



# Board of Adjustment Staff Report

Meeting Date: March 2, 2023

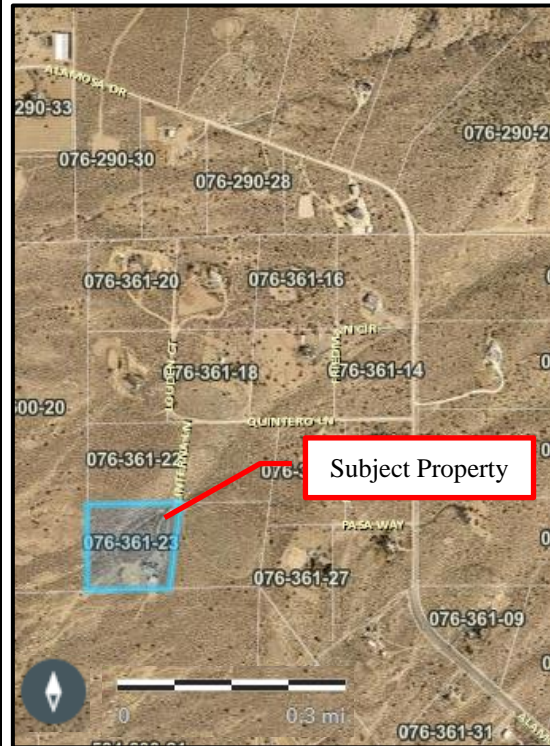
Agenda Item: 8A

ADMINISTRATIVE PERMIT CASE NUMBER:	WADMIN23-0001 (Kosin Garage)
BRIEF SUMMARY OF REQUEST:	To allow a detached accessory structure larger than the main residence
STAFF PLANNER:	Courtney Weiche, Senior Planner Phone Number: 775.328.3608 E-mail: cweiche@washoecounty.gov

## CASE DESCRIPTION

For hearing, discussion, and possible action to approve an administrative permit for a ±4,000 sf detached accessory structure that is larger than the existing ±2,699 sf main residence.

Applicant / Owner: Greg & Kathleen Kosin  
 Location: 745 Linterna  
 APN: 076-361-23  
 Parcel Size: 10.03 acres  
 Master Plan: Rural  
 Regulatory Zone: General Rural  
 Area Plan: Spanish Springs  
 Development Code: Authorized in Article 808, Administrative Permits  
 Commission District: 4 – Commissioner Hartung



**Vicinity Map**

## STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

## POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN23-0001 for Greg & Kathleen Kosin, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

*(Motion with Findings on Page 11)*

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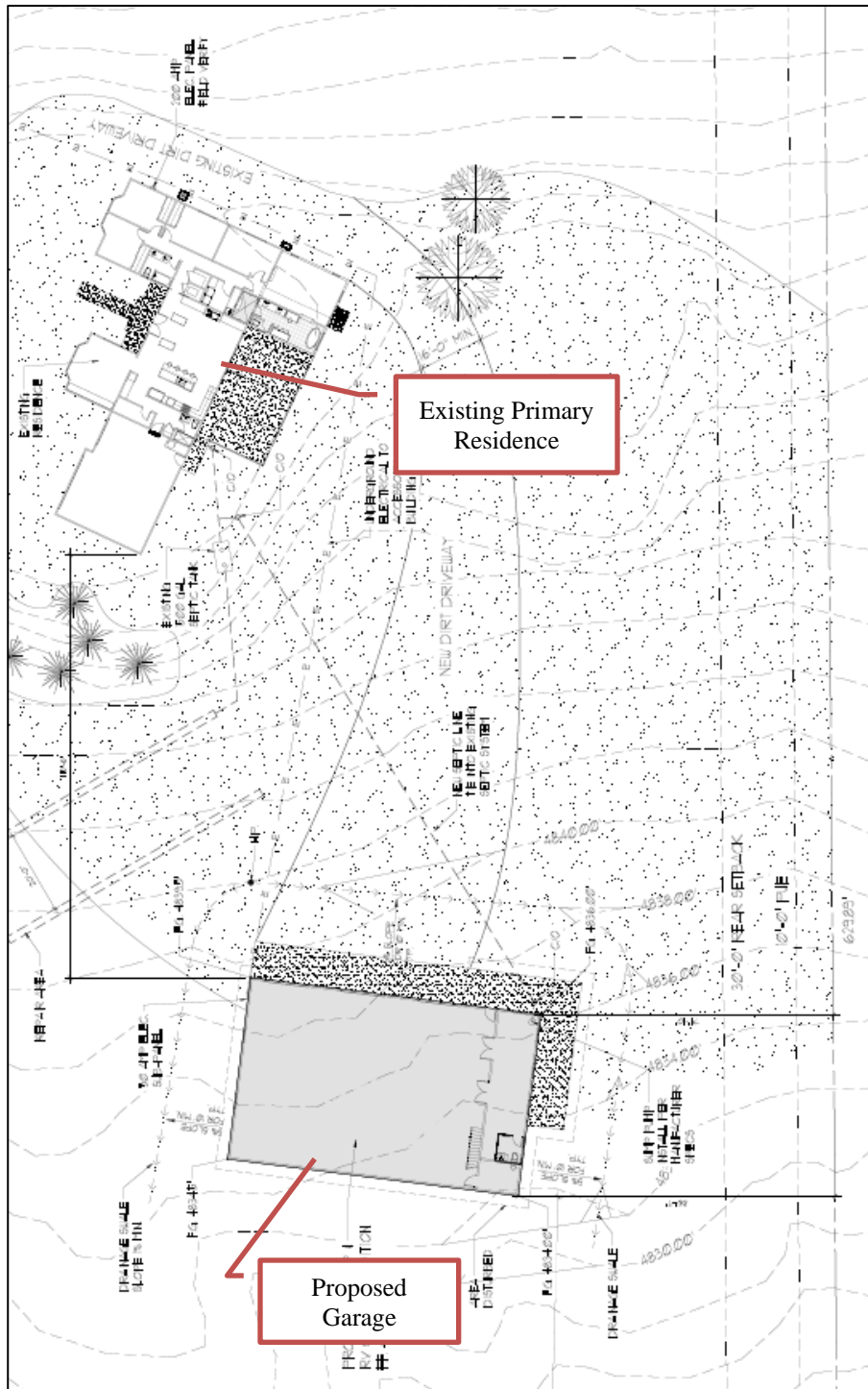
Project Application ..... Exhibit D

**Administrative Permit Definition**

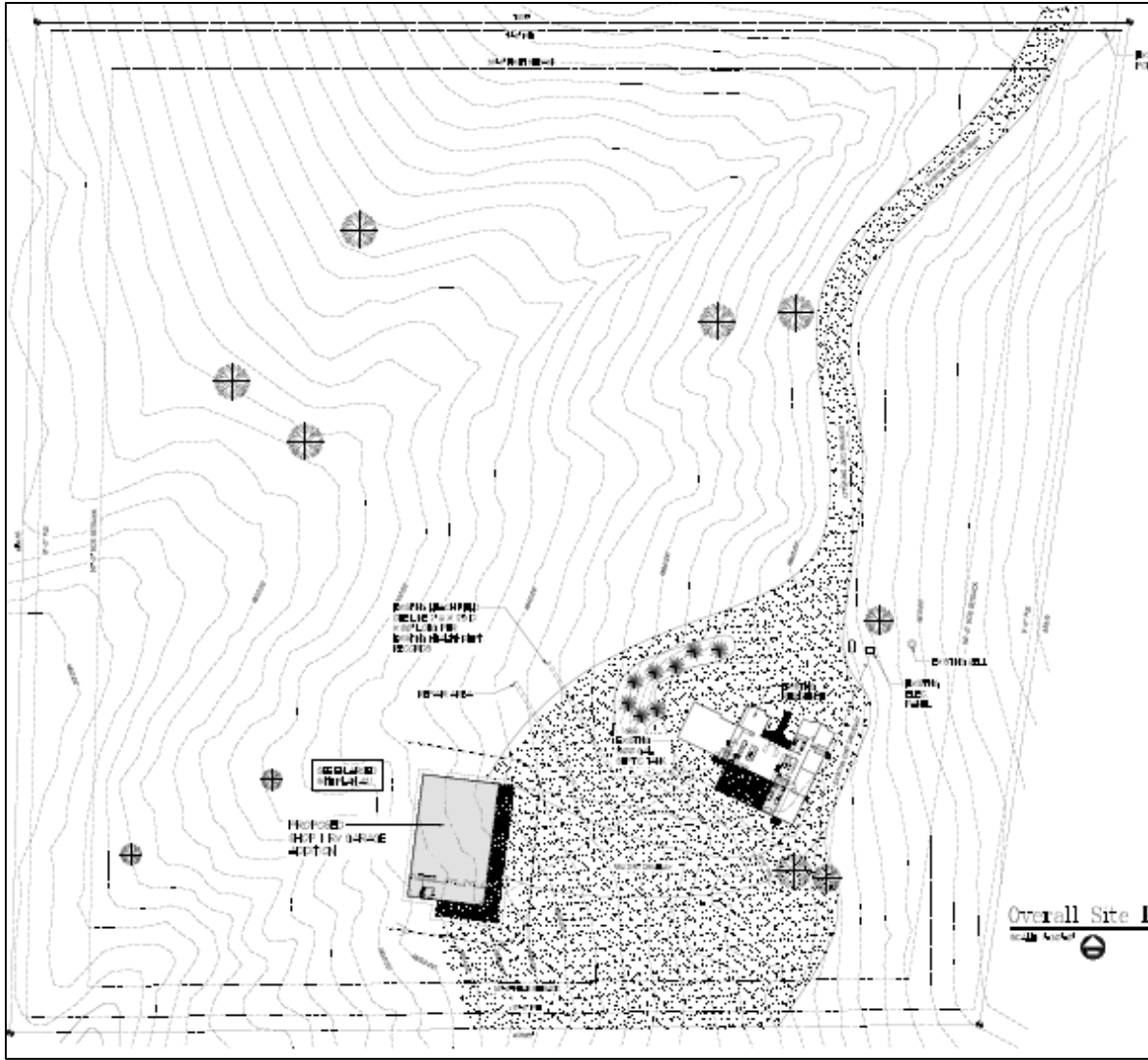
The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN23-0001 is attached to this staff report and will be included with the action order.

