

STRUCTURAL ONLY
 ENGINEER
 BRIAND DUNAGAN
 EXP. 12-31-12
 CIVIL
 No. 9981
 5/2/2012 8:38:28 AM

MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE., SUITE 295
 FALLON, NV 89406
 PHONE: (775) 324-3511
 B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
 14190 RANCHEROS DR.
 RENO, NV 89521
 APN# 016-473-07

WASHOE COUNTY BUILDING DEPT.
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DRAWN BY	CSB
CHECKED BY	BDD
DATE	-
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	S0.2
OF SHEETS	-

#	Date	Description	By
1	8-1-12	PLAN CHECK	CSB

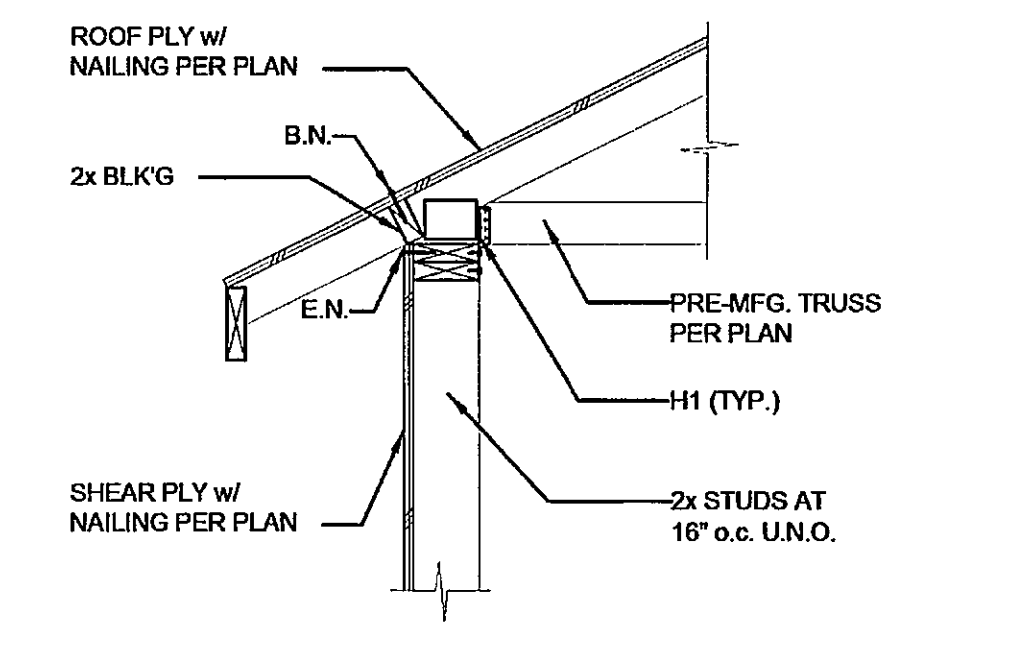
DEI
 Dunegan Engineering, Inc.
 4790 Caughlin Parkway #766, Reno, NV 89519
 T: 775-329-2733 | F: 986-873-0790 | W: DEIengineers.com

STRUCTURAL ONLY
 PROFESSIONAL ENGINEER STATE OF NEVADA
 BRIAN D. DUNEGAN
 No. 9981
 6/1/2012 1:57:41 PM

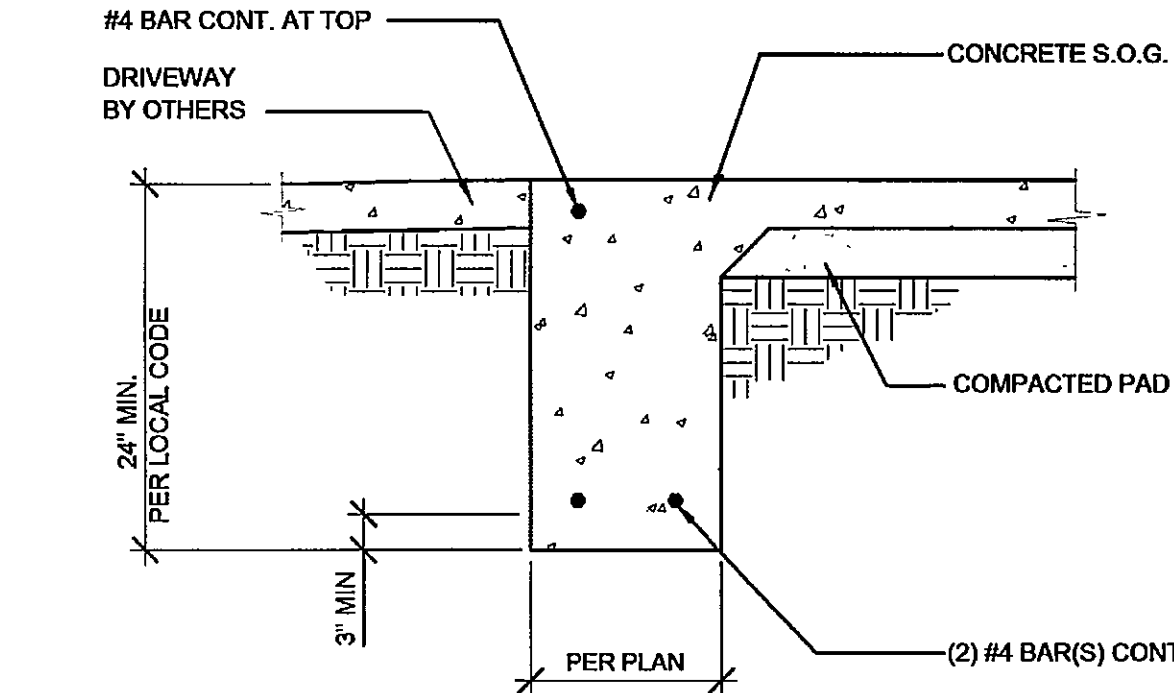
MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE. SUITE 295
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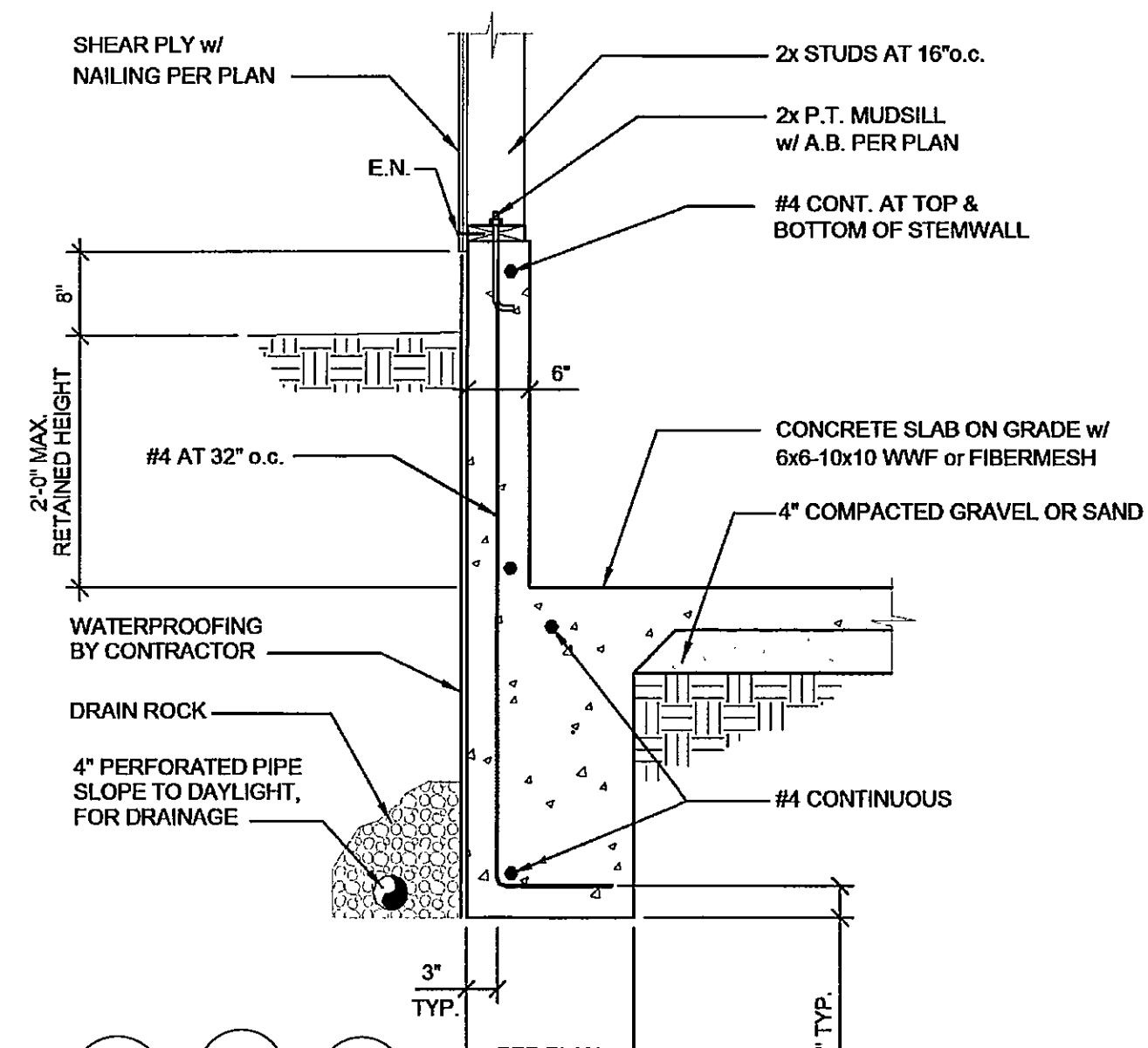
Washoe County Building Department
 REVIEWED FOR COMPLIANCE
 DRAWN BY CSB
 CHECKED BY BDD
 DATE
 SCALE AS NOTED
 JOB NO. B10310
 SHEET NO.
S0.3
 OF SHEETS



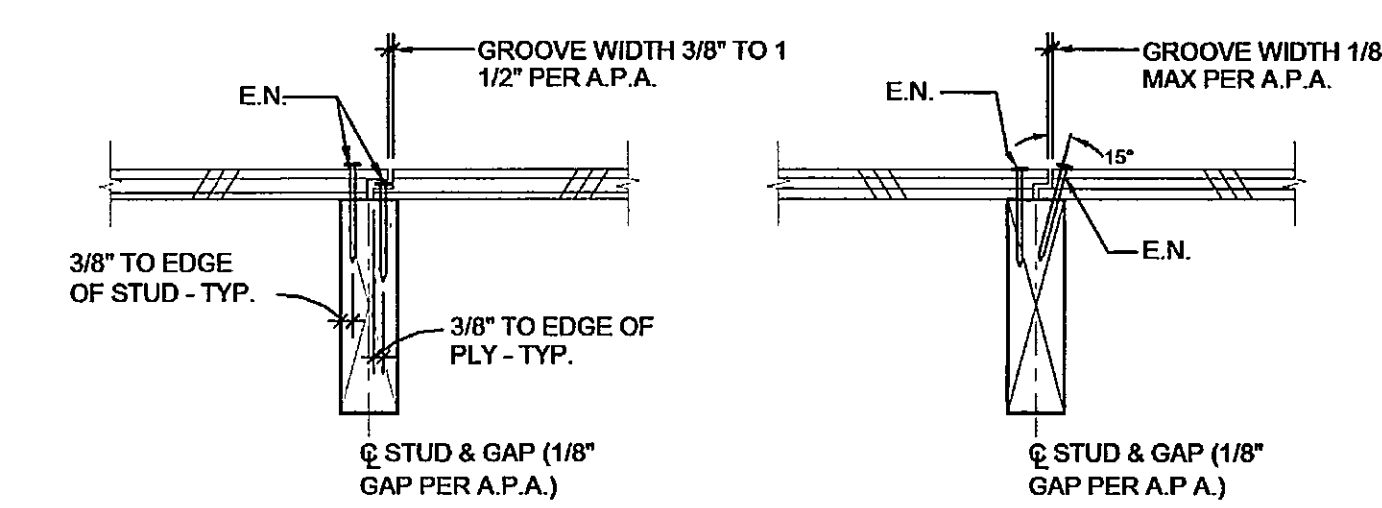
9 DETAIL
 320-200 N.T.S.



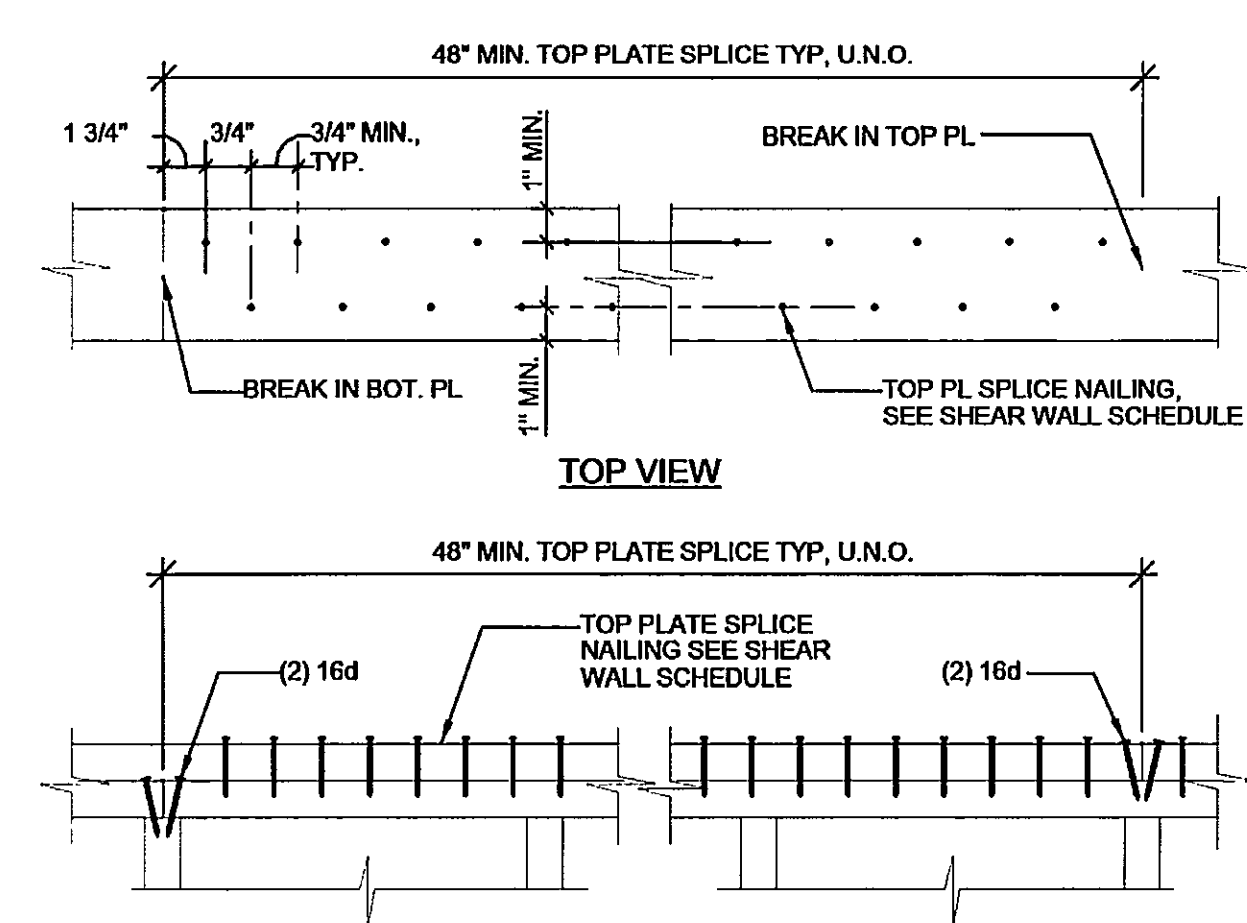
8 DETAIL
 110-352 N.T.S.



7 DETAIL
 110-350 N.T.S.



6 SIDINGS NAILING
 N.T.S.



5 TOP PLATE SPLICE
 N.T.S.

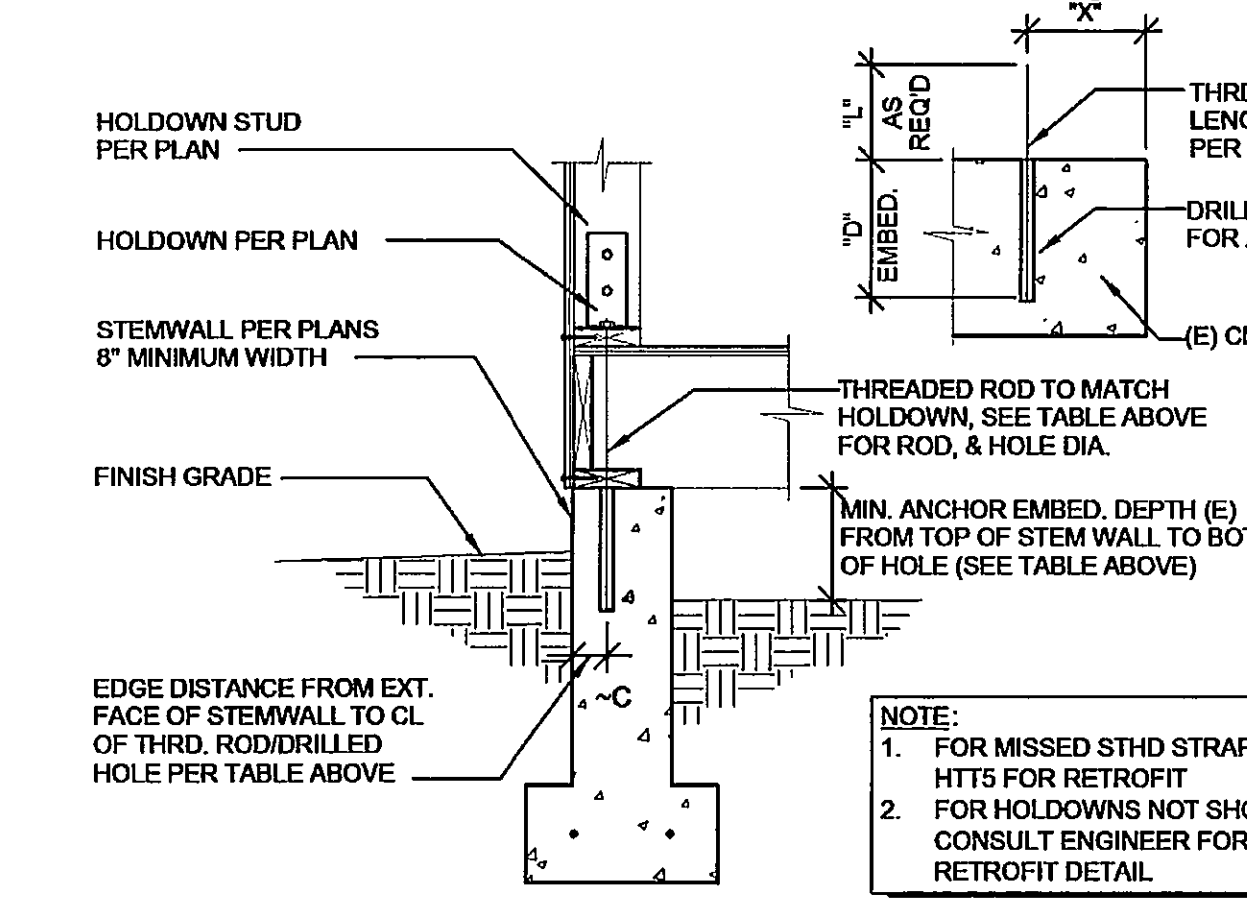
ANCHOR DIA.	HOLE DIA.	"X" MIN.	"D" MIN.	COMMENTS
1/2" DIA.	5/8"	1-3/4"	4-1/2"	DO NOT DRILL THRU REBAR. CONTACT THE STRUCT. ENG. IF REBAR IS ENCOUNTERED
5/8" DIA.	3/4"	1-3/4"	5"	

HOLDOWN	THREADED ROD DIA.	HOLE DIAMETER	MINIMUM EMBED. (E)	EDGE DISTANCE	SIMPSON EPOXY SYSTEM TO BE USED
PHD2 / HDU5 HTT4 / HTT5	5/8"	3/4"	12"	1-3/4" 2-3/4"	SET-XP *
HDU8	7/8"	1"	15-1/2"	1-3/4" 2-3/4"	SET-XP *
HHDD11/HHDD14 HDU11	1"	1 1/8"	24"	- 4"	SET-XP *

SEE SIMPSON STRONG-TIE CATALOG C-2007 INSTALLATION PER MANUF. SPECIFICATIONS

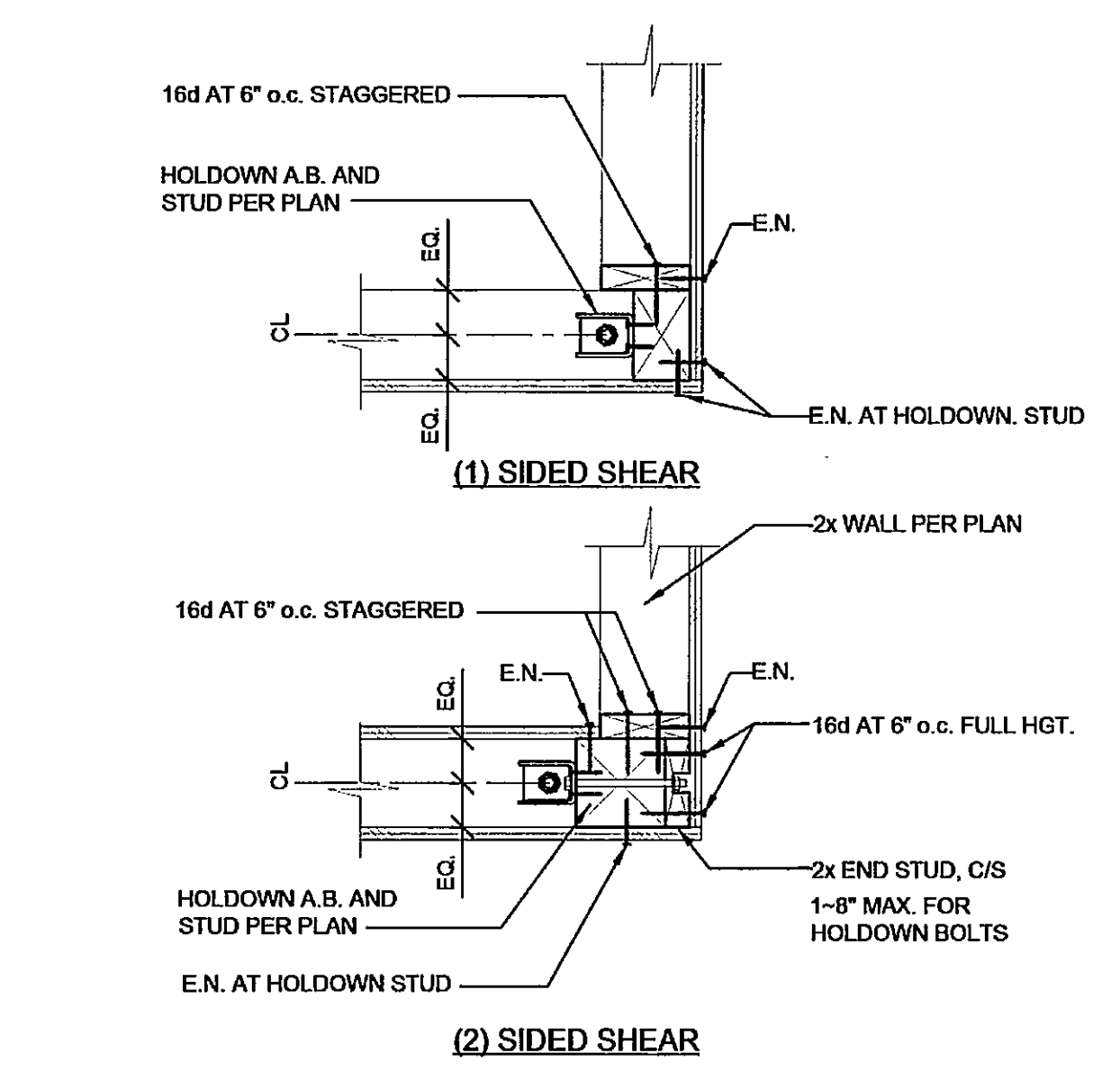
SIMPSON TITEN H.D. (HOLDOWN BOLT OPTION)

HOLDOWN	ANCHOR SIZE	EMBED.	FOUNDATION TYPE	TITEN H.D. MODEL #	COMMENTS
HTT4, HTT5	1/2" DIA. x 15"	10" MIN.	SLAB ON GRADE	THD501500H	INSTALL PER MANUF. SPECS
HTT4, HTT5	1/2" DIA. x 10 3/8"	8" MIN.	RAISED FLOOR	THD501038C	INSTALL PER MANUF. SPECS

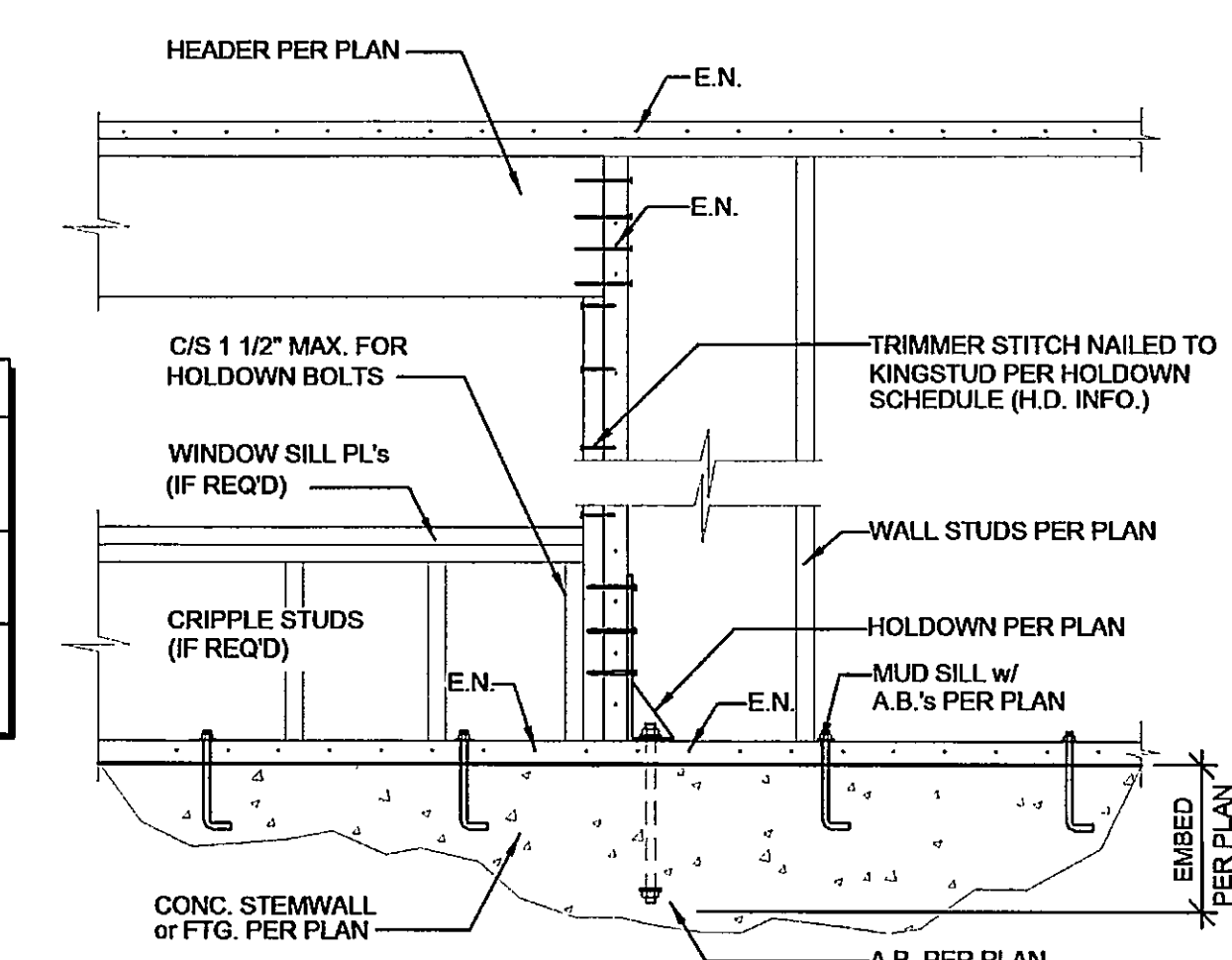


- NOTE:**
 1. FOR MISSED STDH STRAP USE HTT5 FOR RETROFIT FOR HOLDOWNS NOT SHOWN CONSULT ENGINEER FOR RETROFIT DETAIL
- ADHESIVE SPECIFICATIONS: ADHESIVE SHALL BE "EPOXY-TIE" AS MANUFACTURED BY SIMPSON OR APPROVED EQUIVALENT. SUBMIT I.C.B.O. APPROVAL FOR SUBSTITUTES FOR REVIEW.
 - DRILLING HOLES: HOLES FOR ADHESIVE CONNECTIONS SHALL BE DRILLED WITH A ROTARY DRILL.
 - CLEANING HOLES: HOLES FOR ADHESIVE CONNECTIONS SHALL BE THOROUGHLY CLEANED WITH THE FOLLOWING PROCEDURE:
 - BLOW OUT ALL DUST AND LOOSE MATERIAL WITH COMPRESSED AIR.
 - CLEAN HOLE SURFACE WITH WIRE BRUSH WHICH IS SLIGHTLY LARGER THAN THE HOLE DIAMETER THEN USE A DOWEL WRAPPED WITH A MOIST RAG TO REMOVE REMAINING DUST.
 - BLOW OUT HOLE COMPRESSED AIR.
 - REPEAT PROCEDURE AS REQUIRED UNTIL ALL SURFACES ARE CLEAN.
 - INSTALLATION: ADHESIVE SHALL BE INSTALLED INTO THE BACK OF THE HOLE USING SIMPSON "MIXING NOZZLE". INSTALL PER MANUFACTURER'S RECOMMENDATIONS. DUCT TAPE HOLE AS REQUIRED TO CONTAIN ADHESIVE.
 - SPECIAL INSPECTION: ADHESIVE CONNECTIONS SHALL BE PERFORMED UNDER SPECIAL INSPECTION PER UBC SEC. #1701 OR IBC 1704. THE SPECIAL INSPECTOR SHALL VERIFY:
 - HOLES ARE CORRECT DIAMETER AND DEPTH.
 - HOLES ARE CLEAN.
 - PROPER ADHESIVE IS USED.
 - ADHESIVE IS CORRECTLY INSTALLED PER MANUFACTURER'S RECOMMENDATION.
 - BOLTS ARE CORRECT DIAMETER AND LENGTH.
 - TEMPERATURE OF MATERIALS TO BE BONDED ARE WITHIN THE RANGE ALLOWED BY THE MANUFACTURER'S SPECIFICATIONS.
 - THE ADHESIVE HAS A "GEL TIME" OF 4 MINUTES AND A "CURE TIME" OF APPROXIMATELY 24 HOURS. THUS THE DOWEL SHALL BE INSTALLED AND ANY ADJUSTMENTS TO THE ANGLE OF THE DOWEL WITHIN THE FIRST 4 MINUTES ("GEL TIME") AFTER INJECTING THE ADHESIVE. AFTER THE FIRST 4 MINUTES THE DOWEL SHALL REMAIN UNDISTURBED FOR 24 HOURS ("CURE TIME").

