



Board of Adjustment Staff Report

Meeting Date: March 2, 2023

Agenda Item: 8E

SPECIAL USE PERMIT CASE NUMBER:

WSUP23-0001 (Chocolate Drive)

ADMINISTRATIVE PERMIT CASE NUMBER:

WADMIN22-0029 (Chocolate Drive)

BRIEF SUMMARY OF REQUEST:

To approve a multi-family use type and associated grading, with modification requests.

STAFF PLANNER:

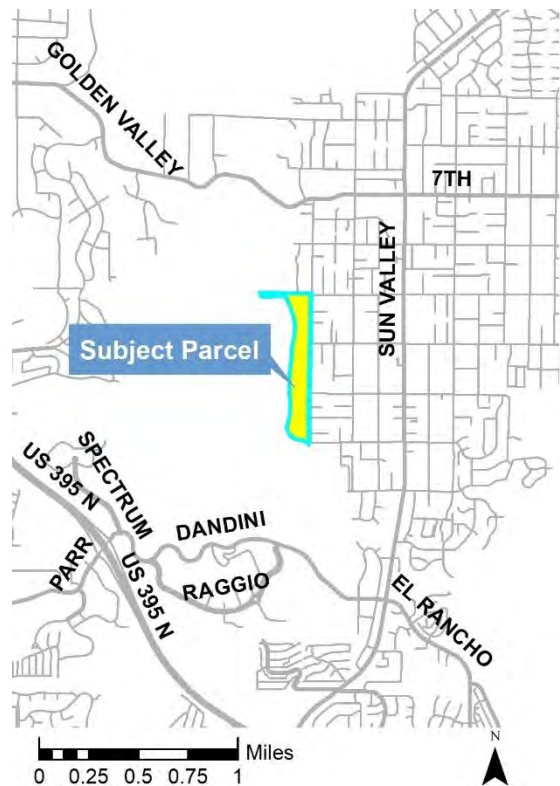
Chris Bronczyk, Senior Planner
Phone Number: 775.328.3612
E-mail: cbronczyk@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve an administrative permit for a proposed multi-family residential use type consisting of twenty 2-story buildings (240 units) with associated amenities such as a playground, clubhouse, covered and garage parking spaces, and swimming pool; and to approve a special use permit for major grading and associated modifications to Article 438, Grading Standards and Article 412, Landscaping. The project triggers the following major grading thresholds, Section 110.438.35.(a)(1)(i)(C), (1)(ii)(A), (2)(i)(C), and (2)(ii)(A). The project is proposing grading on slopes less than and greater than fifteen (15) percent on approximately 25.13 acres across APN's 502-250-09 and 502-250-10. The total grading proposed is 156,688 cy of cut, 43,512 cy of fill, and 113,175 cy of export.

The modifications being requested are to Section 110.412.60(k)(4) to reduce the required turf area to 21%, to Section 110.438.60 to allow grading within 2-feet of the setback for proposed Chocolate Drive improvements, and Section 110.438.45(c) for finish grading to vary from the natural slope by more than ten (10) feet in elevation.

Applicant / Property Owner:	Chocolate Group, LLC
Location:	0 W Gepford Pkwy, Sun Valley, NV 89433
APN:	502-250-09; 502-250-10
Parcel Size:	45.51 acres; 2.75 acres
Master Plan:	Urban Residential (UR); Rural (R); Open Space (OS)
Regulatory Zone:	Medium Density Urban (MDU); Open Space (OS);
Area Plan:	Sun Valley (SN)
Development Code:	Authorized in Article 810, Special Use Permits
Commission District:	3 – Commissioner Garcia



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

ADMINISTRATIVE PERMIT POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN22-0029 for Pedcor Investments, LLC, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

(Motion with Findings on Page 32)

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

SPECIAL USE PERMIT POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP23-0001 for Pedcor Investments, LLC, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

(Motion with Findings on Page 33)

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Administrative Permit

The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN22-0029 is attached to this staff report and will be included with the action order, if approved.

The subject property has a regulatory zone of Medium Density Urban (MDU), which allows for multi-family use types subject to the approval of an administrative permit. The setbacks for MDU are 15-feet in the front yard setback, 20-feet in the rear yard setback, and 5-feet for the side yard setbacks.

Special Use Permit

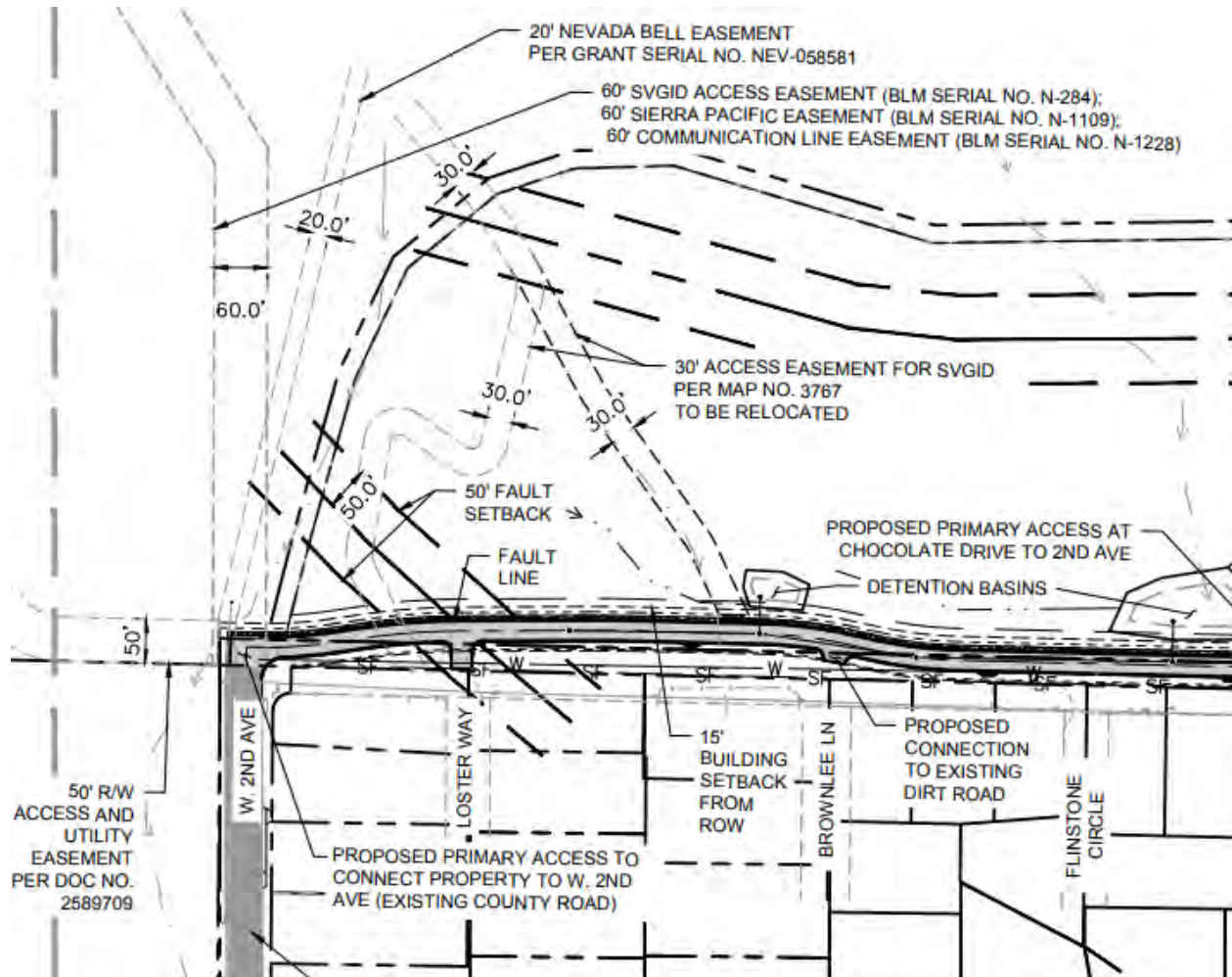
The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

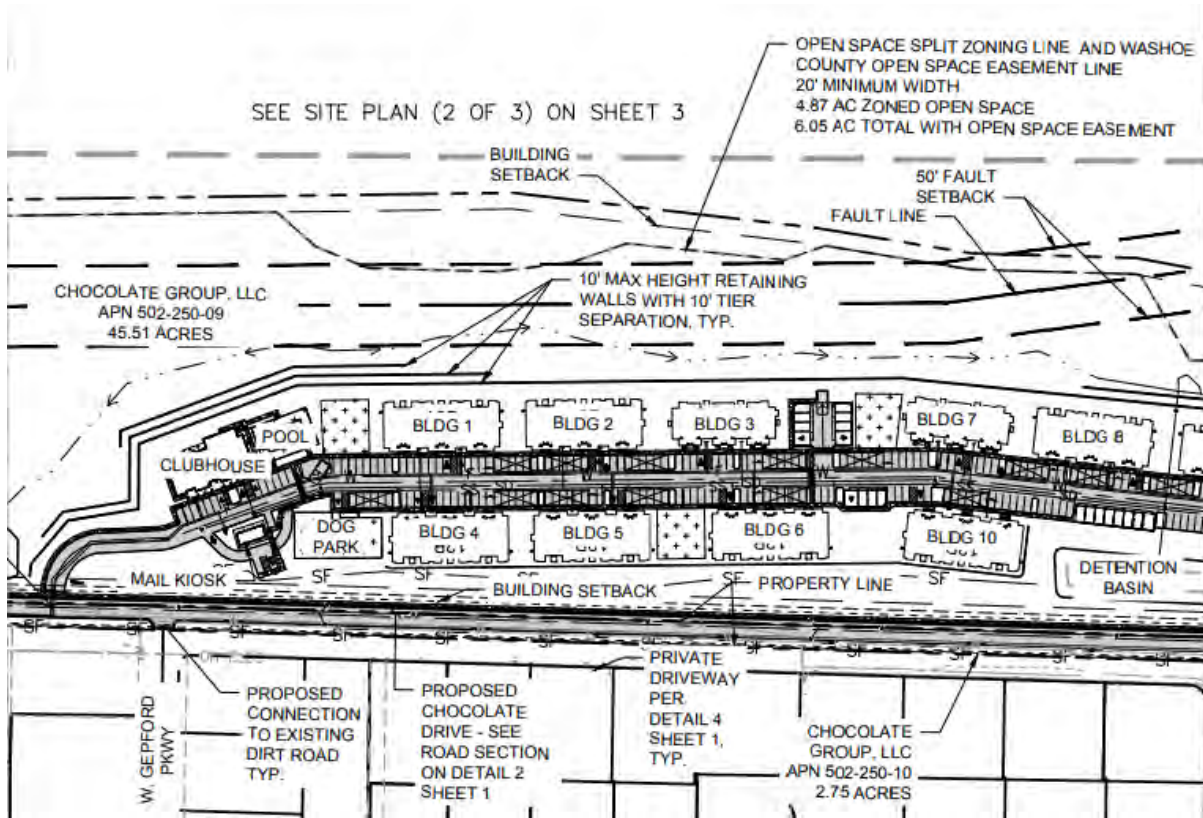
The conditions of approval for Special Use Permit Case Number WSUP23-0001 are attached to this staff report and will be included with the action order.

Additionally, Article 810, Special Use Permits, allows the Board of Adjustment to vary development code standards in conjunction with the approval process per WCC 110.810.20(e). The Board of Adjustment will be ruling on the requests to vary standards below:

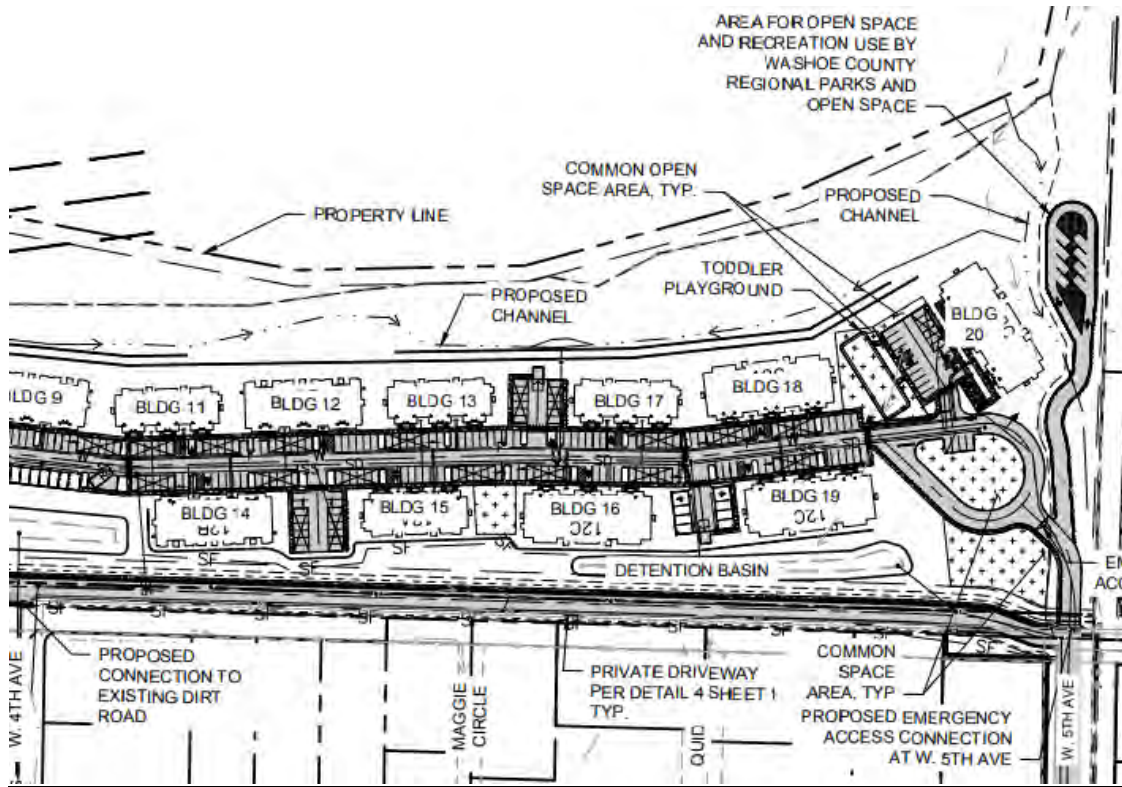
Variances Requested	Relevant Code
Multi-family residential use types, turf areas shall be provided at a minimum of fifty (50) percent of the required landscaping area.	Section 110.412.60(k)(4)
Finish grading shall not vary from the natural slope by more than ten (10) feet in elevation.	Section 110.438.45(c)
Grading setback for top of cut slope.	Section 110.438.60(a)
Grading setback for top of fill slope.	Section 110.438.60(b)



Site Plan (1 of 3)



Site Plan (2 of 3)



Site Plan (3 of 3)

Staff Recommendation

As part of the special use permit process, the applicant can ask to vary standards to the development code, and staff in their review can support these requests and recommend approval to the Board of Adjustment. In this specific case, the applicant is asking to vary numerous standards of code as part of the SUP application process. Staff is recommending **approval** of Special Use Permit Case Number WSUP23-0001 and the associated varying standards, and staff is recommending **approval** of Administrative Permit Case Number WADMIN22-0029.

Requests

The applicant has multiple requests associated with the submitted application package. The requests are outlined below.