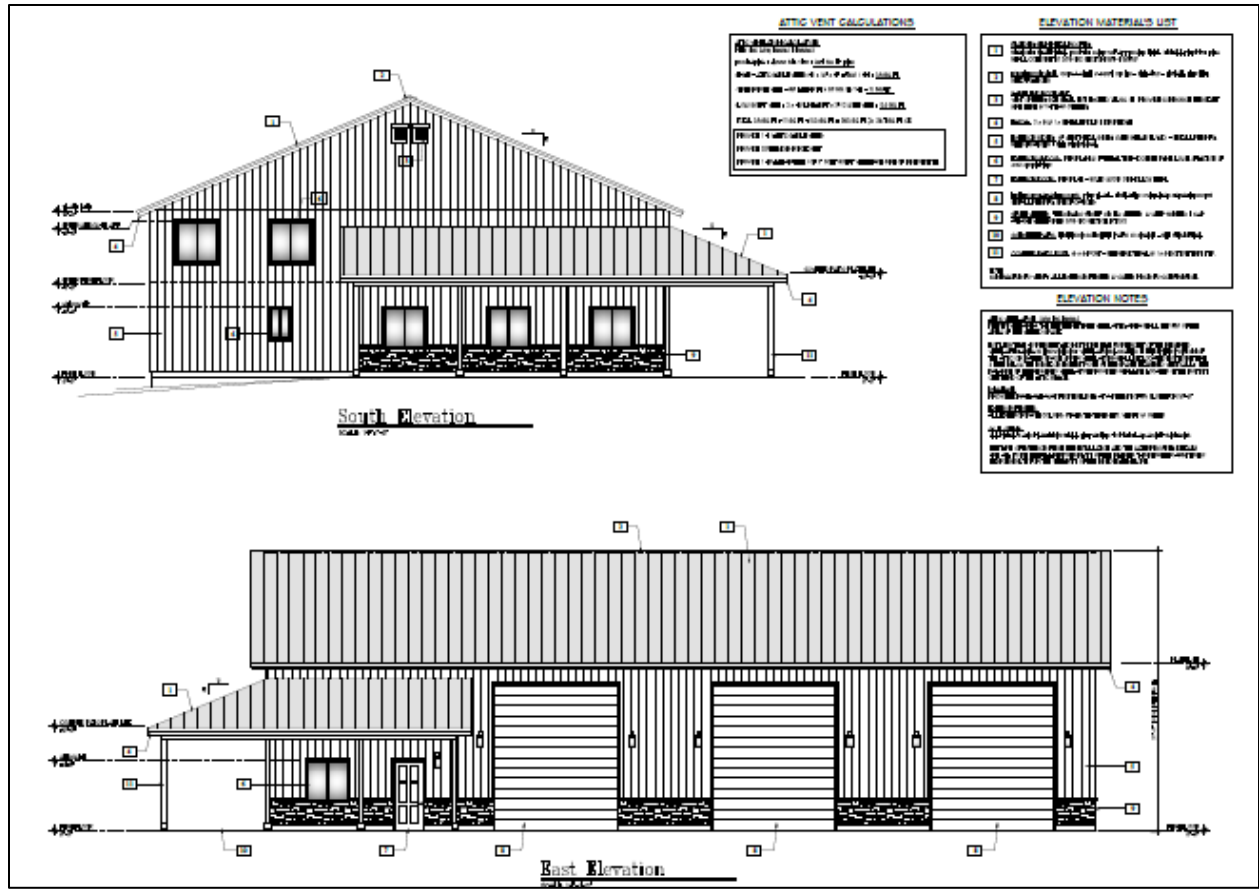
The subject property is designated as General Rural (GR) and is located in the Spanish Springs Area Plan. Accessory structures that are larger than the main residence are allowed outright on parcels larger than 40 acres in the General Rural regulatory zone. Since the parcel is less than 40 acres (10.03 acres), the proposed accessory structure is subject to approval of an administrative permit per WCC 110.306.10 (d).