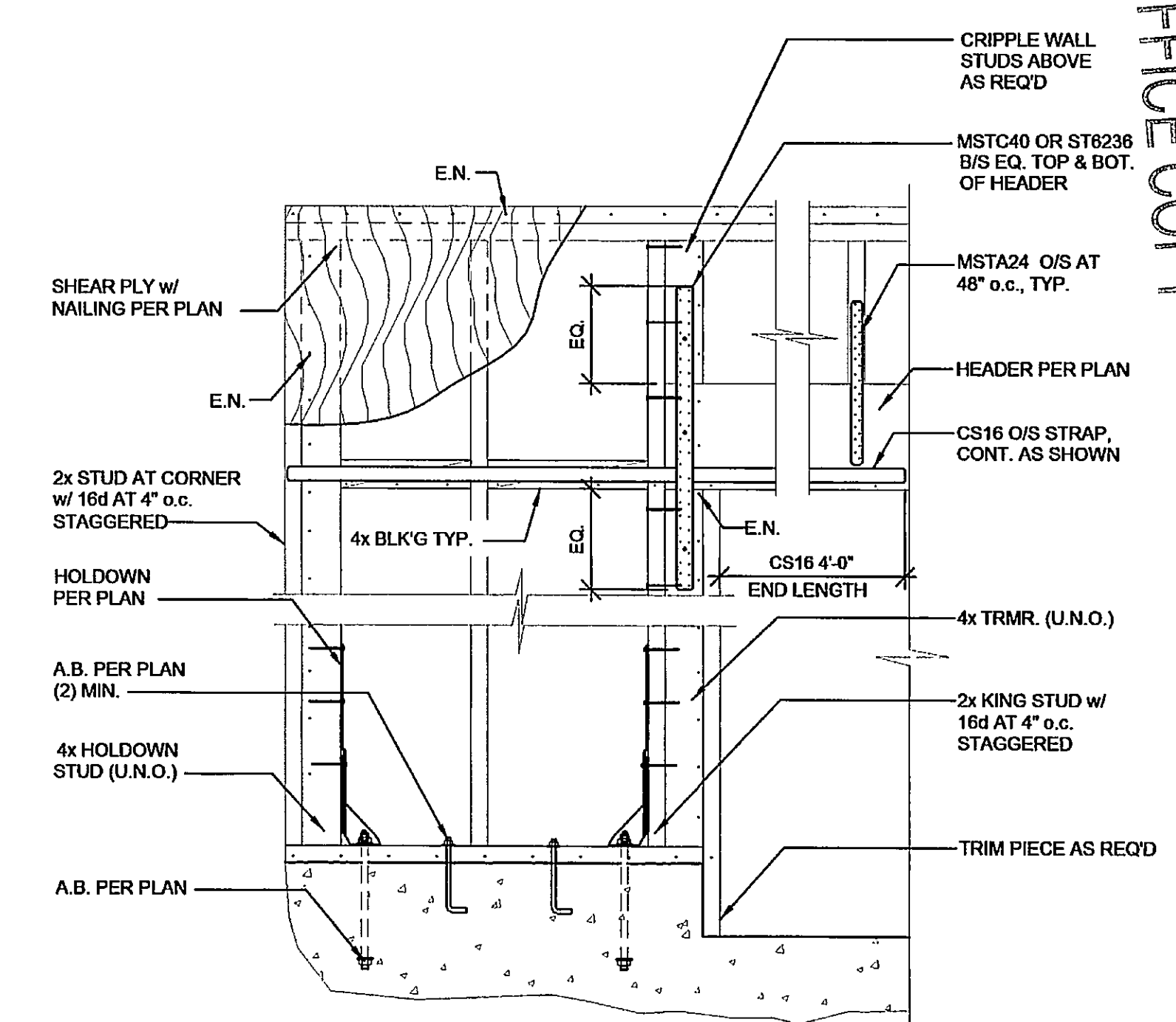
4 THREADED ROD RETROFIT DETAIL
 N.T.S.



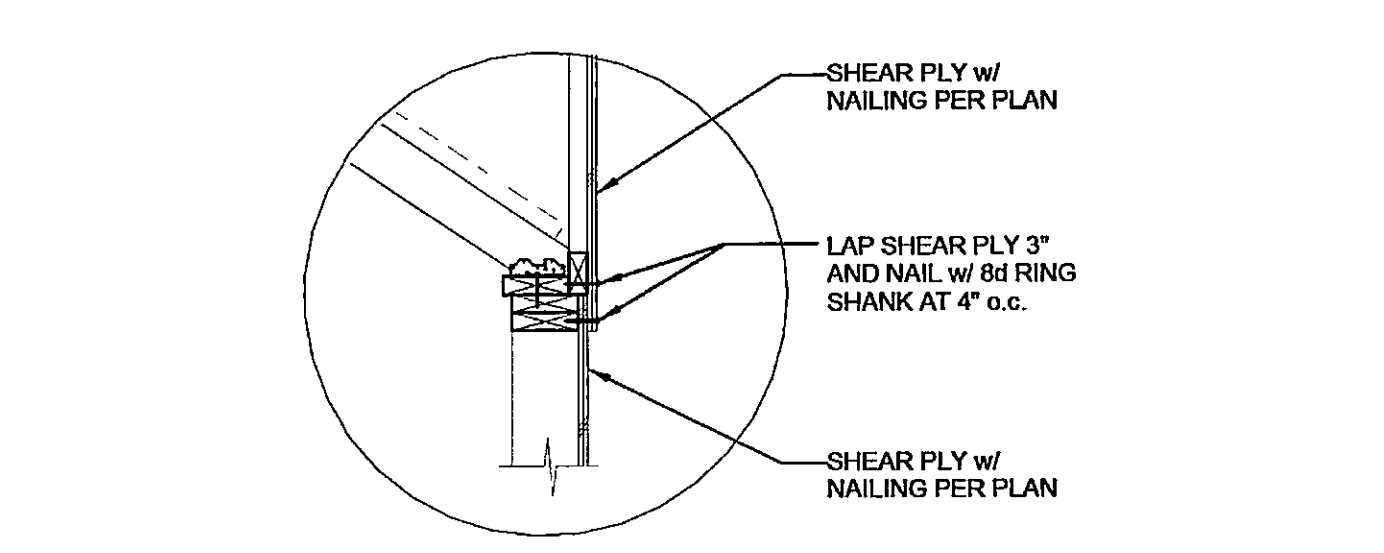
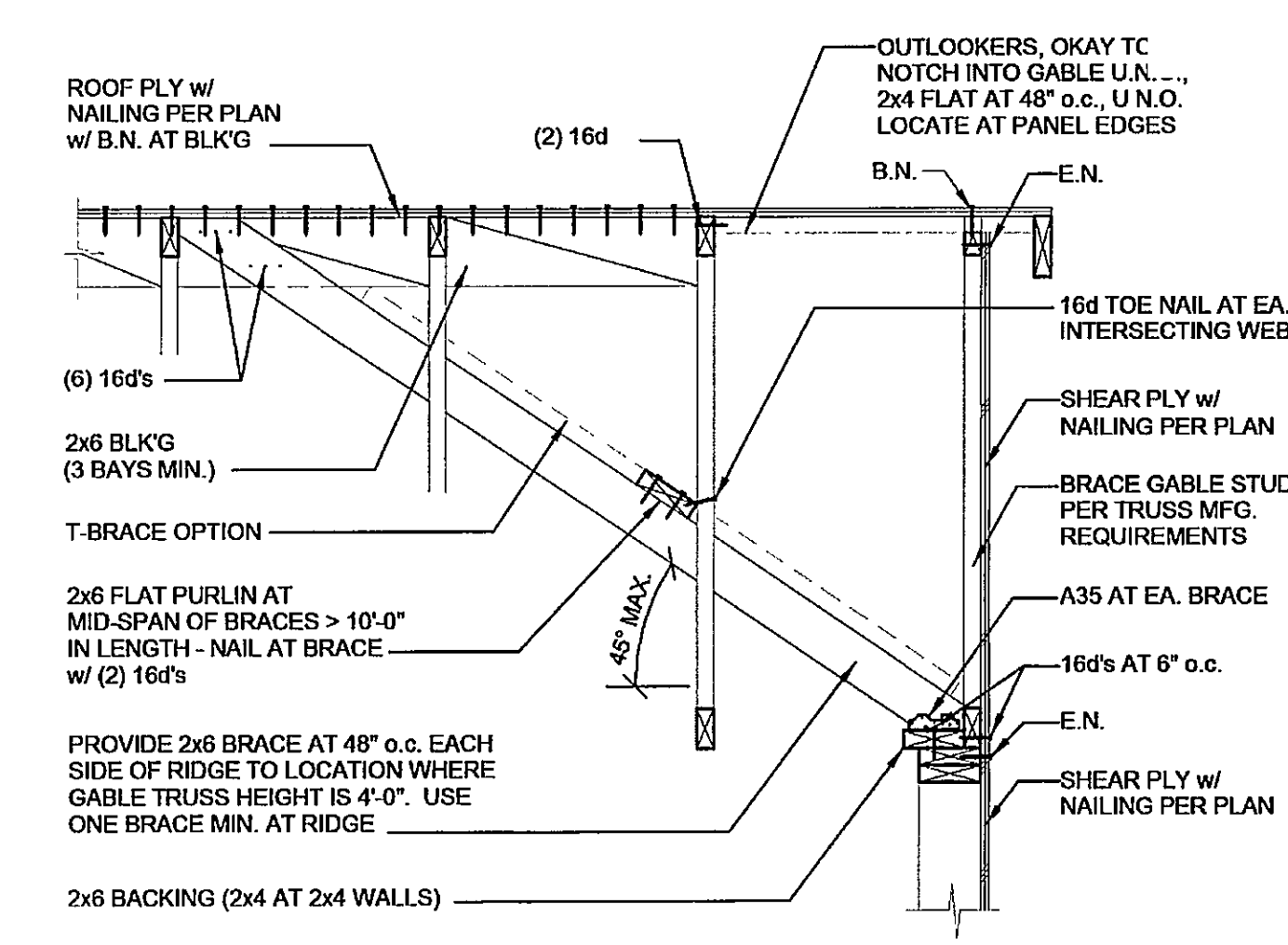
3 HOLDDOWN AT CORNER
 N.T.S.



2 HOLDDOWN AT OPENING TO TRMR. AND KING STUD (S.O.G.)
 CONDITION 'G'
 N.T.S.



1 TYP. SHEAR PANEL AT GARAGE
 CONDITION 'D'
 N.T.S.



- GABLE END OPTION**
- NOTE:**
 1. IF SHEATHING IS BROKEN AT TOP OF TOP PL's, E.N. SHEAR PLY & CLIP TRUSS TO TOP PL's w/ A35's or LTP4's AT 24" o.c. U.N.O., or PROVIDE 16d PER SHEAR WALL SCHEDULE INTO 2x6 BACKING AND BACKING INTO TOP PLATE.
 2. IF STRUCTURAL GABLE IS USED, NO SHEAR PLY IS REQ'D BETWEEN TOP PL's & TOP CHORD OF TRUSS. CLIP TRUSS TO TOP PL's w/ A35's or LTP4's AT 24" o.c. U.N.O.

10 DETAIL
 370-283 N.T.S.

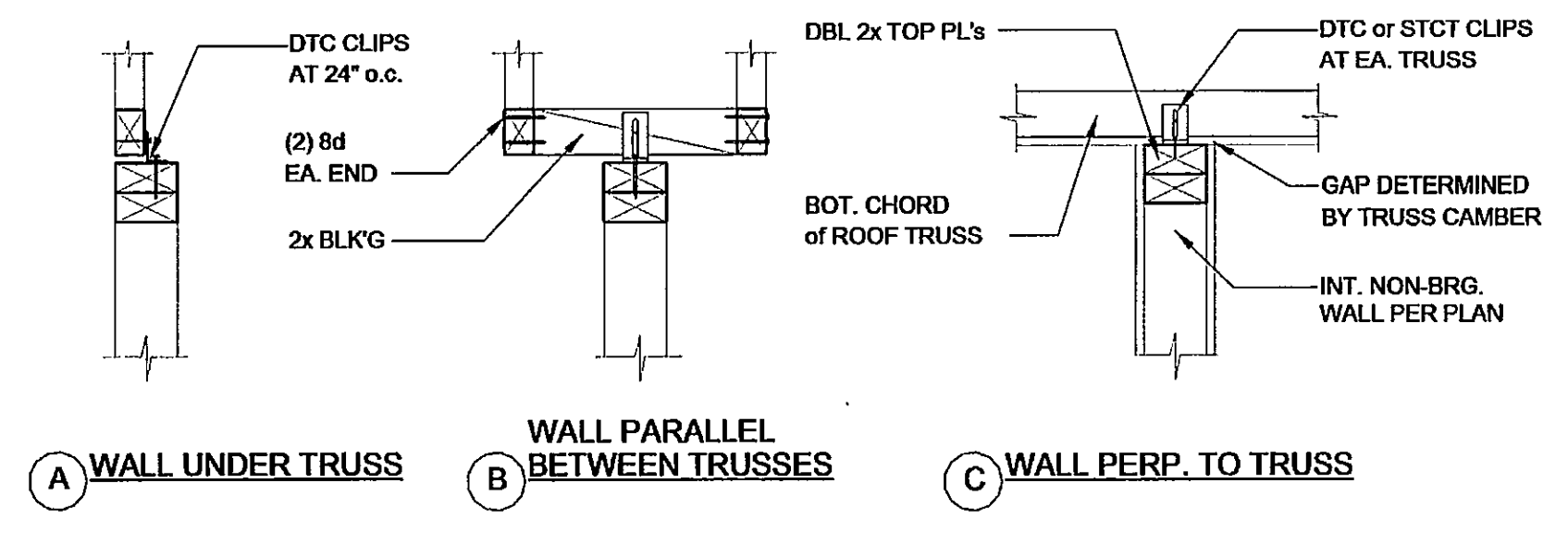
REVISIONS			
#	Date	Description	By
1	5-9-12	PLAN CHECK	CSB

DEI
 Dunagan Engineering, Inc.
 4790 Caughlin Parkway #768, Reno, NV 89519
 T: 775.258.2733 | F: 988.873.0790 | W: DEngineering.com

STRUCTURAL ONLY

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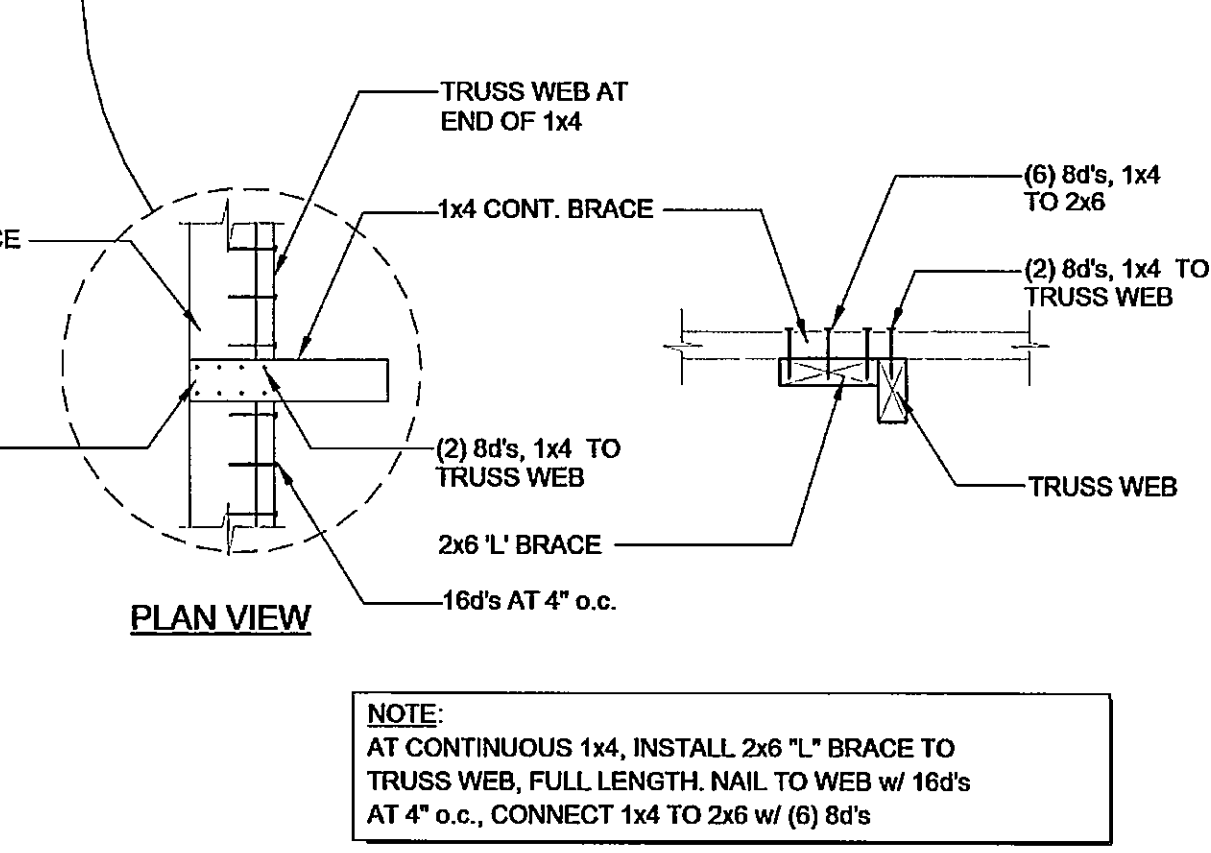
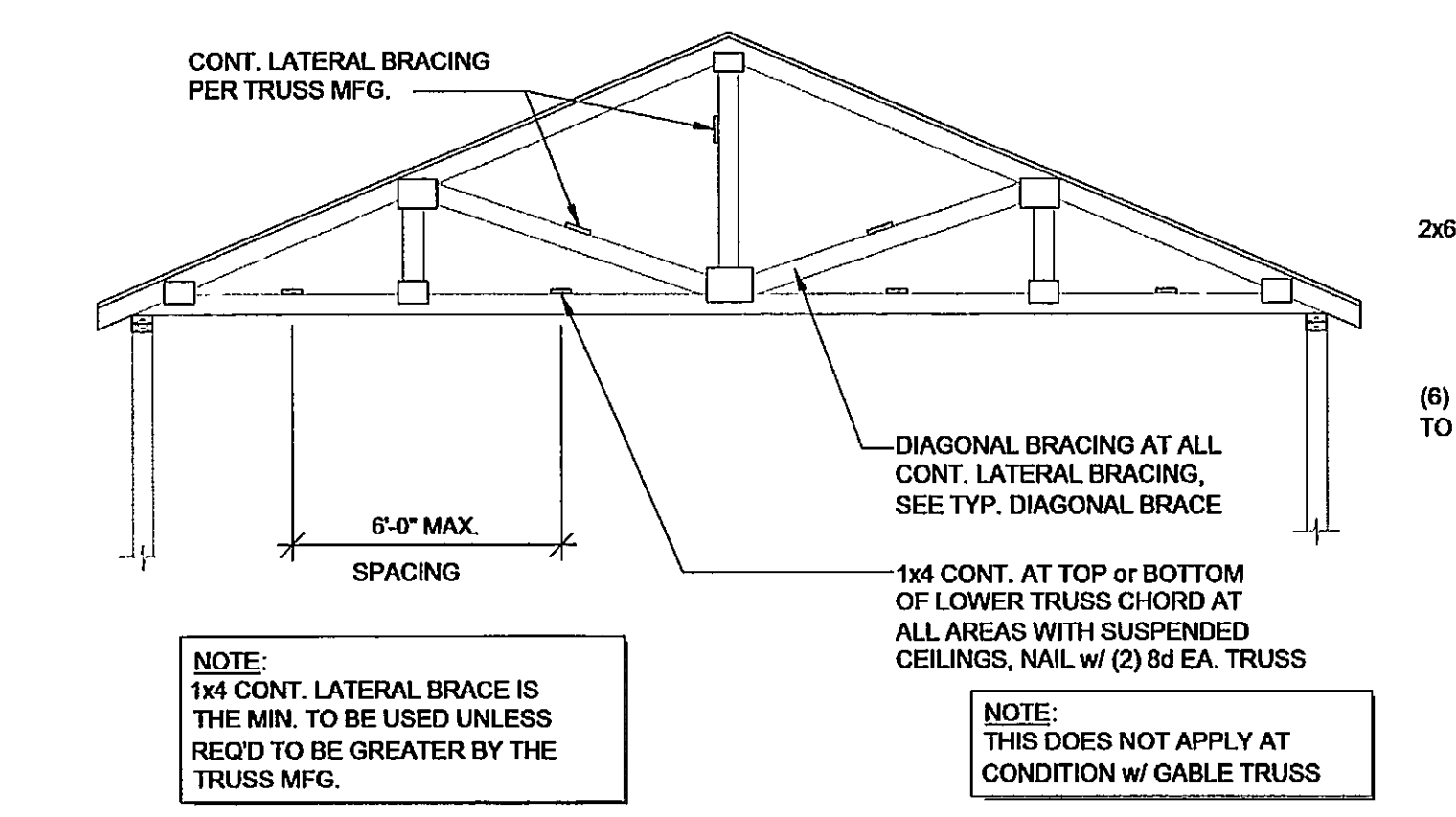
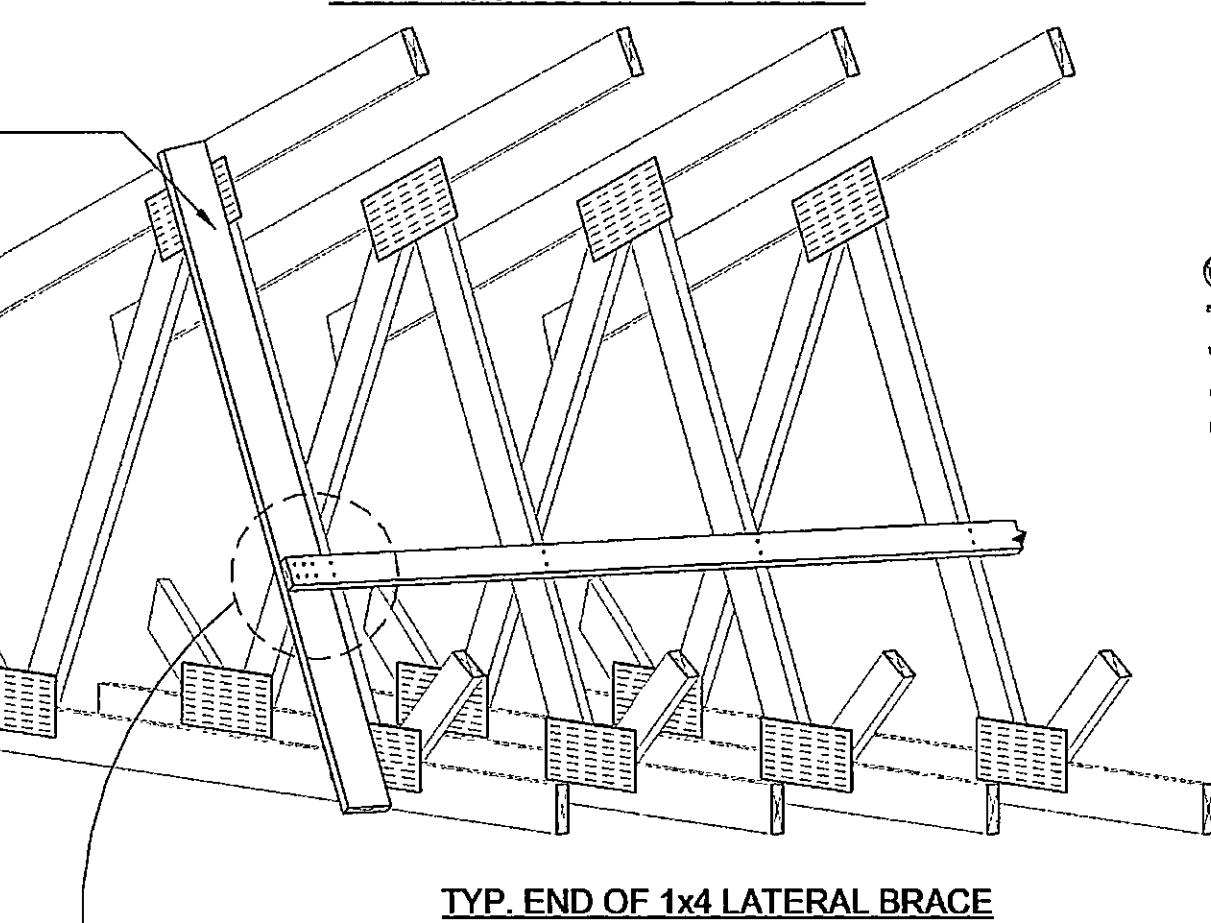
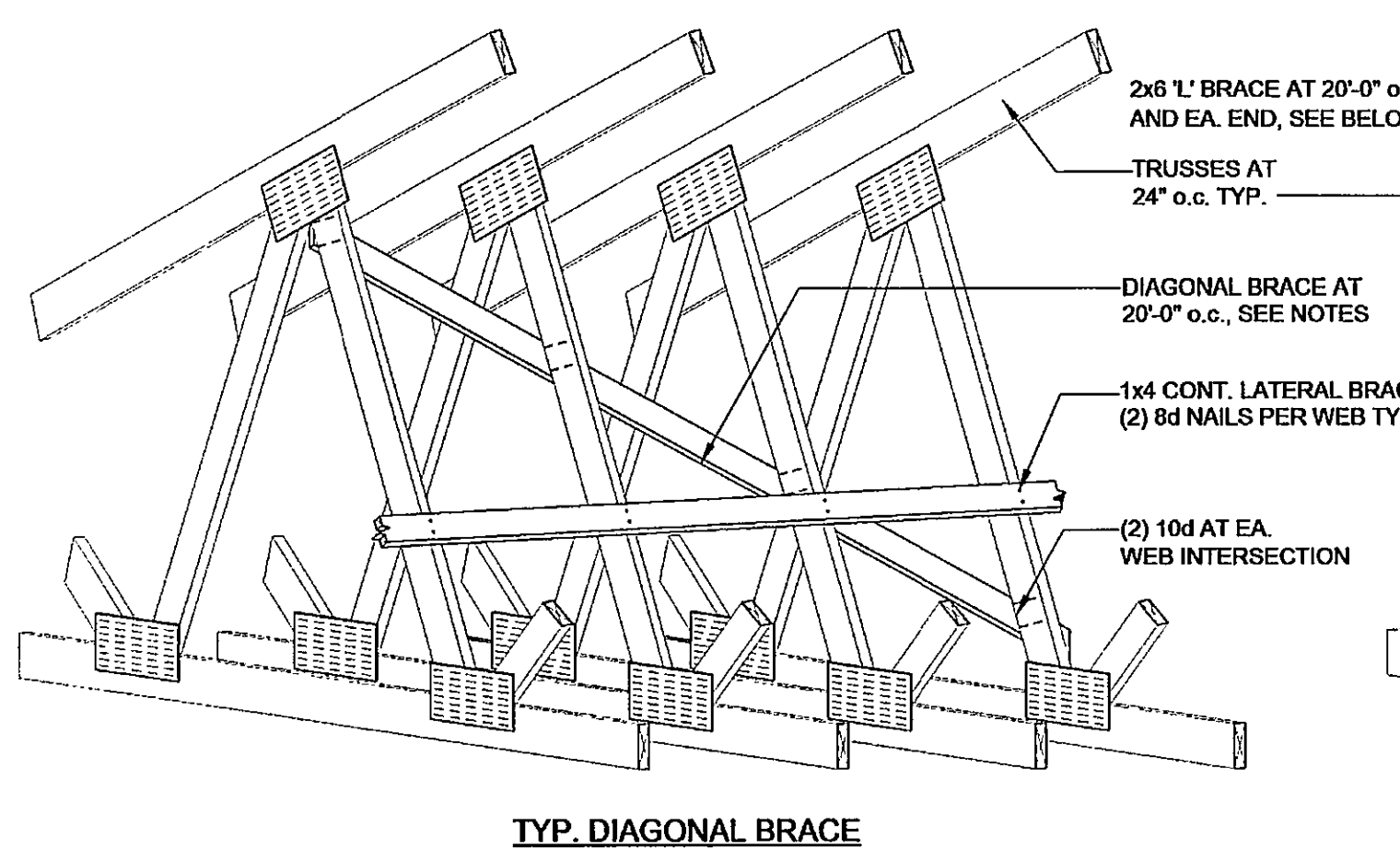
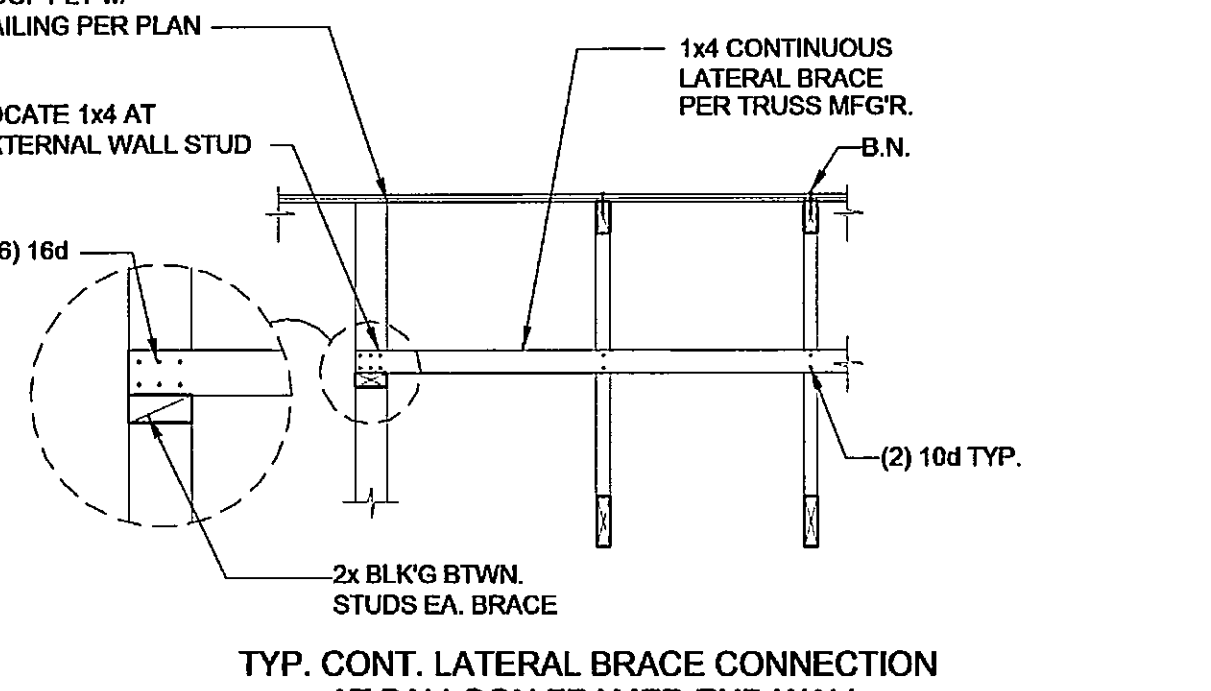
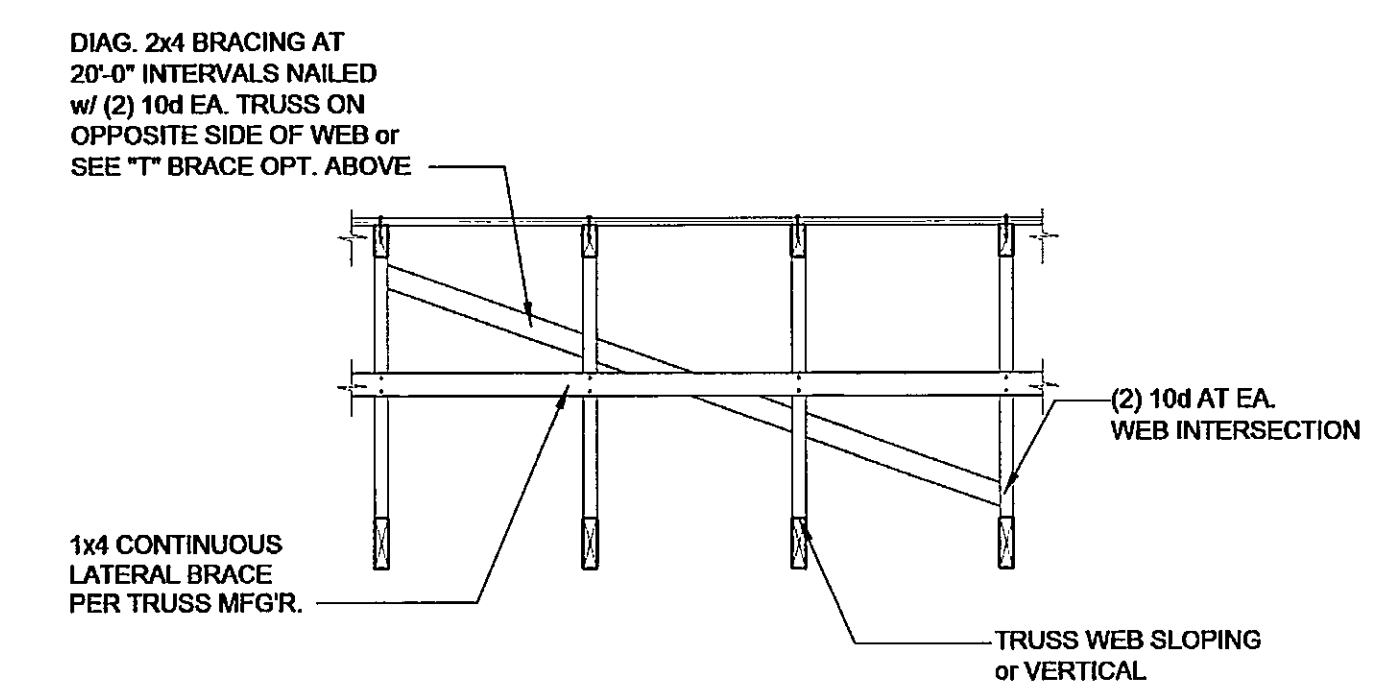
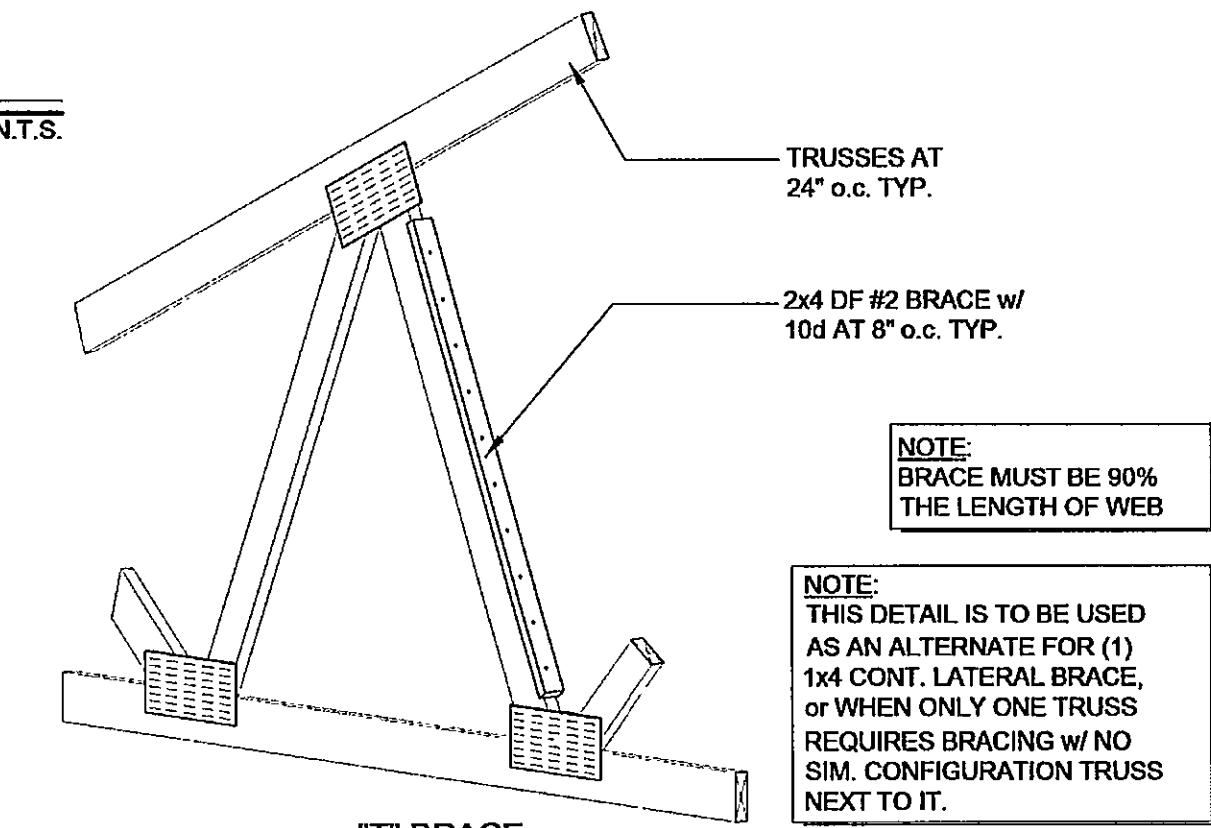
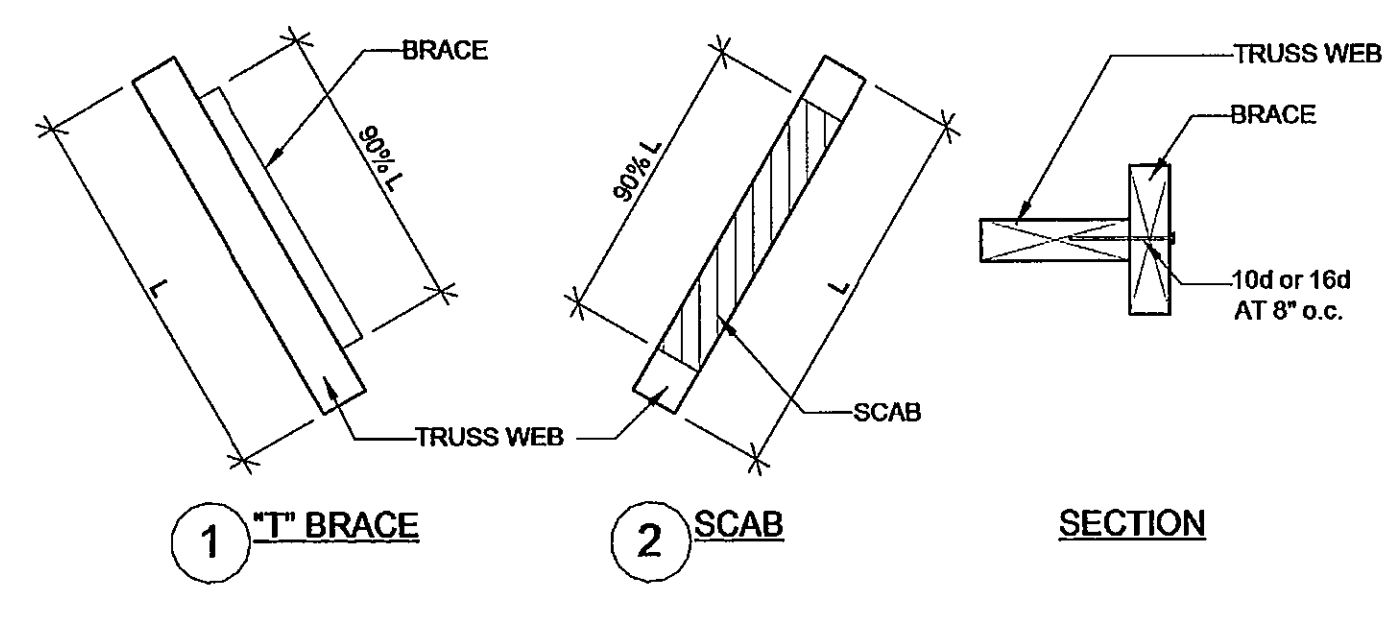
MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE., SUITE 295
 FALLON, NV 89405
 PHONE: (775) 324-3511
 B-2 LICENSE # 0039667A LIMIT \$250,000