- An Administrative Permit for a proposed multi-family apartment complex consisting of twenty 2-story buildings (240 units) with a clubhouse and swimming pool, covered and garage parking spaces, mail kiosk, playground, and recreational amenities.
- A Special Use Permit for major grading due to the following thresholds being triggered.
 - **Section 110.438.35(a)(1)**: Grading on slopes of less than (flatter than) fifteen (15) percent.
 - **Section 110.438.35 (a)(1)(i)(C)**: Grading of an area of more than four (4) acres on a parcel of any size; or
 - **Section 110.438.35 (1)(ii)(A)**: Excavation of five thousand (5,000) cubic yards or more whether the material is intended to be permanently located on the project site or temporarily stored on a site for relocation to another, final site, or;
 - **Section 110.438.35(a)(2)**: Grading on slopes of fifteen (15) percent or greater (steeper):
 - **Section 110.438.35 (2)(i)(C)**: Grading of more than two (2) acres on any size parcel; or
 - **Section 110.438.35 (2)(ii)(A)**: Excavation of one thousand (1,000) cubic yards or more whether the material is intended to be permanently located on the project site or temporarily stored on a site for relocation to another, final site, or;

As part of the special use permit request for major grading, the applicant is also requesting to modify standards within Article 438, Grading Standards, and Article 412, Landscaping. The requested modifications are outlined below.

- **Section 110.412.60(k)(4)**: In multi-family residential use types, turf areas shall be provided at a minimum of fifty (50) percent of the required landscaping area in a practical configuration for recreational uses and shall be balanced with other landscaping materials.
- **Section 110.438.45(c)**: Finish grading shall not vary from the natural slope by more than ten (10) feet in elevation. Exposed finish grade slopes greater than ten (10) feet in height may be allowed upon the approval of a director's modification of standards by the Director of Community Development upon recommendation by the County Engineer.

- **Section 110.438.60(a):** Top of Cut Slope. The top of cut slopes shall not be made nearer to a site boundary line than one-fifth (1/5) of the vertical height of cut with a minimum of two (2) feet and a maximum of ten (10) feet. The setback may need to be increased for any required interceptor drains.
- **Section 110.438.60(b):** Toe of Fill Slope. The required setback from the toe of the slope to the site boundary line shall be one-half (1/2) the height of the slope with a minimum of two (2) feet and a maximum required setback not to exceed twenty (20) feet. Where a fill slope is to be located near the site boundary and the adjacent off-site property is developed, special precautions shall be incorporated in the work as the Building Official or County Engineer deems necessary to protect the adjoining property from damage as a result of such grading.

Background

In 2015, Policy SUN.1.3 within the Sun Valley Area Plan was amended to allow the Medium Density Urban (MDU) regulatory zone within the Sun Valley Suburban Character Management Area (SVSCMA).

In 2022, a master plan amendment and regulatory zone amendment for the 45.51-acre parcel (APN: 502-250-09) was submitted under the case numbers WMPA22-0003 and WRZA22-0003 (Chocolate Drive). The request was to change the master plan designation from Suburban Residential (SR) to Urban Residential (UR) and Open Space (OS); and to change the regulatory zone from Medium Density Suburban (MDS) to Medium Density Urban (MDU) and Open Space (OS). The Master Plan Amendment request was approved by the Regional Planning Commission (RPC) on August 25, 2022, under case number (CR22-007).

Analysis

The applicant is proposing a multi-family apartment development consisting of twenty 2-story apartment buildings, with a total of 240 units. The apartment development will also contain amenities such as a club house, swimming pool, covered parking spaces, garages, mail kiosk, playground, dog park, and recreational amenities.

The applicants were awarded \$200,000 from the Washoe County HOME Consortium in 2022. The HOME funds issuance requires a Land Use Restriction Agreement (LURA) recorded on the land that would ensure restricted rents for a combined minimum of 30 years for this development.

The subject parcels are a 45.51-acre parcel (APN: 502-250-09) and a 2.75-acre parcel (APN: 502-250-10). The 45.51-acre parcel has a master plan designation of Urban Residential (UR) and Open Space (OS) and the 2.75-acre parcel has a master plan designation of Rural (R). The regulatory zone for the 45.51-acre parcel is split zoned, with 40.64 acres of Medium Density Urban (MDU - up to 21 du/acre) and 4.87 acres of Open Space (OS). The regulatory zone for the 2.75-acre parcel is General Rural (GR – 1 du/40acre). The open space portion of the larger parcel is an irregular shape, which is a minimum of 20-feet along the entire border of the property, the intent is to further protect the adjacent Red Hill Open Space area from encroaching development.

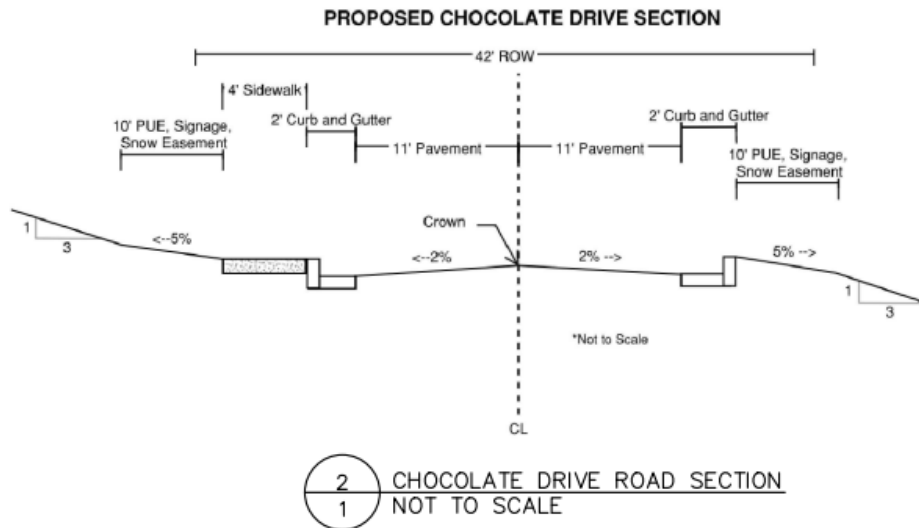
The site is currently vacant with dirt roadways and some existing utilities (water, electric, and gas). The site has varied topography with 43% of the site containing slopes of 15% or greater and the remainder of the site being 0-15% slopes. To the north of the subject site are vacant parcels and

single-family residences with regulatory zones of medium and low density suburban. To the south and west is Red Hill Open Space and to the east are single family residences with a regulatory zone of medium density suburban.

The parcels are located within the Sun Valley General Improvement District (SVGID) service area, and water and sewer service will be provided by SVGID. The applicant provided the SVGID Preliminary Water and Wastewater Capacity Report dated September 2022, as part of the application submittal. The study indicates that there is adequate storage volume in the southern/central/chocolate zone tanks that serve the development, and that the Chocolate Storage Tank itself is the one the development will mainly utilize. The Chocolate Storage Tank is directly adjacent to the development. The SVGID wastewater treatment capacity report indicates ample capacity available to serve the development.

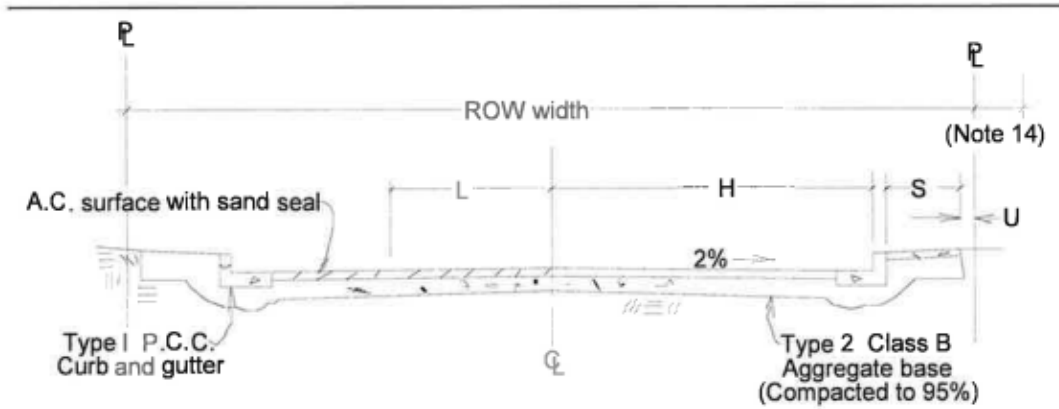
Chocolate Drive

Chocolate Drive is located on APN’s 592-250-09 and 502-250-10. The project as submitted is proposing to pave Chocolate Drive to replace the existing dirt access that is currently Chocolate Drive. The applicant intends to build the new roadway to Washoe County Standards. The road is intended to be crowned with curb, gutter, and sidewalks which will be located along the west side. These improvements will be done along the entirety of the proposed road. The applicants intend to dedicate this road to Washoe County in the future. Driveways to eighteen (18) residences and curb returns at major intersections will be provided along Chocolate Drive as required by the Washoe County Engineering and Capital Projects Division.



In November 2022, Washoe County Engineering and Capital Projects sent a memorandum to the applicants outlining the roadway requirements for Chocolate Drive. Chocolate Drive is intended to be paved from West 2nd Avenue to West 5th Avenue and will be required to meet Washoe County Standards in accordance with “Roadway Sections – B”.

Table 110.436.25.2
ROADWAY SECTIONS - B
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES LESS THAN 0.5 ACRES



ROW	H	S	U	L	B	PL	ADT Maximum per 2 Travel Lanes	Remarks
52	20	5	0.5	12	4	0	9,600	Collector
42	16	4	0.5	11	0	2	1,000	Local

The Local 42-foot right-of-way section shall apply to Chocolate Drive with 4 inch thick AC paving, curb, gutter, sidewalk, and crowned roadway section. In their memo, Engineering states that they would allow for a reduction in width of asphalt paving by removing on-street parking to reduce the asphalt width to 22 feet from 27 feet. In this instance, no parking signs would be required on both sides of the road, but the 42-foot right-of-way section would remain the same. The memo states that concrete driveway aprons for driveway access and curb returns will be required at the major roadway intersections to Chocolate Drive and constructed in accordance with Washoe County standard details and code requirements.

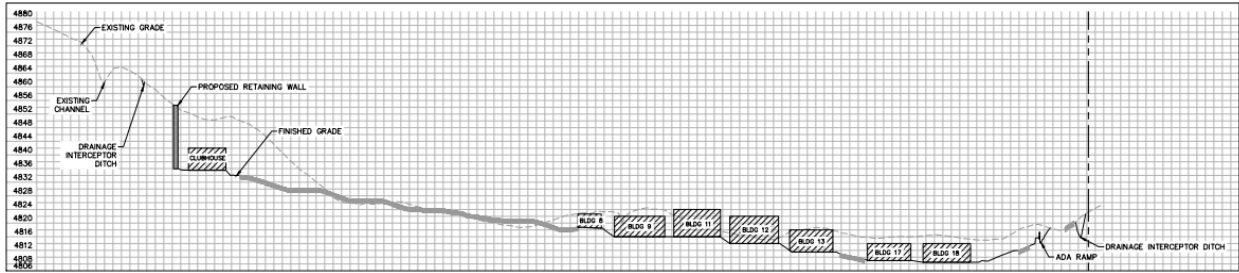
Grading

The application is proposing grading on a parcel with slopes of 15% or greater, which indicates that approximately ±1,095,000 sf (25.13 acres) of combined disturbance across APNs 502-250-09 and 502-250-10, with ±156,688 cy of cuts and ±43,512 cy of fill, and ±113,175 cy of grading to be exported from the site.

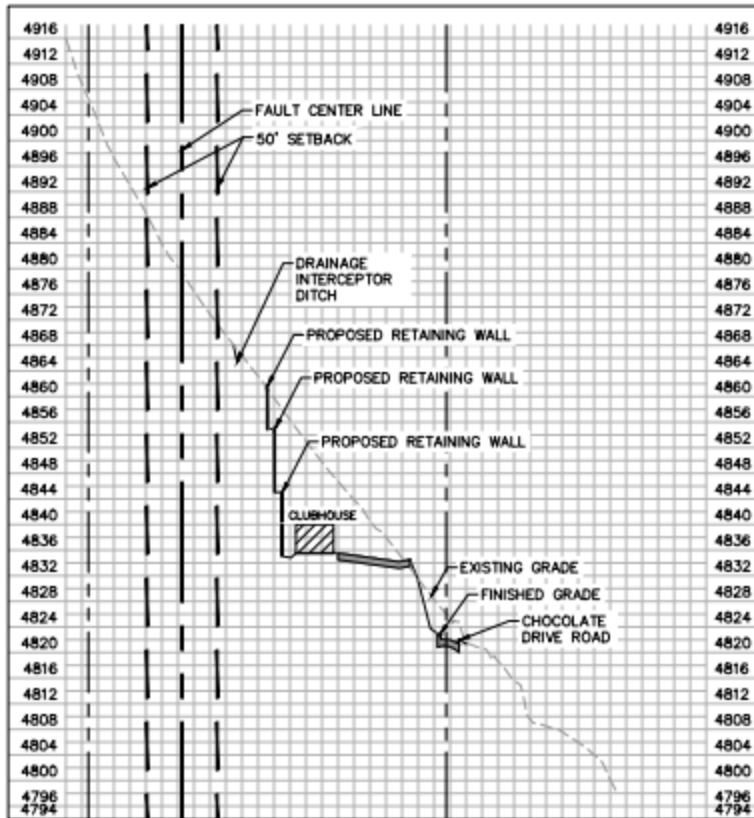
The proposed slopes across the site are proposed at three to one (3:1) which meets Washoe County Code. The only exception to this is for storm drainage improvements which will utilize two to one (2:1) slopes. The application states that a combination of best management practices (BMP's) will be utilized to prevent erosion on slopes. There are no berms proposed as part of the grading.

The application indicates that the grading will be visible from the properties along Chocolate Drive, from Lois Allen Elementary School, Sun Valley Boulevard, and 7th Avenue. The applicant provided a viewshed analysis as part of the application (Exhibit E).

The applicant is proposing retaining walls starting from the southern portion of the property near the proposed clubhouse and extending along the western portion of the project to proposed building 20, the northern most building of the proposed project. The application is also showing retaining walls along the eastern portion of the property between the proposed roadway and buildings. The application shows walls that will be 10 feet in max height and will include 10-foot-wide separation between retaining walls.