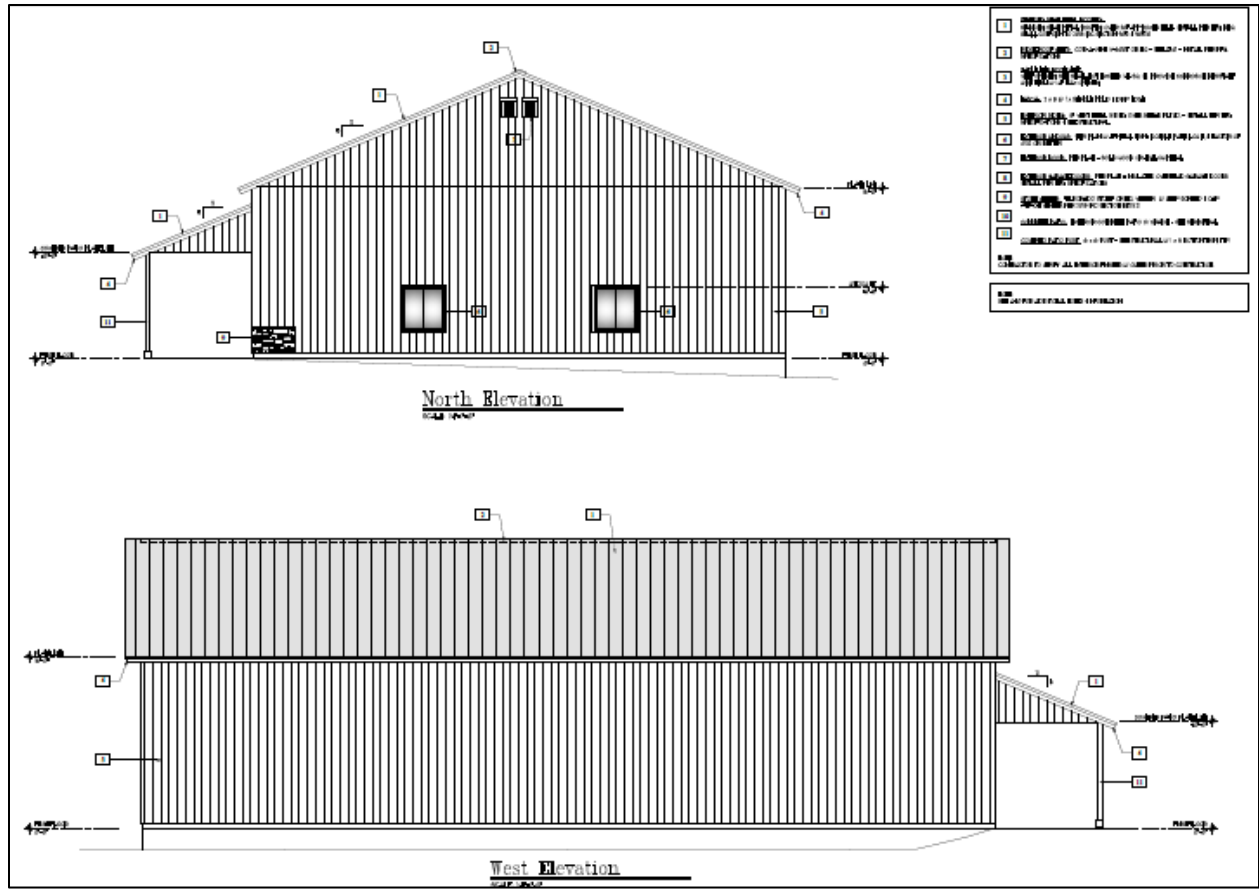
**Enlarged Site Plan**



**Overall Site Plan**



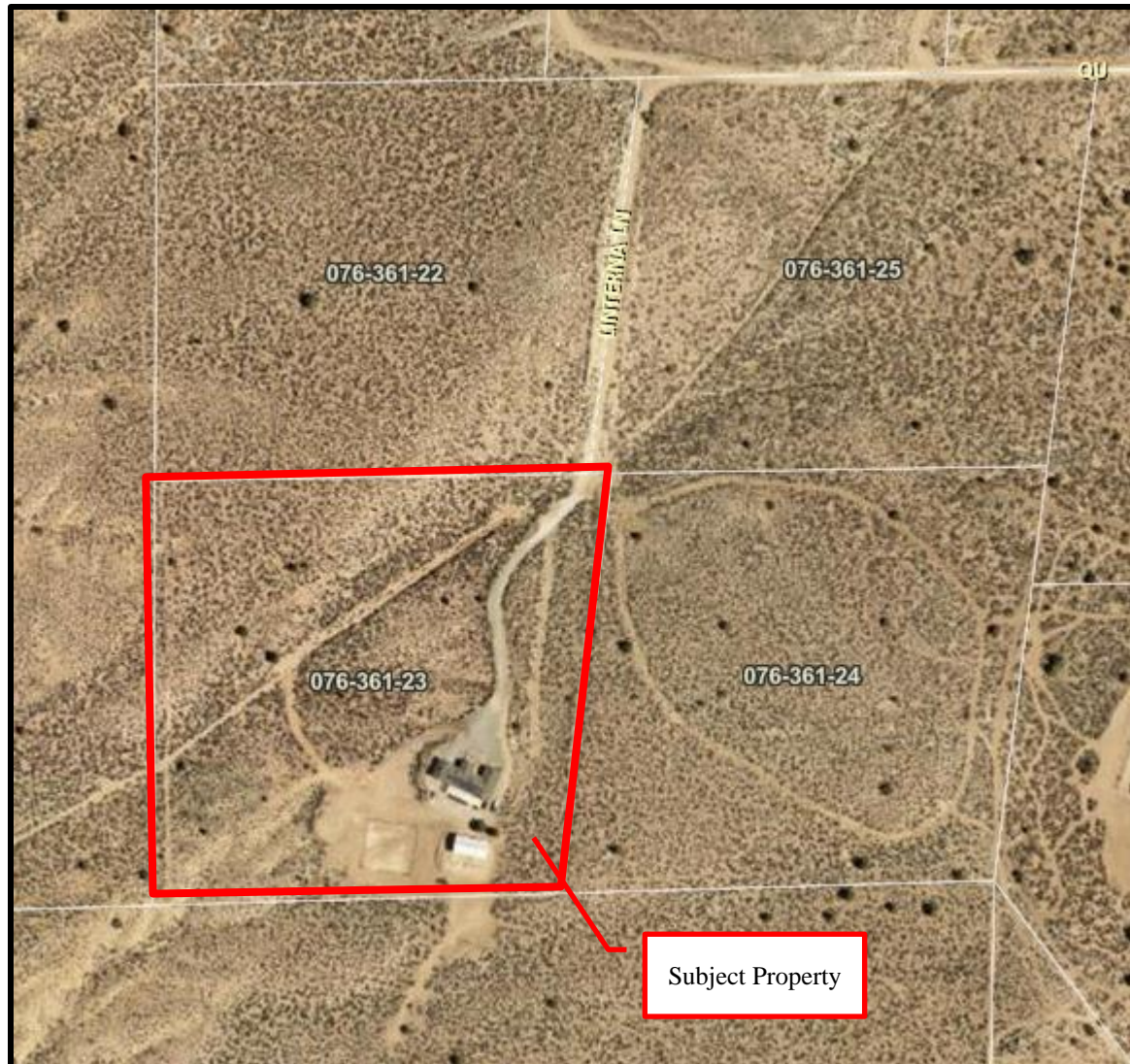
**South and East Elevations**



**North and West Elevations**

**Project Evaluation**

The applicant is requesting an administrative permit to approve a 4,000 square foot detached accessory structure larger than the existing primary residence. The residence is 2,699 square feet. An administrative permit is required per Washoe County Code 110.306.10 (d), for accessory structures that are larger than the main residence.



### Aerial Image

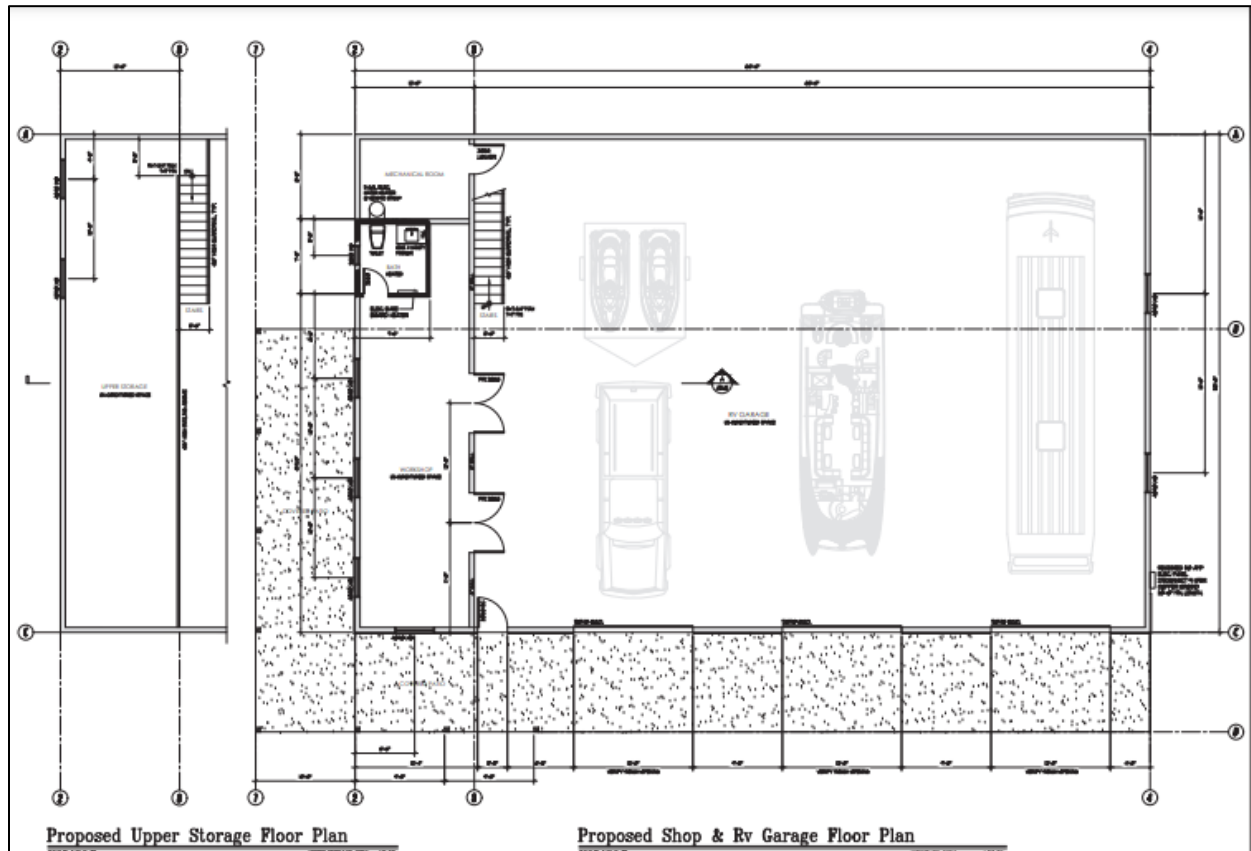
The property is considered legal non-conforming for the minimum lot size in the General Rural (GR) regulatory zone (40 acres). On legal non-conforming lots, when the lot size does not meet the minimum lot size for the actual regulatory zone applicable to the lot, the allowed lot coverage is based on the regulatory zone thresholds set forth for the next densest regulatory zone for which the actual lot size does meet the minimum lot size requirements. Therefore, the addition of the proposed accessory structure cannot exceed the adjoining Low Density Suburban regulatory zone for maximum lot coverage of 25% per (WCC 101.306.10 (a) 2).

The subject property is 10.03 acres which would allow up to 109,226 square feet of lot coverage. The proposed structure complies with this requirement. The proposed structure will be stick built with metal siding and have stone veneer accents on the lower portion of the structure's perimeter. The metal siding is required to be non-reflective (Condition 1f).

The structure has a plate height of 16 feet, and a ridge height of 27 feet; the structure falls within the maximum height allowance. The floor plan includes a small covered patio, mechanical room, half bathroom, upper-level mezzanine storage and main floor RV/boat storage space, see below



floor plan. Washoe County will require the applicant to record a deed with the County Recorders Office restricting the applicant from using the structure as a dwelling (Condition 1g).



**Floor Plan**

As shown on the site plan above, the location meets all applicable setbacks of the GR regulatory zone and defensible space requirements. The subject property is generally flat. Adjoining lots are predominantly undeveloped. Existing and proposed development on the subject parcel is consistent with the development in the surrounding area. The proposed structure is consistent with all relevant regulations and plans, in keeping with existing development in the area, and should not pose any detriment.

**Spanish Springs Area Plan**

The subject parcel is located within the Spanish Springs Area Plan. There are no pertinent policies from the Area Plan conflicting with the proposed request.

**Reviewing Agencies**

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	X			
Washoe County Engineering & Capital Projects	X	X		
Washoe County Land Development (All Apps)	X			
Washoe County Parks & Open Space	X	X		
Washoe County Sewer	X			
Washoe County Water Rights Manager (All)	X	X		
WCHD Air Quality	X			
WCHD EMS	X	X		
WCHD Environmental Health	X	X		
TMFPD	X	X	X	Dale Way, dway@tmfpd.us; Brittany
Washoe-Storey Conservation District	X	X		
Regional Transportation Commission	X	X		

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

**Staff Comment on Required Findings**

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan.

*Staff Comment: The proposed structure doesn't conflict with any parts of the Master Plan or Spanish Springs Area Plan.*

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

*Staff Comment: The proposed detached accessory structure shall be accessory to the existing residential use and is not expected to create any substantial impact on utilities, roadways, sanitation, water supply, drainage, or other facilities.*

- (c) Site Suitability. That the site is physically suitable for accessory structure, and for the intensity of such a development.

*Staff Comment: The building site is relatively flat and suitable for the proposed detached accessory structure.*

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

*Staff Comment: The proposed use is residential and is consistent with the regulatory zoning of the parcel. The proposed structure is consistent with development on surrounding parcels and will not be detrimental to public health, safety, or welfare.*

### **Recommendation**

After a thorough analysis and review, Administrative Permit Case Number WADMIN23-0001 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN23-0001 for Greg and Kathleen Kosin, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for accessory structure, and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant / Property Owner: Greg and Kathleen Kosin; [gkosin302@gmail.com](mailto:gkosin302@gmail.com)



# Conditions of Approval

Administrative Permit Case Number WADMIN23-0001

The project approved under Administrative Permit Case Number WADMIN23-0001 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on March 2, 2023. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:**

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District.**

**Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Courtney Weiche, Senior Planner, 775.328.3608,  
cweiche@washoecounty.gov**

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Construction activities shall be limited to the hours between 7am to 7pm, Monday through Saturday only. Construction machinery or construction personal gatherings are also limited to these hours. No construction activities shall take place on Sundays.
- f. The metal siding and/or roof of the accessory structure shall be non-reflective.
- g. The applicant shall record a deed restriction with the Washoe County Recorder's Office restricting against the use of the structure for dwelling purposes.