NOTE:

1. A 2x STRUCTURALLY GRADED "T" BRACE MAY BE NAILED FLAT TO THE EDGE OF THE MEMBER w/ 10d COMMON or BOX NAILS AT 8" o.c. IF ONLY ONE BRACE IS REQUIRED, or MAY BE NAILED TO BOTH EDGES OF THE MEMBER IF TWO BRACES ARE REQ'D. THE "T" BRACE MUST EXTEND A MINIMUM OF 90% OF THE MEMBER'S LENGTH.
2. A SCAB (add on) OF THE SAME SIZE AND STRUCTURAL GRADE AS THE MEMBER MAY BE NAILED TO ONE FACE OF THE MEMBER w/ 10d COMMON or 16d SINKER AT 8" o.c. IF ONLY ONE BRACE IS REQ'D, or MAY BE NAILED TO BOTH FACES OF THE MEMBER IF TWO BRACES ARE REQUIRED. A MINIMUM OF 2x6 SCABS ARE REQUIRED FOR ANY MEMBER EXCEEDING 14'-0" IN LENGTH. SCAB(S) MUST EXTEND A MINIMUM OF 90% OF THE MEMBER'S LENGTH.
3. ANY MEMBER REQUIRING MORE THAN TWO BRACES MUST USE PERPENDICULAR BRACING OR A COMBINATION OF SCABS AND "T" BRACES, or ANY OTHER APPROVED METHOD, AS SPECIFIED AND APPROVED BY THE ENGINEER OF RECORD.

2 TRUSS TO WALL N.T.S.



NOTE: 1x4 CONT. LATERAL BRACE IS THE MIN. TO BE USED UNLESS REQ'D TO BE GREATER BY THE TRUSS MFG.

NOTE: THIS DOES NOT APPLY AT CONDITION w/ GABLE TRUSS

NOTE: AT CONTINUOUS 1x4, INSTALL 2x6 1" BRACE TO TRUSS WEB, FULL LENGTH. NAIL TO WEB w/ 16d's AT 4" o.c., CONNECT 1x4 TO 2x6 w/ (6) 8d's

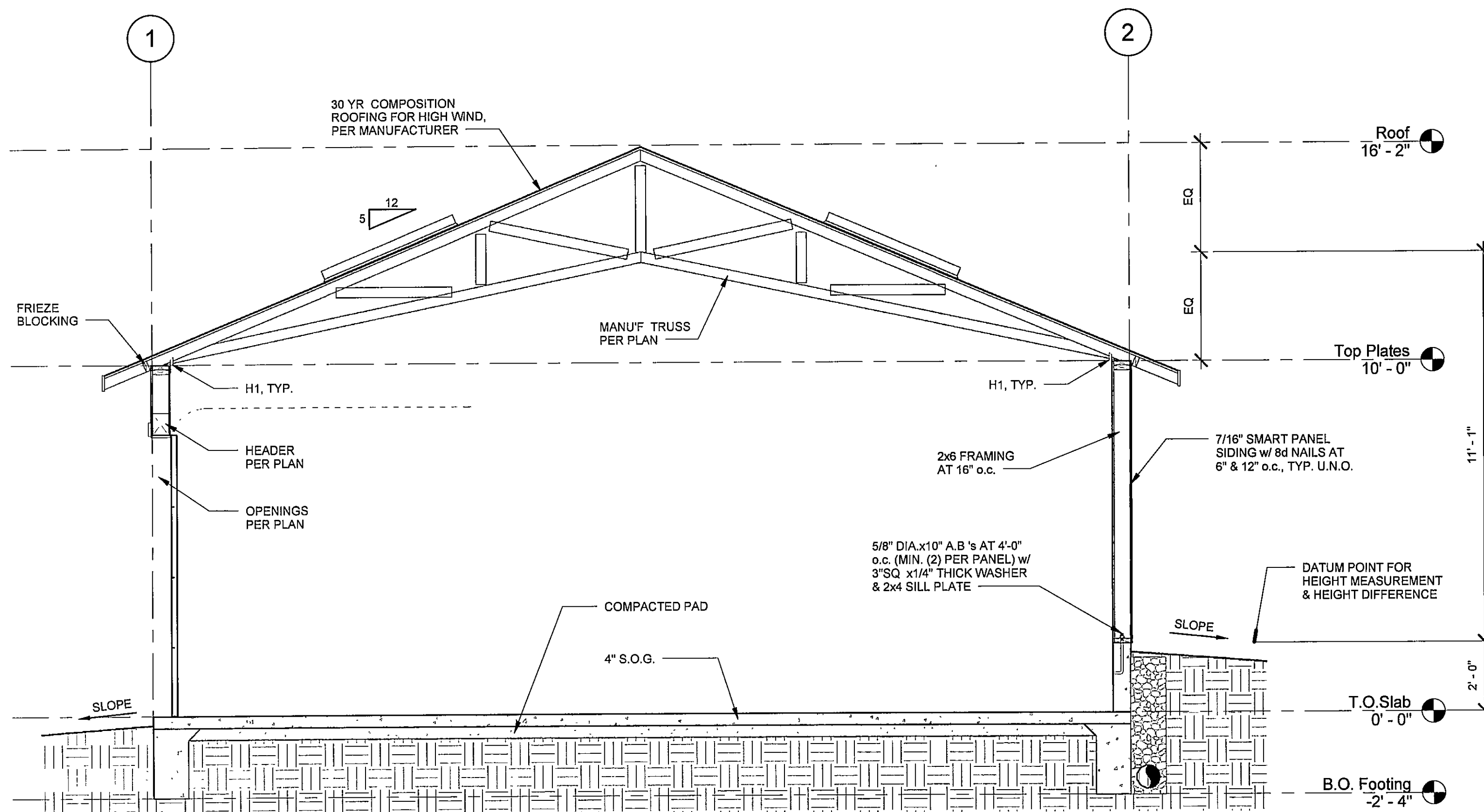
1 TYP. PREFAB TRUSS BRACING and TRUSS WEB BRACING N.T.S.

WASHINGTON COUNTY BUILDING DEPT.
OFFICE COPY

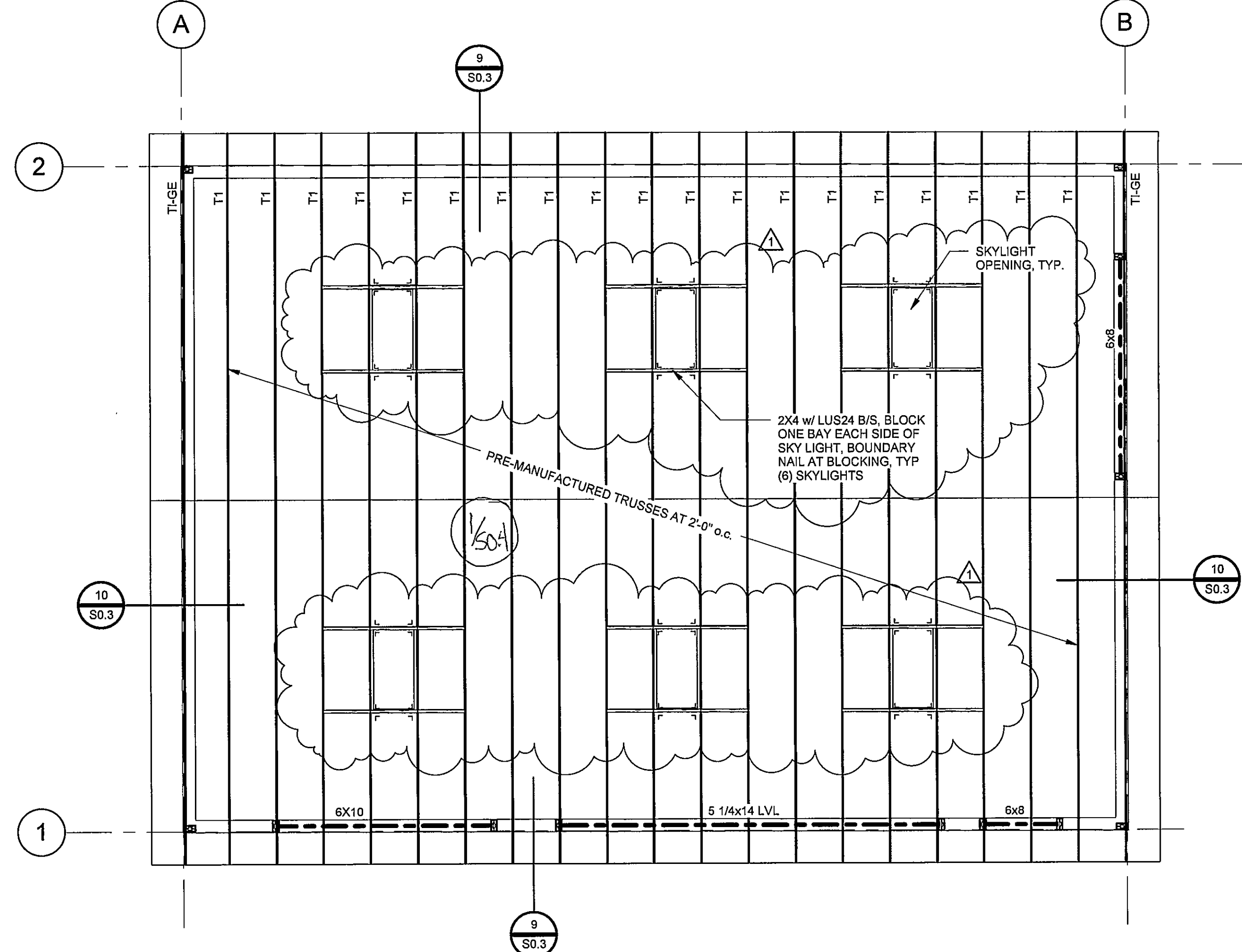
GYFORD SHOP
 4190 RANCHEROS DR.
 RENO, NV 89521
 APN# 016-473-07

Washoe
 REVIEWED FOR CODE COMPLIANCE
 Department

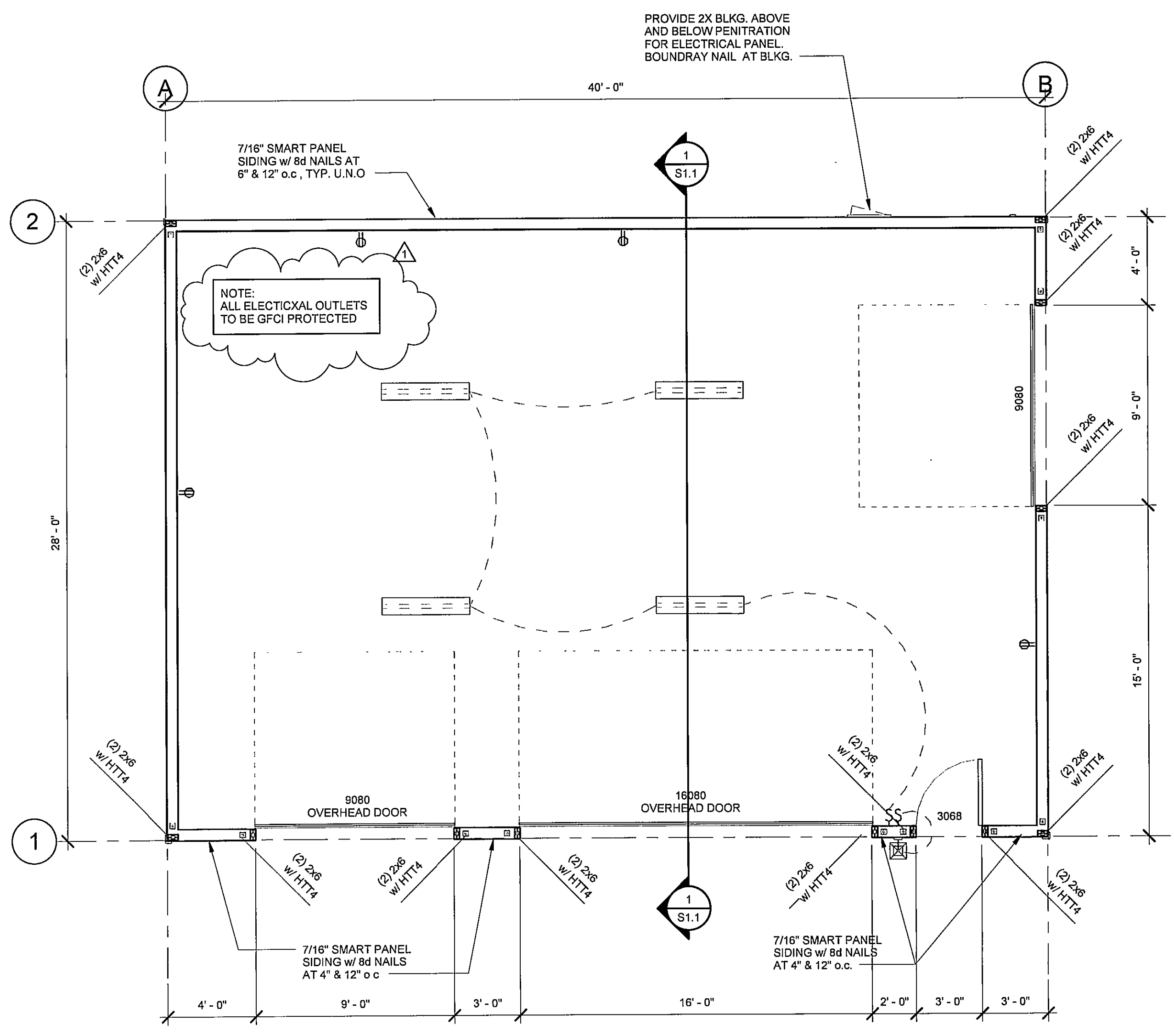
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CHECKED BY	BDD
DATE	-
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	S0.4
OF SHEETS	-



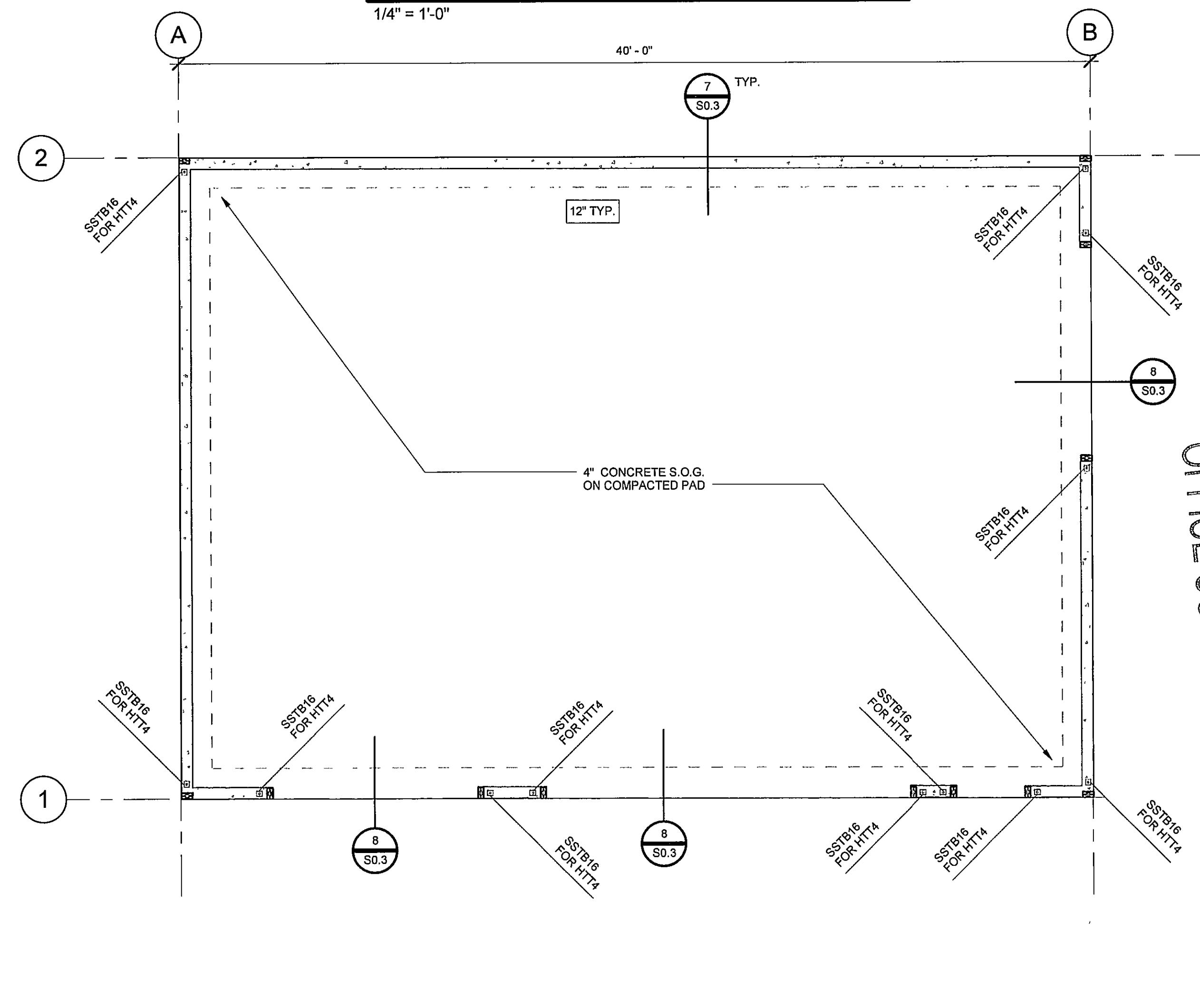
1 BUILDING SECTION
3/8" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"



STRUCTURAL & ELECTRICAL PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

#	Date	Description	By
1	6-9-12	PLAN CHECK	CSB

DEI
Dunagan Engineering, Inc.
1790 Caughlin Parkway #766, Reno, NV 89519
T: 775-359-2733 F: 866-673-0790 T.W. Deinger@dei.com

STRUCTURAL ONLY
Professional Engineer State of Nevada
BRAND DUNAGAN
No. 9981
6/1/2012 1:57:54 PM

MB LEWIS CONSTRUCTION
2171 W. WILLIAMS AVE., SUITE 295
FALLOON, NV 89406
PHONE: (775) 324-3511
B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
4190 RANCHEROS DR.
RENO, NV 89521
APN# 016-473-07

OFFICE COPY
WASHOE COUNTY BUILDING DEPT.

Washoe County
REVIEWED FOR CODE COMPLIANCE
Department

DRAWN BY	CSB
CHECKED BY	BDD
DATE	
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	S1.1
OF SHEETS	

Exhibit 11

Permit Drawings Revised



WASHOE COUNTY

Department of Building & Safety
"Dedicated to Excellence in Public Service"



1001 E. Ninth Street
P.O. Box 11130
Reno, NV 8950-0027

(775) 328-2020
(775) 328-6132 FAX

BUILDING PERMIT INSPECTION LINE (775) 325-8000 www.washoecounty.us/bldgsafety

Address: 14190 RANCHEROS DR WCTY
Location:
Parcel No: 016-473-07

Permit No: 12-0944
Type: BLD-RES
Category: RGAR

Applied: 05/11/2012
Issued: 06/08/2012
Status: ISSUED
Expire: 12/08/2013
Renewed:

Zoning: MDS

Area: S
Sewer: SEPTIC
Water: WC

Occupancy: 27
Census:
Units: 1
Bldgs: 1

Use Code:
Variance No:
Special Use No:
Major Project:

OWNER GYFORD DARREN& KRISTIN J Phone: C-775-223-3261
14190 RANCHEROS DR
RENO NV 89511

CONTRACTOR M B LEWIS CONSTRUCTION INC DBA Phone: 775-221-1284
2171 W WILLIAMS AVE #295
FALLON NV 89406
License: 0039667A

CONTACT M B LEWIS CONSTRUCTION INC DBA Phone: 775-221-1284
2171 W WILLIAMS AVE #295
FALLON NV 89406

Permit Description:

28' x 40' DETACHED GARAGE WITH ELEC***REVISION TO REDUCE BLDG SIZE TO 34 X 28 TO
ACCOMODATE GREATER SETBACK

VALUATION:	\$41,339.20			
Occupancy	Type	Factor	Sq Feet	Valuation
U-Utility	VB	36.91	1,120	\$41,339.20
Totals...			1,120	\$41,339.20*

FEEs: Building Fee:	\$653.56	Plan Check Fee:	\$326.78	TOTAL FEES:	\$1,199.34
Electrical Fee:	\$0.00	Park Tax Fee:	\$0.00	Payments:	\$1,199.34
Plumbing Fee:	\$174.00	Violation Fee:	\$0.00	BALANCE DUE:	\$0.00
Mechanical Fee:	\$0.00	Renewal Fee:	\$0.00	VALIDATED BY:	DJ
Reinspections:	\$45.00	Road Impact Fee:	\$0.00	ISSUED BY:	DJ

Signature: 

Permission is hereby granted to do the work for the building described in this application, in accordance with the Rules, Regulations and Ordinances of the County of Washoe, along with the plans and specifications filed herewith.

IMPORTANT TIME DEADLINES:  (initial)

I UNDERSTAND THAT FINAL INSPECTION OR RENEWAL OF THIS PERMIT MUST BE MADE PRIOR TO THE EXPIRATION DATE OR NEW PLANS MUST BE SUBMITTED AND PERMIT FEES PAID PRIOR TO FINAL INSPECTION. PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE, WITH NO GRACE PERIOD. IF THE DATE OF EXPIRATION FALLS ON A WEEKEND OR HOLIDAY, THE PERMIT MUST BE RENEWED ON THE LAST BUSINESS DAY PRIOR TO THE EXPIRATION. I UNDERSTAND THIS IS THE ONLY NOTICE I WILL RECEIVE FOR RENEWAL OF THE PERMIT AND KEEPING THE PERMIT RENEWED AND IN A VALID STATUS IS MY RESPONSIBILITY.

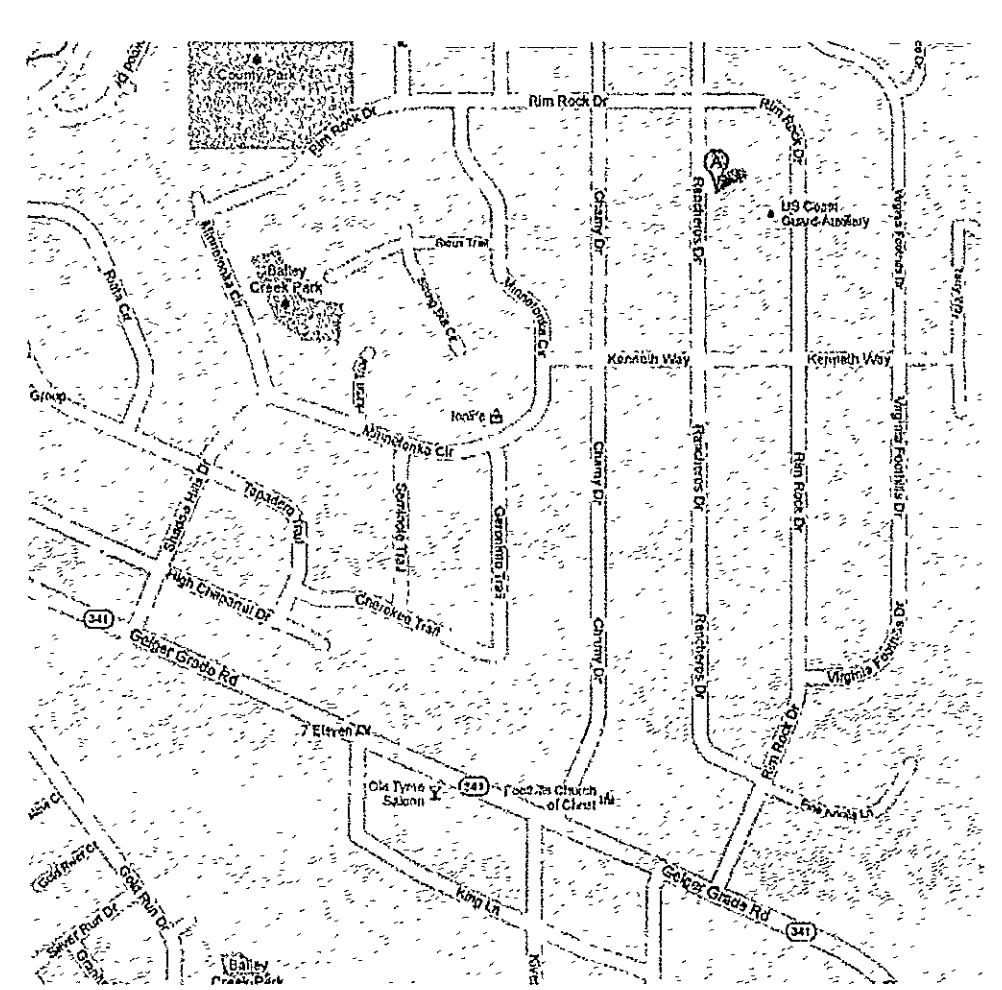
DISCLAIMERS: INDEMNIFICATION: ACKNOWLEDGMENTS BY PERMITEE: _____ (initial)

I UNDERSTAND THAT THE INSPECTIONS PROVIDED BY WASHOE COUNTY ARE VERY LIMITED AND DO NOT COVER ALL OF THE WORK PERFORMED UNDER THE AUTHORITY OF THIS PERMIT. THE INSPECTIONS ARE OCCASIONAL SPOT CHECKS, MUCH LIKE AN AUDIT; THEREFORE MANY PARTS OF THE WORK ARE NOT INSPECTED. IF MORE INSPECTION IS DESIRED, A PRIVATE INSPECTOR MUST BE HIRED BY THE PERMITEE. NEITHER THE INSPECTIONS BY THE COUNTY NOR THE CERTIFICATE OF OCCUPANCY CONSTITUTE A REPRESENTATION BY THE COUNTY THAT THE WORK WAS INSPECTED OR THAT THE WORK COMPLIES WITH COUNTY ORDINANCES.