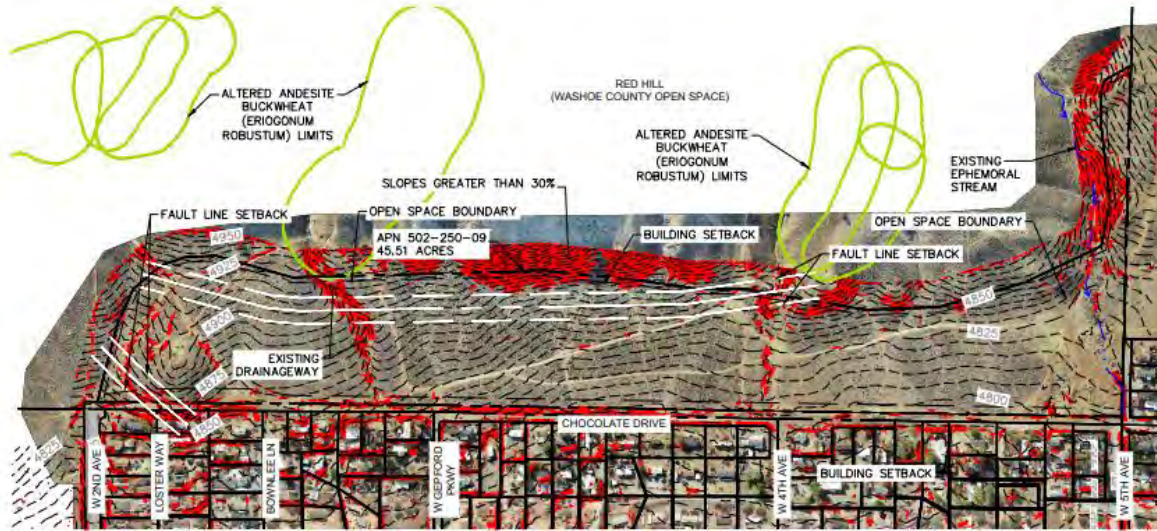


SECTION A
 1.0
 HORIZ. SCALE: 1" = 150' VERT. SCALE 1" = 10'



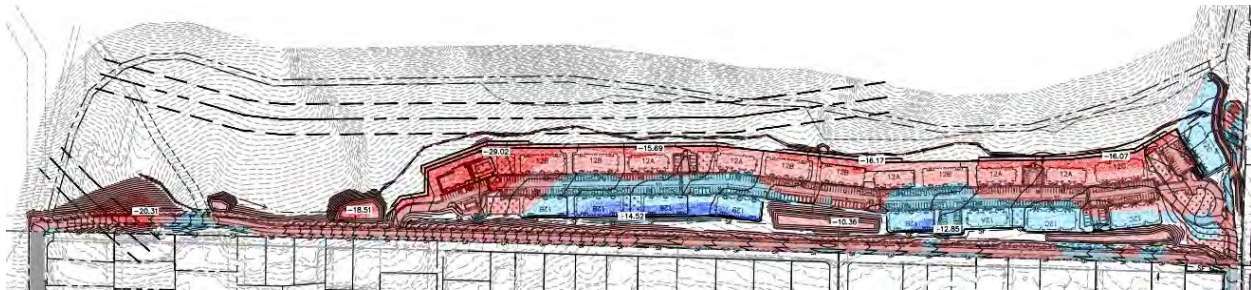
SECTION B
 2.0
 HORIZ. SCALE: 1" = 150' VERT. SCALE 1" = 10'

On the following developable areas map, the red areas indicate slopes of 30% or greater. Configuration of the multi-family development has been designed to avoid much of the 30% sloped areas, however significant grading is still required on this site to allow for development to occur. The developable areas map also outlines altered andesite buckwheat (*Eriogonum robustum*) limits. The proposed development will not impact the altered andesite buckwheat on the adjacent Red Hill Open Space property.



Developable Area Map

The applicant also provided a cut and fill analysis associated with the development. The light red identifies cuts of 0-10 feet, and the dark red identifies areas of cut that are 10 feet or greater. The light blue identifies fills of 0-10 feet, and the dark blue identifies areas of fill that are 10 feet or greater. The maximum fill slope is 15.86 feet and the maximum cut is 29.48 feet. Along the eastern part of the project area, cuts vary in height but max cuts along the east are shown to still be greater than 10 feet, with 2 additional areas providing 15.69 feet of cuts, and 16.17 feet of cuts. The detention basin in the central portion of the development requires cuts greater than 10 feet (10.36 feet), as well as the detention basin just south of the main entrance to the development (18.51 feet). Additionally, the new roadway will require a maximum cut of 20.31 feet at the very southern end of the property to accommodate the alignment along chocolate drive. Both attachments will be provided as exhibits for the Board to review, the Developable Area Map can be found as Exhibit I and the Cut and Fill Analysis can be found as Exhibit J.



Cut / Fill Analysis

Hillside Development

Article 424, Hillside Development is triggered as part of this administrative permit and special use permit requests due to the property containing slopes in excess of fifteen (15) percent or greater on 20 percent or more of the site, as stated in Section 110.424.05(a)(1). The applicant has provided a slope analysis exhibit to better illustrate the topography of the site (Exhibit F).

Article 423 is intended to regulate hillside development in a manner different from regulations that impact flat terrain. Article 424 outlines 8 primary roles that are intended to protect public health, safety, and welfare.

1. Minimizing use of slopes subject to instability, erosion, landslide, flood hazards or drainage problems.

Staff Comment: The proposed development will limit disturbance on steeper slopes on the southern end of the project site and will concentrate development to the northern end of the site, and that existing drainage areas have been avoided in proposed grading.

2. Minimizing the careless alteration of and disruption to the natural topography and landscape

Staff Comment: The applicant states that the proposed design will incorporate landscaping in accordance with Washoe County standards and that the grading and design is intended to limit disruption to the natural topography. The grading plans are proposing to utilize retaining walls to limit grading disturbance on the site. The applicant states that the proposed drainage improvements are intended to complement the existing terrain.

3. Providing safe and adequate vehicular and pedestrian access to and within hillside areas, including emergency access.

Staff Comment: The applicant states in the proposal that vehicular and pedestrian access will be provided along the proposed paved Chocolate Drive that will accommodate safer emergency access, utility access, and access to the proposed development. A sidewalk system will be provided along Chocolate Drive and throughout the development for the community. proposed easement for Washoe County Regional Parks and Open Space is provided for future connection to Red Hill at the northern end of the project site.

4. Establishing stormwater runoff and erosion control techniques to minimize adverse water quality impacts resulting from non-point runoff.

Staff Comment: The applicant states that there will be significant improvements to existing drainage patterns on-site and to downstream properties with the proposed design. The proposed design utilizes erosion control best management practices (BMP's) and will minimize water quality impacts from non-point runoff. The applicant also states that innovative grading techniques and building design proposed will respond to the hillside terrain and natural contours of the land.

5. Encouraging innovative grading techniques and building design which respond to the hillside terrain and natural contours of the land.

Staff Comment: The applicant states that the proposed design is in conformance with the site development and grading standards in Section 110.424.30 and 110.424.35, and that the building pads and heights will be varied to complement the existing slopes of the terrain.

6. Minimizing impacts on existing trees and vegetation which reduce erosion, stabilize steep hillsides, enhance visual quality, protect water quality and preserve critical watershed recharge areas.

Staff Comment: The applicant states that existing vegetation will be limited in impact and where necessary be replaced by similar type landscaping. The applicant also states that landscaping, limited grading, and erosion control measures are proposed in accordance with Washoe County standards.

7. Encouraging the transfer of density to avoid hazardous areas and to protect environmentally sensitive and open space areas.

Staff Comment: The applicant states that the density of the development is limited the flatter slope areas at the northern end of the site as much as possible. Additionally, the applicant states that the environmentally sensitive areas and open space areas have been avoided with the proposed design with a buffer of any proposed grading from these areas.

8. Minimizing impacts on prominent ridgelines, significant viewsheds, canyons and visually prominent rock outcroppings which reflect the visual value and scenic character of hillside areas.

Staff Comment: The applicant states that the proposed design will not impact any ridgelines, significant viewsheds, canyons or prominent rock outcroppings.

Building Elevations

The application states that there are three apartment building footprint concepts proposed for the development, and that all three concepts have been designed to blend in with the natural grade by varying building heights, terracing of building pads, and utilizing some stepped foundations. The 240-unit apartment community will provide a range of unit sizes, from 1-bedroom units to 3-bedroom units. The Sun Valley Area Plan, and Section 110.218.20 within the Washoe County Development Code limits all new residential, commercial, and industrial structures to two stories. The applicant states that the proposed buildings will adhere to these requirements. The maximum height for the three concepts are: Type A – 28 feet and 2 inches; Type B – 31 feet and 2 inches; Type C – 32 feet and 2 inches.

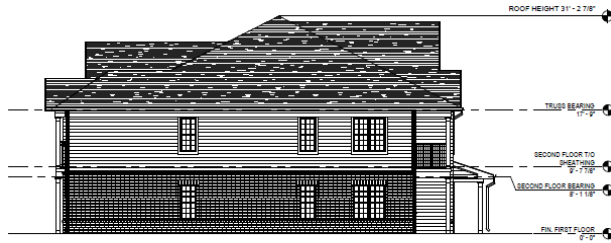
Building Concept Type 12A





1 BUILDING TYPE 12A FRONT ELEVATION
1/8" = 1'-0"

Building Concept Type 12B



3 BUILDING TYPE 2B - LEFT ELEVATION
1/8" = 1'-0"



4 BUILDING TYPE 2B - RIGHT ELEVATION
1/8" = 1'-0"

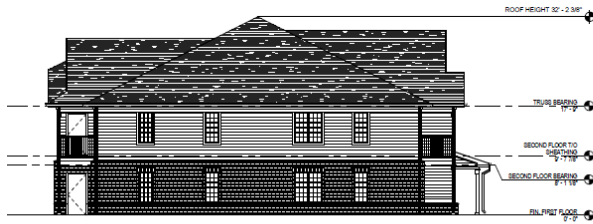


2 BUILDING TYPE 12B - REAR ELEVATION
1/8" = 1'-0"



1 BUILDING TYPE 12B - FRONT ELEVATION
1/8" = 1'-0"

Building Concept Type 12C



3 BUILDING TYPE 12C LEFT ELEVATION
1/8" = 1'-0"



4 BUILDING TYPE 12C RIGHT ELEVATION
1/8" = 1'-0"



2 BUILDING TYPE 12C REAR ELEVATION
1/8" = 1'-0"



1 BUILDING TYPE 12C FRONT ELEVATION
1/8" = 1'-0"

Clubhouse Elevation



4 CLUBHOUSE WEST ELEVATION
1/8" = 1'-0"



3 CLUBHOUSE SOUTH ELEVATION
1/8" = 1'-0"



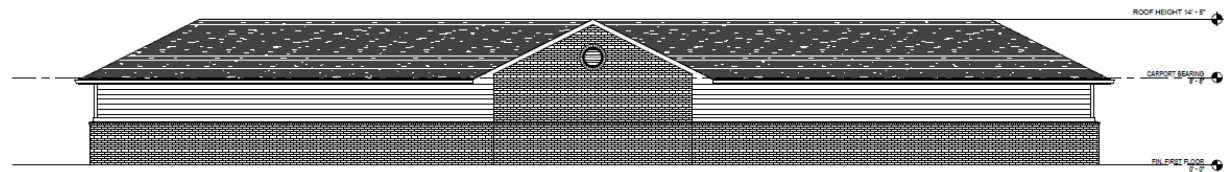
2 CLUB HOUSE NORTH ELEVATION
1/8" = 1'-0"



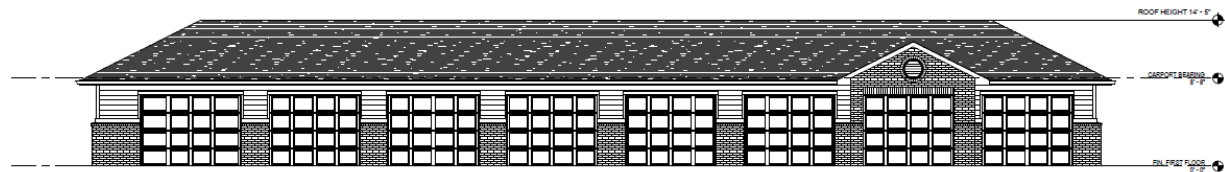
1 CLUBHOUSE EAST ELEVATION
1/8" = 1'-0"

The application includes three (3) garage concepts, an 8-bay garage concept and two (2) 4-bay garage concept.

8-Bay Garage Elevation

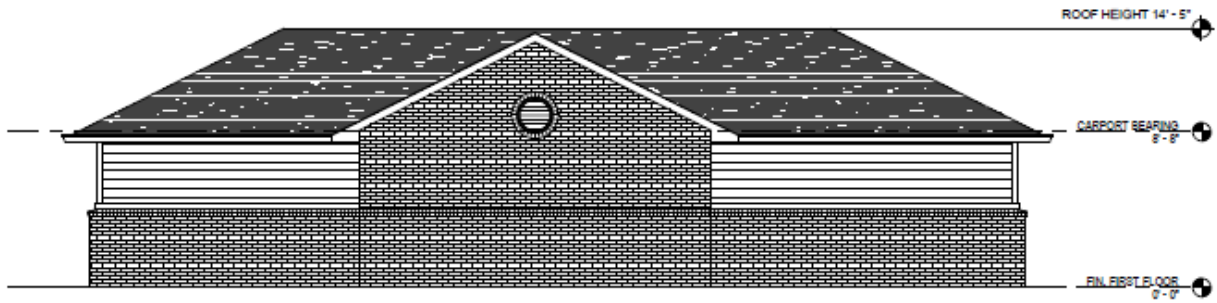


2 GARAGE REAR ELEVATION - 8 BAY
3/16" = 1'-0"



1 GARAGE FRONT ELEVATION - 8 BAY
3/16" = 1'-0"

4-Bay HC Garage Elevation

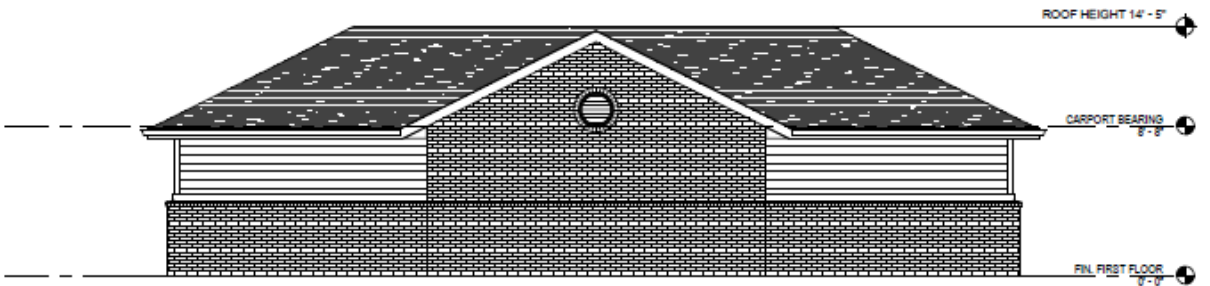


② GARAGE REAR ELEVATION - 4 BAY HC
3/16" = 1'-0"



① GARAGE FRONT ELEVATION - 4 BAY HC
3/16" = 1'-0"