**Truckee Meadows Fire Protection District**

2. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

**Contact Name – Brittany Lemon, Fire Captain, blemon@tmfpd.us, 775.326.6079**

Washoe County Conditions of Approval

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/> .

\*\*\* End of Conditions \*\*\*



JOE LOMBARDO  
Governor

STATE OF NEVADA  
DEPARTMENT OF TRANSPORTATION  
310 Galletti Way  
Sparks, Nevada 89431

TRACY LARKIN THOMASON, P.E.  
Director

January 23, 2023

Washoe County  
1001 E. Ninth Street  
Reno, NV 89512  
Attention: Adriana Albarran

SENT VIA ELECTRONIC MAIL

RE: Washoe County Development Projects

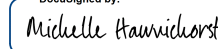
Dear Ms. Albarran,

Nevada Department of Transportation (NDOT) District II staff has reviewed the following applications received via e-mail on January 13, 2023.

**Administrative Permit Case Number WADMIN23-0001 (Kosin Garage)** - For hearing, discussion, and possible action to approve an administrative permit for a detached accessory structure larger than the primary residence. The proposed detached structure would be 4,000 square feet, and the primary residence is 2,699 square feet.

These proposals are not adjacent to a Nevada Department of Transportation (NDOT) road and appear to have minimal impact on NDOT infrastructure. Thank you for the opportunity to review these development proposals. NDOT reserves the right to incorporate further changes and/or comments as the design review advances. Please feel free to contact me at (775) 834-8320, if you have any further questions or comments.

Sincerely,

DocuSigned by:  
  
AC9898B63A75469  
Michelle Hawvichorst, PE  
Professional Engineer  
District II

- Cc: Mike Fuess, PE, PTOE – NDOT District Engineer  
District II Traffic Engineering Distribution List  
Michelle Hawvichorst, PE – Traffic Engineer  
Rod Schilling, PE – Traffic Operations Chief  
Sondra Rosenberg – Assistant Director, Planning  
Shelia Gamez – Permits Technician  
Dale Keller – RTC  
Courtney Weiche, Washoe County Senior Planner  
Julee Olander, Washoe County Planner  
Chris Bronczyk, Washoe County Senior Planner  
Katy Stark, Washoe County Planner  
File

## Weiche, Courtney

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**From:** Program, EMS  
**Sent:** Wednesday, January 18, 2023 9:06 AM  
**To:** Weiche, Courtney  
**Cc:** Program, EMS  
**Subject:** FW: January Agency Review Memo II  
**Attachments:** January Agency Review Memo II.pdf

Good morning,

The EMS Program has reviewed the January Agency Review Memo II - Administrative Permit Case Number WADMIN23-0001 (Kosin Garage) - and has no concerns or questions at this time based on the information provided.

Thank you,

Sabrina.

**Sabrina Brasuell**

Pronouns: she/her

EMS Coordinator | Epidemiology and Public Health Preparedness

Washoe County Health District

[sbrasuell@washoecounty.gov](mailto:sbrasuell@washoecounty.gov) | Cell: (775) 830-7118 | Office: (775) 326-6043

1001 E. Ninth St., Bldg. B. Reno, NV 89512

**WASHOE COUNTY  
HEALTH DISTRICT**



ENHANCING QUALITY OF LIFE

Public Health  
Protecting • Promoting • Preventing

Please take our customer satisfaction survey by clicking [here](#)

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INTEROFFICE MEMORANDUM

DATE: January 23, 2023  
TO: Courtney Weiche, Senior Planner, Planning and Building Division  
FROM: Robert Wimer, P.E., Engineering and Capital Projects Division  
  
SUBJECT: WADMIN23-0001  
APN 076-361-23  
Kosin Detached Garage

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Engineering and Capital Projects Division recommends approval.



QUALITY  
PUBLIC SERVICE



INTEGRITY



EFFECTIVE  
COMMUNICATION

## Weiche, Courtney

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**From:** Lemon, Brittany  
**Sent:** Thursday, January 19, 2023 1:41 PM  
**To:** Weiche, Courtney  
**Cc:** Way, Dale  
**Subject:** WADMIN23-0001 (Kosin Garage) Conditions of Approval

Hi Courtney,

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

This parcel is located in a MODERATE Fire Hazard Severity Zone and has non-conforming water. It does not appear that 30 feet of defensible space will be attainable on all sides of the building to the lot line. With non-conforming water and non-conforming defensible space, Ignition Resistant Construction 1 (IR1) is required.

Thank you,

### **Brittany Lemon**

**Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue**

[blemon@tmfpd.us](mailto:blemon@tmfpd.us) | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



*"Committed to excellence, service, and the protection of life and property in our community"*

**From:** [Steve Shell](#)  
**To:** [Weiche, Courtney](#)  
**Subject:** Various  
**Date:** Wednesday, January 25, 2023 11:38:28 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image006.png](#)  
[image008.png](#)

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[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

#1, WADMIN23-0001, Kosin Garage:

**NRS 534.180 Applicability of chapter to wells used for domestic purposes; registration and plugging of wells used for domestic purposes; wells for accessory dwelling unit of single-family dwelling.**

1. Except as otherwise provided in subsection 2 and as to the furnishing of any information required by the State Engineer, this chapter does not apply in the matter of obtaining permits for the development and use of underground water from a well for domestic purposes where the draught does not exceed 2 acre-feet per year.

2. The State Engineer may designate any groundwater basin or portion thereof as a basin in which the registration of a well is required if the well is drilled for the development and use of underground water for domestic purposes. A driller who drills such a well shall register the information required by the State Engineer within 10 days after the completion of the well. The State Engineer shall make available forms for the registration of such wells and shall maintain a register of those wells.

3. The State Engineer may require the plugging of such a well which is drilled on or after July 1, 1981, at any time not sooner than 1 year after water can be furnished to the site by:

- (a) A political subdivision of this State; or
- (b) A public utility whose rates and service are regulated by the Public Utilities Commission of Nevada,

but only if the charge for making the connection to the service is less than \$200.

4. If the development and use of underground water from a well for an accessory dwelling unit of a single-family dwelling, as defined in an applicable local ordinance, qualifies as a domestic use or domestic purpose:

(a) The owner of the well shall:

(1) Obtain approval for that use or purpose from the local governing body or planning commission in whose jurisdiction the well is located;

(2) Install a water meter capable of measuring the total withdrawal of water from the well; and

(3) Ensure the total withdrawal of water from the well does not exceed 2 acre-feet per year;

(b) The local governing body or planning commission shall report the approval of the accessory dwelling unit on a form provided by the State Engineer;

(c) The State Engineer shall monitor the annual withdrawal of water from the well; and

(d) The date of priority for the use of the domestic well to supply water to the accessory dwelling unit is the date of approval of the accessory dwelling unit by the local governing body or planning commission.

[3:178:1939; A [1947, 52](#); [1949, 128](#); [1955, 328](#)](NRS A [1971, 868](#); [1977, 383](#); [1981, 1843](#); [1983, 2090](#); [1985, 1302](#); [1997, 2010](#); [2007, 846](#))

#4, WSUP22-0038, Goodwin Personal Storage:

Water for a commercial enterprise requires a permit through the Nevada Division of Water Resources. A domestic well is limited to single family dwellings.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

Steve Shell  
Water Rights Specialist II  
Department of Conservation and Natural Resources  
Nevada Division of Water Resources  
901 S. Stewart St., Suite 2002

## Weiche, Courtney

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**From:** Weiss, Timber A.  
**Sent:** Tuesday, January 24, 2023 9:00 AM  
**To:** Weiche, Courtney  
**Cc:** Behmaram, Vahid  
**Subject:** No water right comments for WADMIN23-0001

Hello,

No water right comments for WADMIN23-0001, as this garage is not proposed to be an accessory dwelling.

Thank you,



**Timber Weiss, PE | Professional Engineer**

**Engineering & Capital Projects Division | Community Services Department**

1001 E. 9th Street, Bldg A Reno, NV 89512

[tweiss@washoecounty.gov](mailto:tweiss@washoecounty.gov) | Office Voice Mail: 775.954.4626 or 775.433.0769

Visit us first online: [www.washoecounty.us/csd](http://www.washoecounty.us/csd)

For additional information, email [engineering@washoecounty.us](mailto:engineering@washoecounty.us) or call 775.328.2040



**WASHOE COUNTY  
HEALTH DISTRICT**  
ENHANCING QUALITY OF LIFE

January 30, 2023

Washoe County Community Services  
Planning and Development Division

RE: Kosin Garage; 076-361-23  
Administrative Permit; WADMIN23-0001

Dear Washoe County Staff:

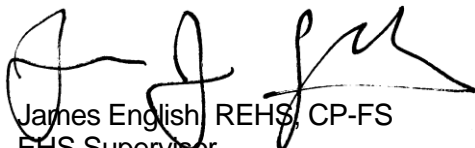
The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, (WCHD), which shall be responsible for determining compliance with these conditions.