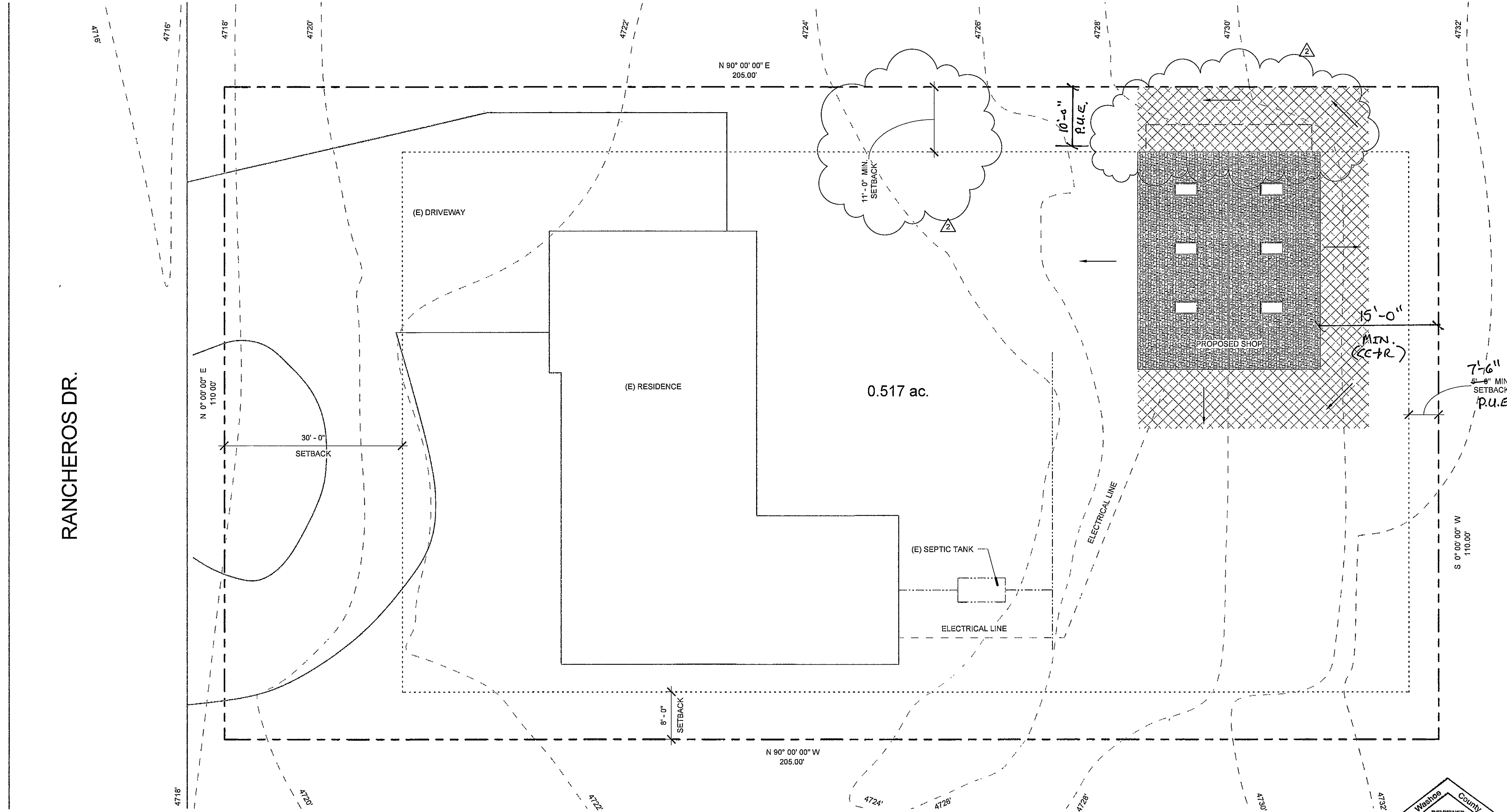
I HEREBY AGREE TO DEFEND AND TO SAVE, INDEMNIFY AND KEEP HARMLESS THE COUNTY OF WASHOE AND ITS OFFICERS, EMPLOYEES AND AGENTS AGAINST ALL LIABILITIES, JUDGMENTS, COSTS AND EXPENSES WHICH MAY ACCRUE AGAINST THE COUNTY IN CONSEQUENCE OF GRANTING OF THIS PERMIT OR CERTIFICATE OF OCCUPANCY, IN CONSEQUENCE OF THE COUNTY'S OWN NEGLIGENCE OR ITS OTHERS ACTS OR OMISSIONS WITH RESPECT TO THIS PERMIT OR A CERTIFICATE OF OCCUPANCY, OR IN CONSEQUENCE OF THE USE OR OCCUPANCY OF ANY WORK, SIDEWALK, SUB-SIDEWALK OR STREET, OR OTHERWISE BY VIRTUE THEREOF, AND WILL IN ALL THINGS STRICTLY COMPLY WITH THE CONDITIONS OF THIS PERMIT AND PROVISIONS OF THE RULES, REGULATIONS AND ORDINANCE OF THE COUNTY OF WASHOE.

12-0944

REVISED
AUG 21 2012



VICINITY MAP
N.T.S.



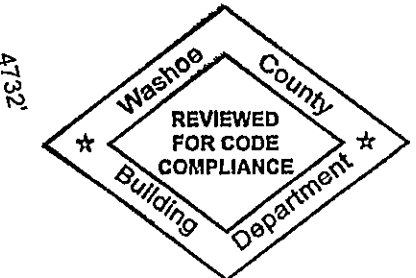
NO KNOWN PUBLIC WELLS WITHIN 200 FEET OF PARCEL
NO KNOWN 100 YEAR FLOOD PLAIN WITHIN 100 FEET OF PARCEL
NO KNOWN WELLS OR SEPTIC SYSTEMS WITHIN 100 FEET OF PARCEL OTHER THAN NOTED
NO DRAINAGE IMPROVEMENTS
NO KNOWN SEWERS WITHIN 400 FEET OF PARCEL
NO KNOWN WATER CHANNELS OR NATURAL DRAINAGE WITHIN 100 FEET OF PARCEL OTHER THAN NOTED
SITE PLAN FOR: DARREN GYFORD 14190 RANCHEROS DR. RENO, NV 89521 APN# 016-473-07
8/9/2012 4:51:02 PM

THESE PLANS ARE PREPARED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS 623.330 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624

MB LEWIS CONSTRUCTION
2171 W. WILLIAMS AVE., SUITE 295
FALLON, NV 89406
PHONE: (775) 324-3511
B-2 LICENSE # 0039667A LIMIT \$250,000

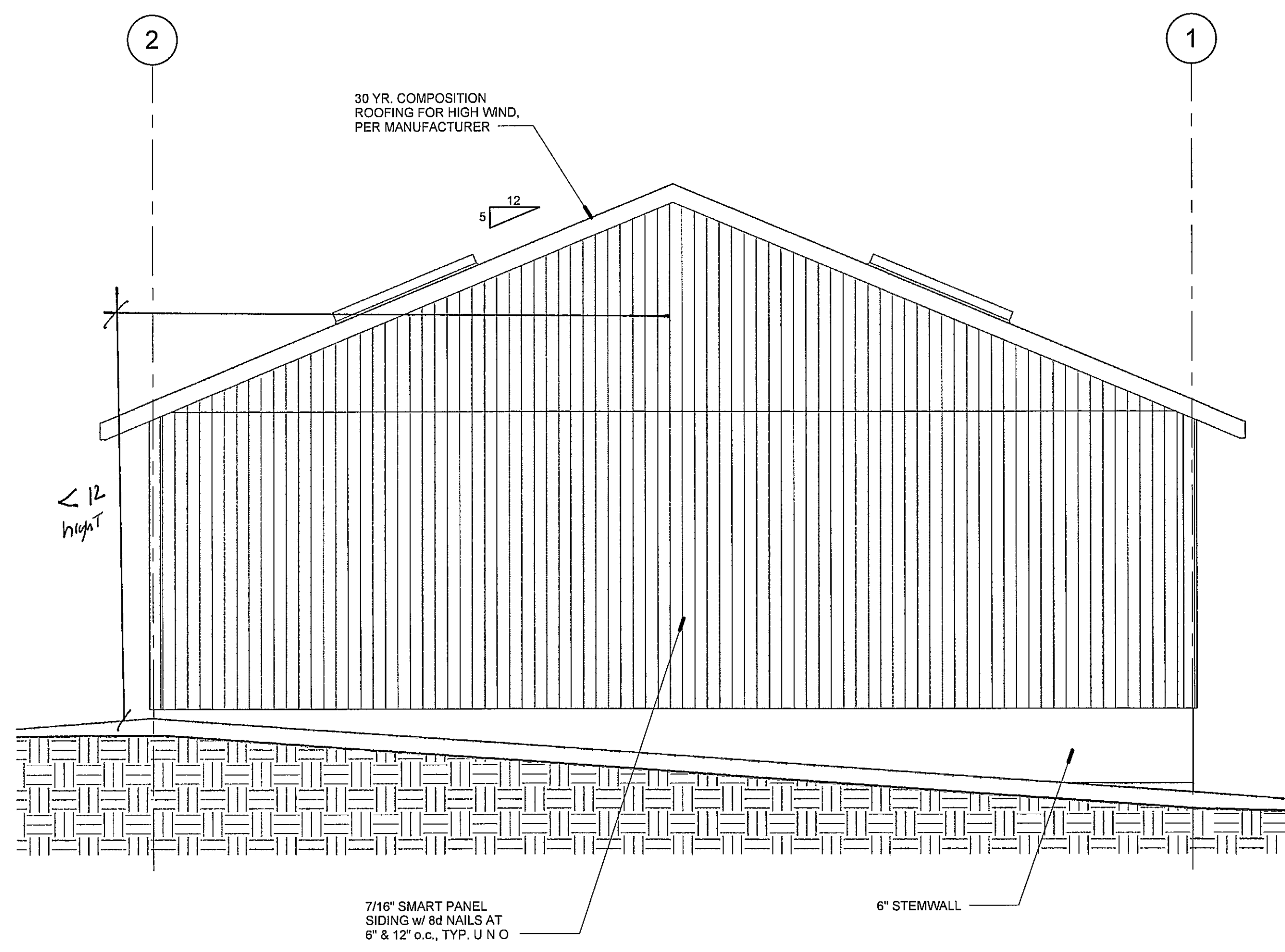
[Signature]
SIGNATURE OF QUALIFIED INDIVIDUAL OR REPRESENTATIVE

WASHOE COUNTY BUILDING DEPT.
OFFICE COPY

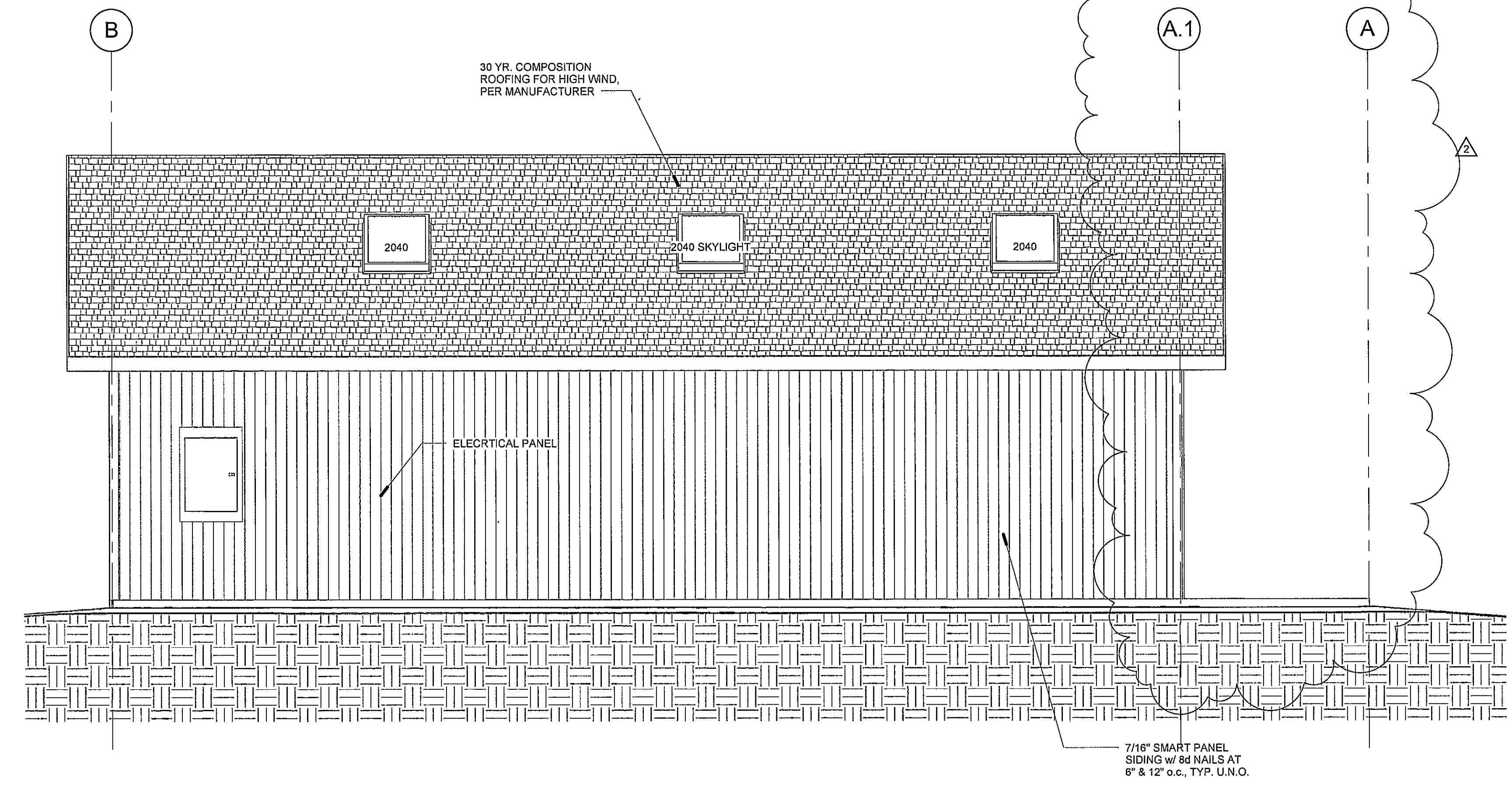


SITE PLAN
1" = 10'-0"

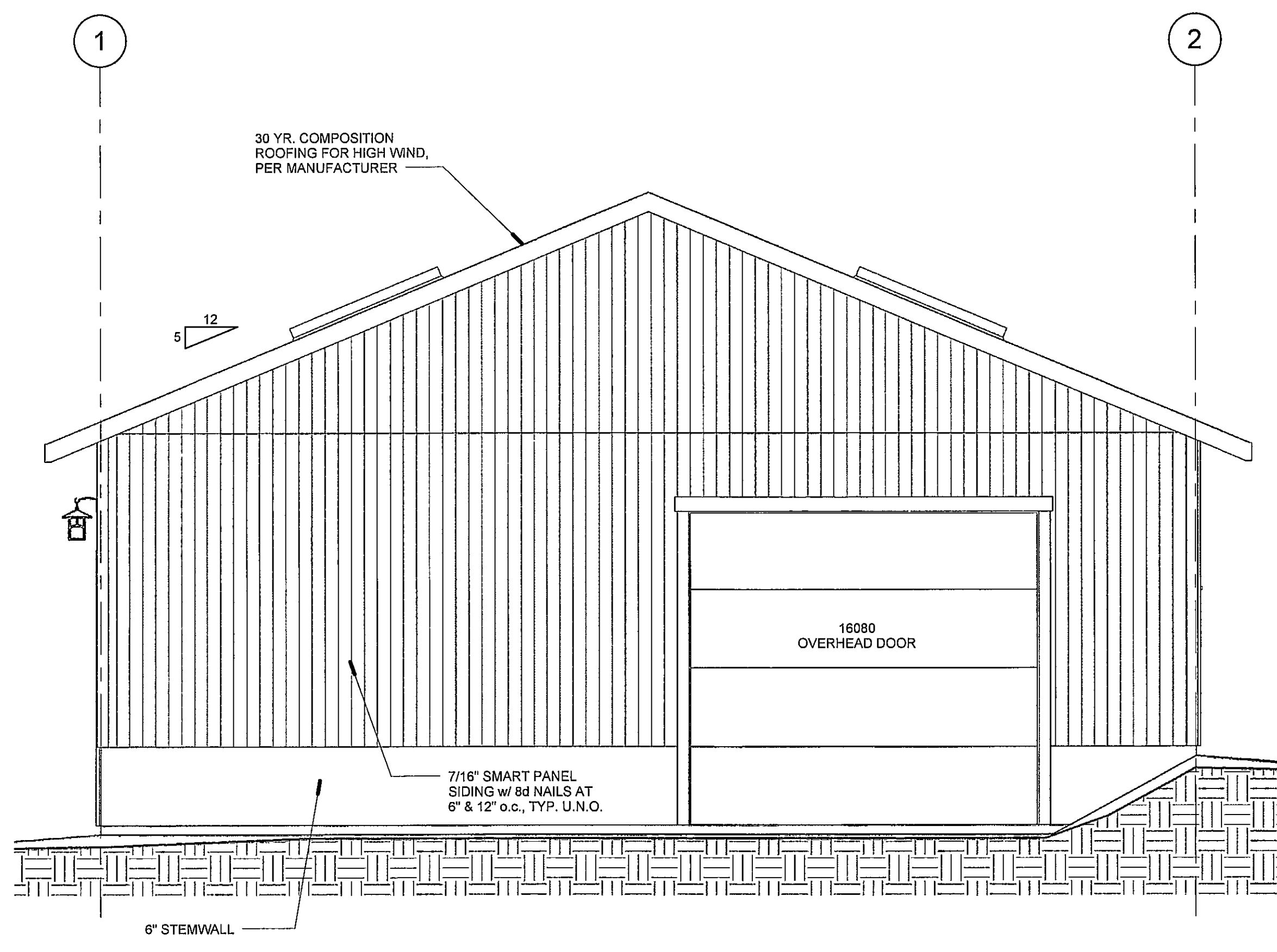
REVISIONS			
#	Date	Description	By
2	8-08-12	CLIENT REVISION	CSB



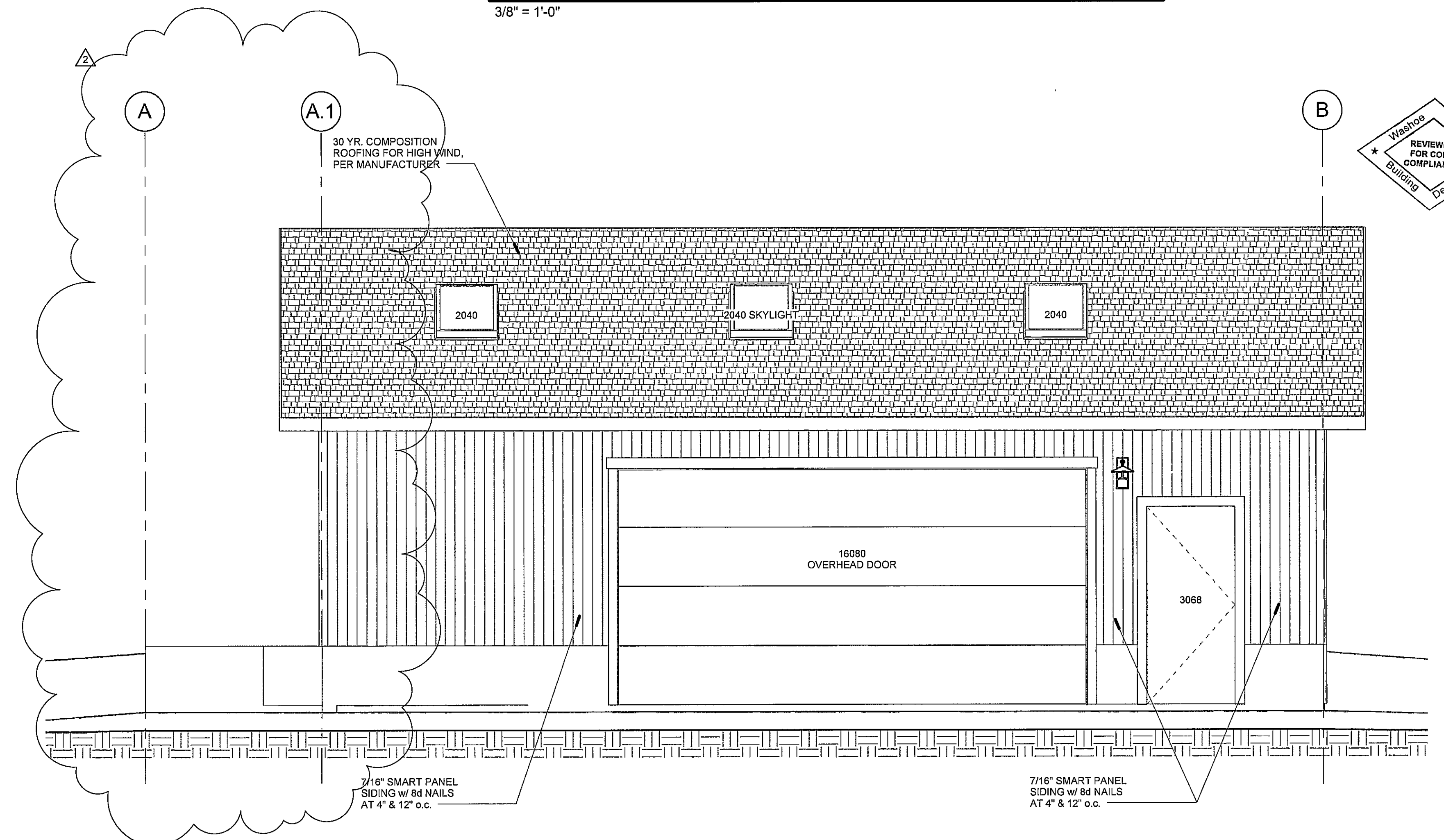
NORTH ELEVATION
3/8" = 1'-0"



EAST ELEVATION
3/8" = 1'-0"



SOUTH ELEVATION
3/8" = 1'-0"

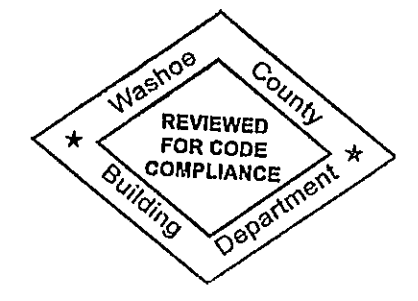


WEST ELEVATION
3/8" = 1'-0"

DEI
engineers
Dunagan Engineering, Inc.
4790 Caughlin Parkway #766, Reno, NV 89519
T. 775.329.2733 | F. 888.673.0790 | W. DEIengineers.com

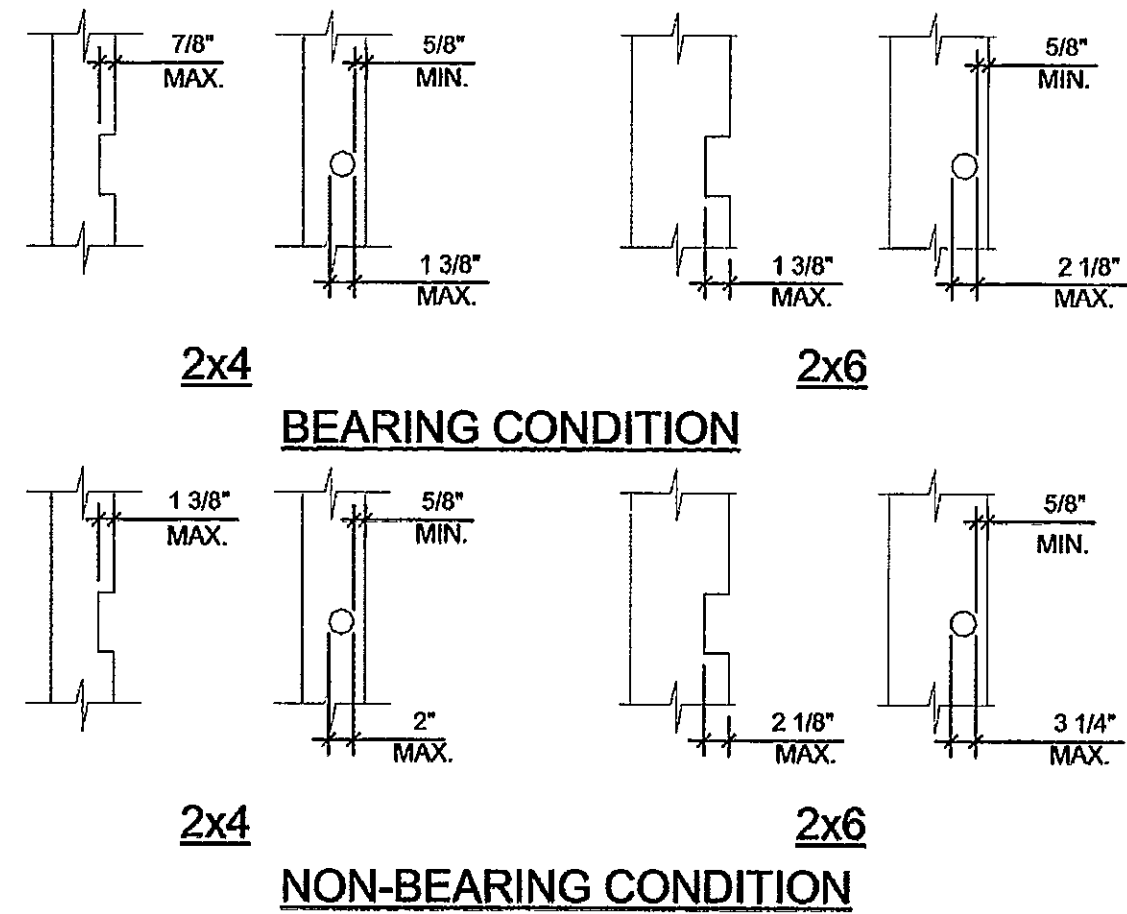
STRUCTURAL ONLY
ROBERT C. CORBIN
EXP. 12-31-12
CML
No. 2132
8-11-12
8/9/2012 4:51:10 PM

MB LEWIS CONSTRUCTION
2171 W. WILLIAMS AVE., SUITE 295
FALLON, NV 89406
PHONE: (775) 324-3511
B-2 LICENSE # 0039667A LIMIT \$250,000

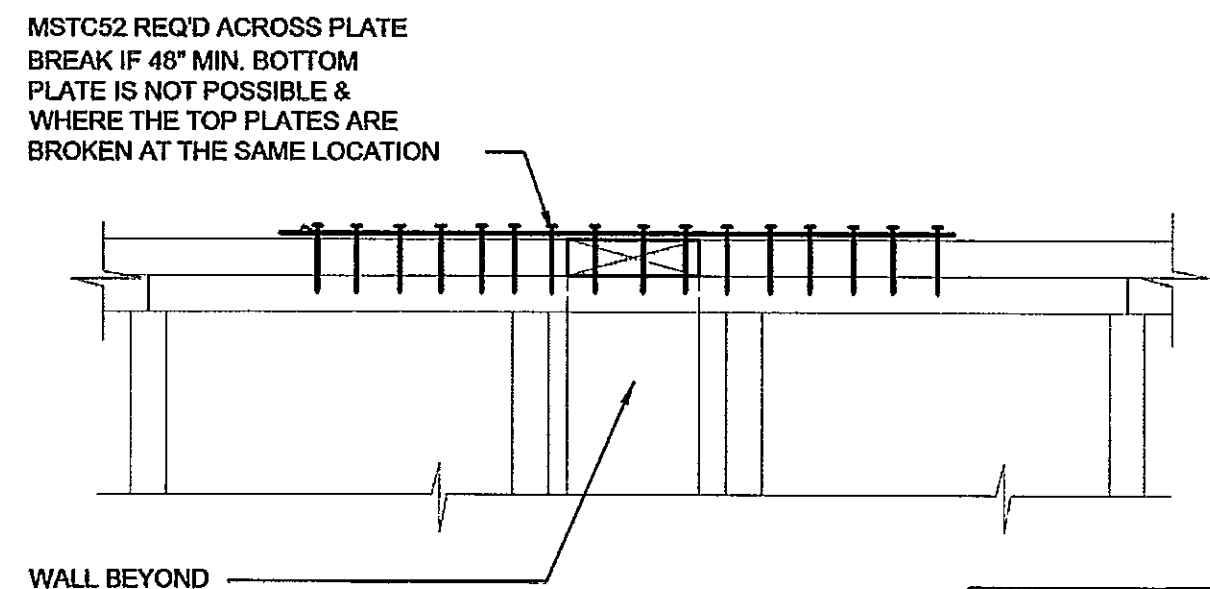
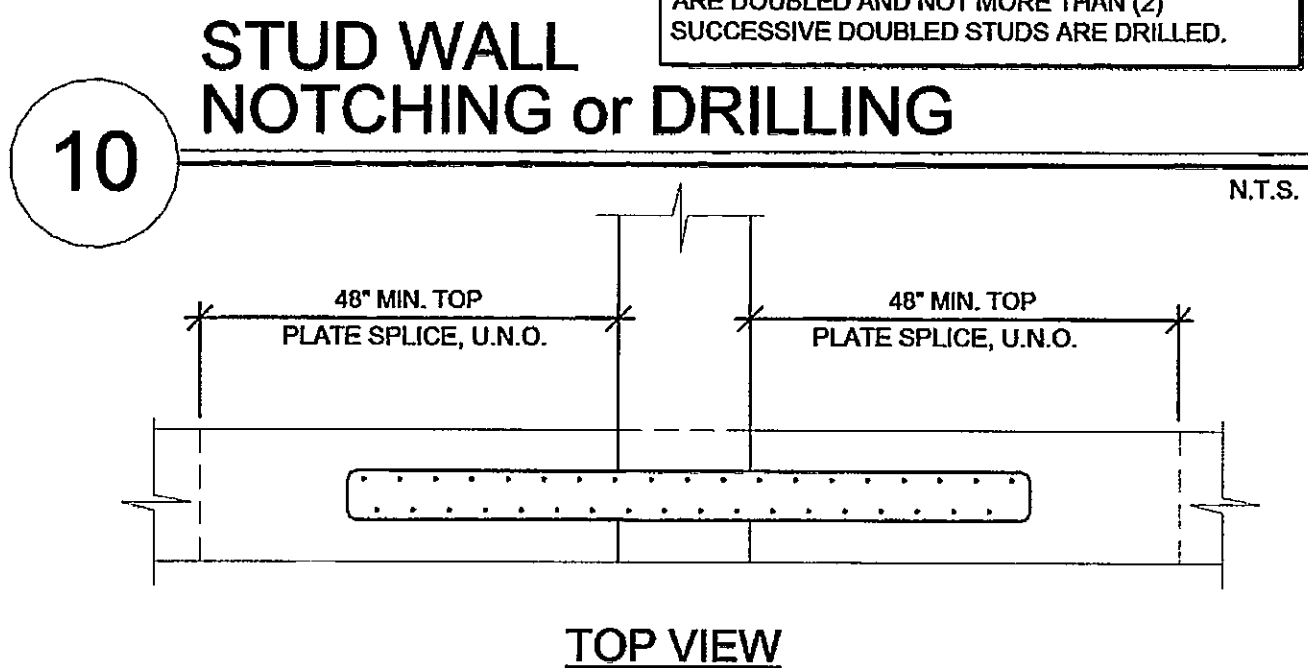


GYFORD SHOP
14190 RANCHEROS DR.
RENO, NV 89521
APN# 016-473-07

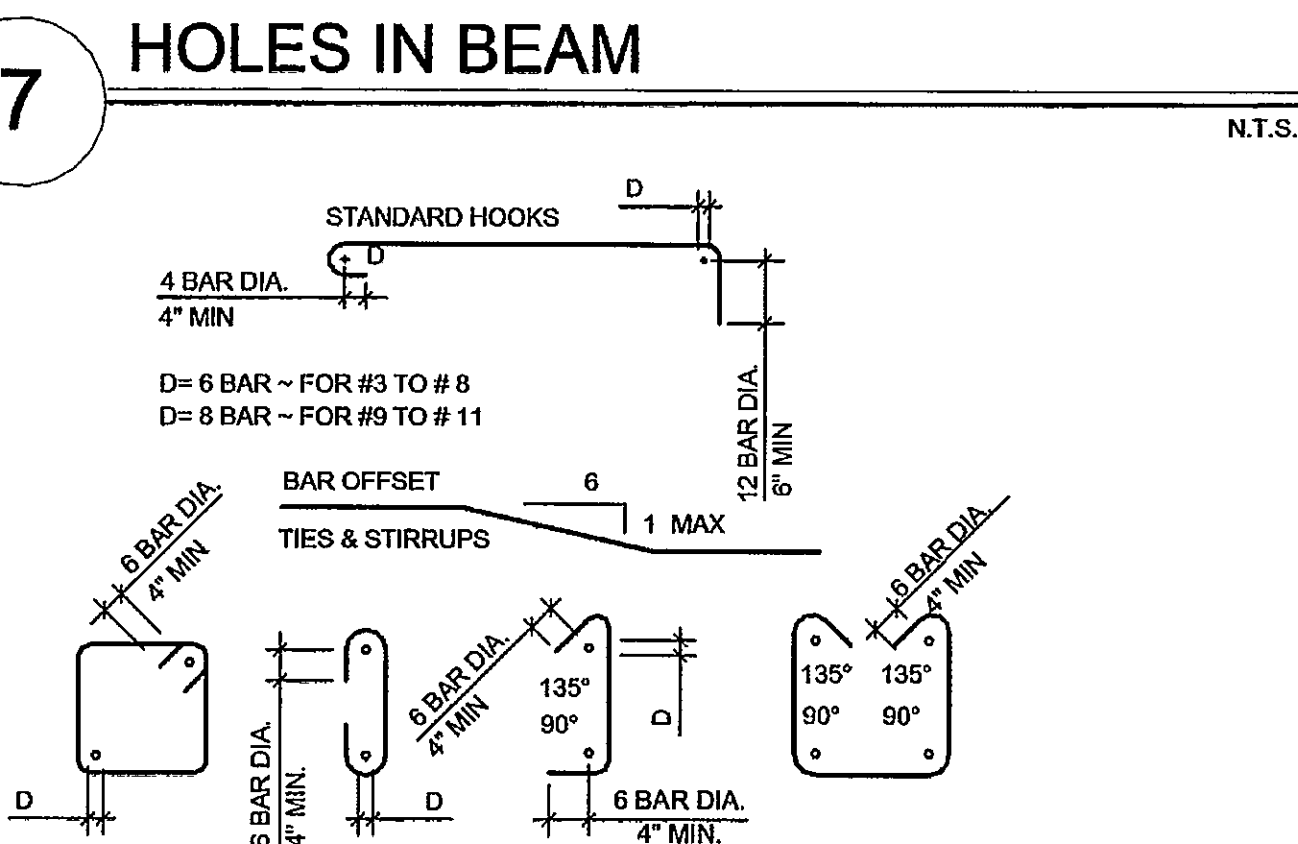
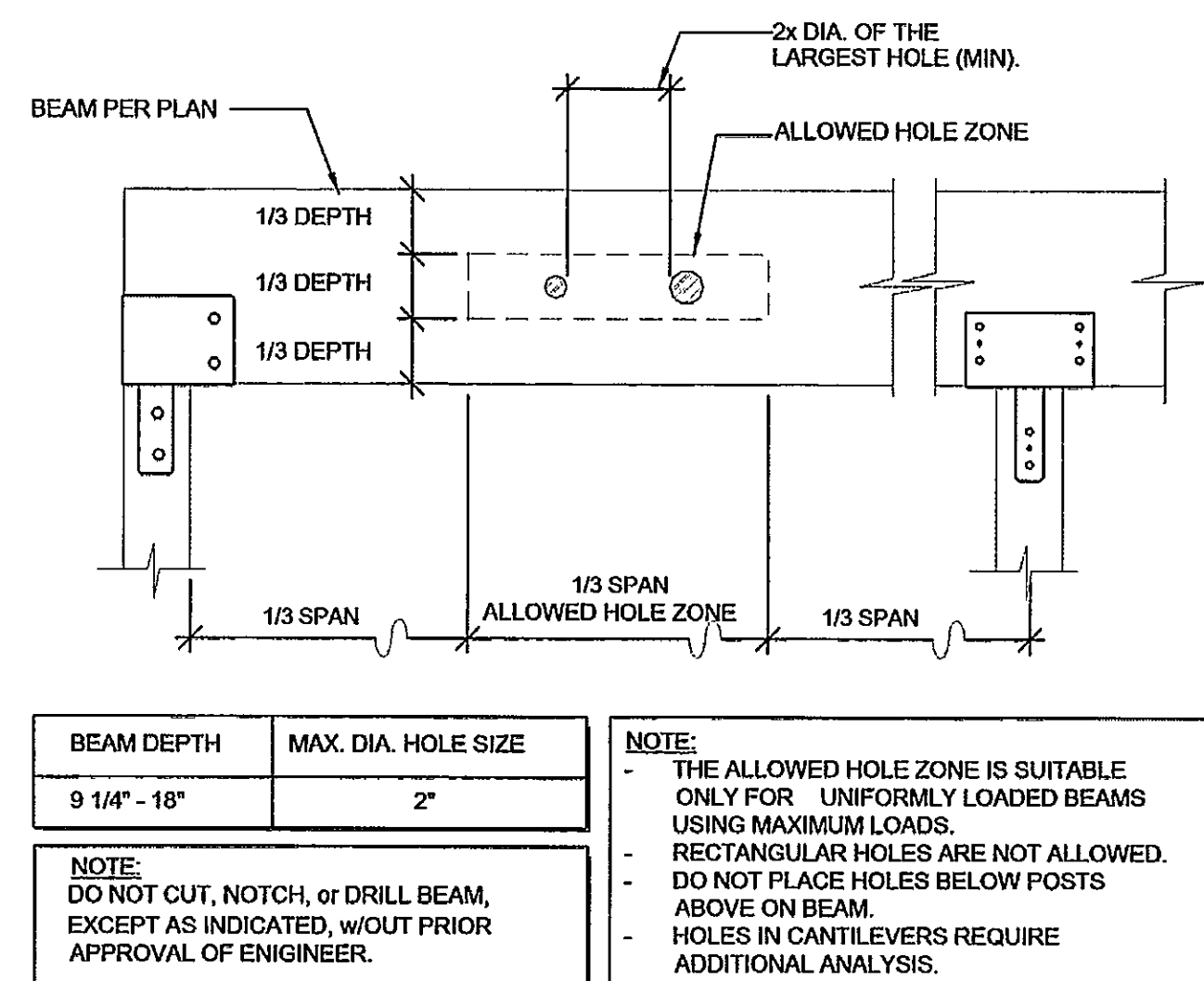
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CHECKED BY	BDD
DATE	-
SCALE	AS NOTED
JOB NO	B10310
SHEET NO	A2
OF SHEETS	



NOTE: BEARING or NON-BEARING WALLS MAY BE DRILLED 2" FOR 2x4 AND 3 1/4" FOR 2x6 WALLS, w/ 5/8" EDGE DISTANCE, IF STUDS ARE DOUBLED AND NOT MORE THAN (2) SUCCESSIVE DOUBLED STUDS ARE DRILLED.