4-Bay Standard Garage Elevation

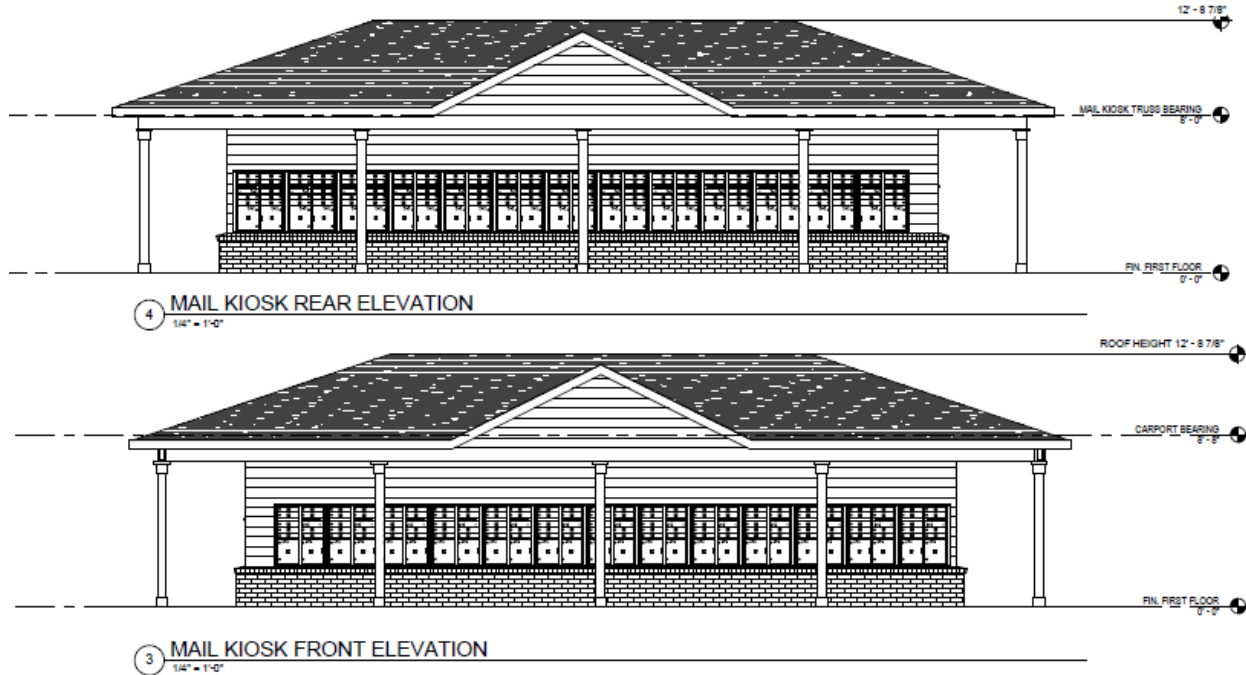


② GARAGE REAR ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"

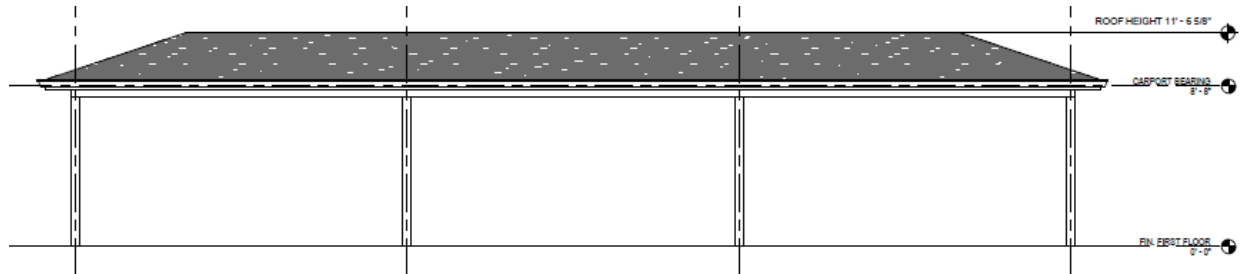


① GARAGE FRONT ELEVATION - 4 BAY STANDARD
3/16" = 1'-0"

Mail Kiosk Elevation



Carport Elevation



Landscaping

As part of the application package, a preliminary landscape plan was provided (Exhibit D). The applicant is proposing landscaping throughout the project and will contain a variety of trees and shrubs, along with amenity areas. The development code requires that 20% of the site be landscaped, which amounts to 3.43 acres (149,410 sf). The proposed landscaped area is estimated to be 6.94 acres (302,306 sf) or around 41% of the total disturbed area.

Section 110.412.60(k)(4) requires that in multi-family residential use types, that turf areas be provided at a minimum of 50% of the required landscaping area. However, as part of the SUP application the applicant has requested to modify this standard, which is explained in detail further in this staff report.

Article 412 also specifies that one (1) tree is required for every 300 square feet of planting area, one (1) tree per 10 parking spaces, one (1) tree per 50 linear feet of street frontage, and that six (6) shrubs are required per tree. The preliminary landscape plan provides the following:

Landscape Area Required	149,434 sf	Landscape Area Proposed	302,616 sf
Shrubs Required	3,270	Shrubs Proposed	3,270

Trees Required	545	Trees Proposed	545
Turf Grass Provided	31,989 sf (Approximately 21% of Required Landscape)		
Pool Area	3,456 sf		
Clubhouse Area	5,818 sf		
Dog Park Area	5,868 sf		
Playground and Tot Lot	3,741 sf		



Landscaping Plan Part 1



Landscaping Plan Part 2

Open Space Standards

Article 432, Open Space Standards established regulations to develop, preserve, and protect recreational and any environmentally sensitive open space areas within Washoe County. The intent of these regulations is to protect the public health, safety, and welfare by providing new recreation and scenic areas for the use and enjoyment of residents and visitors and establishing usable space and facilities for outdoor living and recreation. Within Article 432, there are sections of code that are specific to residential use types, the standards found within the residential sections are intended to serve the need for leisure, usable space, and recreation.

Section 110.432.15(b) requires a minimum of 200 sf of common open space per dwelling unit for developments of 12 or more units. The proposed development contains 200 units, therefore would be required to provide 48,000 sf of common open space. The applicant states that there will be approximately 50,258 sf of common open space provided, which exceeds the standards required. Per Article 432, common open space elements include the following: courtyards, large lawn areas, playgrounds, tennis courts, basketball courts, a swimming pool, or similar outdoor recreation facilities approved by the Director of Community Development. The common open space must be accessible to all units it serves.

Traffic

A traffic study, prepared by Kimley-Horn and Associates, Inc, was submitted as part of the application packet. The traffic study notes that regional access to the site will be from Sun Valley Blvd, and primary access to the project will be by Chocolate Drive and 2nd Avenue. Direct access to the site is intended to be provided by one full access driveway along Chocolate Drive, at the intersection of Chocolate Drive and Gepford Parkway. Emergency access is expected to be provided at the intersection of Chocolate Drive and 5th Avenue. The emergency access will be restricted with an emergency access gate.

The traffic study is dated for November 24, 2021 and identified 4 intersections for analysis.

- Chocolate Drive and 5th Avenue (#1)
- Sun Valley Boulevard and 5th Avenue (#2)
- Sun Valley Boulevard and 2nd Avenue (#3)
- Chocolate Drive and 2nd Avenue (#4)

It should be noted that Sun Valley Blvd is a Nevada Department of Transportation (NDOT) road that is officially designated as State Route 443 (SR-443). The traffic study indicates that upon full buildout of the proposed multi-family development it is anticipated to generate approximately 96 AM peak hour trips and approximately 122 PM peak hour trips to the surrounding road network. The traffic study makes the following recommendations to the developer due to the anticipated generated traffic volumes.

- The developer is recommended to install R1-1 “STOP” signs with appropriate pavement markings for the egressing access drive approaches along Chocolate Drive per current Manual on Uniform Traffic Control Devices (MUTCD) Guidelines.
- All on-site and off-site signing and striping improvements should be incorporated into the Civil Drawings and conform to the current MUTCD, as applicable.
- The developer is recommended to install R11-3a “Local Traffic Only” sign at the intersection of Chocolate Drive and Gepford Parkway to discourage residents of the multifamily development from exiting from 5th Avenue.
- The intersection of Sun Valley Boulevard and 2nd Avenue (#3) operates at LOS D in the Background AM and PM peak hour scenarios. With optimized signal timing, the intersection operates at LOS C in the 2025 Background plus Project AM and PM peak hours. Therefore, it is recommended that the County work with RTC Washoe to optimize the signal timing at the intersection of Sun Valley Boulevard and 2nd Avenue (#3) to accommodate future traffic volumes.

- The project is not anticipated to have significant impacts to the study intersections and the surrounding street network.

The application packet was sent to RTC and NDOT for review. No comments, conditions, or concerns were returned to staff. Washoe County Engineering also reviewed the application and provided conditions of approval found in Exhibit A, the condition memo provided by Engineering can be found in Exhibit B.

Parking

Table 110.410.10.1 dictates parking for residential use types. Multi-Family use types have the following parking requirements: 1.6 for 1-bedroom units, 2.1 for 2-bedroom and larger units; 1 of which must be in an enclosed garage or carport per unit.

Unit Size (Bedrooms)	Number of Units	Required Parking Ratio	Parking Required
1 Bedroom	72	1.6	115.2 Spaces
2 Bedroom	120	2.1	252 Spaces
3 Bedroom	48	2.1	100.8 Spaces
Totals	240		468 Spaces

The proposal requires a minimum 468 parking spaces, with 240 units required to be covered parking spaces. The applicant is proposing 470 total parking spaces, with 204 covered parking spaces, and 36 garages. In addition, 28 accessible parking spaces are being provided, with 18 designated as van accessible.

Lighting of the parking areas is required per code, and the applicant intends to provide community lighting for site safety, and walkways on top of the requirement for the parking areas. The lighting standards will be a maximum of 12 feet in height, per the Sun Valley Area Plan and Washoe County Code Section 110.414.21(a)(2) and will have no light spillover at property lines.

Washoe County Parks Trailhead

The applicant has been working with the Parks Program to develop the proposed trail head for the Chocolate Drive multi-family residential proposal. The proposed trailhead contains 8 parking spaces and is located to the north of the proposed development and will contain an access point off of Chocolate Drive near West 5th Avenue. The proposed emergency access gate is just beyond the trailhead access to prevent the public from the overall development. The applicant has stated that they intend to dedicate this area to Washoe County, and the total area is 6.05 acres. While the dedication is consistent with the Red Hill Master Plan, it is the current direction of the Parks Program not to accept additional open space immediately adjacent to new development unless a homeowner’s or landscaping maintenance association agrees to maintain the area.

The proposed trail head will maintain public access to Red Hill Open Space from Chocolate Drive and is consistent with the Red Hill Master Plan that identified the parcel as a priority for land acquisition in order to maintain access points to the trails on Red Hill Open Space. Additionally, the tentative Sun Valley Rim Trail alignment is proposed adjacent to this development on Red Hill Open Space. Washoe County staff believe that the trailhead proposal by the developer works to further conform to Sun Valley Area Plan Goal 5, and Policy SUN5.2 by creating additional access points that will ultimately connect to the Sun Valley Rim Trail.

Red Hill Open Space and Altered Andesite Buckwheat

The subject site is adjacent to Washoe County's Red Hill Open Space area that was donated to the county as part of American Land Conservancy. Washoe County adopted the Red Hill Master Plan in 2012 and it identifies a number of existing and proposed trails on the Washoe County property and the adjacent proposed Chocolate Drive Multi-family residential use. Several existing social trails as well as some populations of Altered Andesite Buckwheat, a rare and sensitive plant species, characterize the Red Hill Open Space site. Altered Andesite Buckwheat is listed on the Nevada Natural Heritage Program's Sensitive List and is identified as a species of concern with the US Fish and Wildlife Service. This plant species was identified in the Red Hill Open Space area in 2011, as shown within the Red Hill Master Plan. Buckwheat's provide nectar for various pollinators, including butterflies, bees, and other insects, and their seeds are a nutritious food source for birds and ground-dwelling insects. Washoe County Parks and Open Space reviewed the proposal and confirmed that there are no existing populations of Altered Andesite Buckwheat on the subject property, however there is soils that could allow for Altered Andesite Buckwheat to grow on the subject property. The Parks Program provided a condition that if the footprint of the proposal expands and impacts the Altered Andesite Buckwheat directly, that the applicants will need to resubmit to Parks.

Standards Requested to be Varied

As part of the Special Use Permit, the applicant is requesting to vary multiple development code standards. Article 810, Special Use Permits does allow for the Board of Adjustment to vary standards as part of the approval process per Washoe County Code Section 110.810.20(e).

Action. *The Planning Commission, Board of Adjustment or a hearing examiner may take action to approve, approve with conditions, modify, modify with conditions, or deny the special use permit request. The Planning Commission, Board of Adjustment or a hearing examiner may also vary standards of the Development Code as part of the approval of a special use permit application. Failure of the Planning Commission, Board of Adjustment or a hearing examiner to hold a public hearing or take action within the time frames provided in this article shall constitute approval of the application.*

The applicant is requesting the following standards to be varied.

Section 110.412.60(k)(4): In multi-family residential use types, turf areas shall be provided at a minimum of fifty (50) percent of the required landscaping area in a practical configuration for recreational uses and shall be balanced with other landscaping materials.

Staff Comment: The applicant is requesting that the proportion of the landscaped area required to be provided as turf area be reduced to a minimum of 20% instead of the required 50%. The applicant intends to still meet the code requirements for open space, equal to 200 square feet per dwelling unit, and will be providing the required landscaped area as turf equal to 21% of the total site area. The primary drive for this request is to reduce water consumption on the property, the applicant believe this request meets the purpose and intent of the County's landscape ordinance contained in (Article 412). In Section 110.412.00 (Purpose) of the Washoe County land development code, subsection (e) states:

“Maximizing water conservation through established conservation principles and practices, and through proper landscape and irrigation planning, design and management.”

The applicant states that the existing and proposed slopes on the site limit the amount of functional landscape areas where practical turf areas may be provided. The applicant states that the proposed development seeks to limit turf areas to practical areas near amenities and buildings to promote responsible use of water and compatible planting in the area.

Planning staff is supportive of the requested modification.

Section 110.438.45(c): Finish grading shall not vary from the natural slope by more than ten (10) feet in elevation. Exposed finish grade slopes greater than ten (10) feet in height may be allowed upon the approval of a director’s modification of standards by the Director of Community Development upon recommendation by the County Engineer.

Staff Comment: A modification to Section 110.438.45(c) is requested to allow for finish grading to vary from the natural slope by more than ten (10) feet in elevation. The proposed design will result in cuts greater than 10 feet at the southern end of Chocolate Drive, at some detention basins, and along the western edge of the project site where retaining walls are proposed. Areas of fills greater than 10 feet will be limited to the east side of the project site adjacent to buildings. The applicant is requesting to modify this standard to allow for maximum cut height of thirty (30) feet, and a maximum fill height of forty (16) feet. The applicant states that the proposed design seeks to complement the existing terrain to the greatest extent possible and limit grading to a smaller area of disturbance within the property.

Due to the topographic features found on the property, which include significant slopes and drainage-ways that create exceptional topographic conditions, the use of slopes and retaining walls is necessary. The benefit of allowing the varying height is a reduction in the required amount of cut and scarring of the overall site. Additionally, the amount of land utilized for the proposed development is significantly less due to the varying heights of cut and fill. The use of retaining walls, benches, and terraces is required to allow for the height differences proposed.

Planning staff is supportive of the requested modification.

Section 110.438.60(a): Top of Cut Slope. The top of cut slopes shall not be made nearer to a site boundary line than one-fifth (1/5) of the vertical height of cut with a minimum of two (2) feet and a maximum of ten (10) feet. The setback may need to be increased for any required interceptor drains.

Section 110.438.60(b): Toe of Fill Slope. The required setback from the toe of the slope to the site boundary line shall be one-half (1/2) the height of the slope with a minimum of two (2) feet and a maximum required setback not to exceed twenty (20) feet. Where a fill slope is to be located near the site boundary and the adjacent off-site property is developed, special precautions shall be incorporated in the work as the Building Official or County Engineer deems necessary to protect the adjoining property from damage as a result of such grading.