**Contact Name – James English - [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us)**

- a) Condition #1: The WCHD has reviewed the above referenced project and has no objections to the approval of the application for a detached structure larger than the primary residence on the parcel.
- b) Condition #2: Approval of the administrative permit is in no way approval of the site plan submitted as part of this application. If the application is approved, the applicant must go through the building permit process and is subject to the review of the WCHD and must meet all the requirements and setbacks outlined in the applicable regulations.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us) regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS  
EHS Supervisor  
Environmental Health Services  
Washoe County Health District





Washoe-Storey Conservation District

Bret Tyler Chairmen  
Jim Shaffer Treasurer  
Cathy Canfield Storey app  
Jean Herman Washoe app

1365 Corporate Blvd.  
Reno NV 89502  
775 857-8500 ext. 131  
nevadaconservation.com

January 19, 2023

Washoe County Community Services Department

C/O Courtney Weiche, Senior Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WADMIN23-0001 Kosin Garage

Dear Courtney,

In reviewing the administrative permit for a detached structure, the Conservation District has the following comments.

The District recommends the detached structure exterior and roof color material matches the primary residence, not match the surrounding structures in the area as stated in the document. The District's comments have been consisted in this recommendation.

Additionally, with the proposed drainage swale, to prevent the downstream transport of sediment the flow lined with 2–3-inch rock.

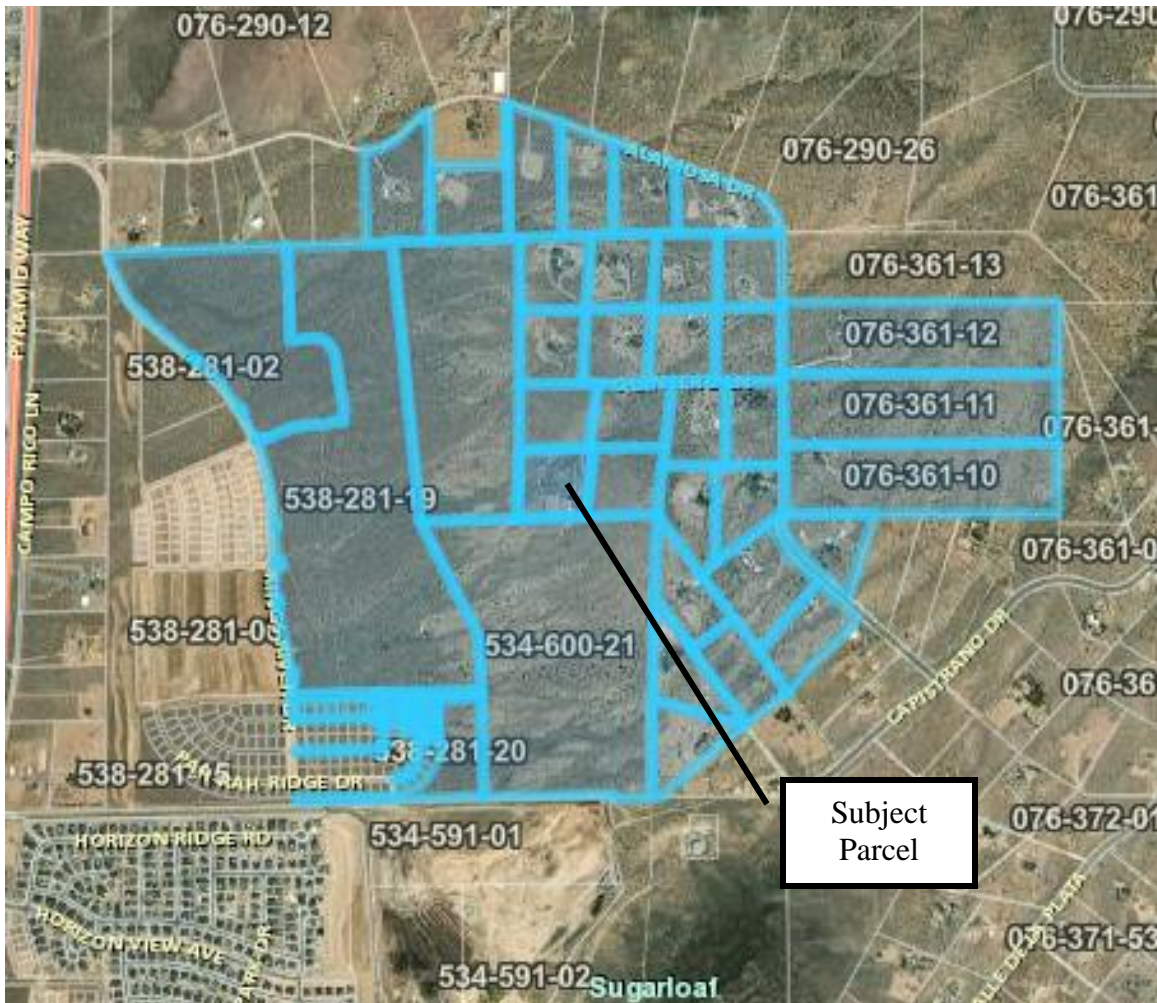
Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely

Jim Shaffer

**Public Notice**

Washoe County Code requires that public notification of an Administrative Permit be mailed to a minimum of 30 separate property owners within a minimum 500-foot radius of the subject property a minimum of 10 days prior to the public hearing date. This proposal was noticed within a 2,200-foot radius of the subject property, noticing 35 separate property owners a minimum of 10 days prior to the public hearing date.



**Public Notice Map**

**Administrative Permit Case Number WADMIN23-0001**

Community Services Department  
Planning and Building  
ADMINISTRATIVE PERMIT APPLICATION

~~(Care for the Infirm see page 8)~~



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100



## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Kosin detached garage/workshop</b>			
Project Description: <b>Detached Accessory building</b>			
Project Address: <b>745 Linterna Ln, Sparks NV 89441</b>			
Project Area (acres or square feet): <b>4000 sq ft</b>			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>Linterna Ln and Alamosa Dr.</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
076-361-23	10.03		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Greg Kosin		Name: Infinity Engineering Inc	
Address: 745 Linterna Ln		Address: 2135 Green Vista Drive	
Zip: 89441		Suite 107 Zip: 89431	
Phone: 909-270-0982	Fax:	Phone: 775-333-5211	Fax:
Email: gkosin302@gmail.com		Email: infinityreno@gmail.com	
Cell:	Other:	Cell:	Other:
Contact Person: Greg Kosin		Contact Person: Waseem Akhtar	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Greg Kosin		Name:	
Address: 745 Linterna Ln		Address:	
Zip: 89441		Zip:	
Phone: 909-270-0982	Fax:	Phone:	Fax:
Email: gkosin302@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application  
Supplemental Information**  
(All required information may be separately attached)

1. What is the type of project or use being requested?

Detached accessory building

2. What section of the Washoe County code requires the Administrative permit required?

110.306.10 (d)

3. What currently developed portions of the property or existing structures are going to be used with this permit?

none

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

extend existing gravel driveway to new accessory building. completion time same as completion of project.

5. Is there a phasing schedule for the construction and completion of the project?

Completion date mid May 2023

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Very rural and should not have any impact of the area due to the project

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

Project will improve the property and increase property values to surrounding areas.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Building will be built using colors to match the surroundings and look of the existing structures in the area.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Having this garage will allow storage of my vehicles and equipment to be stored indoors and out of public view.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

N/A

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

N/A

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes  No

14. Utilities:

a. Sewer Service	Existing Septic system
b. Water Service	Existing Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

**Administrative Permit Application  
Supplemental Information  
for Care of the Infirm**

~~(All required information, to include the physician's signed affidavit, is considered a public record and will be treated as such by Washoe County. Information may be attached separately)~~

1. ~~Name of the Infirm:~~

Detached accessory building

2. Name of Nevada licensed physician identifying the need for on-premise care and the physician's estimate as to the length of on-premise care required (attach physician's signed affidavit, form on page 11):

110.306.10 (d)

3. Name(s) of the Caregiver(s):

none

4. Describe the type and size of recreational vehicle or self-contained travel trailer that is proposed for use as a temporary residence of the caregiver. (Attach a site map showing the proposed location.)

[Empty box for description and site map]

5. Describe the arrangements/methods proposed for the temporary provision of:

a. Water Service:

[Empty box for description of water service]

b. Sewage (Sanitary Sewer) Service:

c. Garbage (Solid Waste) Service:

d. Electricity:

e. Natural Gas:

6. What will you do to minimize the anticipated negative impacts or effect your waiver will have on adjacent properties?

Building will be built using colors to match the surroundings and look of the existing structures in the area.

7. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a
-----

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

REVISIONS	BY

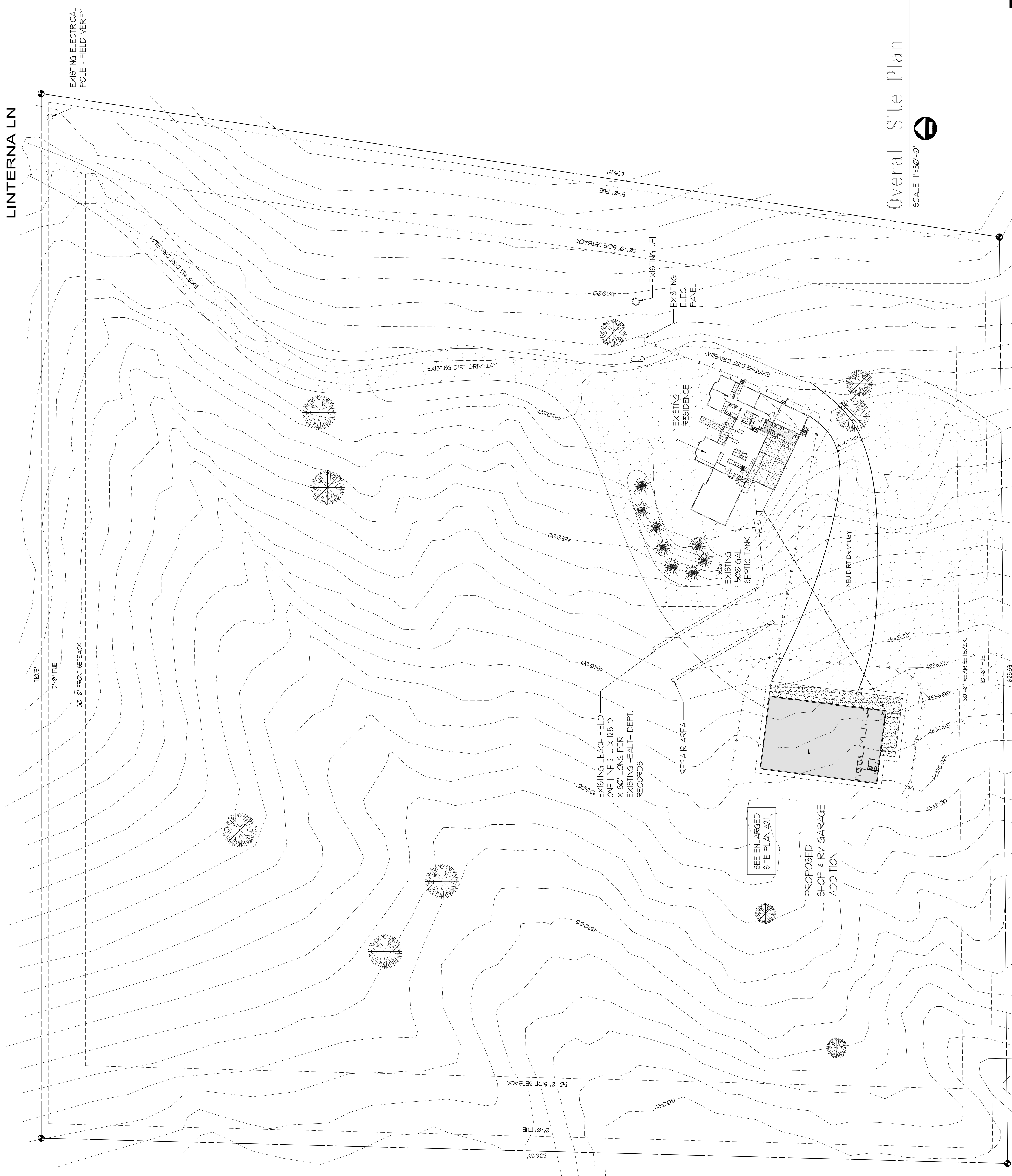
2135 GREEN VISTA DRIVE, SUITE# 107  
 SPARKS, NEVADA 89431  
 775-333-5211 (PHONE)  
 E-MAIL: infinityreno@gmail.com  
**Infinity**  
 ENGINEERING INC.

PROFESSIONAL ENGINEER  
 WASEEM AKHTAR  
 No. 123124  
 CIVIL  
 STATE OF NEVADA  
 1-4-23

**OVERALL SITE PLAN**  
 KOSIN RESIDENCE  
 745 LINTERNA LANE  
 WASHOE COUNTY, NEVADA 89441

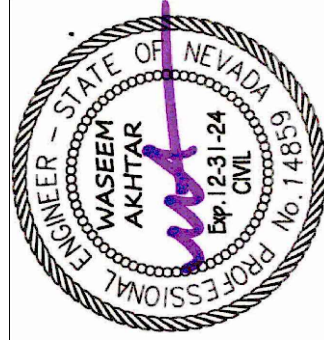
APPROVAL	
FOR JURISDICTION	
DRAWN BY:	WA
JOB #	22-1633
DATE	1-4-23
SCALE	

A2.0



REVISIONS	BY

213 GREEN VISTA DRIVE, SUITE# 107  
 SPARKS, NEVADA 89431  
 725-333-5211 (PHONE)  
 E-Mail: infinityreno@gmail.com

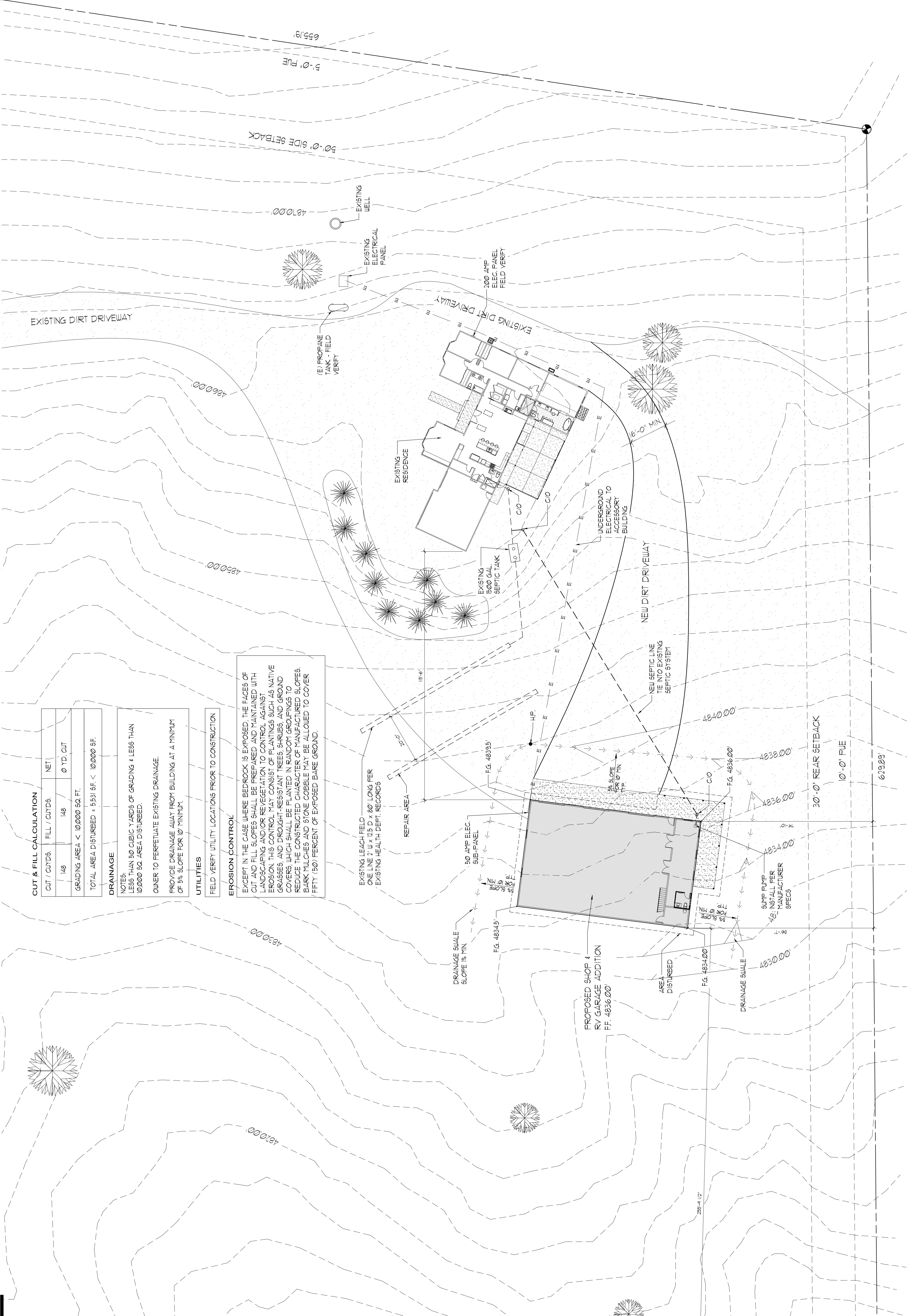


1-4-23

ENLARGED SITE PLAN  
 KOSIN RESIDENCE  
 SHOP & RV GARAGE ADDITION  
 745 LINTERNA LANE  
 WASHOE COUNTY, NEVADA 89441

DRAWN BY: WA	JOB # 22-1633	DATE 1-4-23	SCALE
FOR JURISDICTION			
APPROVAL			

A2.1



**CUT & FILL CALCULATION**

CUT / CUTDS.	FILL / CUTDS.	NET
148	148	0 YD. CUT

GRADING AREA < 10,000 SQ. FT.  
 TOTAL AREA DISTURBED = 5231 SF < 10,000 SF.

**DRAINAGE**  
 NOTES:  
 LESS THAN 50 CUBIC YARDS OF GRADING & LESS THAN 10,000 SQ. AREA DISTURBED.  
 OWNER TO PERPETUATE EXISTING DRAINAGE.  
 FRODO/DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 3% SLOPE FOR 10' MINIMUM.

**UTILITIES**  
 FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION

**EROSION CONTROL**  
 EXCEPT IN THE CASE WHERE BEDROCK IS EXPOSED, THE FACES OF CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED WITH LANDSCAPING AND/OR REVEGETATION TO CONTROL AGAINST EROSION. THIS CONTROL MAY CONSIST OF PLANTINGS SUCH AS NATIVE GRASSES, AND DROUGHT-RESISTANT TREES, SHRUBS, AND GROUND COVERS WHICH SHALL BE PLANTED IN RANDOM GROUPINGS TO REDUCE THE CONSTRUCTED CHARACTER OF MANUFACTURED SLOPES. BARK MULCHES AND STONE COBBLE MAY BE ALLOWED TO COVER FIFTY (50) PERCENT OF EXPOSED BARE GROUND.

EXISTING LEACH FIELD  
 ONE LINE 2' W X 12.5' D X 80' LONG PER  
 EXISTING HEALTH DEPT. RECORDS

REPAIR AREA  
 20'-0"

50 AMP ELEC. SUB-PANEL  
 15'-0"

PROPOSED SHOP & RV GARAGE ADDITION  
 FF. 4836.00

AREA DISTURBED  
 15'-0"

DRAINAGE SWALE  
 SLOPE 1% MIN.