10 STUD WALL NOTCHING or DRILLING



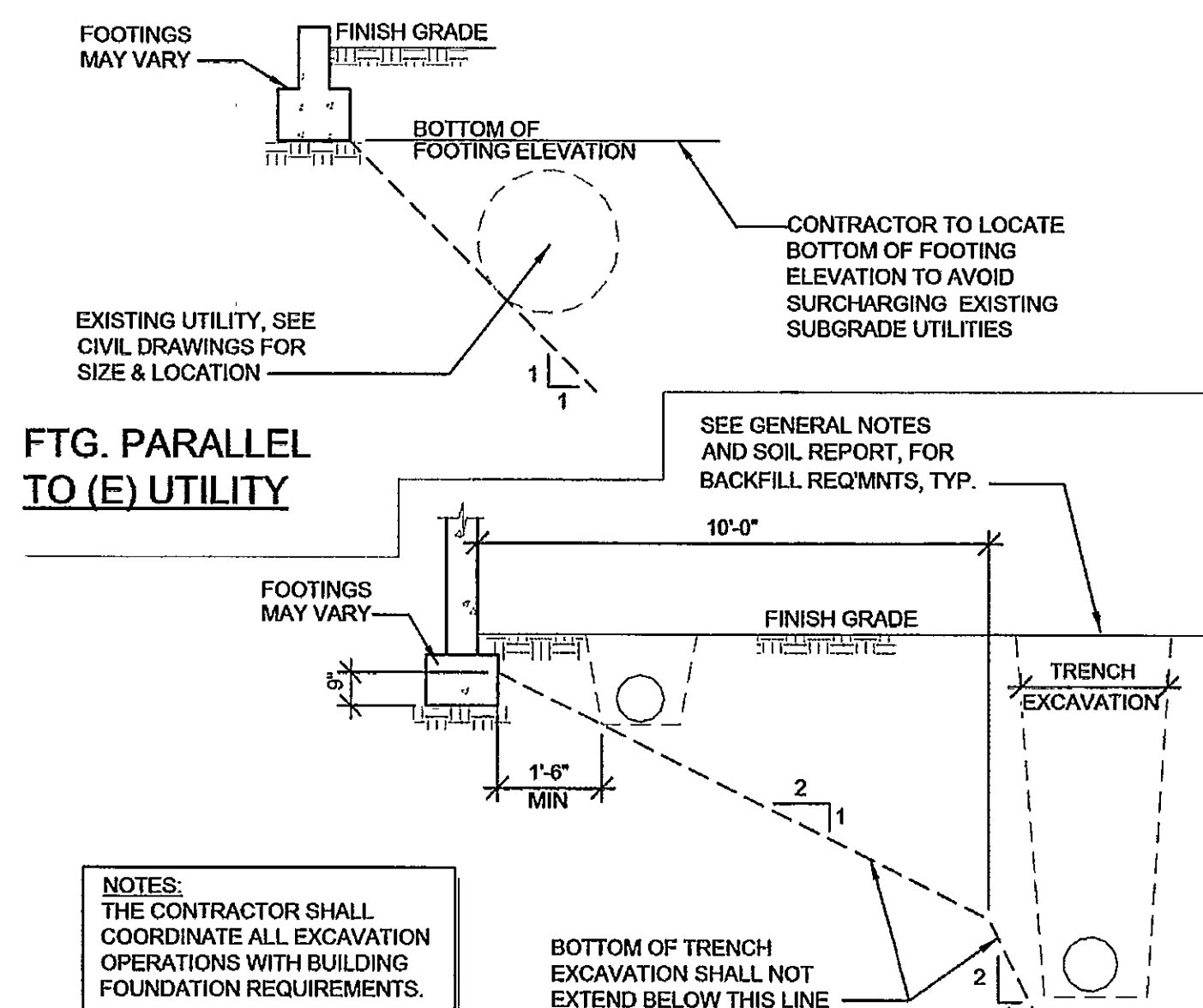
7 HOLES IN BEAM

SIZE OF REINF.	#3	#4	#5	#6	#7	#8
CONCRETE f' _c =2500 psi	14"	24"	37"	53"	90"	117"
CMU - SINGLE CURTAIN OF REINFORCEMENT	NOTE 1					
TYPICAL	15"	20"	25"	30"	35"	40"
w/ SPLICE AT MID SPAN / HEIGHT	23"	30"	38"	45"	53"	60"
CMU - DOUBLE CURTAIN OF REINFORCEMENT	NOTE 2					
TYPICAL	20"	28"	33"	39"	46"	52"
w/ SPLICE AT MID SPAN / HEIGHT	30"	39"	50"	59"	69"	78"

MIN. LAP LENGTH AT SPLICES, UNCOATED BARS

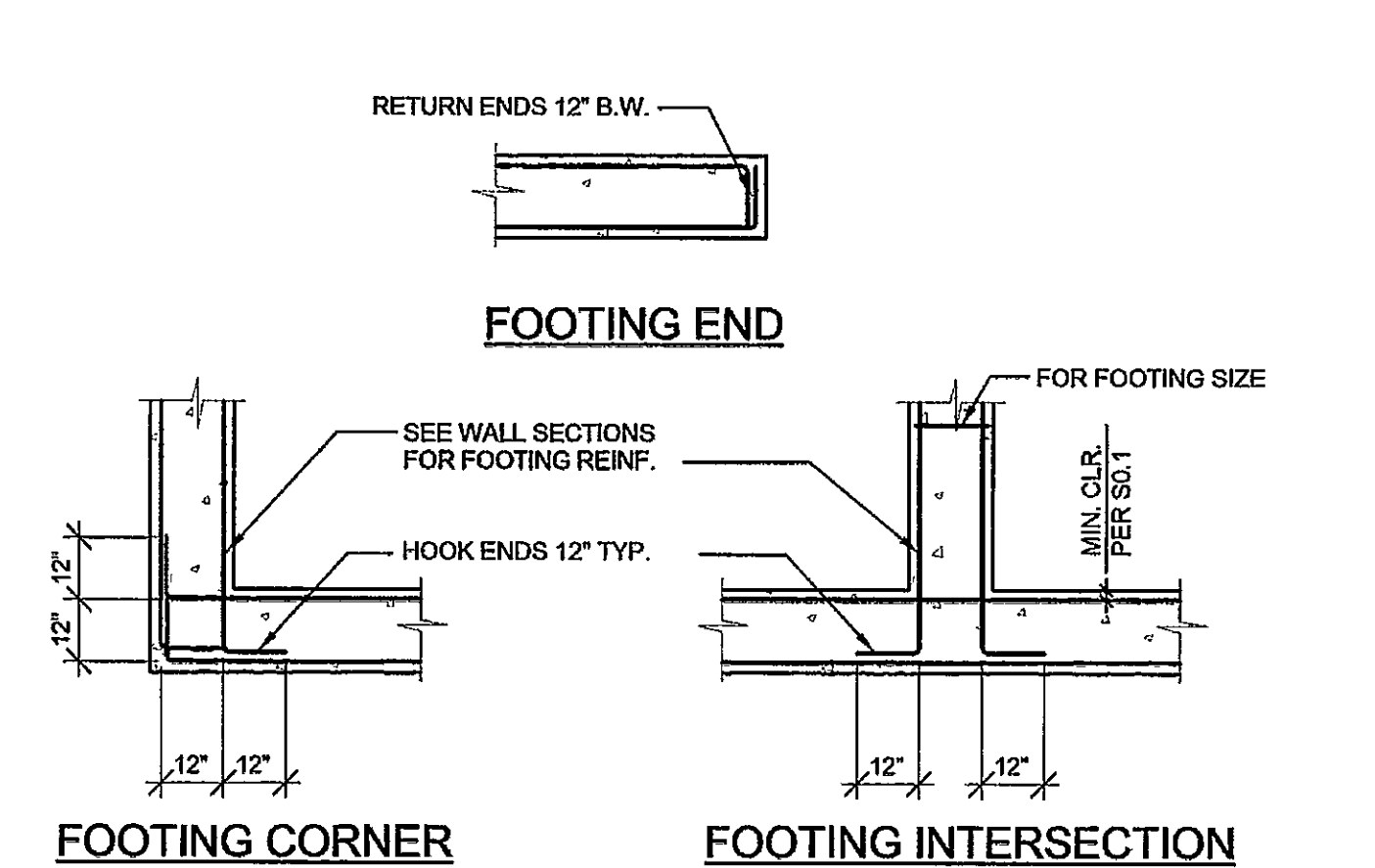
NOTES:
1. USE FOR SINGLE CURTAIN or DBL. CURTAIN REINFORCEMENT w/ SPLICES STAGGERED 24".
2. USE FOR (2) or MORE BARS SPACED 3 INCHES or CLOSER TOGETHER. IF SPLICES ARE STAGGERED USE SINGLE CURTAIN LAP LENGTHS.

6 STEEL REINFORCEMENT



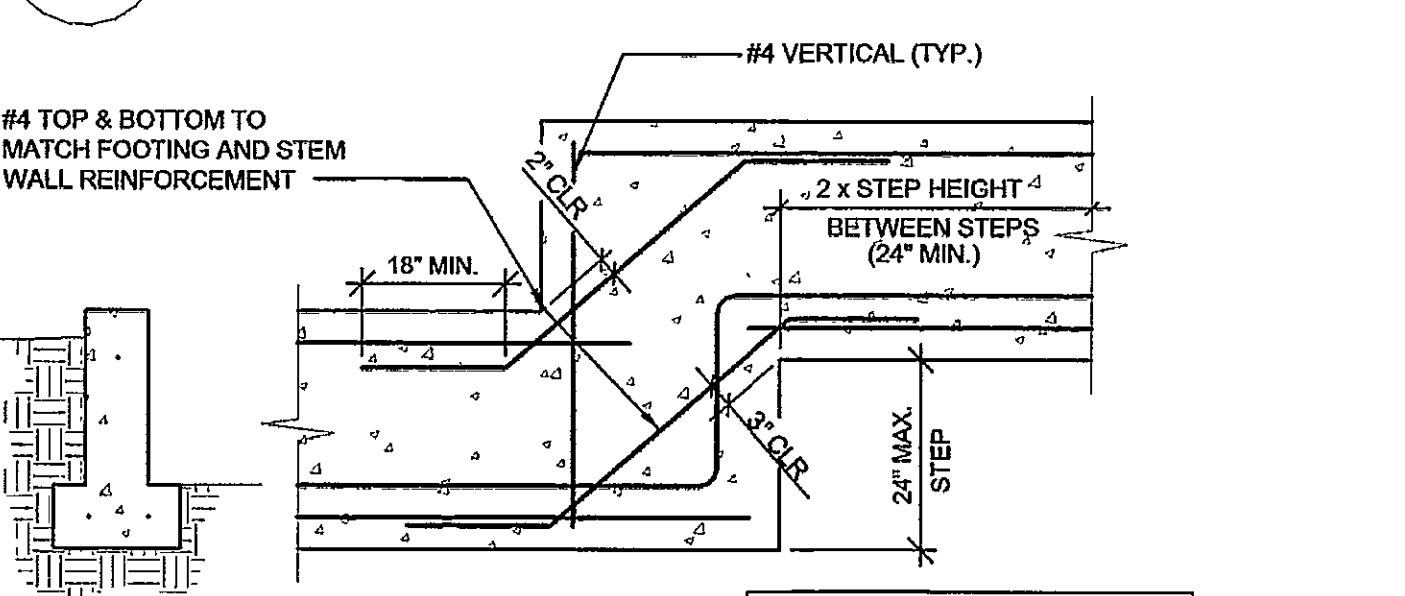
6 STEEL REINFORCEMENT

NOTES:
THE CONTRACTOR SHALL COORDINATE ALL EXCAVATION OPERATIONS WITH BUILDING FOUNDATION REQUIREMENTS.



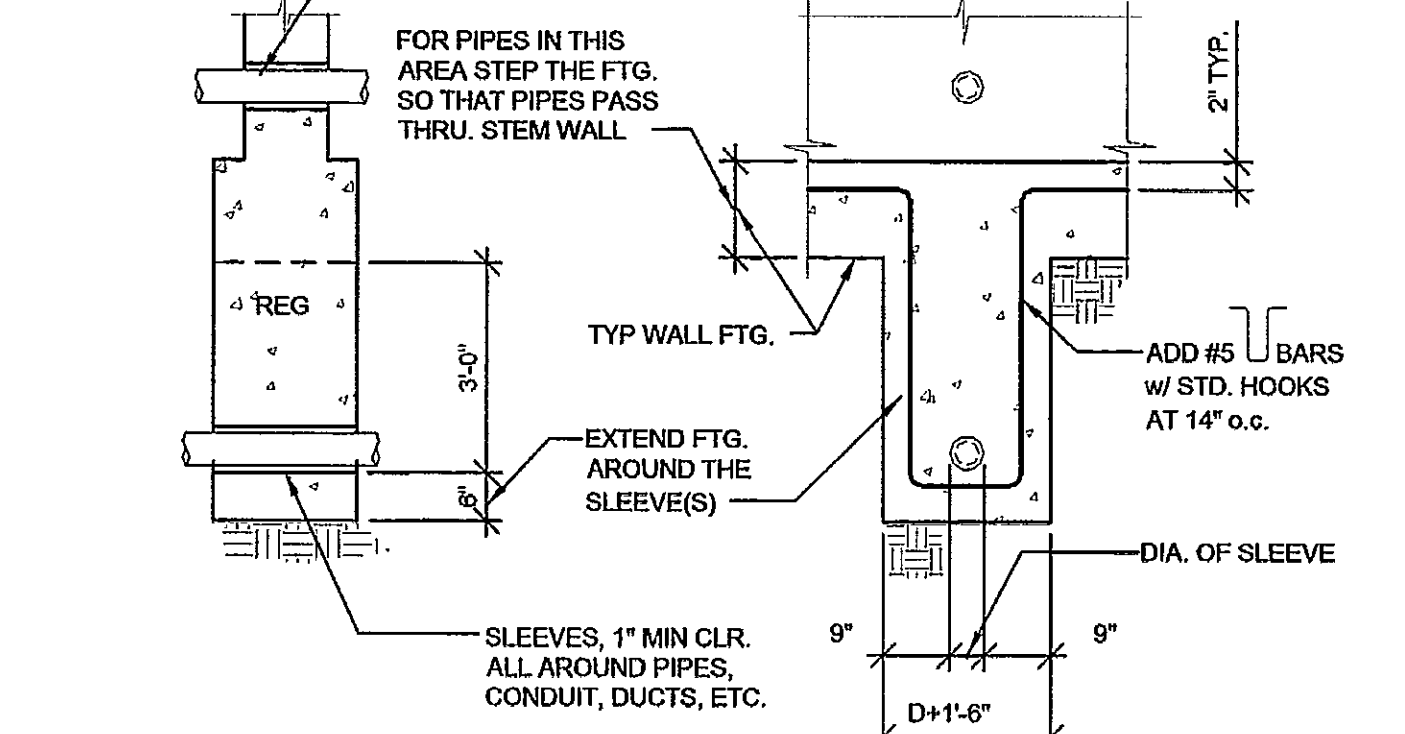
4 LAP FOOTING REINF.

NOTE: INFO SHOWN IS FOR GRAPHIC PURPOSES ONLY. SEE FOOTING SCHEDULE FOR NUMBER OF REINF. BARS IN FOOTING.



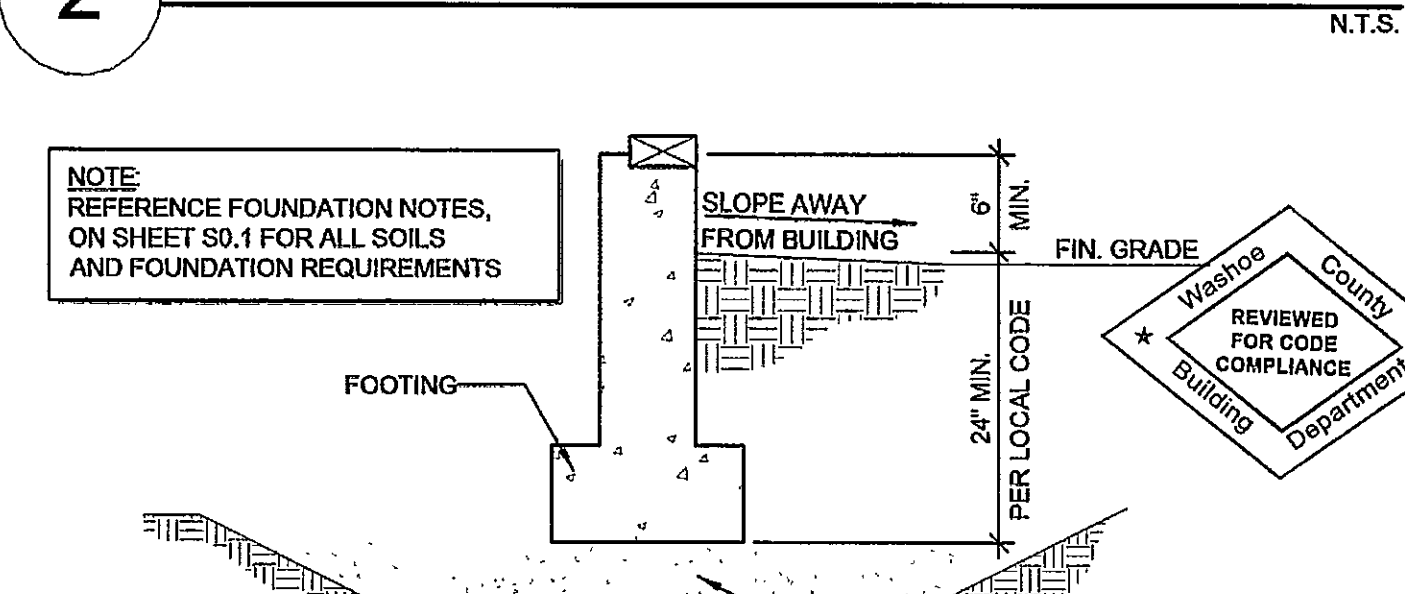
3 STEP FOOTING

NOTE: FOOTING DIMS PER PLAN #4 REINF. REBAR U.N.O.



2 PIPE THRU. STEM WALL

NOTE: FOR PIPES 3'-0" or LESS BELOW BOTTOM OF FOOTINGS PROVIDE SLEEVE & CONCRETE AS SHOWN; MORE THAN 3'-0" USE STEPPED FOOTING TO STAY WITHIN 3'-0" LIMIT



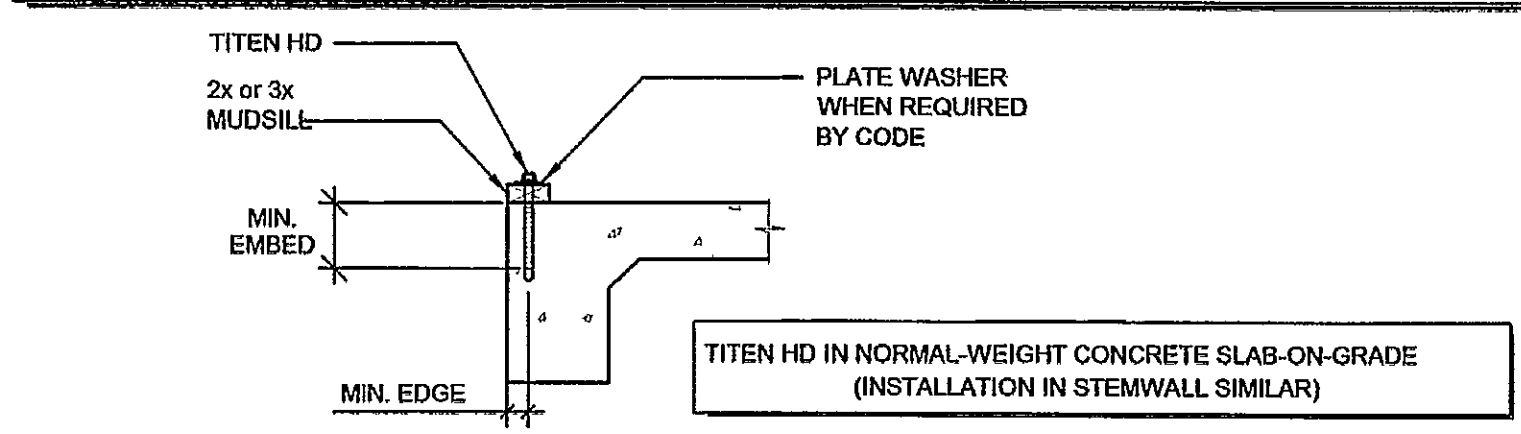
1 TYPICAL SOIL PREPARATION

NOTES:
1. PROVIDE COMPACTED STRUCTURAL FILL BENEATH CONTINUOUS AND SPREAD FOOTINGS IF REQUIRED (SEE SOILS REPORT). SEE THE PROJECT SOILS REPORT FOR ALL SOILS REQUIREMENTS INCLUDING COMPACTION, FILL, AND ALL OTHER REQUIREMENTS. THE BOTTOM OF FOOTING, STRUCTURAL FILL, AND COMPACTION SHALL BE REVIEWED AND APPROVED BY THE SOILS ENGINEER.
2. SEE PROJECT SOILS REPORT BY SOILS ENGINEER AND GRADING PLANS BY CIVIL ENGINEER AND SHEET S0.1 FOR FILL AND OTHER REQUIREMENTS.

SIMPSON STRONG-TIE TITEN HD AS A 1 TO 1 REPLACEMENT FOR MUDSILL ANCHOR BOLTS FOR SHEAR LOAD APPLICATIONS

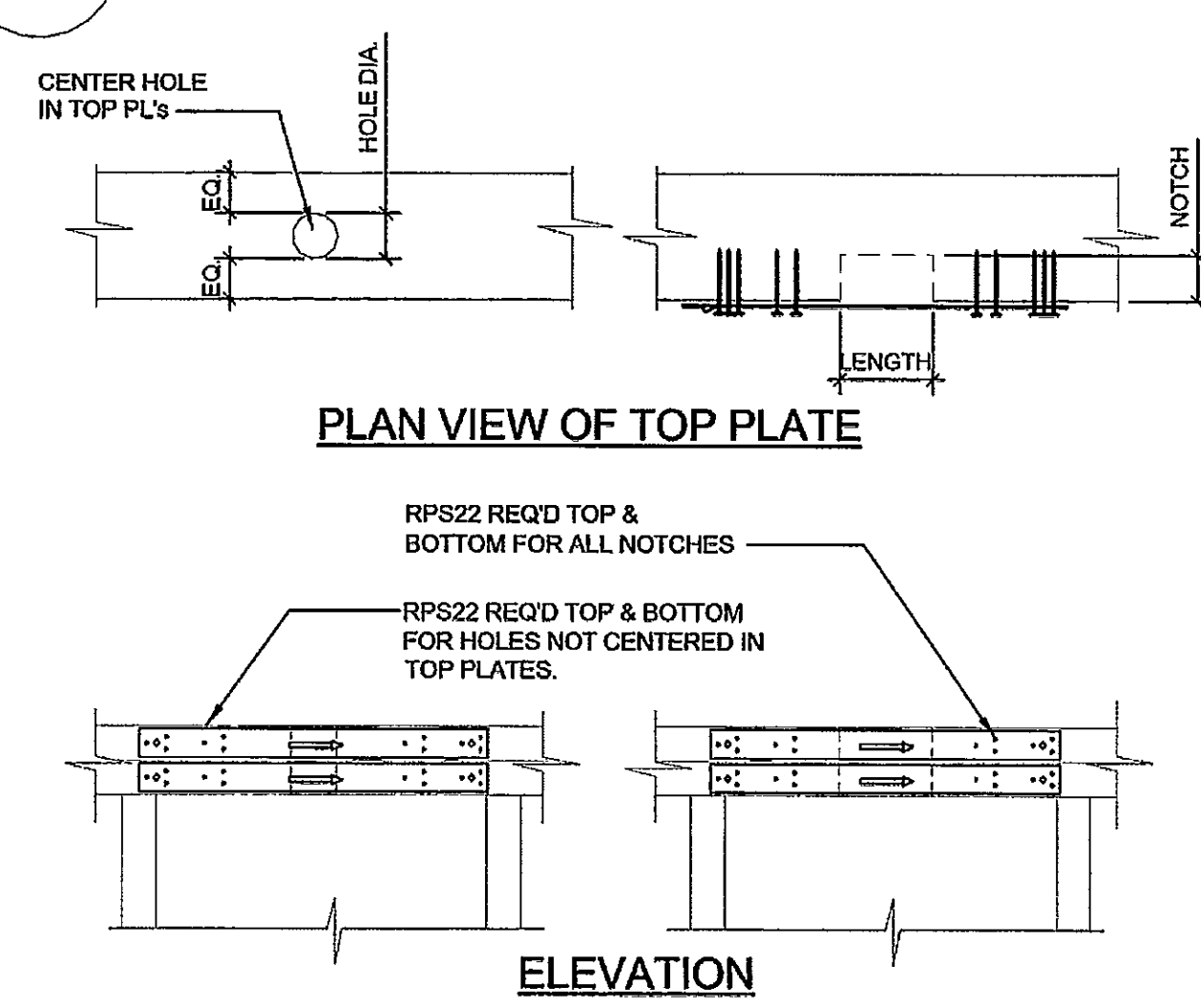
CAST-IN-PLACE MUDSILL BOLT DIA (in)	TITEN HD MODEL #	DRILL BIT DIAMETER (in)	MINIMUM EMBEDMENT (in)	SILL PLATE SIZE	MIN. EDGE DISTANCE (in)	MIN. END DISTANCE (in)	MIN. STEM WALL WIDTH (in)
1/2	THD50600H	1/2	3 1/4	2x, 3x	1 3/4	8	6
1/2	THD50800H	1/2	3 1/4	DOUBLE 2x	1 3/4	8	6
5/8	THD62800H	5/8	3 3/4	2x	1 3/4	10	6
5/8	THD62612H	5/8	3 3/4	3x	1 3/4	10	6
5/8	THD62800H	5/8	3 3/4	DOUBLE 2x	1 3/4	10	6

- ICC-ES CODE REPORT ESR-1056.
- SPECIAL INSPECTION IS NOT REQUIRED FOR TITEN HD INSTALLATIONS RESISTING ONLY SHEAR LOADS.
- MINIMUM EDGE AND END DISTANCES ARE BASED ON DISTANCE FROM EDGE (OR END) OF CONCRETE TO CENTER OF BOLT.
- MINIMUM CONCRETE THICKNESS IS 1.5 TIMES THE TITEN HD ANCHOR EMBEDMENT.
- DIRECT 1 TO 1 REPLACEMENT IS BASED ON PARALLEL AND PERPENDICULAR TO PLATE SHEAR CAPACITIES THAT MEET OR EXCEED THE BOLT DESIGN VALUES FOR SINGLE SHEAR CONNECTIONS IN TABLE 11E OF THE 2001 NDS EDITION FOR WOOD CONSTRUCTION FOR CAST-IN-PLACE ANCHOR BOLTS USED TO ANCHOR FOUNDATION PLATES OR SILLS TO CONCRETE FOUNDATIONS PER THE FOLLOWING SECTIONS OF THE CODE:
 - 1997 UBC SECTION 1806.6
 - 2000, 2003 AND 2006 IBC SECTIONS 2308.6 AND 2308.12.9
 - 2000, 2003 AND 2006 IRC SECTION R403.1.6
 - 2010 CBC SECTION 2308.6 & 2308.12.9
- DRILL THE HOLE TO THE SPECIFIED EMBEDMENT DEPTH PLUS 1/2" TO ALLOW THE THREAD TAPPING DUST TO SETTLE AND BLOW IT CLEAN USING COMPRESSED AIR. ALTERNATIVELY, IN LIEU OF BLOWING THE HOLE CLEAN, DRILL THE HOLE DEEP ENOUGH TO ACCOMMODATE EMBEDMENT DEPTH AND DUST FROM DRILLING AND TAPPING.
- FOR ACQ-C, ACQ-D, CA-B AND CBA-A PRESSURE-TREATED WOOD, USE MECHANICALLY GALVANIZED TITEN HD. FOR ADDITIONAL INFORMATION CORROSION AND PRESSURE TREATED WOOD SEE INFORMATION ON THE TITEN HD.
- SEE SIMPSON STRONG-TIE ANCHORING AND FASTENING SYSTEMS CATALOG FOR COMPLETE INFORMATION ON THE TITEN HD.