Staff Comment for 110.438.60(a) and (b): The application is requesting to modify the requirements outlined in Section 110.438.60 Setbacks (a) and (b) to allow grading within 2-feet of the setback for the proposed Chocolate Drive roadway improvements. Chocolate Drive is a

proposed road from 2nd Ave to 5th Ave which the multi-family development to the west and the existing residential properties to the east will have access from. The developer owns an existing 30-foot-wide Parcel 502-250-10 that is currently one-half of the Chocolate Drive Road. The proposed Chocolate Drive will be aligned to include grading within this parcel for road purposes only and is planned for future dedication to Washoe County as right-of-way. Driveways to eighteen (18) residences and curb returns at major intersections will be provided along Chocolate Drive as required by the Washoe County Engineering Department. The applicant states that due to the requirements outlined by Washoe County Engineering and Capital Projects per their memorandum (Exhibit H) that grading within 2-feet of the grading setback will be necessary. Therefore, the applicant is requested that the proposed Chocolate Drive roadway grading be allowed to grade within this setback in order to meet these requirements and locate the infrastructure.

Planning staff is supportive of the requested modification.

Master Plan Evaluation

Policy 1.1: Allow for more flexibility in the zoning, building, and land use regulations to enable affordable housing units to be built throughout the community.

Staff Comment: The proposed regulatory zone allows for multi-family use types. The proposed development is a 240-unit multi-family project that will increase the density and expand housing options in the Sun Valley area.

Policy 1.5: Encourage development at higher densities where appropriate.

Staff Comment: The proposed development is multi-family residential housing containing 240-units on roughly 40 acres of MDU zoning which allows up to 21 dwelling units per acre. The maximum density potential for this parcel is roughly 850 units. Even though the development is not taking advantage of the maximum potential density, the development is still higher density than the surrounding uses.

Policy 3.5: Promote development of affordable housing near services, transportation routes, schools, jobs, and childcare by establishing mixed-use districts and higher density areas.

Staff Comment: The proposal is for a 240-unit multi-family project that has already received HOME Consortium funding. The HOME funds issuance requires a Land Use Restriction Agreement (LURA) recorded on the land that would ensure restricted rents for a combined minimum of 30 years for this development. The proposed development is relatively close to an RTC bus route and is not far from Sun Valley Boulevard which offers commercial services.

Land Use and Transportation Element - Volume One of the Washoe County Master Plan

LUT.1.4: Residential should be within close proximity to retail/commercial land uses within the TMSA to facilitate both walking and cycling as desirable and safe modes of transportation.

Staff Comment: The subject parcel is located in the Sun Valley SCMA, which is a designated area for growth. The proposed development will provide more apartment units to be included in the Sun Valley area, helping to fill a housing shortage in a growing community. The subject parcel is in relatively close proximity to commercial land uses.

LUT.5.3: New development shall not reduce the quality of service for existing residents and businesses nor reduce the ability of public agencies to provide quality service.

Staff Comment: The subject parcel would be served by existing water and sewer services, which are provided by the Sun Valley General Improvement District (SVGID). The existing neighborhood is served by Truckee Meadows Fire Protection District, Washoe County School District, Washoe County Emergency Medical Services (EMS) Oversight Program, and the Washoe County Sheriff's Office. These public agencies and others reviewed the amendment requests and voiced no objection to the proposal.

Sun Valley Area Plan Evaluation

The subject parcel is located within the Sun Valley Area Plan. The following is/are the pertinent policy(ies) from the Area Plan:

Relevant Sun Valley Area Plan Policies Reviewed

SUN.3.2: The planning of all future roadways, subdivisions or other development will maintain adequate access (vehicular and/or pedestrian) to surrounding public land. Existing and/or needed public access easements will be depicted on all development applications and on the initial right-of-way design for new roadways.

Staff Comment: The applicant is providing 6.05 acres of open space, and a trailhead with 8 parking spaces as part of the development proposal. This trailhead connects to Red Hill Open Space and will eventually tie into the Sun Valley Rim Trail.

SUN.3.6: The Washoe County Department of Regional Parks and Open Space will continue to work with all interested organizations and individuals to reduce illegal dumping and other resource damage to Red Hill and take appropriate steps to eliminate off-highway vehicle use on Red Hill.

Staff Comment: The application was sent to the Washoe County Department of Regional Parks and Open Space for review. Regional Parks and Open Space provided conditions of approval requesting the applicant to install grates at 3 access easements across the property to restrict OHV access to Red Hill Open Space.

SUN.4.5: Disturbed areas shall be finished and fill slopes will not exceed a 3:1 slope; hillside grading will establish an undulating naturalistic appearance by creating varying curvilinear contours.

Staff Comment: The proposed slopes across the site are proposed at three to one (3:1) which meets Washoe County Code. The only exception to this is for storm drainage improvements which will utilize two to one (2:1) slopes.

SUN.5.2: The Washoe County Department of Regional Parks and Open Space shall support and schedule the construction of a multi-purpose trail system within the valley (see Recreational Opportunities Plan map). The ultimate goal is the connection of existing and new trails required to complete a Sun Valley Rim Trail.

Staff Comment: The applicant is proposing a trailhead as part of their overall development. The proposed trail head will maintain public access to Red Hill Open Space from Chocolate Drive and is consistent with the Red Hill Master Plan that identified the parcel as a priority for land acquisition to maintain access points to the trails on Red Hill Open Space. Additionally, the

tentative Sun Valley Rim Trail alignment is proposed adjacent to this development on Red Hill Open Space.

SUN.5.4: Parking will be provided at all trailheads unless technical or safety issues prevent the construction of parking facilities

Staff Comment: The applicant is proposing a trailhead at the northern end of the proposed multi-family development. The trailhead is proposed to have 8 paved parking spaces.

SUN.5.6: Access to existing and future trails will be protected and improved whenever possible. During the process of development review, the Washoe County Department of Community Development and Washoe County Department of Regional Parks and Open Space will request dedication of property and/or easements when appropriate trail alignments have been identified that link significant nodes within the Sun Valley planning area or connect existing or planned trails.

Staff Comment: The application was sent to the Washoe County Parks staff of the Community Services Department for review, and several conditions associated with Sun Valley Area Plan Policy 5.6 were provided. Including the requirements of dedicating a 6.05-acre easement to Washoe County, and the request to install grates at 3 access easements across the property to restrict OHV access to Red Hill Open Space.

SUN.6.2: Encourage pavement of dirt roads and parking lots in the Sun Valley planning area. The application of dust reduction material for unpaved parking lots in commercial and industrial areas shall be required.

Staff Comment: The applicant is proposing paved parking, paved drive aisles within the development, and is proposing to pave Chocolate Drive from West 2nd Avenue to West 5th Avenue.

SUN.7.1: Development proposals within the Sun Valley planning area will include detailed soils and geo-technical studies sufficient to:

- a. Ensure structural integrity of roads and buildings.
- b. Provide adequate setbacks from potentially active faults.
- c. Minimize erosion potential.

Staff Comment: As part of the administrative permit and special use permit request, the applicant provided staff with a geo-technical and soil study, a seismic hazard investigation – fault study, and an Environmental Site Assessment.

SUN.10.1: Whenever applicable, all development within the Sun Valley Suburban Character Management Area and the Downtown Character Management Area will connect to a community water service.

Staff Comment: The proposed development will connect to the Sun Valley General Improvement District (SVGID) for water service. SVGID is a community water service provider.

SUN.12.1: Whenever applicable, all development within the Sun Valley Suburban Character Management Area and the Downtown Character Management Area will connect to a community sewer service.

Staff Comment: The proposed development will connect to the Sun Valley General Improvement District (SVGID) for sewer service. SVGID is a community sewer service provider.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
NDOT (Transportation)	X	X	X	John Angel, jangel@dot.nv.gov; Michelle Griffin, mgriffin@dot.nv.gov
NDOw (Wildlife)	X			
NV Water Resources	X	X	X	Steve Shell, sshell@water.nv.gov
Washoe County Building & Safety	X			
Washoe County Engineering & Capital Projects	X			
Washoe County Land Development (All Apps)	X	X	X	Rob Wimer, rwimer@washoecounty.gov
Washoe County Operations Division	X			
Washoe County Parks & Open Space	X	X	X	Faye-Marie Pekar, fpekar@washoecounty.gov
Washoe County Sewer	X			
Washoe County Traffic	X	X	X	Mitch Fink, MFink@washoecounty.gov
Washoe County Water Resource Planning	X			
Washoe County Water Rights Manager (All Apps)	X	X	X	Timber Weiss, tweiss@washoecounty.gov
WCSD Law Enforcement	X			
WCHD Air Quality	X			
WCHD EMS	X			
WCHD Environmental Health	X	X	X	Jim English, jenglish@washoecounty.gov; Wes Rubio, wrubio@washoecounty.gov
TMFPD	X	X	X	Dale Way, dway@tmfpd.us; Brittany Lemon, BLemon@tmfpd.us
Washoe County School District (All TMs)	X			
Washoe-Storey Conservation District	X	X	X	
Regional Transportation Commission	X			
Sun Valley GID	X	X	X	Brad Baeckel, bbaeckel@svgid.com
AT&T	X			
NV Energy	X			

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Neighborhood Meeting

The applicant went through a pre-development meeting on August 24, 2022 and held a neighborhood meeting at Hobeys Casino in Sun Valley. The meeting was held on Wednesday,

October 19, 2022, beginning at 5:30 pm to 7:30 pm. There were 14 signatures on the sign-in sheet submitted to staff, however the applicant stated that not everyone in attendance signed, but there were about 18 neighbors in attendance. There were 4 comment cards submitted to staff as part of the neighborhood meeting process. The concerns outlined within the comment cards were related to traffic, water, school impacts, apartment access, noise pollution, light pollution, possible flooding, and the overall paving of chocolate drive itself.

Notices were sent to 212 parcels including Washoe County staff. The applicant noticed properties a minimum of 750-feet from the project boundary. Information related to the neighborhood meeting can be found in Exhibit C.

Staff Comment on Required Administrative Permit Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

Staff Comment: Staff has reviewed the Master Plan and the Sun Valley Area Plan and the project is consistent with these plans.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The grading will allow for the establishment of a 240-unit multi-family development on the subject parcel. As part of the proposed administrative and special use permit requests, the applicant is going to be paving Chocolate Drive to Washoe County standards with the intent to dedicate the roadway to the County in the future. Adequate utilities are present or will be provided as part of the development.

3. Site Suitability. That the site is physically suitable for a multi-family apartment community, and for the intensity of such a development.

Staff Comment: With the Special Use Permit and conditions of approval provided, the site is physically suitable for the type of development.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The subject parcel went through a master plan amendment and regulatory zone amendment in 2022 specifically for the proposed use type. The proposed development will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the area of required notice for this special use permit; therefore, the project will have no effect on a military installation.

Staff Comment on Required Special Use Permit Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

Staff Comment: Staff has reviewed the Master Plan and the Sun Valley Area Plan and the project is consistent with these plans.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The grading will allow for the establishment of a 240-unit multi-family development on the subject parcel. As part of the grading and multi-family request the applicant is going to be paving Chocolate Drive to Washoe County standards with the intent to dedicate the roadway to the County in the future. Adequate utilities are present or will be provided as part of the development.

- (c) Site Suitability. That the site is physically suitable for Major Grading and for the intensity of such a development.

Staff Comment: The proposed grading will make the site suitable to construct a multi-family development, and the proposed roadway.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The proposed grading will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the area of required notice for this special use permit; therefore, the project will have no effect on a military installation.

Administrative Permit Recommendation

After a thorough analysis and review, Administrative Permit Case Number WADMIN22-0029 is being recommended for approval with conditions.

Special Use Permit Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP23-0001 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion for Administrative Permit

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN22-0029 for Pedcor Investments, LLC, with the

conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for a multi-family apartment community, and for the intensity of such a development.;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Motion for Special Use Permit

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP23-0001 for Pedcor Investments, LLC, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for Major Grading and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days

from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Pedcor Investments, LLC
Attn: Ryan Rodgers
rrodgers@pedcor.net

Property Owner: Chocolate Group, LLC
Attn: Randal Kuckenmeister
randy@kbcallc.com

Representatives: Kimley-Horn and Associates, Inc
Attn: Chris Waechter
Chris.waechter@kimley-horn.com



Conditions of Approval

Administrative Permit Case Number WADMIN22-0029 and
Special Use Permit Case Number WSUP23-0001

The project approved under Administrative Permit Case Number WADMIN22-0029 and Special Use Permit Case Number WSUP23-0001 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on March 2, 2023. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1001 E. Ninth St., Reno, NV 89512-2845

Telephone: 775.328.6100 – Fax: 775.328.6133

www.washoecounty.gov/csd/planning_and_development

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Chris Bronczyk, Senior Planner, 775.328.3612, cbronczyk@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. Construction activities shall be limited to the hours between 7am to 7pm, Monday through Saturday only. Construction machinery or construction personal gatherings are also limited to these hours. No construction activities shall take place on Sundays.
- e. Prior to any ground disturbing activity, the applicant shall submit a landscaping design plan to the Planning and Building Division for review and approval. Said plan shall address parking, parking lot circulation and striping, signage, exterior lighting, trash enclosures, landscaping and plant material, type and size of plants, maturation size at full growth, landscaping location, and landscaping irrigation system.
- f. All landscaping, irrigation and screening shall be completely installed and shall satisfy the requirements as set forth in the Washoe County Development Code prior to issuance of a Certificate of Occupancy.
- g. At least two hundred (200) square feet of common open space shall be required per dwelling unit for developments of twelve (12) or more units.
- h. Any terraces or benches between retaining walls shall be landscaped.
- i. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. All landscaping and irrigation systems shall be maintained at all times to conform with the Landscaping Section of the Washoe County Development Code for the life

- of the business, including the replacement of dead plants, trees, shrubs and all ground cover.
- iv. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - v. This administrative permit shall remain in effect as long as the business is in operation and maintains a valid business license.
 - vi. Hours of operation for the leasing hours shall be 7:00 AM to 7:00 PM.
 - vii. Hours of operation for the pool area shall be 8:00 AM to 9:00 PM.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit or Waiver for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The developer shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition.
- d. Applicant shall indicate on the plans where exported materials will be taken and a grading permit shall be obtained for the import site.
- e. Exported materials shall not be sold without the proper business license.
- f. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
- g. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- h. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.

- i. Prior to approval of a building permit, an ASTM E1527-13 Phase I Environmental Site Assessment shall be submitted for all parcels or right-of-way dedicated to Washoe County.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

- a. A detailed hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- b. Any increase in storm water runoff resulting from the development and based upon the 100-year storm shall be detained on site to the satisfaction of the County Engineer.
- c. Standard reinforced concrete headwalls or other approved alternatives shall be placed on the inlet and outlet of all drainage structures and rip rap shall be used to prevent erosion at the inlets and outlets of all pipe culverts to the satisfaction of the County Engineer.
- d. The developer shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.
- e. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

- a. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
- b. Prior to building permit approval Offers of Dedication/Dedication Map shall be provided to Washoe County for Chocolate Drive and the improved portion of W. 5th Avenue.
- c. Prior to C of O, street improvements shall be constructed and accepted for maintenance by Washoe County.
- d. Prior to building permit approval, a bond estimate shall be approved by Washoe County, and a financial assurance provided to guarantee the construction of public improvements.
- e. Street names shall be reviewed and approved by the Regional Street Naming Coordinator.
- f. Proposed landscaping and/or fencing along street rights-of-way and within median islands shall be designed to meet American Association of State Highway and

Transportation Officials (AASHTO) sight distances and safety guidelines. No tree shall overhang the curb line of any public street.