30'-0" REAR SETBACK  
 10'-0" FUE

Enlarged Site Plan

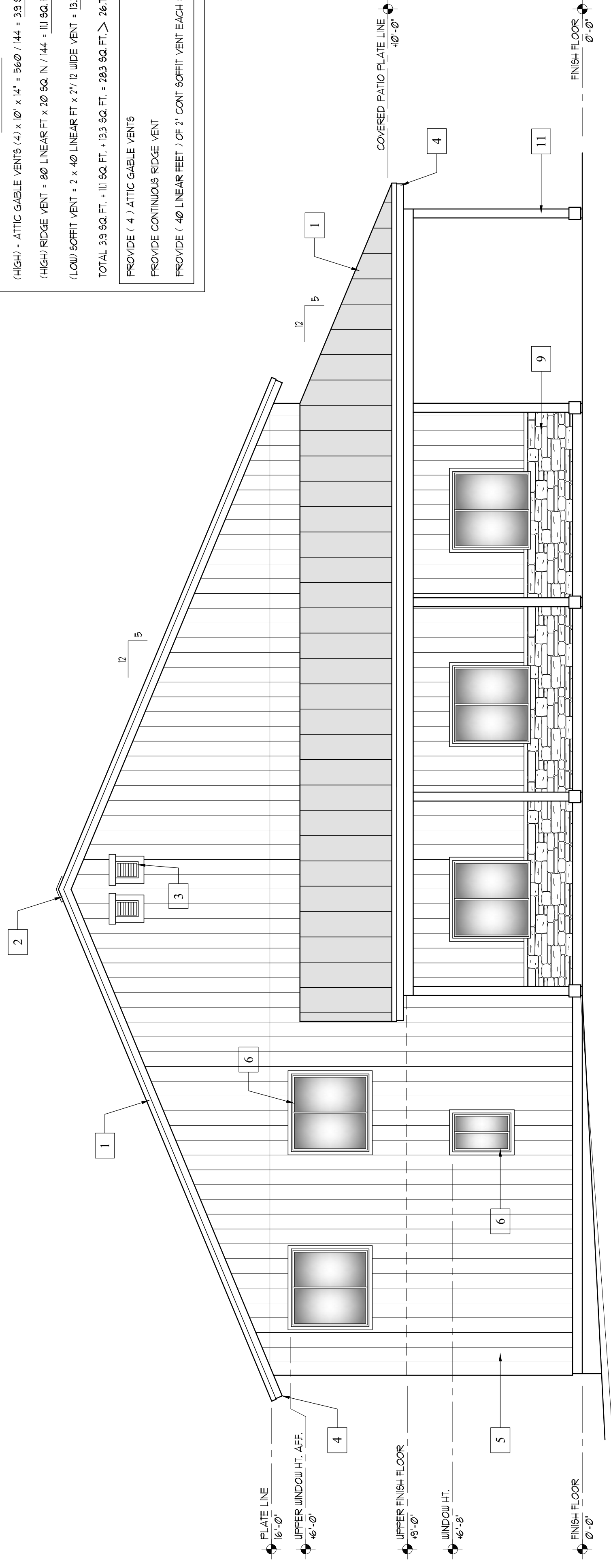


SCALE: 1"=20'-0"



ATTIC VENT CALCULATIONS

ATTIC VENTILATION CALCULATIONS  
PER IRC 2018 R502.6.1 & R502.6.2  
ROOF AREA = 4,000 SF / 50 = 261.50 FT. REQ.  
(HIGH) - ATTIC GABLE VENTS  $(41' \times 10' \times 14' + 56.0' / 144 + 33.50 \text{ FT.})$   
(HIGH) RIDGE VENT = 60 LINEAR FT.  $(20.50 \text{ IN.} / 144 + 111.50 \text{ FT.})$   
(LOW) SOFFIT VENT = 2 x 40 LINEAR FT.  $(27' / 2 \text{ WIDE VENT} + 133.50 \text{ FT.})$   
TOTAL 33.50 FT. + 111.50 FT. + 133.50 FT. = 283.50 FT. > 261.50 FT. OK  
PROVIDE (4) ATTIC GABLE VENTS  
PROVIDE CONTINUOUS RIDGE VENT  
PROVIDE (40) LINEAR FEET / OF 2" CONT SOFFIT VENT EACH SIDE OF BUILDING MIN.



South Elevation  
SCALE: 1/4"=1'-0"

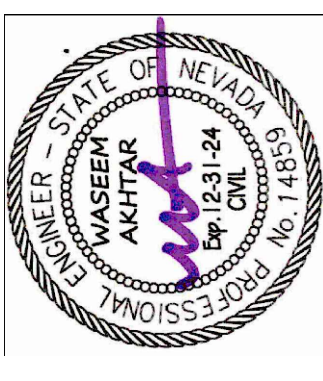
ELEVATION MATERIALS LIST

- 1 STANDING BEAM METAL ROOFING. STANDING BEAM METAL ROOFING OVER 30" APPROVED FELT. INSTALL PER MFG. REQ. SHALL CONFORM TO 2018 IRC SECTION 905.4.905.10
  - 2 RIDGE ROOF VENT. COR-A-VENT V-600T OR EQ. - SEE AS-D - INSTALL PER MFG. SPECIFICATIONS
  - 3 GABLE END ROOF VENT. VENT OPENING SIZE SHALL NOT EXCEED 1/4 SQ. IN. PROVIDE CORROSION RESISTANT WIRE MESH 1/4" MAX OPENING
  - 4 FASCIA. 2 x 8 1/2" x SHINGLE HOLD 4 DRIP EDGE
  - 5 EXTERIOR SIDING. 8" VERT METAL SIDING OVER SHEAR PL. 1/2". - INSTALL PER MFG. SPECIFICATIONS + SEE STRUCTURAL
  - 6 EXTERIOR WINDOWS. PER PLAN 1/4" METAL TRIM. DOUBLE PANE. LOW E. U.FACTOR OF 0.31 OR BETTER
  - 7 EXTERIOR DOORS. PER PLAN - SOLID WOOD OR HOLLOW METAL
  - 8 EXTERIOR GARAGE DOORS. PER PLAN - INSULATED OVERHEAD GARAGE DOORS. INSTALL PER MFG. SPECIFICATIONS
  - 9 STONE VENEER. TOLORADO STONE OR EQ. VENEER. 1/2" DEEP SCORED 4 CAP ATTACH VENEER PER 2018 IRC SECTION R103.2
  - 10 CONCRETE PATIO. EXTERIOR CONCRETE PATIO @ GRADE. - SEE STRUCTURAL
  - 11 COESED PATIO EDGE. 6 x 6 POST. - SEE STRUCTURAL 1/2" x 8 BOTTOM TRIM. T.T.P.
- NOTE:  
CONTRACTOR TO VERIFY ALL EXTERIOR FINISHES W/ OWNER PRIOR TO CONSTRUCTION.

ELEVATION NOTES

ATTIC VENTILATION: 2018 IRC R502.6.2  
MINIMUM VENT AREA: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/60 OF THE AREA OF THE VENTED SPACE.  
NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE.  
DRAINAGE  
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'-0".  
EXTERIOR FINISHES:  
ALL EXTERIOR PAINT COLORS, STAINS, TEXTURES ETC. VERIFY W/ OWNER  
FLASHING:  
ALL METALS AND FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT SURFACES  
THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BUILDING ENVELOPE.

**Infinity**  
ENGINEERING INC.  
E-Mail: [Infinityrno@gmail.com](mailto:Infinityrno@gmail.com)  
775-333-5211 (PHONE)  
SPARKS, NEVADA 89431  
2135 GREEN VISTA DRIVE, SUITE# 107

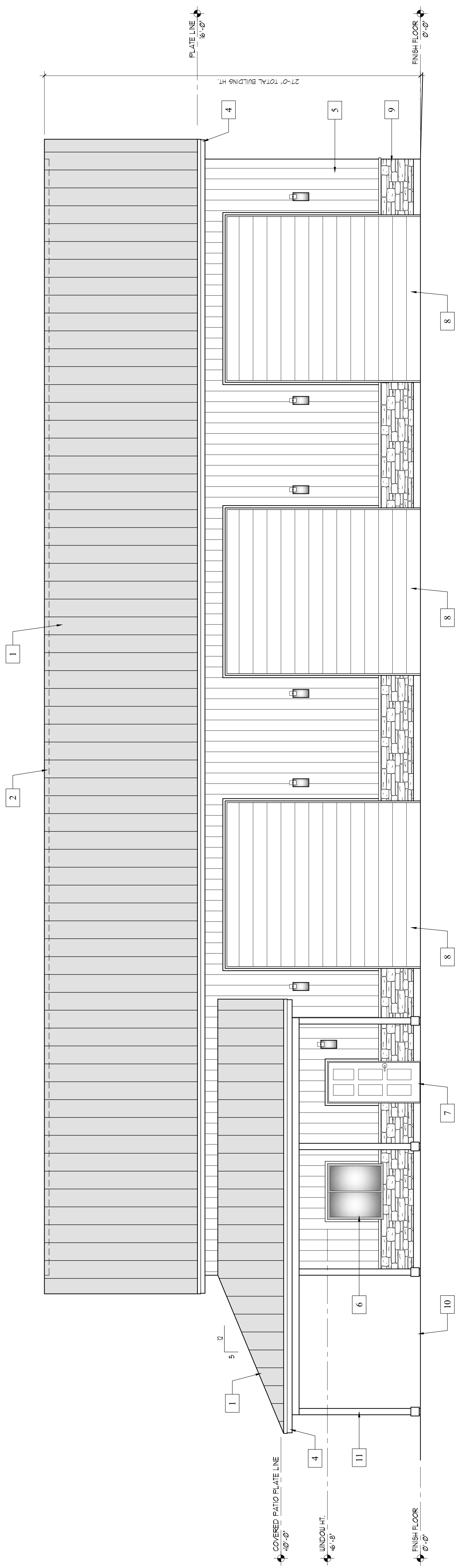


**ELEVATIONS**  
KOSIN RESIDENCE  
745 LINTERNA LANE  
WASHOE COUNTY, NEVADA 89441

<b>DRAWN BY:</b> WJA
<b>JOB #</b> 22-1633
<b>DATE</b> 1-4-23
<b>SCALE</b>

FOR JURISDICTION  
APPROVAL

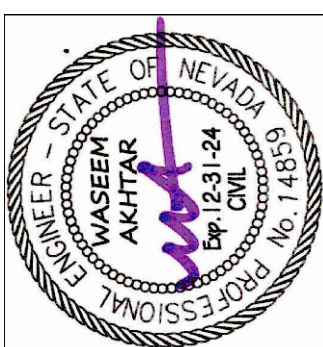
A4.0



East Elevation  
SCALE: 1/4"=1'-0"