11 RETROFIT SILL PL. A.B.'s w/ TITEN HD

9 TOP PLATE BREAKS



FRAMING	MAX. NOTCH	MAX. DRILLED HOLE
2x4 BEARING	1 1/2" x 5 1/2"	1 1/2" DIA. AT CL
2x4 NON-BEARING	2 1/2" x 5 1/2"	2 1/2" DIA. AT CL
2x6 BEARING	2 1/2" x 5 1/2"	3 1/2" DIA. AT CL
2x6 NON-BEARING	3 1/2" x 5 1/2"	4" DIA. AT CL

8 DRILLING AND NOTCHING TOP PLATE

REVISIONS		
#	Date	Description

DEVELOPMENT
Dunagan Engineering, Inc.
4790 Caughlin Parkway #766, Reno, NV 89519
T: 775.329.2735 | F: 888.873.0790 | W: Delenghines.com

STRUCTURAL ONLY
ROBERT S. CORBIN
EXP. 12-31-12
CIVIL ENGINEER
No. 21329
8-14-12
8/9/2012 4:51:25 PM

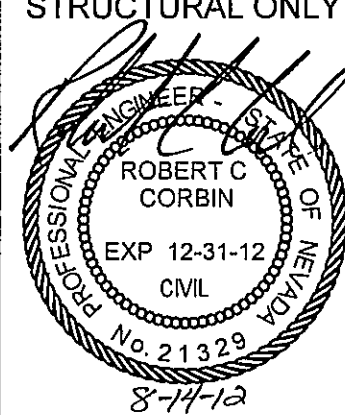
MB LEWIS CONSTRUCTION
2171 W. WILLIAMS AVE., SUITE 295
FALLON, NV 89406
PHONE: (775) 324-3511
B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
14190 RANCHEROS DR.
RENO, NV 89521
APN# 016-473-07

DRAWN BY	CSB
CHECKED BY	BDD
DATE	
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	S0.2
OF SHEETS	

REVISIONS			
#	DATE	DESCRIPTION	BY
1	8-01-12	PLAN CHECK	CSB
2	8-08-12	CLIENT REVISION	CSB

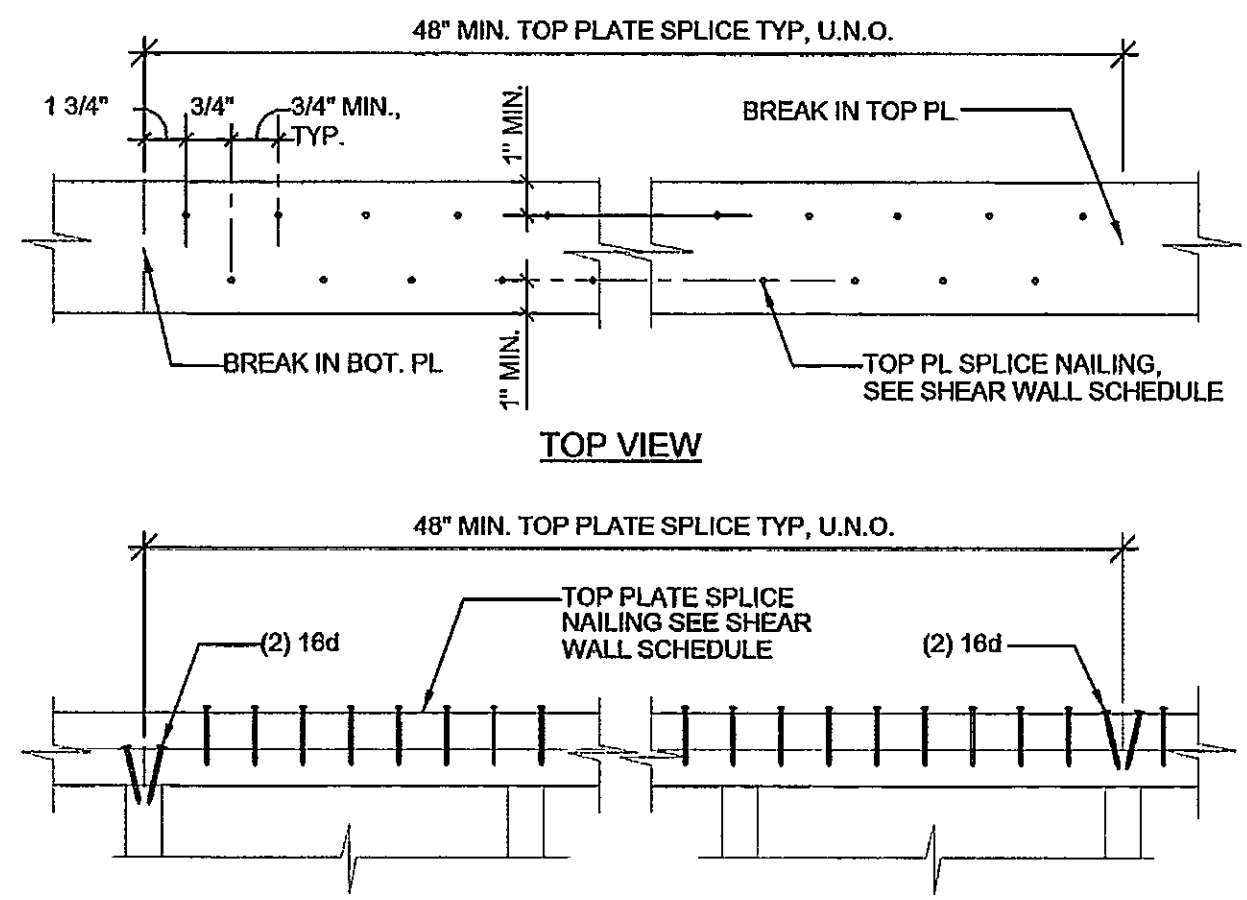
DEI
engineers
Dunegan Engineering, Inc.
 4790 Caughlin Parkway #766, Reno, NV 89519
 T. 775.939.2733 | F. 888.873.0790 | W. DEIengineers.com

STRUCTURAL ONLY

 8/9/2012 4:51:35 PM

MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE., SUITE 295
 FALLON, NV 89406
 PHONE: (775) 324-3511
 B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
 14190 RANCHEROS DR.
 RENO, NV 89521
 APN# 016-473-07

DRAWN BY	CSB
CHECKED BY	BDD
DATE	
SCALE	AS NOTED
JOB NO.	B10310
SHEET NO.	S0.3
OF SHEETS	



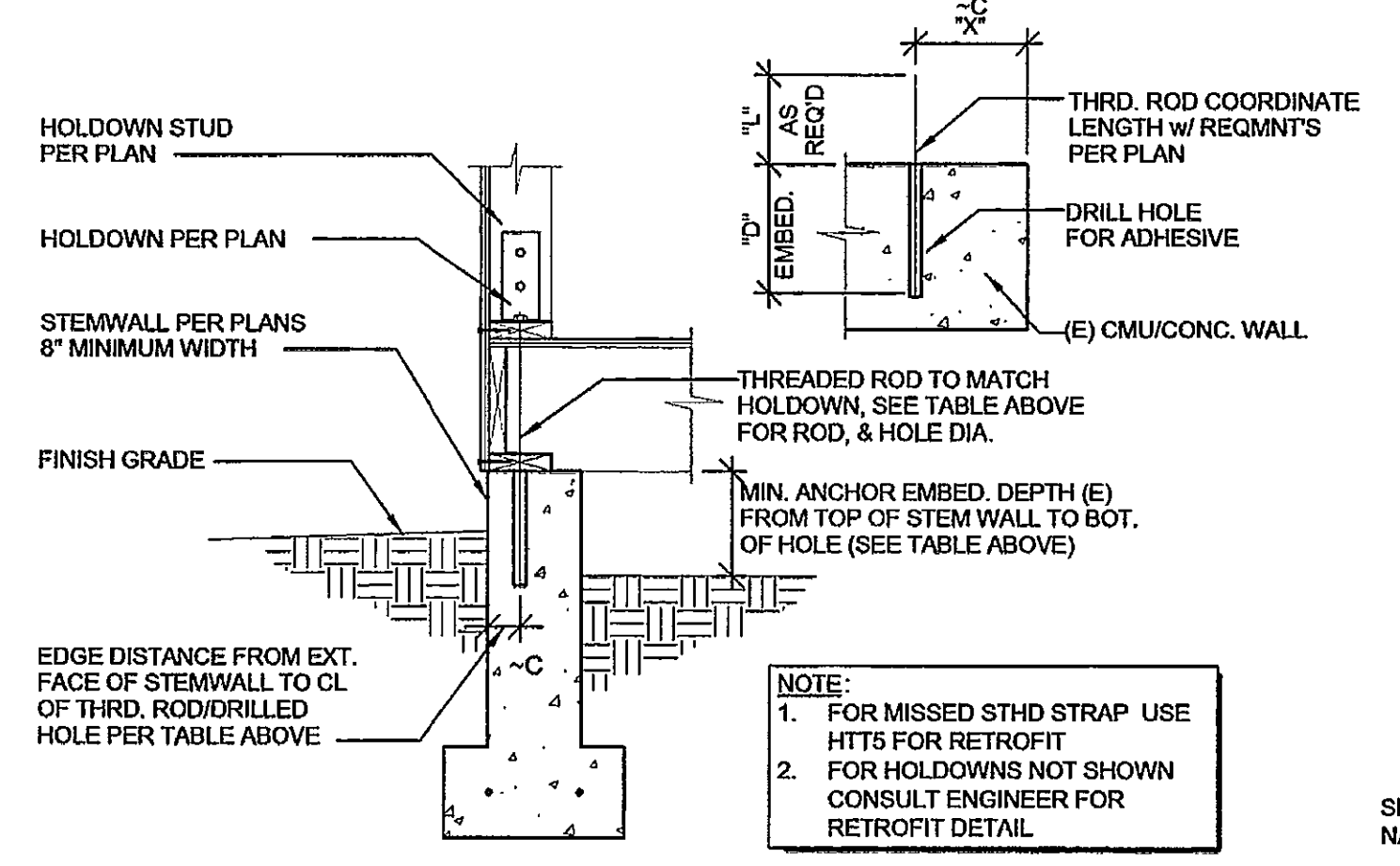
5 TOP PLATE SPLICE
 N.T.S.

ANCHOR DIA.	HOLE DIA.	"X" MIN.	"D" MIN.	COMMENTS
1/2" DIA.	5/8"	1-3/4"	4-1/2"	DO NOT DRILL THRU REBAR, CONTACT THE STRUCT. ENG. IF REBAR IS ENCOUNTERED
5/8" DIA.	3/4"	1-3/4"	5"	

HOLDOWN	THREADED ROD DIA.	HOLE DIAMETER	MINIMUM EMBED. (E)	EDGE DISTANCE 2x4	2x6	SIMPSON EPOXY SYSTEM TO BE USED
PHD2 / HDU5 HTT4 / HTT5	5/8"	3/4"	12"	1-3/4"	2-3/4"	SET-XP *
HDU8	7/8"	1"	15-1/2"	1-3/4"	2-3/4"	SET-XP *
HHDD11, HHDDQ14 HDU11	1"	1 1/8"	24"	-	4"	SET-XP *

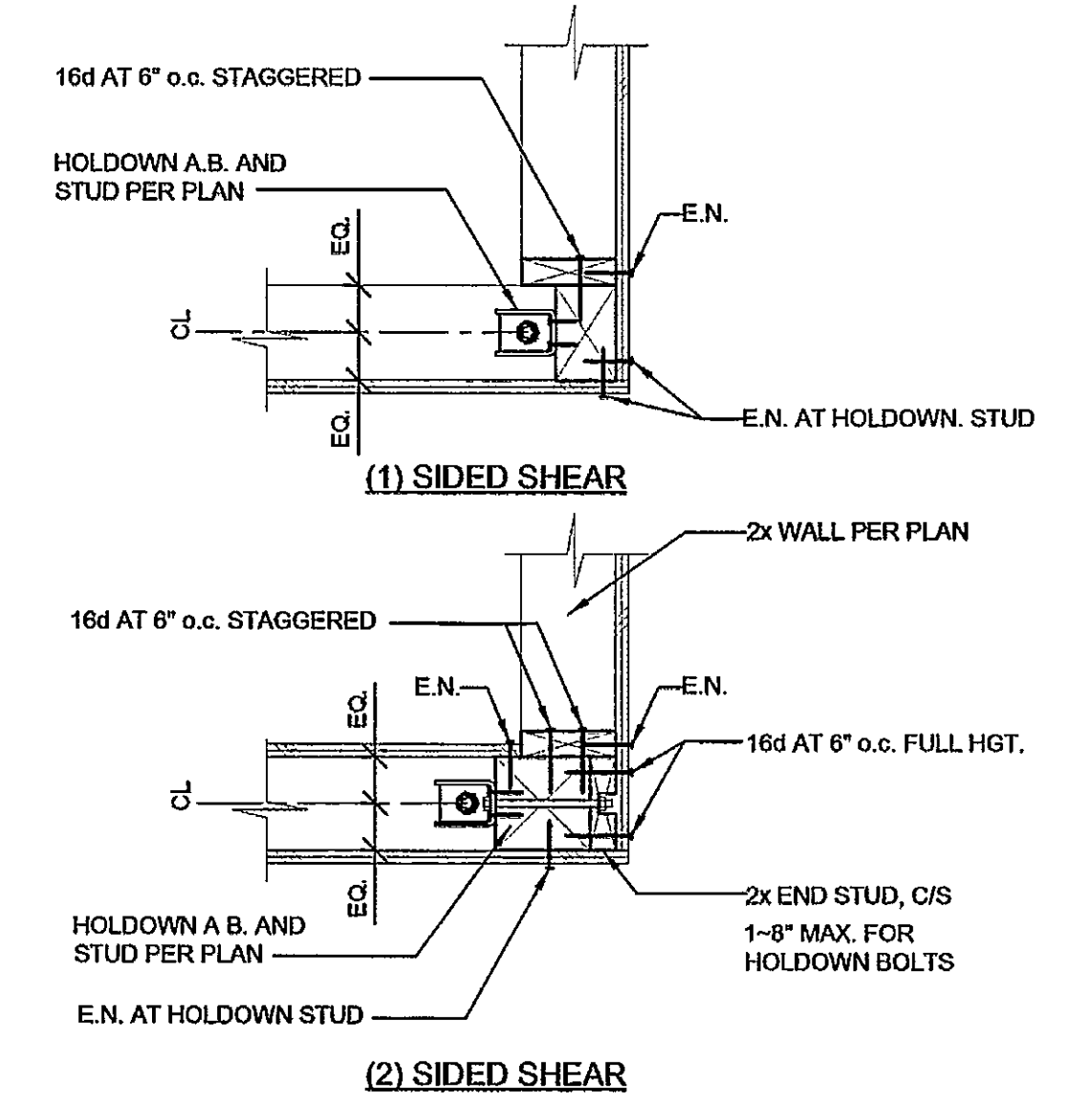
* SEE SIMPSON STRONG-TIE CATALOG C-2007 INSTALLATION PER MANUF. SPECIFICATIONS

SIMPSON TITEN H.D. (HOLDOWN BOLT OPTION)					
HOLDOWN	ANCHOR SIZE	EMBED.	FOUNDATION TYPE	TITEN H.D. MODEL #	COMMENTS
HTT4, HTT5	1/2" DIA. x 15"	10" MIN.	SLAB ON GRADE	THD501500H	INSTALL PER MANUF. SPECS
HTT4, HTT5	1/2" DIA. x 10 3/8"	8" MIN.	RAISED FLOOR	THD501038C	INSTALL PER MANUF. SPECS

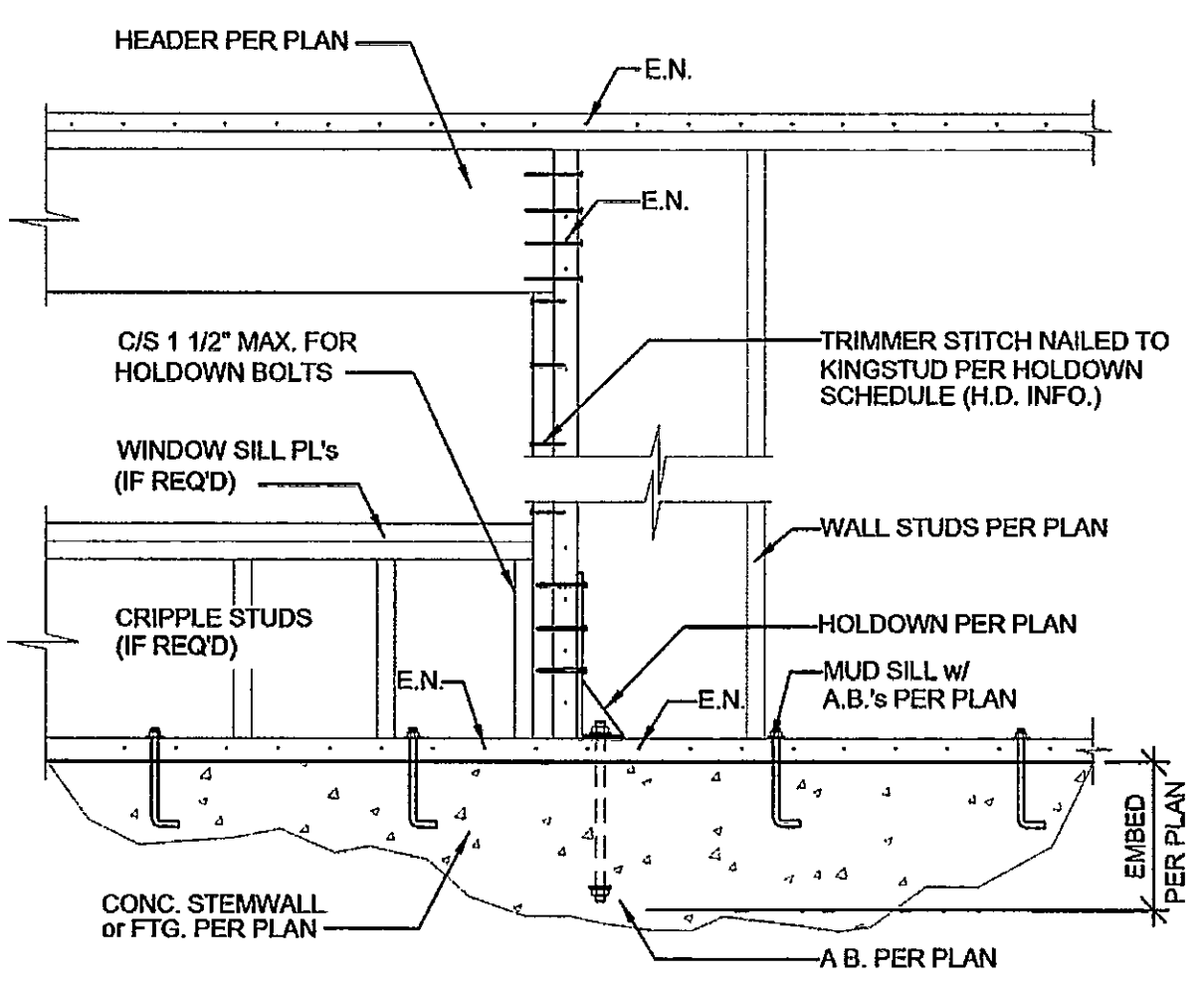


- ADHESIVE SPECIFICATIONS: ADHESIVE SHALL BE "EPOXY-TIE" AS MANUFACTURED BY SIMPSON OR APPROVED EQUIVALENT. SUBMIT I.C.B.O. APPROVAL FOR SUBSTITUTES FOR REVIEW.
- DRILLING HOLES: HOLES FOR ADHESIVE CONNECTIONS SHALL BE DRILLED WITH A ROTARY DRILL.
- CLEANING HOLES: HOLES FOR ADHESIVE CONNECTIONS SHALL BE THOROUGHLY CLEANED WITH THE FOLLOWING PROCEDURE:
 - BLOW OUT ALL DUST AND LOOSE MATERIAL WITH COMPRESSED AIR.
 - CLEAN HOLE SURFACE WITH WIRE BOTTLE BRUSH WHICH IS SLIGHTLY LARGER THAN THE HOLE DIAMETER THEN USE A DOWEL WRAPPED WITH A MOIST RAG TO REMOVE REMAINING DUST.
 - BLOW OUT HOLE COMPRESSED AIR.
 - REPEAT PROCEDURE AS REQUIRED UNTIL ALL SURFACES ARE CLEAN.
- INSTALLATION: ADHESIVE SHALL BE INSTALLED INTO THE BACK OF THE HOLE USING SIMPSON "MIXING NOZZLE". INSTALL PER MANUFACTURER'S RECOMMENDATIONS. DUCT TAPE HOLE AS REQUIRED TO CONTAIN ADHESIVE.
- SPECIAL INSPECTION: ADHESIVE CONNECTIONS SHALL BE PERFORMED UNDER SPECIAL INSPECTION PER UBC SEC. #1701 OR IBC 1704. THE SPECIAL INSPECTOR SHALL VERIFY:
 - HOLES ARE CORRECT DIAMETER AND DEPTH.
 - HOLES ARE CLEAN.
 - PROPER ADHESIVE IS USED.
 - ADHESIVE IS CORRECTLY INSTALLED PER MANUFACTURER'S RECOMMENDATION.
 - BOLTS ARE CORRECT DIAMETER AND LENGTH.
 - TEMPERATURE OF MATERIALS TO BE BONDED ARE WITHIN THE RANGE ALLOWED BY THE MANUFACTURER'S SPECIFICATIONS.
- THE ADHESIVE HAS A "GEL TIME" OF 4 MINUTES AND A "CURE TIME" OF APPROXIMATELY 24 HOURS. THUS THE DOWEL SHALL BE INSTALLED AND ANY ADJUSTMENTS TO THE ANGLE OF THE DOWEL WITHIN THE FIRST 4 MINUTES ("GEL TIME") AFTER INJECTING THE ADHESIVE. AFTER THE FIRST 4 MINUTES THE DOWEL SHALL REMAIN UNDISTURBED FOR 24 HOURS ("CURE TIME").

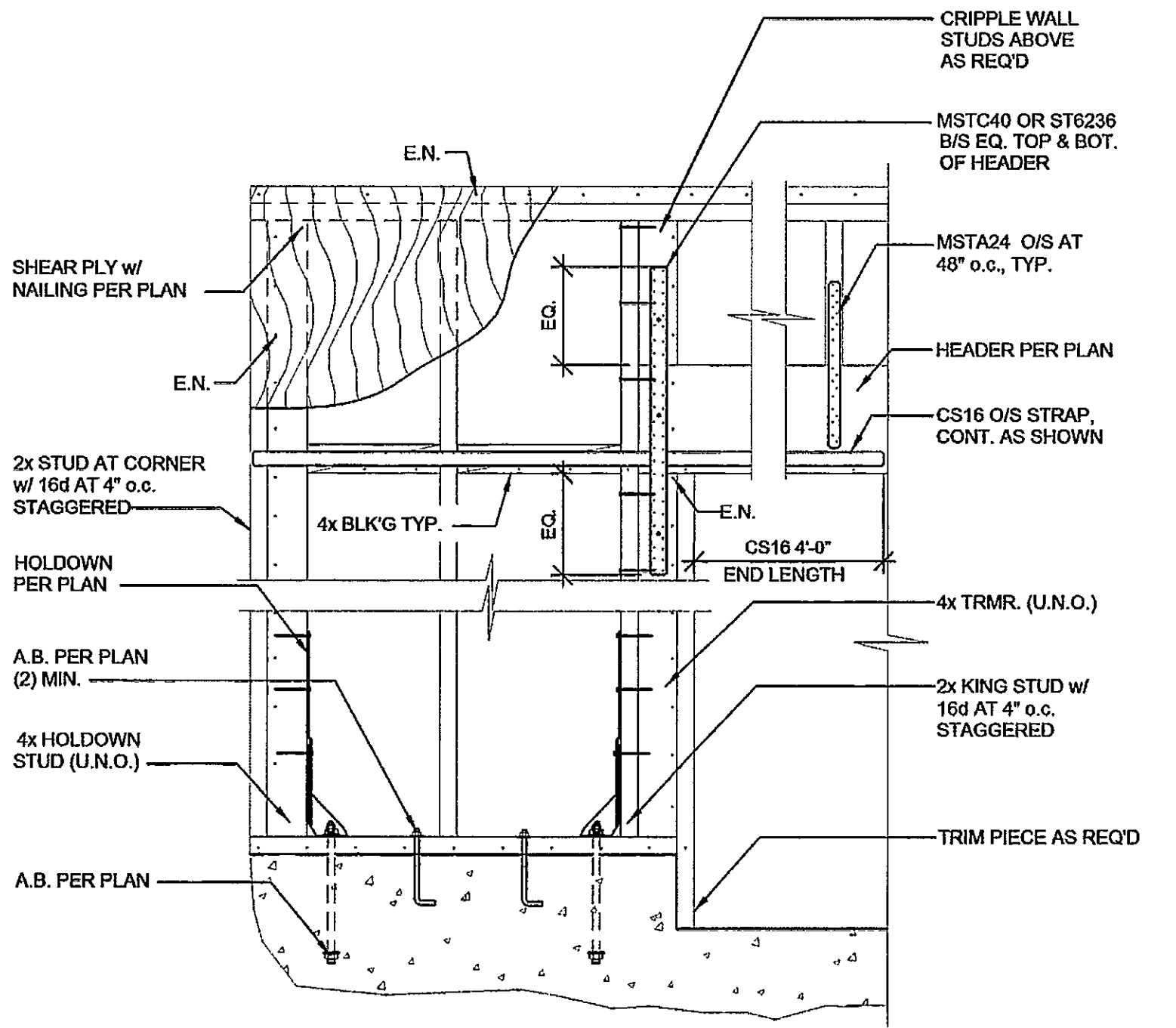
4 THREADED ROD RETROFIT DETAIL
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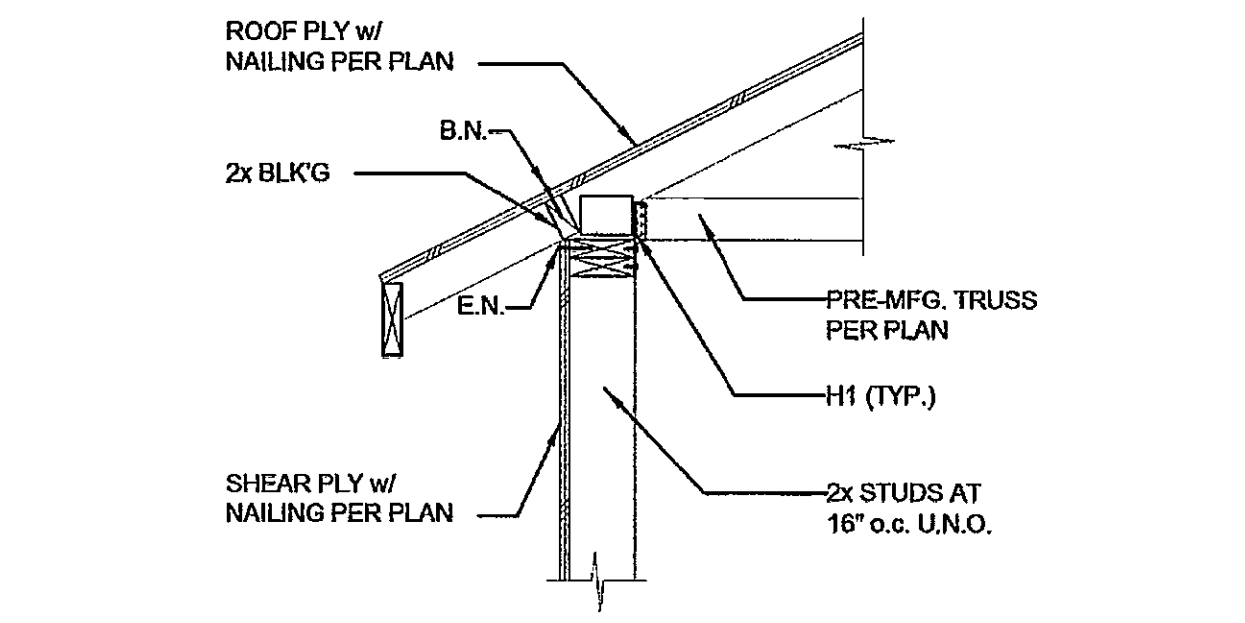
3 HOLDOWN AT CORNER
 N.T.S.



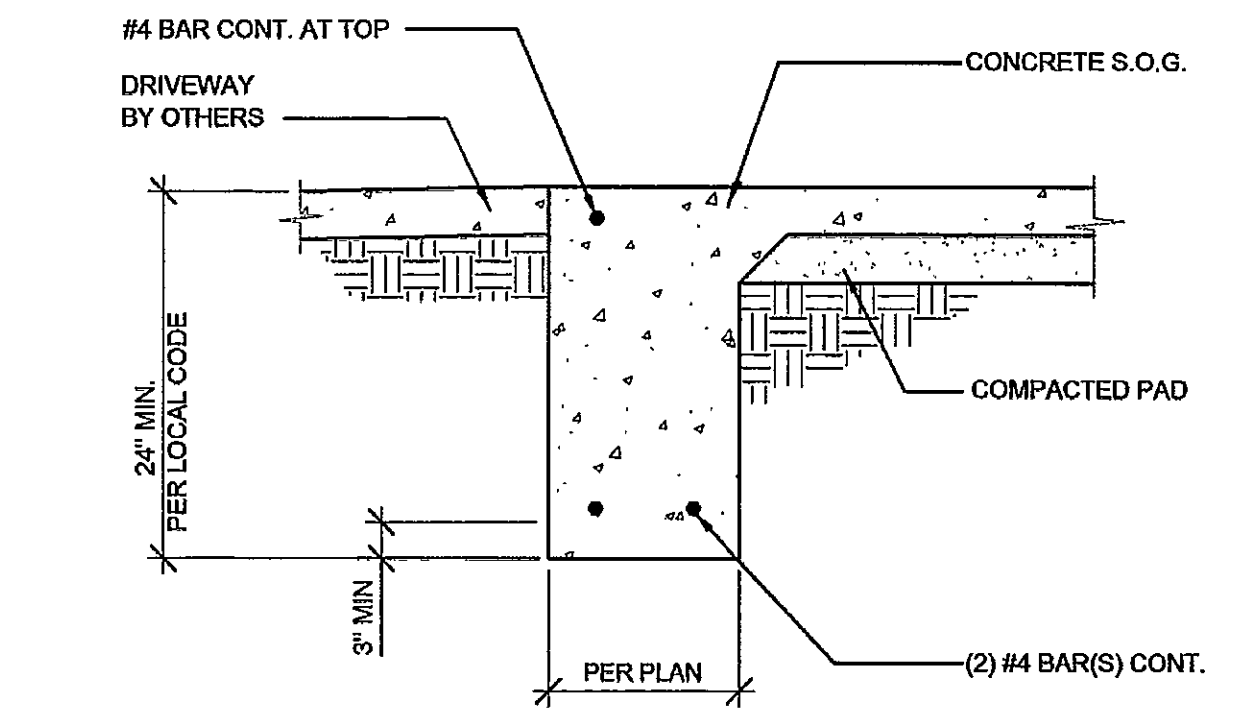
2 HOLDOWN AT OPENING TO TRMR. AND KING STUD (S.O.G.)
 CONDITION 'G'
 N.T.S.



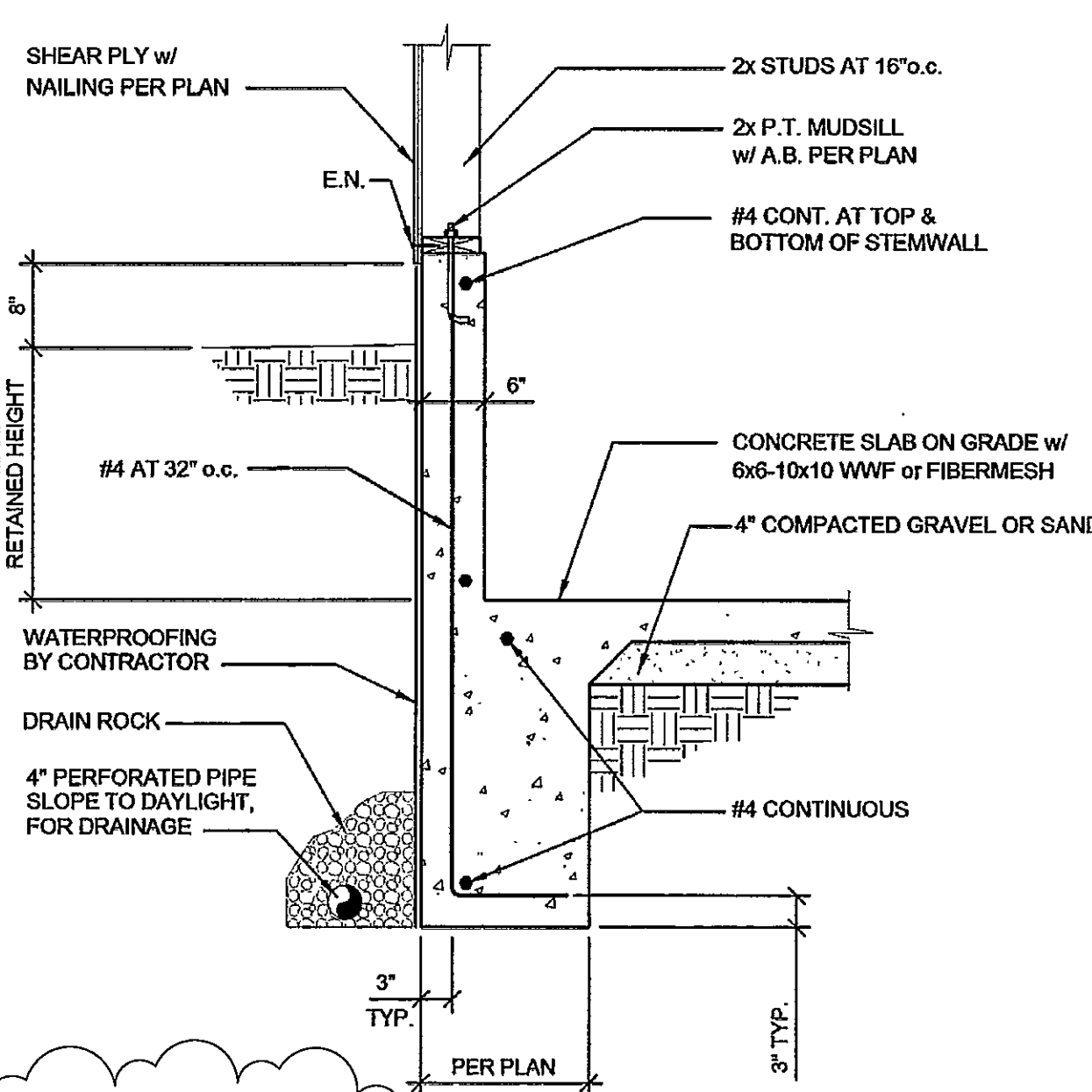
1 TYP. SHEAR PANEL AT GARAGE
 CONDITION 'D'
 N.T.S.