- g. An Encroachment and Excavation Permit shall be obtained from Washoe County Engineering and Capital Projects Division for any utilities or other encroachments/excavations constructed within existing County roadways/right-of-ways.
- h. Streetlights shall be constructed to Washoe County standards at locations to be determined at the final design stage.
- i. AASHTO clear zones shall be determined for all streets adjacent to retaining walls or slopes steeper than 3:1. If a recoverable or traversable clear zone cannot be provided, an analysis to determine if barriers are warranted shall be submitted for approval.
- j. All retaining walls that are adjacent to, provide support for or retain soil from the County right-of-way shall be constructed of reinforced masonry block or reinforced concrete and designed by an engineer licensed in the State of Nevada.
- k. All retaining walls that are within the slope failure wedge from Washoe County right-of-way shall be constructed of reinforced masonry block or reinforced concrete and designed by an engineer licensed in the State of Nevada. Retaining walls shall not be located within Washoe County right-of-way. The maintenance of the retaining walls shall be by Homeowners Association and the CCR's shall clearly identify the HOA's maintenance responsibilities of retaining walls.
- l. No retaining walls that retain soil from the County right-of-way shall be located within a plowed snow storage easement.
- m. Appropriate curve warning signs and/or a lower speed limit shall be determined and posted on all horizontal roadway curves that do not meet the standard Washoe County 25-mile per hour design speed.
- n. Appropriate transitions shall be provided between the existing and proposed improvements at all proposed street connections. This may include removal of existing pavement.
- o. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum if required. The minimum pavement structural section shall be four inches (4") of asphalt over six inches (6") of granular base for roadways within the County right-of-way.
- p. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes and are not designated truck routes must be evaluated by a geotechnical study to determine the existing structural section and its load capacity. If the pavement section is inadequate to support the proposed construction loadings, the roadway must be redesigned or reconstructed as needed to provide a 20-year design life in accordance with the AASHTO Interim Guide for Flexible Pavement.
- q. All regulatory traffic signs shall meet County standards and the Manual on Uniform Traffic Control Devices.

- r. Washoe County will require the construction of Chocolate Drive to incorporate the eastern 30' access easement if Washoe County obtains Irrevocable Offers of Dedication from all the property owners along this section of roadway.
- s. A safe walkway route, including any required crossings, shall be provided for all school age pedestrians. A pedestrian walkway plan shall be approved by the County Engineer prior to the finalization of construction improvement drawings.
- t. A 10-foot Public Utilities Easement and a 10-foot easement for traffic control signage, plowed snow storage and sidewalks shall be granted adjacent to Chocolate Drive right-of-way.
- u. Any existing easements or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
- v. The permittee shall obtain the necessary easements/right-of-way for future Chocolate Drive and W. 5th Avenue to be dedicated to Washoe County.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Alex Mayorga, P.E. (775) 328-2313

- a. No comments or conditions

Truckee Meadows Fire Protection District

- 3. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon; 775.326.6000; blemon@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>

Sun Valley General Improvement District

- 4. The following conditions are requirements of the Sun Valley General Improvement District, which shall be responsible for determining compliance with these conditions.

Contact Name – Brad Baeckel; 775.6783.2220; bbaeckel@svgid.com

- a. SVGID will be the water and sewer utility.
- b. Utility Plans need to be submitted with review fees to SVGID.
- c. Offsite improvements will be required to serve the development.
- d. Water rights will need to be purchased from TMWA and dedicated to SVGID prior to water project submittal.
- e. Water and sewer facility fees will be required prior to water project submittal.
- f. Construction water plan needs to be submitted to SVGID.
- g. Adequate cover and access need to be maintained for existing water and sewer utilities during grading and construction.
- h. Tank access must be maintained during construction.

Washoe County Planning and Building Division

5. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Faye-Marie Pekar, Parks Planner, 775.328.3623, fpekar@washoecounty.gov

- a. All earthen material imported as part of this project is required to be “certified weed free” to prevent the spread of noxious and invasive weeds within the county.
- b. The application states that no disturbance of Altered Andesite Buckwheat habitat is anticipated with the proposed project. Should disturbance of Altered Andesite Buckwheat be necessary, please resubmit plans to Washoe County Regional Parks and Open Space staff.
- c. The applicant shall offer to dedicate an easement to Washoe County Parks and Open Space for a 6.05-acre area on the northern border of the parcel as shown on Site Plan 1. The easement area will be used for a trailhead and open space access.
- d. All undeveloped areas disturbed as a result of project activities shall be revegetated utilizing a native seed mix as reviewed and approved by the Washoe Storey Conservation District and/or Washoe County Regional Parks and Open Space.
- e. The applicant shall install vehicle barriers on their property to prevent off road vehicles (OHV’s) from accessing Red Hill Open Space that is adjacent to the proposed project consistent with Grant Deed Document number 2589708 recorded on August 27, 2001, which prohibits the use of off-road vehicles on the Red Hill Open Space property.
- f. Applicant shall install gates at the entrance of the 30 foot access easement for SVGID per PM 3767 that will be relocated, the 60 foot SVGID Access Easement/Sierra Pacific Easement/Communications Line Easement, and 50 foot right-of-way access and utility easement per Doc No. 2589709 to restrict OHV access to Red Hill Open Space.

Washoe County Health District- Environmental

6. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name: James English, Environmental Health Specialist Supervisor, 775.328.2610, jenglish@washoecounty.gov

- a. The WCHD has reviewed the above referenced project and has no objections to the approval of the application as submitted. Below are a list of comments which will be required as part of the future application process if the administrative permit is approved.
- b. The project must properly dispose of any and all solid and hazardous wastes found as part of the grading and development of the subject parcels.

- c. The project will require a water project pursuant to NAC 445A. This project must be approved prior to any construction commencing. Approval of the water project may require off-site improvements to the water system to serve the proposed developments. Off-site water system improvements will be separate water project.
- d. The project consists of amenities which include a clubhouse and swimming pool. The swimming pool plans must be submitted at the time the clubhouse plans are submitted. If this does not occur, delays in the clubhouse permit may occur or modifications of the proposed clubhouse plans may be required at the time the swimming pool plans are submitted and reviewed.
- e. The project must provide ample space for both the proper collection and storage of solid domestic wastes and recyclable materials.
- f. It is recommended the project design and provide electric vehicle charging stations.

*** End of Conditions ***



Date: January 23, 2023

To: Chris Bronczyk, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **Chocolate Drive WSUP22-0029**
APN 502-250-09, 502-250-10

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the construction of a multi-family apartment complex and is located on approximately 48.76 acres at the western half of Chocolate Drive in southwest Sun Valley. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Kimley-Horn and Associates, Inc. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit or Waiver for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The developer shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition.
4. Applicant shall indicate on the plans where exported materials will be taken and a grading permit shall be obtained for the import site.
5. Exported materials shall not be sold without the proper business license.
6. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
7. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.

8. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.
9. Prior to approval of a building permit, an ASTM E1527-13 Phase I Environmental Site Assessment shall be submitted for all parcels or right-of-way dedicated to Washoe County.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. A detailed hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
2. Any increase in storm water runoff resulting from the development and based upon the 100-year storm shall be detained on site to the satisfaction of the County Engineer.
3. Standard reinforced concrete headwalls or other approved alternatives shall be placed on the inlet and outlet of all drainage structures and rip rap shall be used to prevent erosion at the inlets and outlets of all pipe culverts to the satisfaction of the County Engineer.
4. The developer shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.
5. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

1. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be designed and constructed to County standards and specifications to the satisfaction of the County Engineer.
2. Prior to building permit approval Offers of Dedication/Dedication Map shall be provided to Washoe County for Chocolate Drive and the improved portion of W. 5th Avenue.
3. Prior to C of O, street improvements shall be constructed and accepted for maintenance by Washoe County.
4. Prior to building permit approval, a bond estimate shall be approved by Washoe County, and a financial assurance provided to guarantee the construction of public improvements.
5. Street names shall be reviewed and approved by the Regional Street Naming Coordinator.

6. Proposed landscaping and/or fencing along street rights-of-way and within median islands shall be designed to meet American Association of State Highway and Transportation Officials (AASHTO) sight distances and safety guidelines. No tree shall overhang the curb line of any public street.
7. An Encroachment and Excavation Permit shall be obtained from Washoe County Engineering and Capital Projects Division for any utilities or other encroachments/excavations constructed within existing County roadways/right-of-ways.
8. Streetlights shall be constructed to Washoe County standards at locations to be determined at the final design stage.
9. AASHTO clear zones shall be determined for all streets adjacent to retaining walls or slopes steeper than 3:1. If a recoverable or traversable clear zone cannot be provided, an analysis to determine if barriers are warranted shall be submitted for approval.
10. All retaining walls that are adjacent to, provide support for or retain soil from the County right-of-way shall be constructed of reinforced masonry block or reinforced concrete and designed by an engineer licensed in the State of Nevada.
11. All retaining walls that are within the slope failure wedge from Washoe County right-of-way shall be constructed of reinforced masonry block or reinforced concrete and designed by an engineer licensed in the State of Nevada. Retaining walls shall not be located within Washoe County right-of-way. The maintenance of the retaining walls shall be by Homeowners Association and the CCR's shall clearly identify the HOA's maintenance responsibilities of retaining walls.
12. No retaining walls that retain soil from the County right-of-way shall be located within a plowed snow storage easement.
13. Appropriate curve warning signs and/or a lower speed limit shall be determined and posted on all horizontal roadway curves that do not meet the standard Washoe County 25-mile per hour design speed.
14. Appropriate transitions shall be provided between the existing and proposed improvements at all proposed street connections. This may include removal of existing pavement.
15. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum if required. The minimum pavement structural section shall be four inches (4") of asphalt over six inches (6") of granular base for roadways within the County right-of-way.
16. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes and are not designated truck routes must be evaluated by a geotechnical study to determine the existing structural section and its load capacity. If the pavement section is inadequate to support the proposed construction loadings, the roadway must be redesigned or reconstructed as needed to provide a 20-year design life in accordance with the AASHTO Interim Guide for Flexible Pavement.
17. All regulatory traffic signs shall meet County standards and the Manual on Uniform Traffic Control Devices.

18. Washoe County will require the construction of Chocolate Drive to incorporate the eastern 30' access easement if Washoe County obtains Irrevocable Offers of Dedication from all the property owners along this section of roadway.
19. A safe walkway route, including any required crossings, shall be provided for all school age pedestrians. A pedestrian walkway plan shall be approved by the County Engineer prior to the finalization of construction improvement drawings.
20. A 10-foot Public Utilities Easement and a 10-foot easement for traffic control signage, plowed snow storage and sidewalks shall be granted adjacent to Chocolate Drive right-of-way.
21. Any existing easements or utilities that conflict with the development shall be relocated, quitclaimed, and/or abandoned, as appropriate.
22. The permittee shall obtain the necessary easements/right-of-way for future Chocolate Drive and W. 5th Avenue to be dedicated to Washoe County.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Alex Mayorga, P.E. (775) 328-2313

1. No comments or conditions



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Regional Parks and Open Space

1001 EAST 9TH STREET
 RENO, NEVADA 89520-0027
 PHONE (775) 328-3600
 FAX (775) 328.3699

TO: Chris Bronczyk, Senior Planner

FROM: Faye-Marie Pekar, Park Planner

DATE: January 31, 2023

SUBJECT: Special Use Permit Case Number WSUP23-0001 and WADMIN22-0029 (Chocolate Drive)



I have reviewed the application for case number WSUP23-0001 and WADMIN22-0029 (Chocolate Drive) on behalf of the Washoe County Regional Parks and Open Space Program (Parks Program) and prepared the following comments:

If approved, this special use permit would allow for major grading and associated modifications to Article 428, Grading Standards and Article 412, Landscaping. The project is proposing grading on slopes less than and greater than fifteen (15) percent on approximately 25.13 acres. Project activities would include: ±156,688 cubic yards of cut, ±43,512 cubic yards of fill, and 113,175 cubic yards of export. Additionally, if approved the administrative permit would allow a multi-family residential Use type consisting of twenty 2-story buildings (240 units) with associated amenities such as a playground, clubhouse, covered and garage parking spaces, and swimming pool.

The subject site is adjacent to Washoe County’s Red Hill Open Space area that was donated to the county as part of American Land Conservancy. Washoe County adopted the Red Hill Master Plan in 2012 and it identifies a number of existing and proposed trails on the Washoe County property and the adjacent proposed Chocolate Drive Multi-family residential Use. The applicant has been working with the Parks Program to develop the proposed trail head for the proposed Chocolate Drive Multi-family and the Parks Program appreciates their collaboration on the proposal. The application also indicates that approximately 4.87 acres of open space along the western border of the parcel are to be dedicated to the Parks Program. While the dedication is consistent with the Red Hill Master Plan, it is the current direction of the Parks Program not to accept additional open space immediately adjacent to new development.

Several existing social trails as well as some populations of Altered Andesite Buckwheat, a rare and sensitive plant species, are within proximity of the subject site. Altered Andesite Buckwheat is listed on the Nevada Natural Heritage Program’s Sensitive List and is identified as a species of concern with the US Fish and Wildlife Service. This plant species was identified in the project area in 2011, as shown in the Red Hill Master Plan. Buckwheats provide nectar for various pollinators, including butterflies, bees, and other insects, and their seeds are a nutritious food source for birds and ground-dwelling insects. The applicant states that no disturbance of Altered Andesite



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

Memo to: Chris Bronczyk
Subject: WSUP23-001 and WADMIN22-0029
Date: January 25, 2023
Page: 2

Buckwheat habitat is anticipated with the proposed project. Should disturbance of Altered Andesite Buckwheat be necessary, please resubmit plans to Washoe County Regional Parks and Open Space staff.

Given these considerations, the Parks Program requires the following conditions of approval:

1. All earthen material imported as part of this project is required to be “certified weed free” to prevent the spread of noxious and invasive weeds within the county.
2. The application states that no disturbance of Altered Andesite Buckwheat habitat is anticipated with the proposed project. Should disturbance of Altered Andesite Buckwheat be necessary, please resubmit plans to Washoe County Regional Parks and Open Space staff.
3. The applicant shall offer to dedicate an easement to Washoe County Parks and Open Space for a 6.05-acre area on the northern border of the parcel as shown on Site Plan 1. The easement area will be used for a trailhead and open space access.
4. All undeveloped areas disturbed as a result of project activities shall be revegetated utilizing a native seed mix as reviewed and approved by the Washoe Storey Conservation District and/or Washoe County Regional Parks and Open Space.
5. The applicant shall install vehicle barriers on their property to prevent off road vehicles (OHV’s) from accessing Red Hill Open Space that is adjacent to the proposed project consistent with Grant Deed Document number 2589708 recorded on August 27, 2001, which prohibits the use of off-road vehicles on the Red Hill Open Space property.
6. Applicant shall install gates at the entrance of the 30 foot access easement for SVGID per PM 3767 that will be relocated, the 60 foot SVGID Access Easement/Sierra Pacific Easement/Communications Line Easement, and 50 foot right-of-way access and utility easement per Doc No. 2589709 to restrict OHV access to Red Hill Open Space.