REVISIONS	BY

213 GREEN VISTA DRIVE, SUITE# 107  
 SPARKS, NEVADA 89431  
 775-333-3211 (PHONE)  
 E-Mail: [Infinityrno@gmail.com](mailto:Infinityrno@gmail.com)



1-4-23

**ELEVATIONS**  
 KOSIN RESIDENCE  
 745 LINTERNA LANE  
 WASHOE COUNTY, NEVADA 89441

<b>DRAWN BY:</b> WJA
<b>JOB #</b> 22-1633
<b>DATE</b> 1-4-23
<b>SCALE</b>

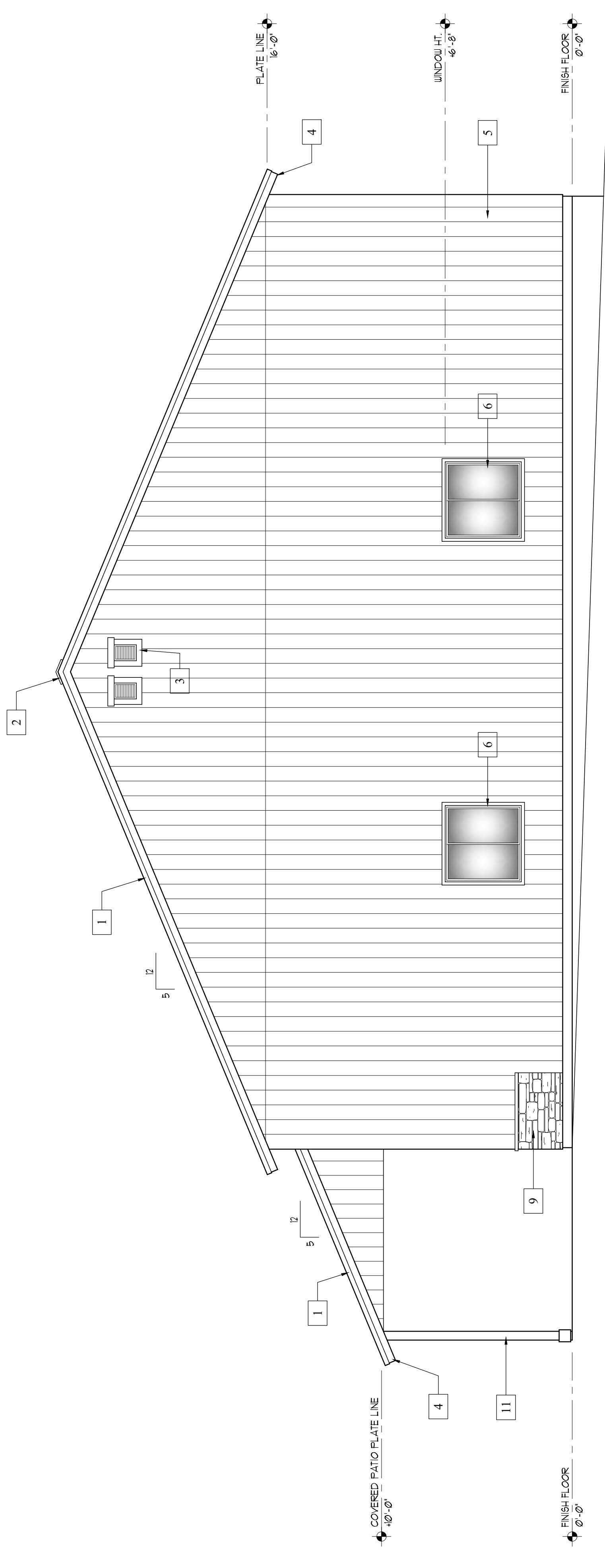
FOR JURISDICTION  
 APPROVAL

A4.1

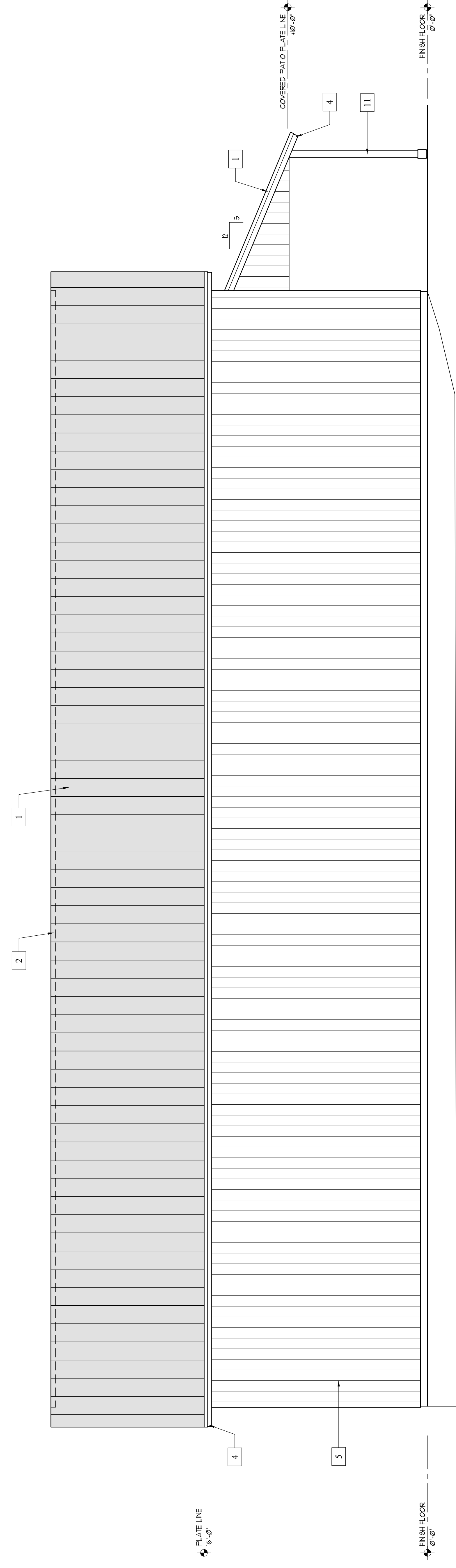
**ELEVATION MATERIALS LIST**

- 1 STANDING SEAM METAL ROOFING. STANDING SEAM METAL ROOFING OVER 300 APPROVED FELT - INSTALL PER MFG REQ. SHALL CONFORM TO 209 IRC SECTION 905.1.305.10
  - 2 RIDGE ROOF VENTS. COR-A-VENT 1/4-600T OR EQ. - SEE ASO - INSTALL PER MFG SPECIFICATIONS
  - 3 GABLE END ROOF VENT. VENT OPENING SIZE SHALL NOT EXCEED 44 SQ. IN. PROVIDE CORROSION RESISTANT WIRE MESH W/ 1/4" MAX OPENING
  - 4 FASCIA. 2 x 8 W/ 1 x SHINGLE MOLD 4 DRIP EDGE
  - 5 EXTERIOR SIDING. 8" VERT METAL SIDING OVER SHEAR PLATE. - INSTALL PER MFG SPECIFICATIONS & SEE STRUCTURAL
  - 6 EXTERIOR WINDOWS. PER PLAN W/ 4" METAL TRIM. DOUBLE PANE LOWE. U FACTOR OF 0.34 OR BETTER
  - 7 EXTERIOR DOORS. PER PLAN - SOLID WOOD OR HOLLOW METAL
  - 8 EXTERIOR GARAGE DOORS. PER PLAN - INSULATED OVERHEAD GARAGE DOORS. INSTALL PER MFG SPECIFICATIONS
  - 9 STONE VENEER. 'ELDORADO STONE' OR EQ. VENEER W/ DEEP SKEED & CAP. ATTACH VENEER PER 209 IRC SECTION R1023.2
  - 10 CONCRETE PATIO. EXTERIOR CONCRETE PATIO 0' GRADE - SEE STRUCTURAL
  - 11 COVERED PATIO ROBEI. 6 x 6 POST - SEE STRUCTURAL W/ 1 x 8 BOTTOM TRIM. TYP.
- NOTE: CONTRACTOR TO VERIFY ALL EXTERIOR FINISHES W/ OWNER PRIOR TO CONSTRUCTION.

NOTE:  
 SEE A4.0 FOR ADDITIONAL NOTES & INFORMATION



**North Elevation**  
 SCALE: 1/4"=1'-0"



**West Elevation**  
 SCALE: 1/4"=1'-0"