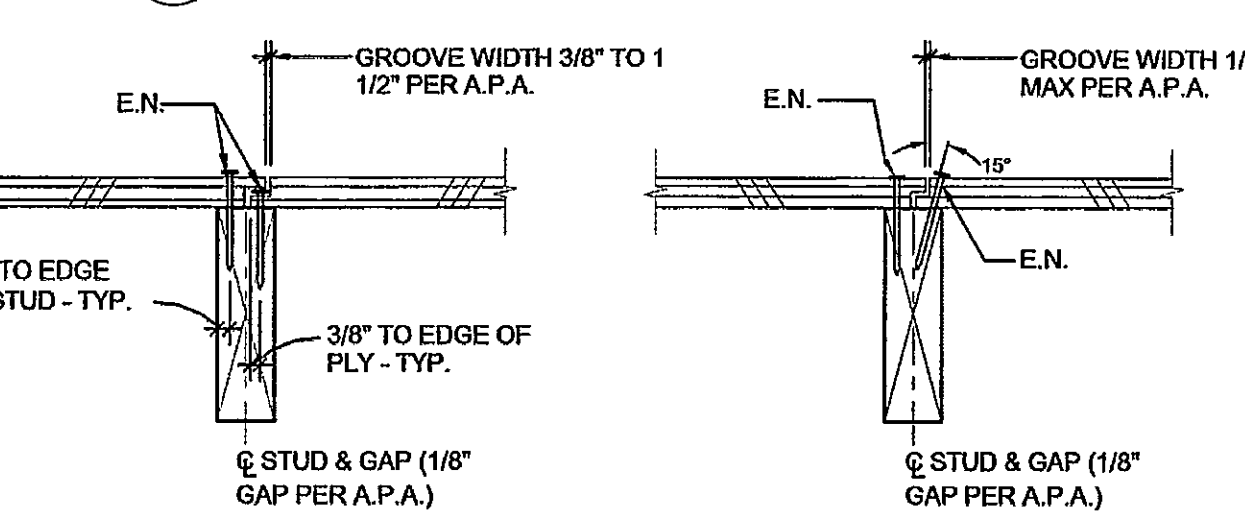
9 DETAIL
 320-200 N.T.S.



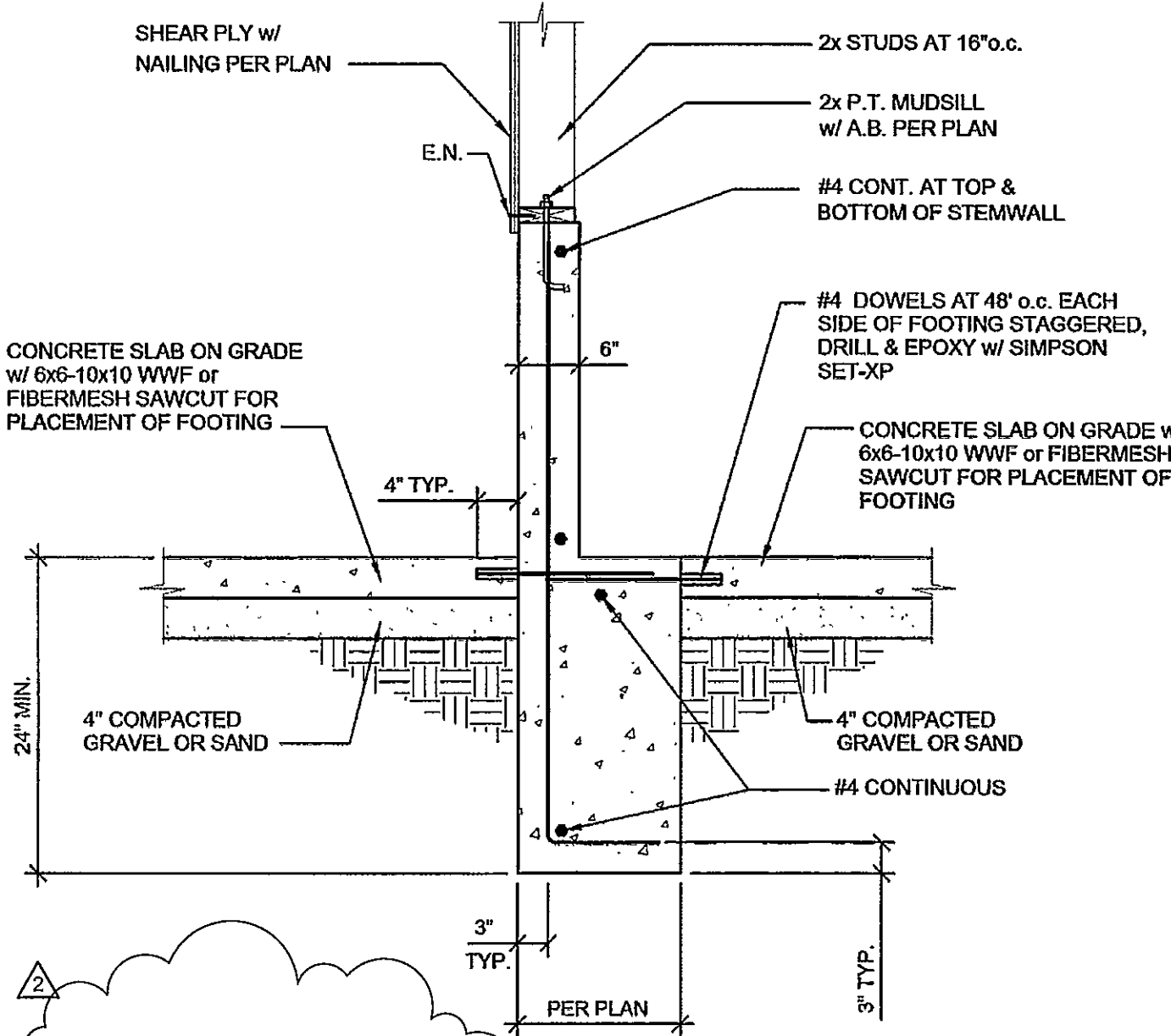
8 DETAIL
 110-352 N.T.S.



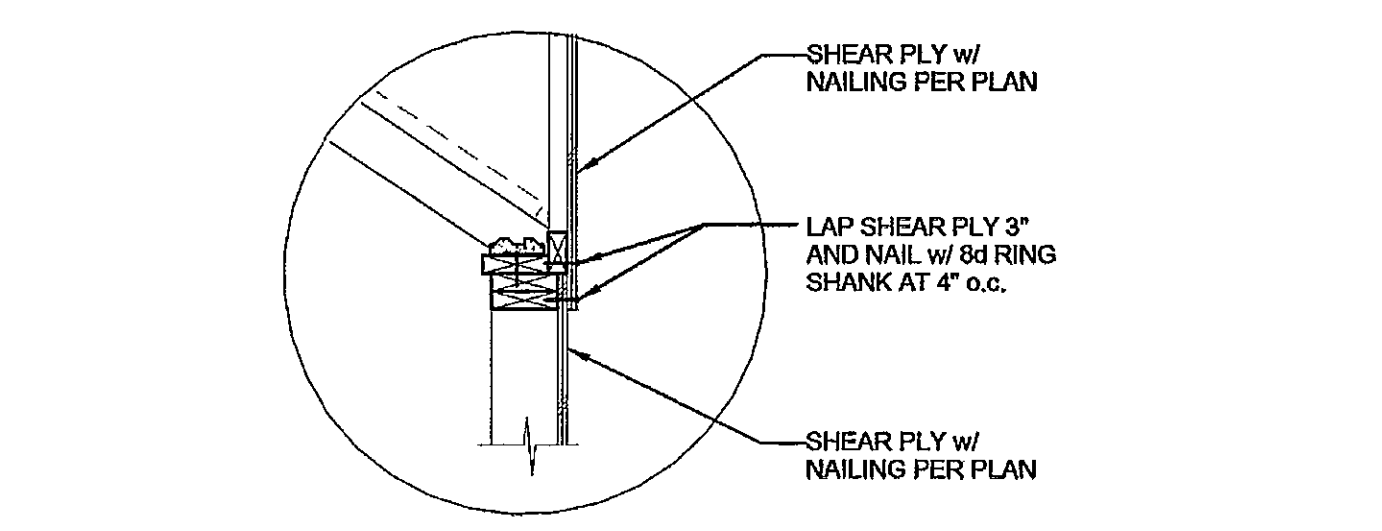
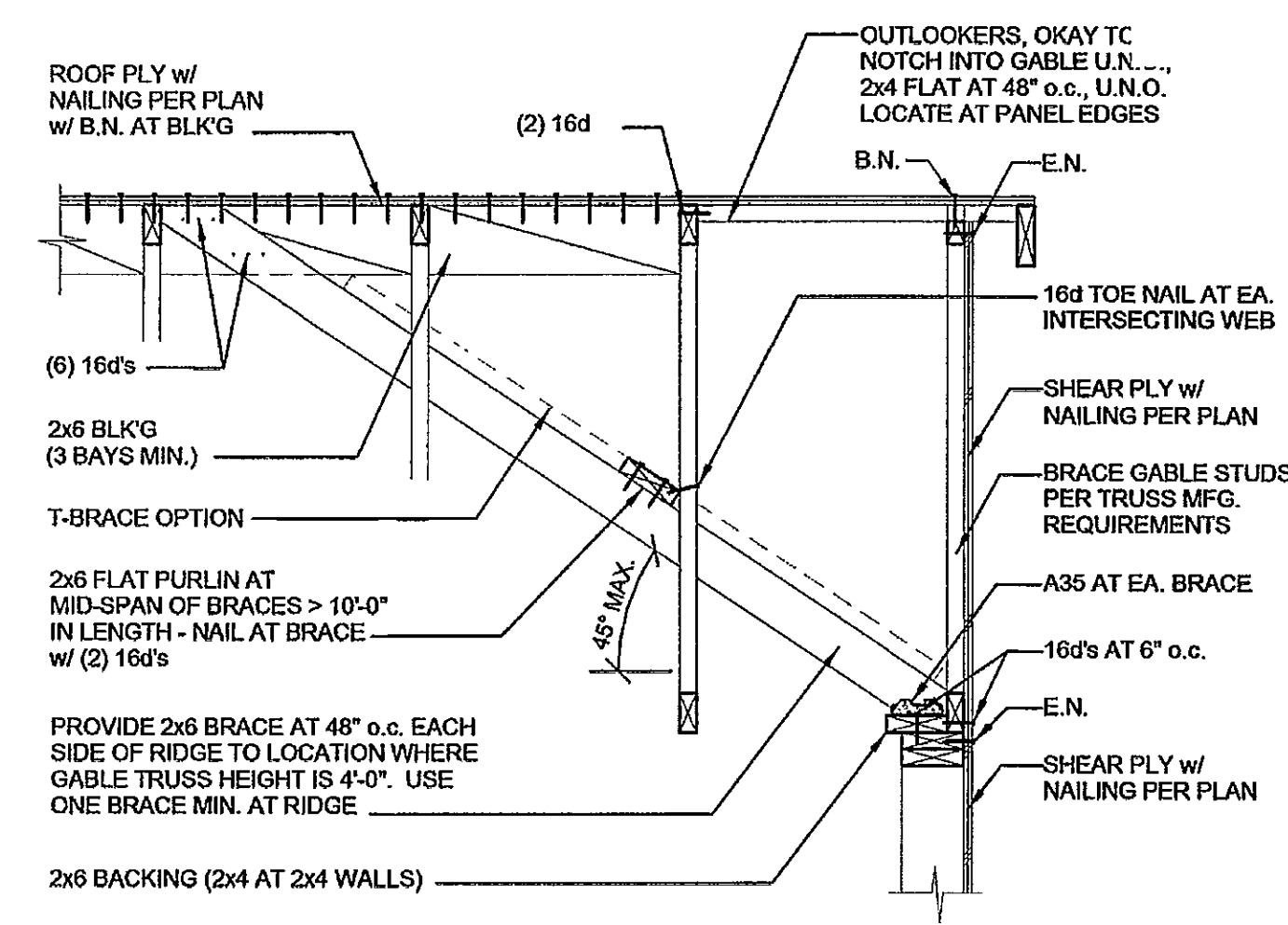
7 DETAIL
 110-350M N.T.S.



6 SIDING NAILING
 N.T.S.



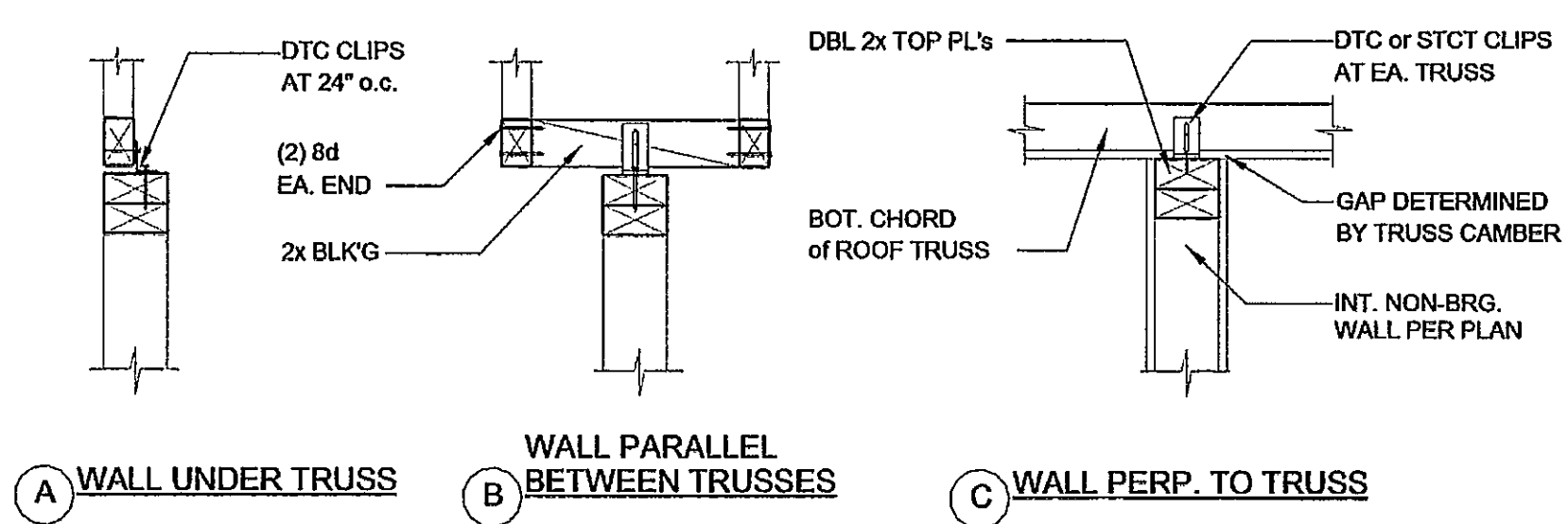
11 DETAIL
 110-350M N.T.S.



- GABLE END OPTION**
- NOTE:**
- IF SHEATHING IS BROKEN AT TOP OF TOP PL's, E.N. SHEAR PLY & CLIP TRUSS TO TOP PL's w/ A35's or LTP4's AT 24" o.c. U.N.O., or PROVIDE 16d PER SHEAR WALL SCHEDULE INTO 2x6 BACKING AND BACKING INTO TOP PLATE.
 - IF STRUCTURAL GABLE IS USED, NO SHEAR PLY IS REQ'D BETWEEN TOP PL's & TOP CHORD OF TRUSS. CLIP TRUSS TO TOP PL's w/ A35's or LTP4's AT 24" o.c. U.N.O.

10 DETAIL
 320-283 N.T.S.

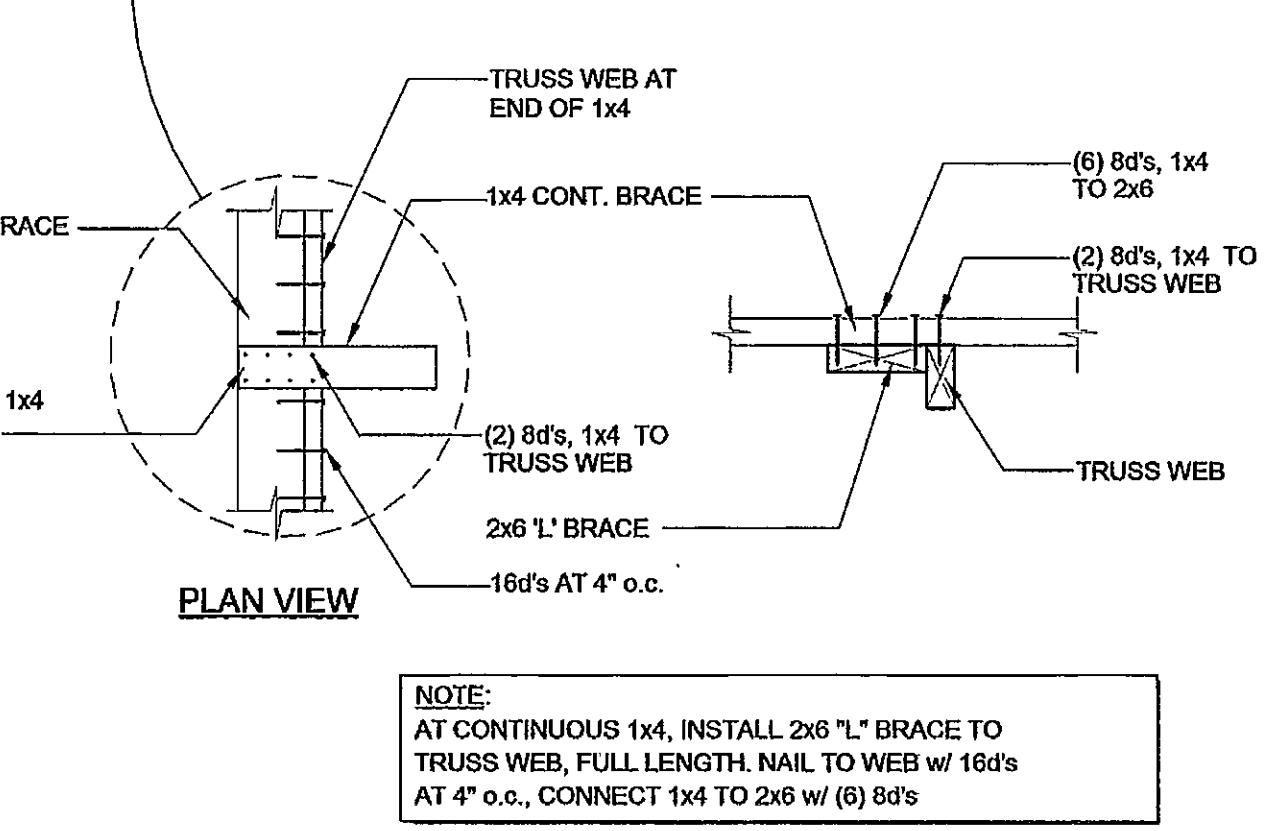
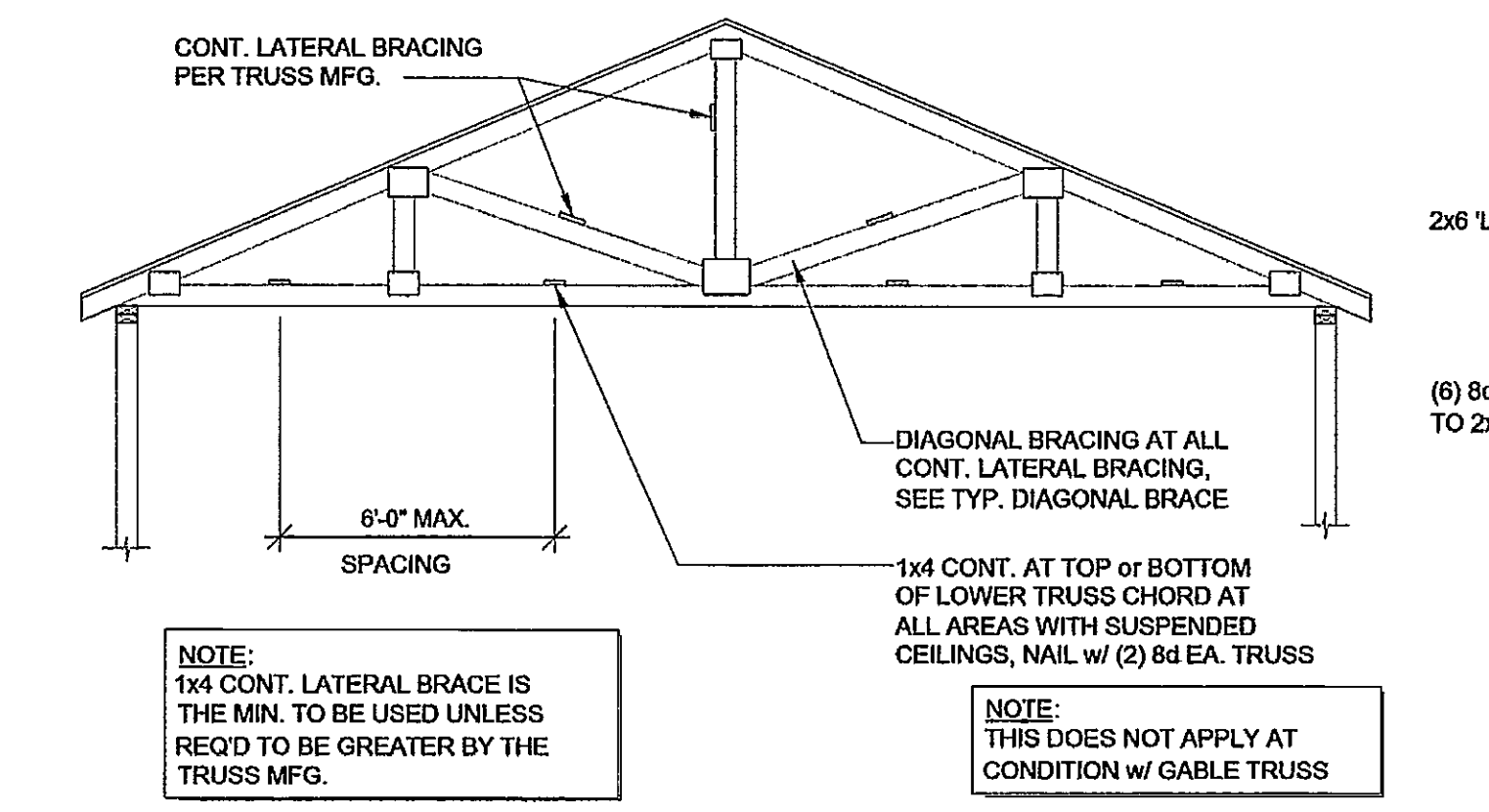
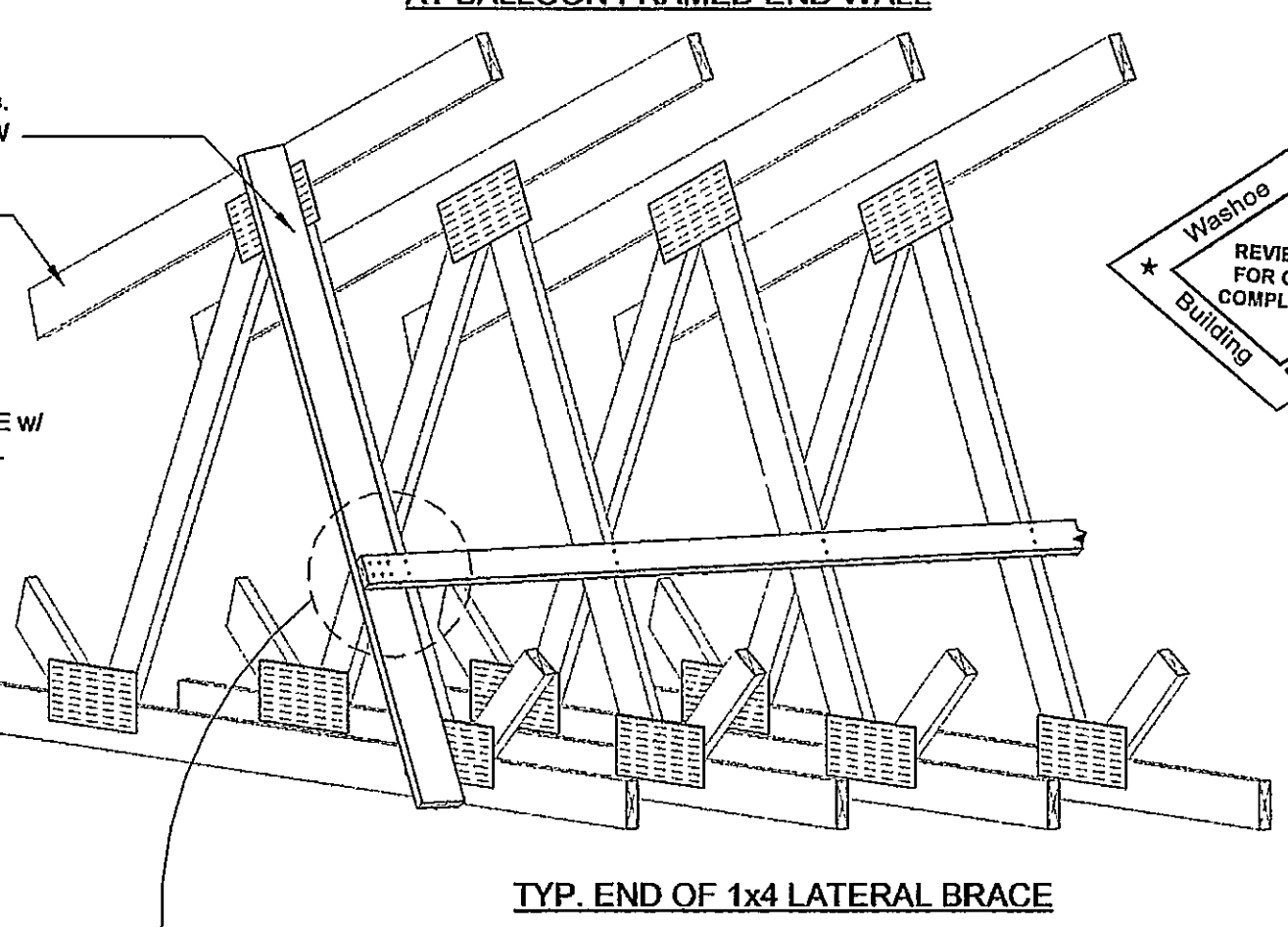
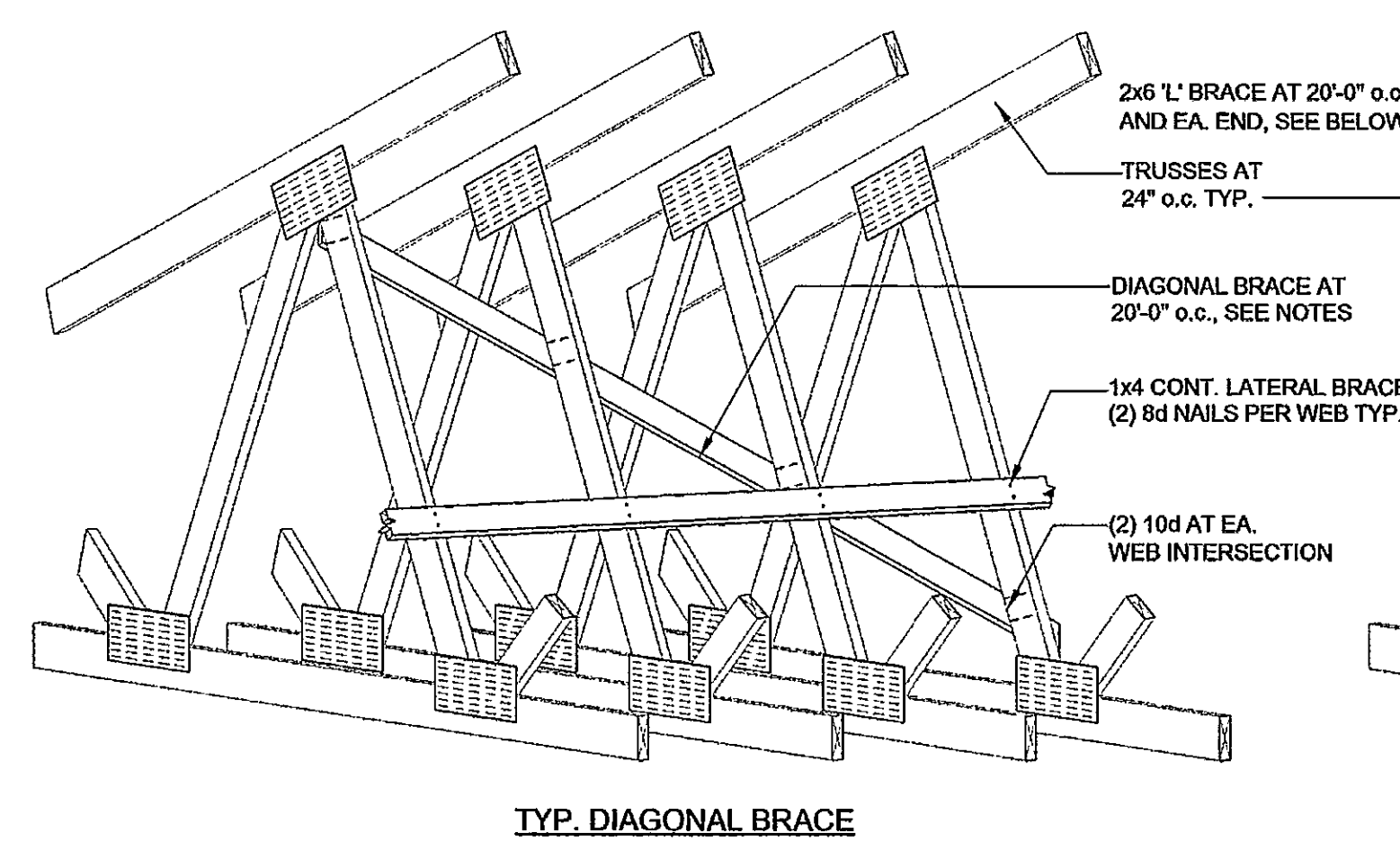
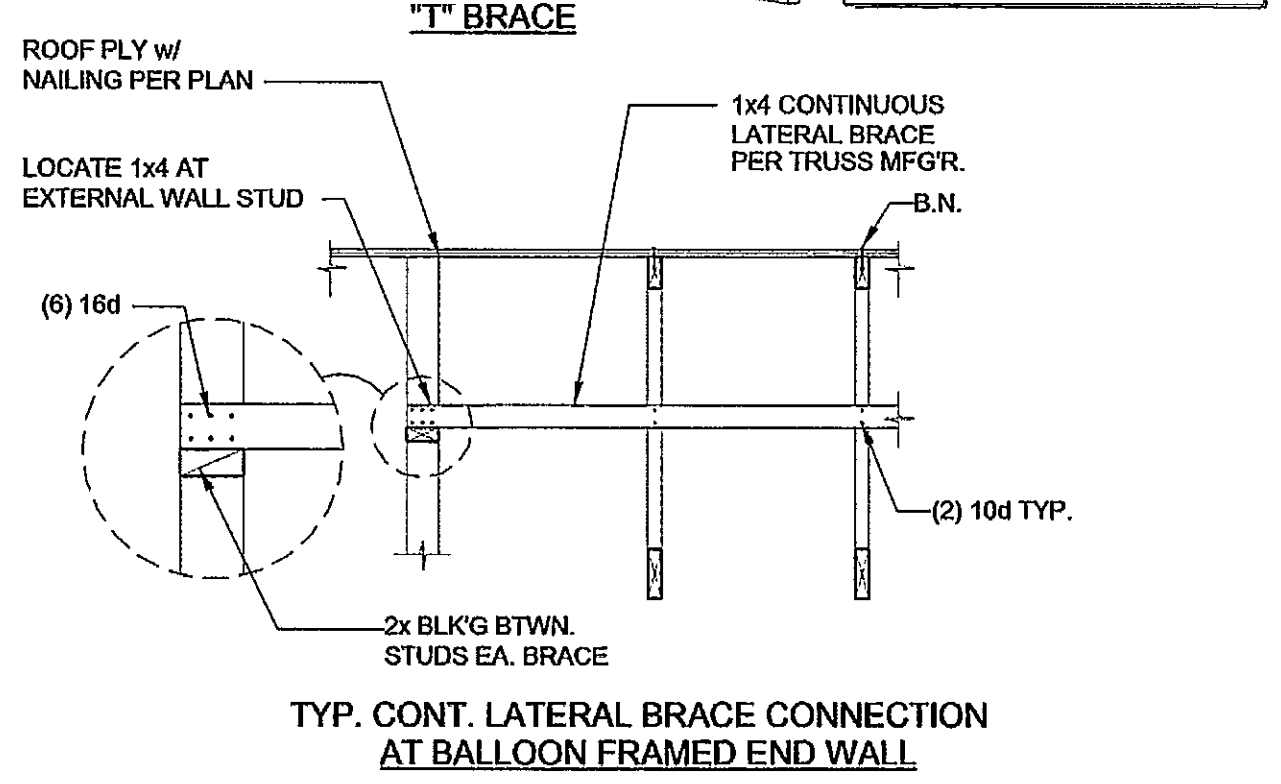
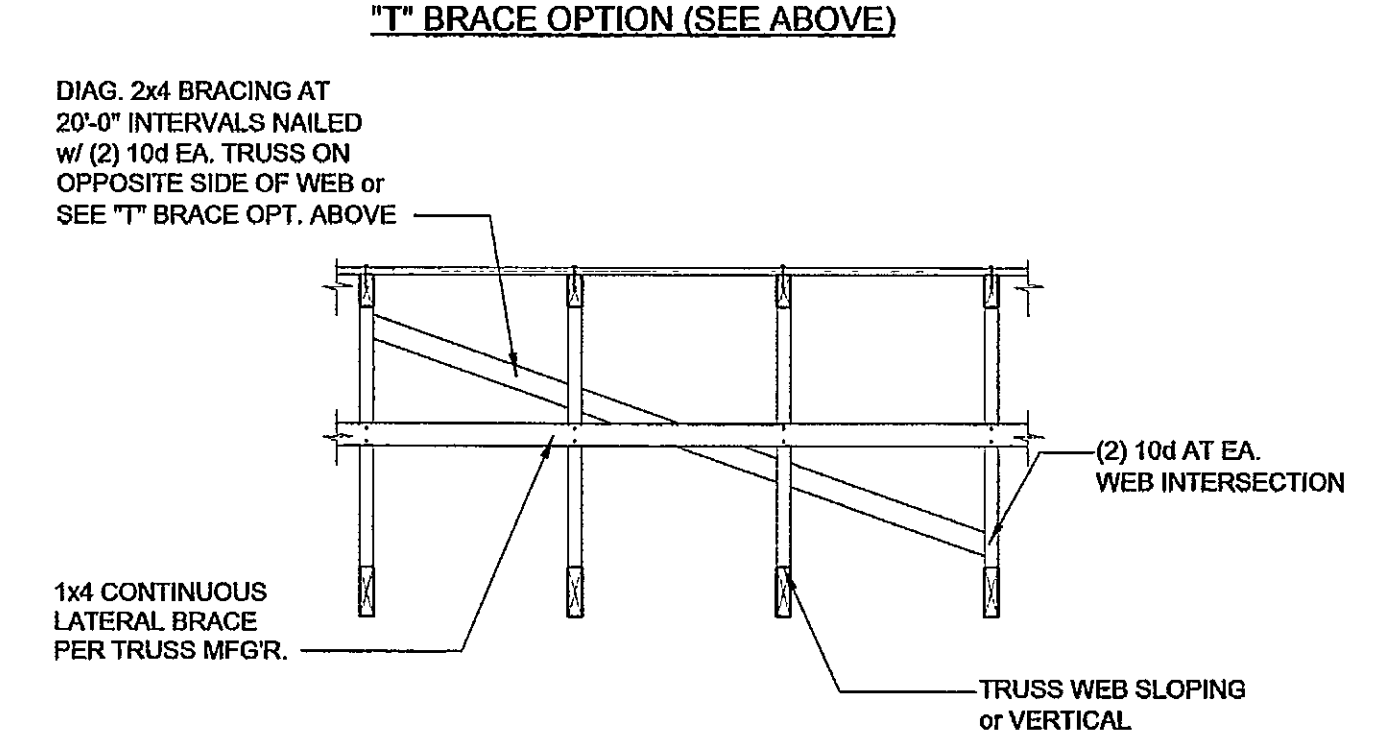
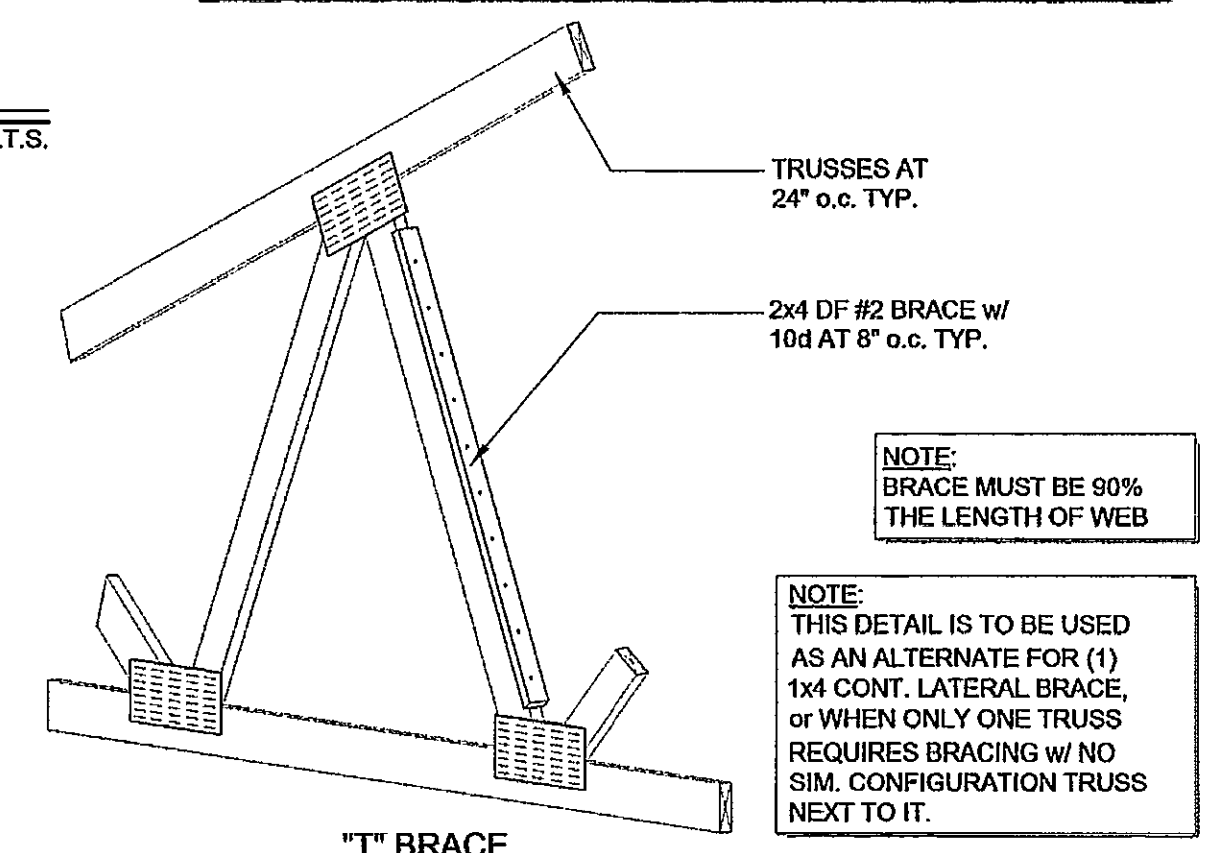
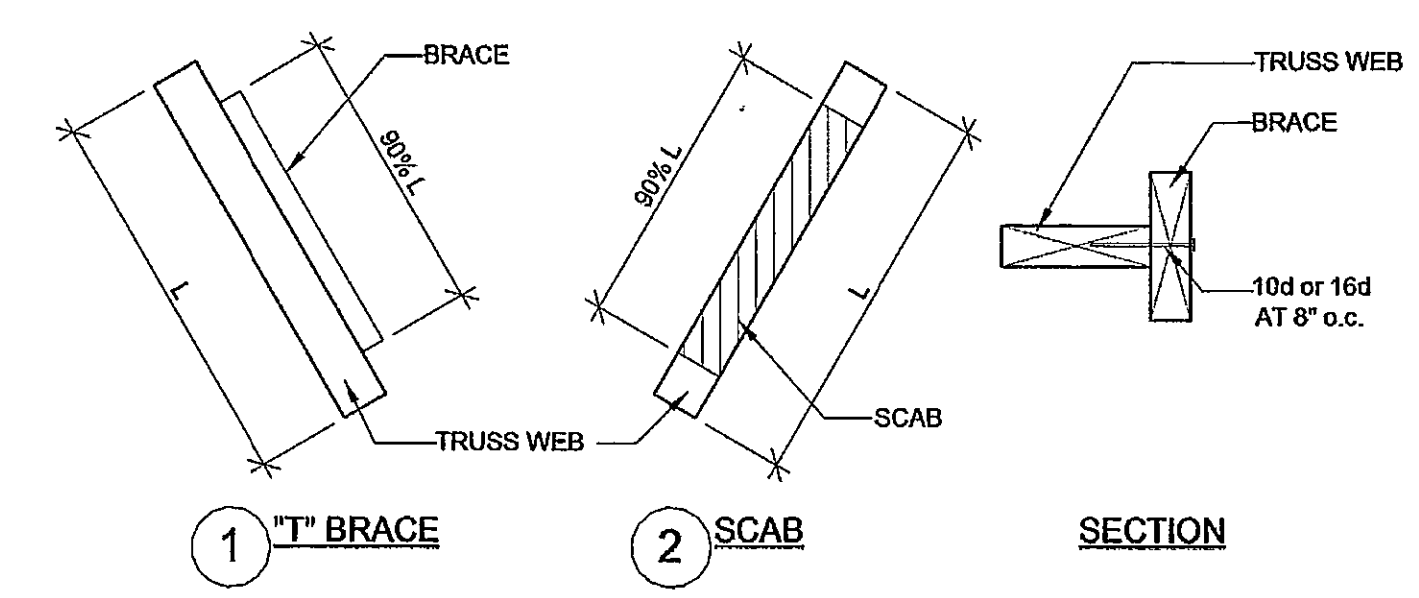
REVISIONS			
#	Date	Description	By
1	6-01-12	PLAN CHECK	CSB