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

January 30, 2023

Washoe County Community Services
Planning and Development Division

RE: Chocolate Drive; 502-250-09 & 502-250-10
Administrative Permit; WADMIN22-0029

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, (WCHD), which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has reviewed the above referenced project and has no objections to the approval of the application as submitted. Below are a list of comments which will be required as part of the future application process if the administrative permit is approved.
- b) Condition #2: The project must properly dispose of any and all solid and hazardous wastes found as part of the grading and development of the subject parcels.
- c) Condition #3: The project will require a water project pursuant to NAC 445A. This project must be approved prior to any construction commencing. Approval of the water project may require off-site improvements to the water system to serve the proposed developments. Off-site water system improvements will be separate water project.
- d) Condition #4: The project consists of amenities which include a clubhouse and swimming pool. The swimming pool plans must be submitted at the time the clubhouse plans are submitted. If this does not occur, delays in the clubhouse permit may occur or modifications of the proposed clubhouse plans may be required at the time the swimming pool plans are submitted and reviewed.
- e) Condition #5: The project must provide ample space for both the proper collection and storage of solid domestic wastes and recyclable materials.
- f) Condition #6: It is recommended the project design and provide electric vehicle charging stations.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS
EHS Supervisor

Environmental Health Services
Washoe County Health District



From: bbaeckel@svgid.com
To: [Bronczyk, Christopher](#)
Cc: [Melton, Chris \(External Contact\)](#)
Subject: Administrative Permit Case Number WADMIN22-0029 (Chocolate Drive)
Date: Monday, January 23, 2023 11:46:41 AM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Chris,

I have the following comments for the Chocolate Drive project:

SVGID will be the water and sewer utility.

Utility Plans need to be submitted with review fees to SVGID.

Offsite improvements will be required to serve the development.

Water rights will need to be purchased from TMWA and dedicated to SVGID prior to water project submittal.

Water and sewer facility fees will be required prior to water project submittal.

Construction water plan needs to be submitted to SVGID.

Adequate cover and access needs to be maintained for existing water and sewer utilities during grading and construction.

Tank access must be maintained during construction.

Thanks,

Brad Baeckel

Public Works Director

Sun Valley General Improvement District

5000 Sun Valley Blvd.

Sun Valley, NV 89433

Phone: (775) 673-2220

Fax: (775) 673-7708

www.svgid.com

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From: [Lemon, Brittany](#)
To: [Bronczyk, Christopher](#)
Cc: [Way, Dale](#)
Subject: WADMIN23-0001 (Chocolate Drive) Conditions of Approval
Date: Thursday, January 19, 2023 3:15:52 PM
Attachments: [image001.png](#)

Hi Chris,

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

Thank you,

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



“Committed to excellence, service, and the protection of life and property in our community”



Washoe-Storey Conservation District

Bret Tyler Chairman
Jim Shaffer Treasurer
Cathy Canfield Storey app.
Jean Herman Washoe app.

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadacconservation.com

January 19, 2023

Washoe County Community Services Department

C/O Chris Bronczyk, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WMSUP23-0001, WADMIN 22-0029 Chocolate Drive

Dear Chris,

In reviewing the special use permit and administrative permit, the District has the following comments.

Please include the District's letter dated February 25, 2022.

We support the reduction in the required turf area which supports the District's mission in the conservation of water as one of the natural environmental resources.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely,

Jim Shaffer



Washoe-Storey Conservation District

Bret Tyler Chairman
Jim Shaffer Treasurer
Cathy Canfield Storey app.
Jean Herman Washoe app.

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadacconservation.com

February 25, 2022

Washoe County Community Services Department

C/O Chris Bronczyk, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WMPA22-0003, WRZA 22-0003 Chocolate Drive

Dear Chris,

In reviewing the master plan and regulatory amendment case for Chocolate Drive, the Conservation District has the following additional comment. Please include the January 24, 2022, letter.

With a bat cave identified on the plans we will need language informing the property residents the benefits of bats and at the same time a vector of rabies. 10 to 15 percent of the bats are positive for rabies in the Truckee Meadows Community. I can provide a draft of the language whereby we can educate the Community with signage or other means.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely,

Jim Shaffer



Washoe-Storey Conservation District

Bret Tyler Chairman
Jim Shaffer Treasurer
Cathy Carfield Storey app.
Jean Herman Washoe app.

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadacconservation.com

January 24, 2022

Washoe County Community Services Department

C/O Chris Bronczyk, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WMPA22-0003, WRZA 22-0003 Chocolate Drive

Dear Chris,

In reviewing the master plan and regulatory amendment case for Chocolate Drive, the Conservation District has the following comment.

With the urban density of the proposed project the District would encourage trail connections to a regional trail network with future links in the Sun Valley region.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely,

J. L. Shaffer

From: [Program, EMS](#)
To: [Bronczyk, Christopher](#)
Cc: [Program, EMS](#)
Subject: FW: January Agency Review Memo II
Date: Wednesday, January 18, 2023 12:55:20 PM
Attachments: [Outlook-x1ddlhnl.png](#)
[Outlook-dblvjbc0.png](#)
[Outlook-4svd4vxw.png](#)
[Outlook-dkyuv10v.png](#)
[Outlook-y4q02tp3.png](#)
[January Agency Review Memo II.pdf](#)
[image001.png](#)

Hello,

The EMS Program has reviewed the January Agency Review Memo I - Special Use Permit Case Number WSUP23-0001 (Chocolate Drive) and Administrative Permit Case Number WADMIN22-0029 (Chocolate Drive) - and has no concerns or questions at this time based on the information provided.

Thank you,

Sabrina.

Sabrina Brasuell

Pronouns: she/her

EMS Coordinator | Epidemiology and Public Health Preparedness

Washoe County Health District

sbrasuell@washoecounty.gov | Cell: (775) 830-7118 | Office: (775) 326-6043

1001 E. Ninth St., Bldg. B. Reno, NV 89512



Please take our customer satisfaction survey by clicking [here](#)



STATE OF NEVADA
DEPARTMENT OF TRANSPORTATION

310 Galletti Way
Sparks, Nevada 89431

JOE LOMBARDO
Governor

TRACY LARKIN THOMASON, P.E.
Director

January 23, 2023

Washoe County
1001 E. Ninth Street
Reno, NV 89512
Attention: Adriana Albarran

SENT VIA ELECTRONIC MAIL

RE: Washoe County Development Projects

Dear Ms. Albarran,

Nevada Department of Transportation (NDOT) District II staff has reviewed the following applications received via e-mail on January 13, 2023.

Special Use Permit Case Number WSUP23-0001 (Chocolate Drive) – For hearing, discussion, and possible action to approve a special use permit for major grading and associated modifications to Article 438, Grading Standards and Article 412, Landscaping. The project triggers the following major grading thresholds, Section 110.438.35.(a)(1)(i)(C), (1)(ii)(A), (2)(i)(C), and (2)(ii)(A). The project is proposing grading on slopes less than and greater than fifteen (15) percent on approximately 25.13 acres across APN’s 502-250-09 and 502-250-10. The total grading proposed is 156,688 cy of cut, 43,512 cy of fill, and 113,175 cy of export.

The modifications being requested are to Section 110.412.60(k)(4) Planting Standards Turf Area to reduce the required turf area to 21%, to Section 110.438.60 Setbacks (a) and (b) to allow grading within 2-feet of the setback for proposed Chocolate Drive improvements, Section 110.438.45(c) for finish grading to vary from the natural slope by more than ten (10) feet in elevation, and Section 110.438.45(a) to allow for grading of two to one (2:1) slopes.

These proposals are not adjacent to a Nevada Department of Transportation (NDOT) road and appear to have minimal impact on NDOT infrastructure. Thank you for the opportunity to review these development proposals. NDOT reserves the right to incorporate further changes and/or comments as the design review advances. Please feel free to contact me at (775) 834-8320, if you have any further questions or comments.

Sincerely,

DocuSigned by:
Michelle Hawvichorst
AC9895963A75469...

Michelle Hawvichorst, PE
Professional Engineer
District II

Mike Fuess, PE, PTOE – NDOT District Engineer District II Traffic Engineering Distribution List
Michelle Hawvichorst, PE – Traffic Engineer
Rod Schilling, PE – Traffic Operations Chief
Sondra Rosenberg – Assistant Director, Planning
Shelia Gamez – Permits Technician
Dale Keller – RTC
Courtney Weiche, Washoe County Senior Planner
Julee Olander, Washoe County Planner
Chris Bronczyk, Washoe County Senior Planner
Katy Stark, Washoe County Planner File

From: [Steve Shell](#)
To: [Bronczyk, Christopher](#)
Subject: Various
Date: Wednesday, January 25, 2023 1:13:47 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image006.png](#)
[image008.png](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

5. WSUP23-0001, Chocolate Drive:

No Comment.

WADMIN22-0029, Chocolate Drive:

The subject property lies within the Truckee Meadows Water Authority service area. Municipal water service is subject to Truckee Meadows Water Authority rules and regulations and approval by the Office of the State Engineer regarding water quantity and availability. A Will Serve from Truckee Meadows Water Authority and mylar map of the proposed project must be presented to the State Engineer for approval and signed through his office prior to development.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

Steve Shell
Water Rights Specialist II
Department of Conservation and Natural Resources
Nevada Division of Water Resources
901 S. Stewart St., Suite 2002
Carson City, NV 89701
sshell@water.nv.gov
(O) 775-684-2836 | (F) 775-684-2811

From: [Weiss, Timber A.](#)
To: [Bronczyk, Christopher](#)
Cc: [Behmaram, Vahid](#)
Subject: No water right comments for WSUP23-0001 and WADMIN22-0029
Date: Tuesday, January 24, 2023 5:07:44 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Hello,

No water right comments for WSUP23-0001 and WADMIN22-0029, as these are under the jurisdiction of Sun Valley GID.

Thank you,



Timber Weiss, PE | Professional Engineer

Engineering & Capital Projects Division | Community Services Department

1001 E. 9th Street, Bldg A Reno, NV 89512

tweiss@washoecounty.gov | Office Voice Mail: 775.954.4626 or 775.433.0769

Visit us first online: www.washoecounty.us/csd

For additional information, email engineering@washoecounty.us or call 775.328.2040



Project Name: Chocolate Drive
Meeting Location: Hobey's Restaurant and Casino
Meeting Date: 10/19/22 5:30-7:30

Neighborhood Meeting
SUMMARY

Virtual Meeting Option Provided: YES NO Client: Ryan Rodgers with Pedcor Investments, LLC
Hosted By (Name): Chris Waechter (Company): Kimley-Horn & Associates, LLC
Contact (Email): chris.waechter@kimley-horn.com (Phone): 775-200-1978

.....

Public Concerns:

1. Traffic concerns about heavy traffic in the area already and that this will make it worse
2. That the development will negatively affect Chocolate Drive (how it will be paved) and smaller dirt streets like Gepford
3. Stormwater and drainage - how will that work? Will this make it worse
4. Concerns that apartments do not match with and belong in Sun Valley
5. Noise and light pollution

Changes Made to Proposal (if applicable):

1. _____
2. _____
3. _____
4. _____
5. _____

Any Additional Comments:

There is a video recording
There are written notes summarizing the meeting content and the Q&A
There are 4 comment cards from neighbors and some others said they would email the County

Notes for Neighborhood Meeting for Administration Permit 10/19/2022

Meeting hosted by Chris Waechter and Ryan Rodgers

Scribe: Ariaahna

Meeting from 5:30-7:30 p.m. at Hobey's Casino

Presentation

- 10-minute presentation on proposed Project and Administrative Permit process
- Supporting documentation included various printed posters
 - Posters include proposed site plan, overall parcel(s) site plan, proposed building elevations
 - Chocolate Drive alternative shown was the pavement from West 2nd Avenue to West 5th Avenue on the privately owned parcel. However, it was also communicated that Washoe County is looking into the Chocolate Drive alignment location

Questions

- Where are kids going to go to school?
 - Washoe County Planning Department has reached out to the Washoe County School District and they have communicated to us that they have capacity.
- Light and noise pollution?
 - Lights cannot go beyond the parcel as with similar developments and per the Washoe County development code
- Will there be on site management? Security?
 - Yes, there will be site management staff during business hours
 - Regarding security, Pedcor typically coordinates with local police to have some drive bys. If there is activity on site, additional drive bys may be warranted with police. This would be in Washoe County Sheriff jurisdiction.
- Several major traffic concerns. Examples brought up of how poor the traffic already is. What codes are being followed?
 - We have a Traffic Impact Study and will be making any improvements required to maintain the current level of traffic service. The traffic from the development will not adversely affect the level of service in the area. The followed standards and code are from ITE, the Institute of Transportation Engineering, which is a national agency. These are being applied and data surveyed for the area local to the project. A copy of the Traffic Impact Study will be made available publicly at the time of Administrative Permit submittal in November 2022.

- What is happening with Chocolate Drive? Are you going to pave my half?
 - The County is requiring Chocolate to be paved from 2nd to 5th and brought up to County Standards. We are showing a proposed paved Chocolate Drive entirely on our parcels but the County is looking into whether the road would be more aligned between neighboring parcels.
 - Some neighbors want their half of Chocolate paved; some do not. Some neighbors are concerned about losing part of their property and its value because of this
- This development will increase traffic on the dirt streets like Gepford and 4th. Neighbors do not want more traffic on their streets and some want these to be paved and some do not. Is there a way to prevent residents going through the dirt streets?
 - Primary access will be through 2nd Ave, the only paved through street to Sun Valley Boulevard. The development is doing its part by paving and bringing Chocolate Drive up to County Standards
- Who is reviewing all of this?
 - We have been coordinating with Washoe County Planning and Engineering Departments primarily – but the entire Washoe County must approve this
- People expressed concerns that their comments are not being heard and that the County and County Commission do not care
- People should be made aware that they are being video recorded at the neighborhood meeting
 - This neighborhood meeting is recorded because it was requested and required by Washoe County
- Are you getting funds from Nevada? HUD?
 - We would be getting funds from HUD which is federal. We are not sure how much this would be because it is based on tax credits.
 - Washoe County Home Consortium did give 200k in funds
- Questions on who gets to live there?
 - People do have to apply and prove they can pay rent
 - Rent will be more affordable as this is affordable housing
 - There will be a minimum and maximum income requirement, typically around 30k to 60k.
 - Typically, our developments have teachers, police officers, etc. to provide affordable housing options to residents that are not able to afford a house
 - Sun valley home prices could be out of reach for some residents and apartments would help residents save to be able to afford a home in the future
- Where is the water coming from?
 - Sun Valley General Improvement District has done a preliminary capacity study they have indicated they do have adequate capacity of water and sewer for this project

- Concerns about the stormwater/drainage
 - Residents are concerned that the project will make stormwater/drainage worse. Specific concerns were raised about where the stormwater is going to go beyond the project limits
 - We have been addressing these concerns, including after this was brought up at the last neighborhood meeting to consider. We have two on site detention basins to retain water and are looking into how to best direct the runoff that currently transitions through this site.
 - Neighbor raised concern that the flood of 1997 was very bad and we should look into/prepare for something like that
- Concerns that Sun Valley does not want apartments or affordable housing and that this does not match the area and lifestyle. Residents want to see the studies that show Sun Valley as a designated growth area and that there is a need for affordable housing – they conveyed this is not true to Sun Valley
 - We referenced Washoe Valley Master Plan, specifically the Sun Valley Area section, that does communicate diverse housing options and affordable housing as a need
 - Several concerns raised regarding changes to their neighborhoods and how this is not what they want
 - Why did they decide to build apartments here?
 - Pedcor did a market study to see if there is need for affordable housing and that is typically within a 2.5 mile radius of the development
- Is there consideration for streetlights?
 - One neighbor said this it is very unsafe and dark right now. Another neighbor said we actually do not want streetlights and want to keep the area dark.
 - We will be doing what the County requires for road safety.
- Will there be speed bumps on 2nd?
 - That would be up to Washoe County
 - A neighbor made a comment that the Fire Department does not like speed bumps
- How will there be access to the open space
 - We will be providing open space and trailhead access near the north end of the site to be coordinated with Washoe County Parks and Open Space. Additionally, we did dedicate 4.8 acres of the parcel to be zoned Open Space
- How did the client obtain this property? Neighbors thought it was BLM land
 - Client conveyed they are in the process of buying it and that when they became aware of the land it was already privately owned