NOTE:

- A 2x STRUCTURALLY GRADED "T" BRACE MAY BE NAILED FLAT TO THE EDGE OF THE MEMBER w/ 10d COMMON or BOX NAILS AT 8" o.c. IF ONLY ONE BRACE IS REQUIRED, or MAY BE NAILED TO BOTH EDGES OF THE MEMBER IF TWO BRACES ARE REQ'D. THE "T" BRACE MUST EXTEND A MINIMUM OF 90% OF THE MEMBER'S LENGTH.
- A SCAB (add on) OF THE SAME SIZE AND STRUCTURAL GRADE AS THE MEMBER MAY BE NAILED TO ONE FACE OF THE MEMBER w/ 10d COMMON or 16d SINKER AT 8" o.c. IF ONLY ONE BRACE IS REQ'D, or MAY BE NAILED TO BOTH FACES OF THE MEMBER IF TWO BRACES ARE REQUIRED. A MINIMUM OF 2x6 SCABS ARE REQUIRED FOR ANY MEMBER EXCEEDING 14'-0" IN LENGTH. SCAB(S) MUST EXTEND A MINIMUM OF 90% OF THE MEMBER'S LENGTH.
- ANY MEMBER REQUIRING MORE THAN TWO BRACES MUST USE PERPENDICULAR BRACING OR A COMBINATION OF SCABS AND "T" BRACES, or ANY OTHER APPROVED METHOD, AS SPECIFIED AND APPROVED BY THE ENGINEER OF RECORD.

2 TRUSS TO WALL N.T.S.



1 TYP. PREFAB TRUSS BRACING and TRUSS WEB BRACING N.T.S.

D E I
Engineering, Inc.
 4790 Caughlin Parkway #706, Reno, NV 89519
 T. 775.329.2733 | F. 888.873.0790 | W. Dclengineers.com

STRUCTURAL ONLY

ROBERT C. CORBIN
 EXP. 12-31-12
 CIVIL
 No. 21323
 8-14-12
 8/9/2012 4:51:41 PM

MB LEWIS CONSTRUCTION
 2171 W. WILLIAMS AVE., SUITE 295
 FALLON, NV 89406
 PHONE: (775) 324-3511
 B-2 LICENSE # 0039667A LIMIT \$250,000

GYFORD SHOP
 14190 RANCHEROS DR.
 RENO, NV 89521
 APN# 016-473-07

DRAWN BY CSB
 CHECKED BY BDD
 DATE -
 SCALE AS NOTED
 JOB NO. B10310
 SHEET NO. **S0.4**
 OF SHEETS

Exhibit 12

Contractor's Field Sketch



110' 3/4"

109' 7/8"

Should be
110' even

Exhibit 13

Timeline

Permit 12-0944

Darren & Kristin Gyford

Rancheros Reno, NV

Date	Description
05/11/2012	Permit application and plans submitted by contractor.
05/15/2012	Reviewed and approved by Fire
05/21/2012	Reviewed and approved by ComDev
05/21/2012	Reviewed and approved by Engineering
05/29/2012	Reviewed and correction by B&S
05/30/2012	Reviewed and approved by Health
06/07/2012	Reviewed and approved by B&S
06/08/2012	Permit issued
06/11/2012	Foundation/setback/rebar inspection
06/13/2012	Setback letter from Licensed Civil Engineer
06/19/2012	Stemwall/grout/rebar inspection
06/25/2012	Complaint received; Investigation started
06/25/2012	<i>Multiple visits to County by contractor trying to resolved issues</i>
06/28/2012	Site visit by CBO
07/02/2012	<i>Multiple visits to County by contractor trying to resolved issues</i>
07/05/2012	Stop Work Order Issued. Contractor called, emailed, and mailed.
07/09/2012	Call about contractor work continuing.
07/09/2012	Call to Contractor, will remove workers by Noon.
07/09/2012	Site visit by CBO; no workers on site.
07/10/2012	<i>Discussions with Contractor about different solutions</i>
07/12/2012	Contacto discusses field measurements from property corners
07/12/2012	Utility permit application submitted (furnace/AC)
07/13/2012	Utility permit issued 12-1529(furnace/AC)
07/13/2012	Tholl Fence contacted. Trying to determine status of fence and locate survey.
07/13/2012	Contractor submits sketch of property corners; transmitted to attorney
07/16/2012	Stop Work Order Released
07/17/2012	Call about contractor work continuing.
07/18/2012	Stop Work Order Temporarily Reinstated
07/18/2012	Contractor informed a survey to determine setbacks is needed.
07/19/2012	Meeting with Charlene, Rosemary and Bill.
07/19/2012	Series of emails from Rosemary to faciliate a meeting with all parties.
07/20/2012	<i>Series of conversations with the Contractor</i>
07/26/2012	<i>Discussions with Owner and Contractor about different solutions</i>
07/27/2012	<i>Owner decides not to complete survey pending other setback issues.</i>
07/30/2012	Internal meeting with staff about lifting Stop Work Order
07/31/2012	Additional easement requirement confirmed
07/31/2012	<i>Discussion with Owner and Contractors about different solutions</i>
07/31/2012	Code Enforcement investigates fence
08/09/2012	Email from owner stating that the end wall will moved.

08/09/2012	Email and call to DA
08/09/2012	Call to attorney
08/10/2012	Email sent to neighbor and attorney
08/10/2012	Stop Work Order Released
08/15/2012	Timeline Developed
09/12/2012	Final Inspection
09/21/2012	Final Inspection
09/26/2012	Setback letter from Licensed Civil Engineer
	Final Ready to be Issued

Italic indicates a series of conversations on and around date

Exhibit 14

Permit Cards

Address: 14190 RANCHEROS DR WCTY
 Location:
 Parcel No: 016-473-07

Permit No: 12-0944
 Type: BLD-RES
 Category: RGAR

Occupancy: 27
 Zoning: MDS
 Area: S
 Sewer: SEPTIC
 Special Use:
 Variance No:
 M.P.R. No:

Use Code:
 Water: WC
 Census:
 # Units: 1
 # Bldgs: 1

Applied: 05/11/2012
 Issued:
 Status: PENDING
 Expire:

OWNER DAILEY FAMILY TRUST

Phone:

14190 RANCHEROS DR
 RENO NV 89511

CONTRACTOR M B LEWIS CONSTRUCTION INC DBA

Phone: 775-221-1284

2171 W WILLIAMS AVE #295
 FALLON NV 89406
 License: 0039667A

CONTACT M B LEWIS CONSTRUCTION INC DBA

Phone: 775-221-1284

2171 W WILLIAMS AVE #295
 FALLON NV 89406
 Email: brodielewis@gmail.com

Permit Description:

28' x 40' DETACHED GARAGE WITH ELEC

VALUATION: \$41,339.20

Occupancy	Type	Factor	Sq Feet	Valuation
U-Utility	VB	36.91	1,120	\$41,339.20
Totals...			1,120	\$41,339.20*

FEES:				
Building Fee:	\$653.56	Calculated Fee:	\$1,154.34	
Electrical Fee:	\$0.00	Additional Fee:	\$0.00	
Plumbing Fee:	\$174.00			
Mechanical Fee:	\$0.00	TOTAL FEES:	\$1,154.34	
Reinspections:	\$0.00			
Plan Check Fee:	\$326.78	Payments:	\$326.78	
Park Tax Fee:	\$0.00			
Violation Fee:	\$0.00	BALANCE DUE:	\$827.56	
Renewal Fee:	\$0.00			
Impact Fee (BLD-RES):	\$0.00	VALIDATED BY:	DJ	
Grading Fee:	\$0.00	ISSUED BY:		

Applications for which no permit is issued within 180 days following the date of application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. The building official may extend the time for action by the applicant for a period not exceeding 180 days on request by the applicant showing that circumstances beyond the control of the applicant have prevented action from being taken. No application shall be extended more than once. In order to renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee.

WASHOE COUNTY BUILDING DEPT.

OFFICE COPY



(775) 328-2020
(775) 328-6132 FAX

WASHOE COUNTY

Department of Building & Safety
"Dedicated to Excellence in Public Service"

BUILDING PERMIT
INSPECTION LINE (775) 325-8000
www.washoecounty.us/bldgsafety



1001 E. Ninth Street
P.O. Box 11130
Reno, NV 8950-0027

Address: 14190 RANCHEROS DR WCTY
Location:
Parcel No: 016-473-07

Permit No: 12-0944
Type: BLD-RES
Category: RGAR

Applied: 05/11/2012
Issued: 06/08/2012
Status: ISSUED
Expire: 12/08/2013
Renewed:

Zoning: MDS

Area: S
Sewer: SEPTIC
Water: WC

Occupancy: 27
Census:
Units: 1
Bldgs: 1

Use Code:
Variance No:
Special Use No:
Major Project:

OWNER DAILEY FAMILY TRUST
14190 RANCHEROS DR
RENO NV 89511

Phone:

CONTRACTOR M B LEWIS CONSTRUCTION INC DBA
2171 W WILLIAMS AVE #295
FALLON NV 89406
License: 0039667A

Phone: 775-221-1284

CONTACT M B LEWIS CONSTRUCTION INC DBA
2171 W WILLIAMS AVE #295
FALLON NV 89406


Phone: 775-221-1284

Permit Description:

28' x 40' DETACHED GARAGE WITH ELEC

VALUATION:	\$41,339.20			
Occupancy	Type	Factor	Sq Feet	Valuation
U-Utility	VB	36.91	1,120	\$41,339.20
Totals...			1,120	\$41,339.20*

FEES:	Building Fee:	\$653.56	Plan Check Fee:	\$326.78	TOTAL FEES:	\$1,154.34
	Electrical Fee:	\$0.00	Park Tax Fee:	\$0.00	Payments:	\$1,154.34
	Plumbing Fee:	\$174.00	Violation Fee:	\$0.00	BALANCE DUE:	\$0.00
	Mechanical Fee:	\$0.00	Renewal Fee:	\$0.00	VALIDATED BY:	DJ
	Reinspections:	\$0.00	Road Impact Fee:	\$0.00	ISSUED BY:	DJ

Signature: 

Permission is hereby granted to do the work for the building described in this application, in accordance with the Rules, Regulations and Ordinances of the County of Washoe, along with the plans and specifications filed herewith.

IMPORTANT TIME DEADLINES:  (initial)

I UNDERSTAND THAT FINAL INSPECTION OR RENEWAL OF THIS PERMIT MUST BE MADE PRIOR TO THE EXPIRATION DATE OR NEW PLANS MUST BE SUBMITTED AND PERMIT FEES PAID PRIOR TO FINAL INSPECTION. PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE, WITH NO GRACE PERIOD. IF THE DATE OF EXPIRATION FALLS ON A WEEKEND OR HOLIDAY, THE PERMIT MUST BE RENEWED ON THE LAST BUSINESS DAY PRIOR TO THE EXPIRATION. I UNDERSTAND THIS IS THE ONLY NOTICE I WILL RECEIVE FOR RENEWAL OF THE PERMIT AND KEEPING THE PERMIT RENEWED AND IN A VALID STATUS IS MY RESPONSIBILITY.

DISCLAIMERS: INDEMNIFICATION: ACKNOWLEDGMENTS BY PERMITEE: _____ (initial)

I UNDERSTAND THAT THE INSPECTIONS PROVIDED BY WASHOE COUNTY ARE VERY LIMITED AND DO NOT COVER ALL OF THE WORK PERFORMED UNDER THE AUTHORITY OF THIS PERMIT. THE INSPECTIONS ARE OCCASIONAL SPOT CHECKS, MUCH LIKE AN AUDIT; THEREFORE MANY PARTS OF THE WORK ARE NOT INSPECTED. IF MORE INSPECTION IS DESIRED, A PRIVATE INSPECTOR MUST BE HIRED BY THE PERMITEE. NEITHER THE INSPECTIONS BY THE COUNTY NOR THE CERTIFICATE OF OCCUPANCY CONSTITUTE A REPRESENTATION BY THE COUNTY THAT THE WORK WAS INSPECTED OR THAT THE WORK COMPLIES WITH COUNTY ORDINANCES.

I HEREBY AGREE TO DEFEND AND TO SAVE, INDEMNIFY AND KEEP HARMLESS THE COUNTY OF WASHOE AND ITS OFFICERS, EMPLOYEES AND AGENTS AGAINST ALL LIABILITIES, JUDGEMENTS, COSTS AND EXPENSES WHICH MAY ACCRUE AGAINST THE COUNTY IN CONSEQUENCE OF GRANTING OF THIS PERMIT OR CERTIFICATE OF OCCUPANCY, IN CONSEQUENCE OF THE COUNTY'S OWN NEGLIGENCE OR ITS OTHERS ACTS OR OMISSIONS WITH RESPECT TO THIS PERMIT OR A CERTIFICATE OF OCCUPANCY, OR IN CONSEQUENCE OF THE USE OR OCCUPANCY OF ANY WORK, SIDEWALK, SUB-SIDEWALK OR STREET, OR OTHERWISE BY VIRTUE THEREOF, AND WILL IN ALL THINGS STRICTLY COMPLY WITH THE CONDITIONS OF THIS PERMIT AND PROVISIONS OF THE RULES, REGULATIONS AND ORDINANCE OF THE COUNTY OF WASHOE.

WASHOE COUNTY BUILDING DEPARTMENT

Thursday, October 04, 2012

Inspections List for Permit # 12-0944

Permit # 12-0944 **Address :** 14190 RANCHEROS DR **WCTY** **Type:** BLD-RES
Applied : 5/11/2012 **Issued :** 6/8/2012 **Finald :** **Sub Type:** RGAR
Status: ISSUED

Work Description: 28' x 40' DETACHED GARAGE WITH ELEC***REVISION TO REDUCE BLDG SIZE TO 34 X 28 TO ACCOMODATE GREATER SETBACK

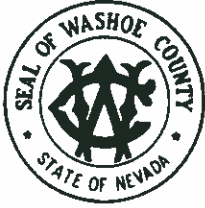
People List:

GYFORD DARREN& KRISTIN J	OWNER	C-775-223-3261	dgyford@gmail.com
M B LEWIS CONSTRUCTION INC DBA	CONTACT	775-221-1284	brodielewis@gmail.com
M B LEWIS CONSTRUCTION INC DBA	CONTRACTOR	775-221-1284	

Item	Inspection	Apvd	Req
100	FOOTINGS/SETBACKS/REBAR		
	6/11/2012 PA SAREVALO vertical stabbed per - D. Jeppson-ok. SETBACK LETTER ENOUTE	N	O
	7/18/2012 CN Cparish I spoke with Brodie this afternoon and required that he provide a survey by a licensed NV land surveyor to determine the setback of the garage.	N	O
	8/23/2012 PA SAREVALO 12:50 PER T.S - APPROVED, VIA BRODIE DCJ OK TO POUR	N	O
110	STEMWALL/GROUT/REBAR		
	6/19/2012 AP SAREVALO LARGER SSTB'S INSTALLED AT FRONT PORTALS, ADD REBAR AT TOP OF STEM	Y	O
	8/29/2012 PA sa Setback letter from Kelly Wilcox, is questionable, Brodie stated that we have recieved them b/4. Called Brodie -6-22-12, 4:00, v.m box full- no v.m possible E.O.R to address pins into slab missing	N	O
120	UNDERFLOOR-PRIOR TO SHEATHING		
	8/28/2012 PA SAREVALO actual inspection- stemwall revision to reduce structure size to ensure P.L issues	N	O
125	HOLD DOWNS		
	9/6/2012 NR SAREVALO	N	O
145	ROOF DECK		
	9/6/2012 NR SAREVALO	N	O
155	EXTERIOR SHEARWALL		
	9/6/2012 PA SAREVALO Dunagan to address B.P gap @ top of stemwall due to wall has no bearing in between studs Ad A.B's at plate breaks	N	O
260	GRADING & FINAL		
	9/12/2012 NR SA A.B.'S NEED TO BE INSTALLED AT PL BRKS & 4' O.C	N	O
	9/21/2012 CN SAREVALO ELECTRIC NEEDS INSTALLED Per Don J, contractor to provide new setback letter	N	O
900	MISCELLANEOUS		
	9/18/2012 AP TKAY this is a test	Y	O

Exhibit 15

Notice of Violation



Washoe County
Department of Building & Safety
1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020
FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bidgsafety



July 5, 2012

MB Lewis Construction Inc.
2171 W Williams Ave, #295
Fallon, Nevada 89406

RE: Notice of Violation, APN: 016-473-07, Permit 12-0944

Dear Contractor,

The property located at 14190 Rancheros Dr is in violation of the following Washoe County Code (WCC):

- Side yard setback per section 110.306.10 (b).

This letter serves as an official Notice of Violation and Stop Work Order for the above violation. All construction activities must cease immediately. Full compliance with all applicable Washoe County codes must be achieved before any work can continue.

All corrective action must be approved by the Washoe County Department of Building & Safety and Washoe County Department of Community Development. Please be aware, failure to comply with the Notice of Violation by not correcting the violation could result in additional fines and citations requiring your appearance in front of a Justice of the Peace.

Washoe County looks forward to resolving these issues with you.

Sincerely,

A handwritten signature in black ink, appearing to read "Don Jeppson", is written over a white background.

Don C. Jeppson, AIA
Director of Building and Safety

Cc: District Attorney
Engineering Division
Community Development

Exhibit 16

Community Development Interpretation



Community Development

"Dedicated to Excellence in Public Service"



October 5, 2012

TO: Washoe County Board of Review

FROM: Eva M. Krause, AICP, Planner

SUBJECT: 14190 Rancheros Drive, Building Permit 12-0944 – wall in side yard

Per Mr. Jeppson's photograph and notes, as well as the site plan submitted as part of the building permit process, it is my understanding that the wall in question is approximately four-feet tall at its highest point.

Section 110.406.50 Fences, Walls or Perimeter Planting, allows fences, walls and perimeter planning in the side and rear yard setbacks up to six feet high and may be built on the property line. Since the wall in question is less than six feet high and is contained within the property owner's parcel, the wall is an allowed structure.

Planning and Development Services does not require the removal of the wall built in the side yard setback. Washoe County Development code does not address or enforce drainage easements.

RATIONALE

Washoe County Development Code Table 110.406.05.1 (Part 3) determines building setbacks based on zoning.

Table 110.406.05.1 (continued)

STANDARDS

Part Three: Yard and Setback Dimensions										
	LDR	MDR	HDR	LDS	LDS 2	MDS	MDS 4	HDS	LDU	MDU
Front Yard (feet)	30	30	30	30	30	20	20	20	15	15
Side Yards (feet)	50	15	15	12	10	8	7	5	5	5
Rear Yard (feet)	30	30	30	30	30	20	20	20	10	20



Post Office Box 11130, Reno, NV 89520-0027 – 1001 E. Ninth St., Reno, NV 89512
Telephone: 775.328.3600 – Fax: 775.328.6133
www.washoecounty.us/comdev

**October
is
National
Community
Planning
Month**

The subject parcel is zone MDS, therefore the setbacks are 20 foot front and rear and 8 foot side yards.

(b) Setbacks.

- (1) Accessory structures twelve (12) feet in height or less may be located within the required rear and side yard setbacks provided they are five (5) feet or more from the rear and side property line. Accessory structures are prohibited within the required front yard setback.

The height of a structure is determined by using the building code currently adopted by Washoe County and is explained in 110.902.15 General Definitions.

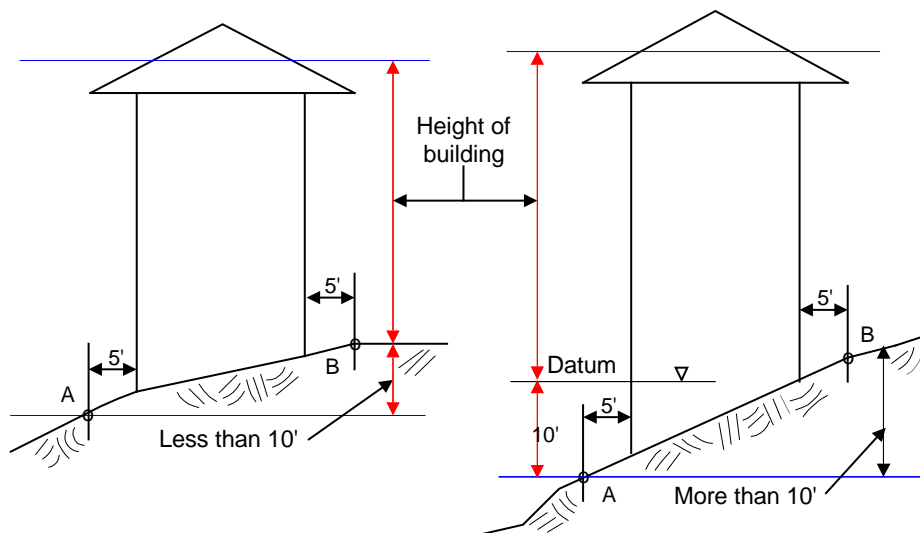
Building Height. "Building height" is the vertical distance above a reference datum measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. As illustrated in Figure 110.902.15.BH1, the reference datum shall be selected by either of the following, whichever yields a greater height of building:

1. The elevation of the highest adjoining sidewalk or ground surface within a five (5) foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten (10) feet above lowest grade.
2. An elevation ten (10) feet higher than the lowest grade when the sidewalk or ground surface described in Item 1 above is more than ten (10) feet above lowest grade.

The height of a stepped or terraced building is the maximum height of any segment of the building.

Figure 110.902.15.BH1

DETERMINATION OF BUILDING HEIGHT IN FEET



Memo to: Washoe County Board of Review
Subject: 14190 Rancheros Drive, Building Permit 12-0944 – wall in side yard
Date: October 5, 2012
Page: 3

The applicant had stated that the detached accessory building was less than 12 feet in height, so they were using the 5 foot exception in article 306.

Once the foundation was poured, it was realized that there was a problem with the proposed height of the structure. As measured across the rear of the building it was determined that the structure was less than 12 feet in height, and could be located 5 feet from the rear property line. But due to the slope of the property, when measured along the side yard, the structure exceeded the 12 foot height limit, so they could not use the exception in Article 306; therefore the structure had to meet the side yard setback of 8 feet.

This left the foundation that was already poured still in the side yard setback. Since the foundation is no longer being used for a foundation for a structure, it is equivalent to a wall. Walls are allowed in both side and rear yard setbacks up to 6 feet high.

Section 110.406.50 Fences, Walls or Perimeter Planning

- (a) Residential Use Types. The maximum height for fences, walls or perimeter planting is limited to four-and-one-half (4.5) feet in the required front yard setback except as noted by Section 110.406.30, Front Yards. The maximum height for fences, walls or perimeter planting for the remainder of the residential property is six (6) feet. Where two (2) or more of a property's frontages constitute front yards on a corner lot, one (1) of the yards shall be deemed to be the main entrance and all other yards with street frontage shall be considered modified side yards where fences, walls or perimeter planting can have a maximum height of six (6) feet as long as such fences, walls or perimeter planting are located at least ten (10) feet from the modified side yard property line. Barbed wire or razor wire livestock fencing in front yards is allowed only on lots with a size greater than one (1) acre.

Since the existing foundation wall is less than 6 feet high, there are no requirements in the Development Code that would require the wall to be removed.