- Is Pedcor a good management company? One neighbor concerned about the reputation of the company and printed 13 pages of residential complaints against Pedcor and mentioned more
 - Client responded that Pedcor does have over 30,000 units in the country and can see 100,000 people in a year. For a business as large as this, it is common to have some complaints and issues. Pedcor does have a very good reputation and can provide many references to Housing Authorities in other areas that Pedcor has worked with and has great standing with. Additionally, the HUD agency does give ratings and we have very good grades with them.
 - Neighbor would like these references or information to back up this rating made publicly available or brought to a meeting
- What are the future plans for the undeveloped area part?
 - There are no plans for that area – we are only able to do 240 units.
- When did we change from MDS to MDU?
 - Started in January – there were a series of several meetings and a formal public process that allowed this
- How big is the parcel?
 - The parcel is about 45 acres; we have designated about 5 acres as open space; and only plan to develop approximately 25 acres of the remaining 40.
- Where can they see the Washoe County Housing Study?
 - Kat from County - please email, call, text to submit a public records request for the low-income housing study

CHOCOLATE DRIVE NEIGHBORHOOD MEETING SIGN IN SHEET

Project:	Chocolate Drive – Administrative Permit Submittal	Meeting Date:	Oct 19, 2022 5:30 p.m. – 7:30 p.m.
Facilitator:	Pedcor Investments, LLC. Kimley Horn & Associates, LLC.	Place/Room:	Hobey's Casino

Name	Contact (Email or Phone)
BARBARA MORRIS	775 762 5737
Ray Dyer	skdyer44@aol.com
Carol Burns	
Heidi Lopez	heidi.sopera@yahoo.com
C. MARK NEUMANN	ON FILE
Sherry Hoag	vassarpothouse@GMAIL.COM
Denise & Scott Myer	denise.myerccdistrict3@gmail.com
Kelly Cooper Jammermans	XPAST@aol.com
ROD DIESEL	(406) 698-9996
DAVID & DONNA DAVY	d.davy@sbcglobal.net
MICKY MUSE	M. M.
Andrew Farnachia	andy Farnach
Sandi Easley	Sandi Easley
RAY RAGGER	RArag @SBCGLOBAL.NET
Not everyone signed	but about 18 neighbors
were in attendance.	

Comment Card

Name: Andrew Farnocchia 5380 ~~at~~ chocolate Dr

Contact Info: Traffic on Sun Valley Blvd.

Comment:

IT takes me 30 mins to get chocolate dr to Rock Blvd.
Back To Back Traffic now in the morning at 7:30 AM
Thats less than 10 miles what is going to happen
after they build these 240 units
Thats just too much

I also think that we should be compensated for
this because this is being built without our
approval. I bought my home in Sun Valley so I
could walk out my front door and see the mountains
not apartmentments

Comment Card

Name: SHERRY ROACH

Contact Info: 775-771-5481 - Vassar.pethouse@gmail

Comment:

I AM SO CONCERNED ABOUT WHERE ^{How} WATER & SEWERS
ARE GOING TO HANDLE THE GROWTH. WE ALREADY
HAVE FLOOD ISSUES AND HOW IS THAT GOING TO BE
HANDLED. BUT BIG CONCERNS IS TRAFFIC AND
DON'T FEEL THAT THE PLAN THAT YOU HAVE PROPOSED
DO NOT WORK. TRY AND GET OUT OF SUN
VALLEY IN AM NOW. WHY IS ALL THE TRAFFIC
PLANNED TO COME OUT AT 2ND WHICH ALLREADY
BACKS UP TO SEVENTH WAITING TO GET ON SUN
VALLEY BLVD.

Please
Read

Comment Card

Name: Denise Meyer

Contact Info: 775-742-1020

Comment:

Many of the residents of Sun Valley have valid concerns about traffic, access to the apartments & flooding & drainage. Would an alternate route be available? Please make traffic studies available. They have been mistreated in the past & need reassurance.

Comment Card

Name: Sandra Eastley, 5380 Chocolate Dr. 4th

Contact Info: 775-384-1419

Comment:

Could we please have more information on paving Chocolate Dr. Straight into the Apts? or all of Chocolate or just half of Chocolate? Sidewalks? What about Utility Poles etc? We bought our property because of the Mt & Jst will be gone. This was supposed to be our retirement thing & we are both on Disability and couldn't afford your apartments. What a great way to do a Retirement. UGLT!

Chocolate Drive Neighborhood Meeting Video Recording on October 19th, 2022 from 5:30 – 7:30 PM

Instructions:

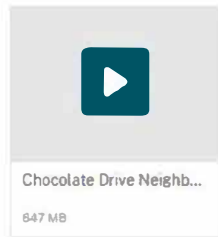
1. Click the link or type in the website address below.

<https://kimley-horn.securevdr.com/d-s850c0c122b2f442d8d80c43e3039c01b>

2. Check the box “I Agree: Terms and Conditions” and Click “View”

Files from Chris Waechter at Kimley-Horn

Sort By Name ▾ ☰ ☰



I agree: [Terms and Conditions](#)



Notice of Neighborhood Meeting

Dear Property Owner:

You are invited to attend a neighborhood meeting to discuss Chocolate Drive Multi-Family, a proposed development project in your area. This is your opportunity to review the proposed project, ask questions and provide feedback prior to submittal of a formal development application.

Neighborhood Meeting Information:

5:30 p.m., Wednesday, October 19, 2022
Hobey's Casino Banquet Room
5195 Sun Valley Blvd, Sun Valley, NV 89433

Project Description:

This project is located adjacent or along Chocolate Drive at the end of West 2nd Street and West 5th Street parcel numbers 502-250-09. This proposed project is a 240-unit affordable multi-family apartment community.

If you have questions about the meeting or would like to discuss the proposed development project, please contact: Engineer for the project applicant Chris Waechter at email Chris.Waechter@kimley-horn.com and phone 775.200.1978.

This is not a public hearing, and public officials will not be present. If you have questions regarding meeting requirements, please contact the Washoe County Staff Planner for the project: Chris Bronczyk, 775.328.3612, CBronczyk@washoecounty.gov.

To review information about neighborhood meetings, please visit: <https://neighborhood-washoe.hub.arcgis.com/>

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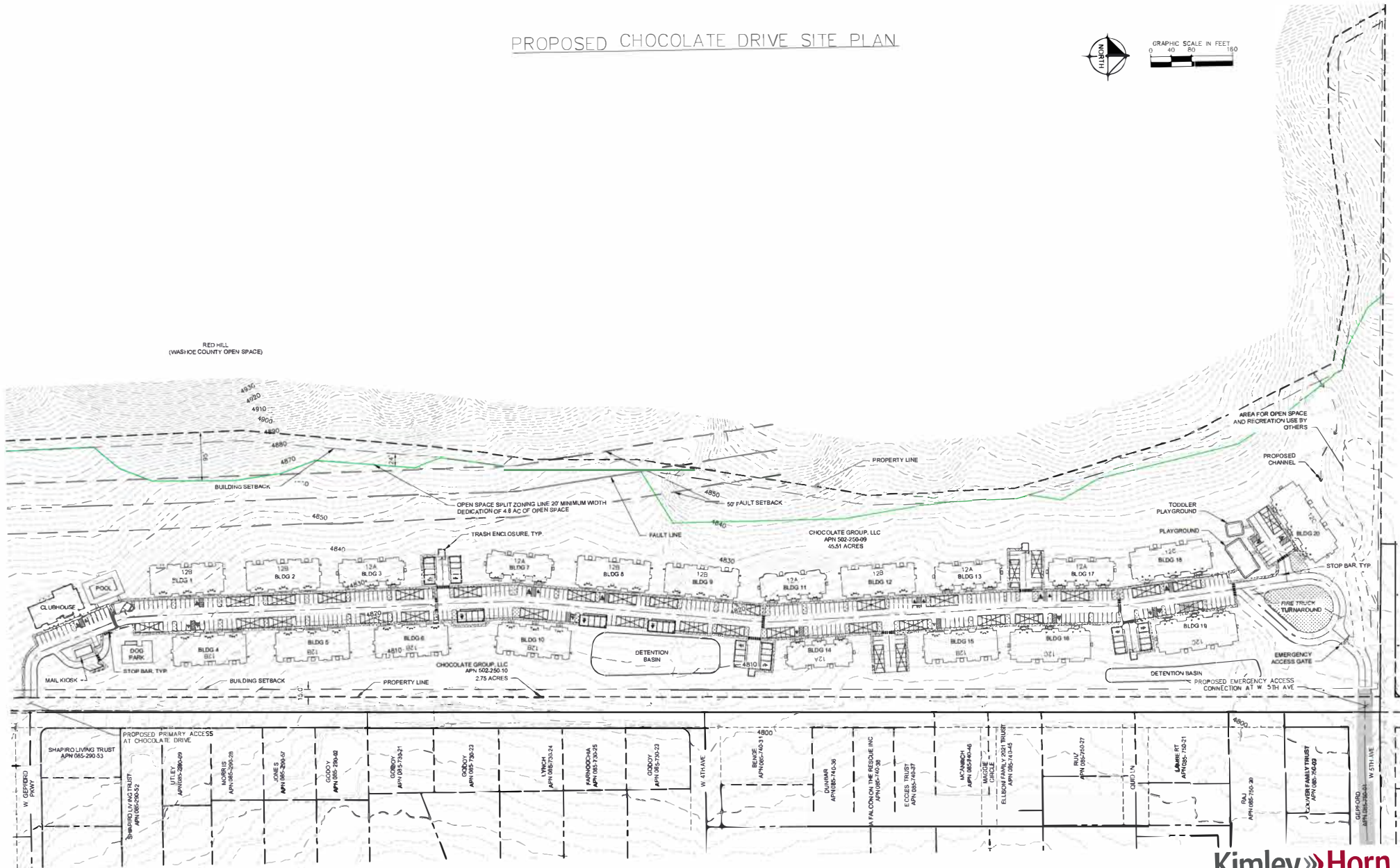
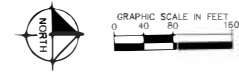
FIRSTNAME	LASTNAME	MAILING1	MAILING2	MAILQTY	MAILSTATE	MAILZIP
	SALMON POINT DEVELOPMENT LLC	1106 WELLS ST		WESSON	MS	39191
TONY	SMITH	325 W GEFFORD PKWY		SUN VALLEY	NV	89433
W J	LYNCH LIVING TRUST	PO BOX 13519	C/O PDS TAX SERVICES	ARLINGTON	TX	76094
W J	LYNCH LIVING TRUST	PO BOX 13519	C/O PDS TAX SERVICES	ARLINGTON	TX	76094
TOMMY L & MARCIA J	BALLARD	5545 WESTHILL CT		SUN VALLEY	NV	89433
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E		RENO	NV	89509
EDILBERTO H	NERI	5540 CORINA CIR		SUN VALLEY	NV	89433
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E		RENO	NV	89509
RACHEL C	WARD	5547 CHOCOLATE DR		SUN VALLEY	NV	89433
	ARCH LLC LOTS SERIES	1725 FAIRFIELD AVE		RENO	NV	89509
	SAGE WEST HOUSING TRUST	550 W PLUMB LN # B507		RENO	NV	89509
MARISOL	RODRIGUEZ SANCHEZ et al	355 BROWNLEE LN		SUN VALLEY	NV	89433
	CHURCH OF NAZARENE	205 W GEFFORD PKWY		SUN VALLEY	NV	89433
CARLOS A M	NAVA	5020 SAGUARO DR		SUN VALLEY	NV	89433
MAREN K	HOYOPATUBBI	395 LOSTER WAY		SUN VALLEY	NV	89433
RAYMOND K	DAGGER SEPARATE TRUST	365 W 2ND AVE		SUN VALLEY	NV	89433
LOIS M	LEACH	385 W 2ND AVE		SUN VALLEY	NV	89433
	MCKENNIE REALTY LLC	100 RIMFIRE CIR		RENO	NV	89519
RAMON & SONJA R	MONCADA	5345 KOALA LN		SUN VALLEY	NV	89433
WILLIAM G & LOU-ANN	HILLIARY	5395 FIREMAN DR		SUN VALLEY	NV	89433
MARTIN G	DE LEON et al	383 W 4TH AVE		SUN VALLEY	NV	89433
MARGARET F	MCANINCH et al	236 WEBB RD		PINEY FLATS	TN	37686
ENRIQUE	MARTINEZ et al	1417 RAEBURN WAY		ROSEVILLE	CA	95747
ROSA M	REYES	373 MARTINEZ DR	C/O JULIANNA MARTINEZ	SUN VALLEY	NV	89433
HILDEGARD S	LAMBERT	5478 CHOCOLATE DR		SUN VALLEY	NV	89433
MICHEAL T	GIRARD et al	5466 QUID LN		SUN VALLEY	NV	89433
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR		SUN VALLEY	NV	89433
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR		SUN VALLEY	NV	89433
BARBARA	MORRIS	PO BOX 20186		SUN VALLEY	NV	89433
CESAR F	CARRILLO	345 W GEFFORD PKWY		SUN VALLEY	NV	89433
IDA	SHAPIRO	1603 PLUMAS ST		RENO	NV	89509
IDA A	SHAPIRO LIVING TRUST	PO BOX 50346		RENO	NV	89513
IDA A	SHAPIRO LIVING TRUST	PO BOX 50346		RENO	NV	89513
ROGER & JACQUELINE	HUTCHINSON LIVING TRUST	5500 CHOCOLATE DR		SUN VALLEY	NV	89433
	A FALCON ON THE RESCUE INC	5699 WEDEKIND RD		SPARKS	NV	89431
OSCAR A	ROJAS et al	5563 WAINSCOTT DR		SUN VALLEY	NV	89433
RANDY E & BETTY J	JUDD	5555 CHOCOLATE DR		SUN VALLEY	NV	89433
TIAH	WOOD et al	5259 FLINTSTONE CIR		SUN VALLEY	NV	89433
TAMARA S	CLENDENEN	459 NILES WAY		RENO	NV	89506
BRYAN	GALVAN-SALGADO	363 W 2ND AVE		SUN VALLEY	NV	89433
FEROZE	MALIK	8849 AHMED AVE		ELK GROVE	CA	95624
LUIS D	GODOY	5360 CHOCOLATE DR		SUN VALLEY	NV	89433
HEIDI	SOPER	5370 CHOCOLATE DR		SUN VALLEY	NV	89433
FRANCISCO X	GODOY et al	5380 FIREMAN DR		SUN VALLEY	NV	89433
CINDY H	COLESTOCK LIVING TRUST	5483 PINE RANCH CT		LAS VEGAS	NV	89113
JUAN G R	SILVA et al	345 W 4TH AVE		SUN VALLEY	NV	89433
ROBERT E & REBEKA A	WHATLEY	343 PATTY LN		SUN VALLEY	NV	89433
MARIA M C	FLORES	393 W 4TH AVE		SUN VALLEY	NV	89433
SUZANNE M	BOYD	PO BOX 20154		SUN VALLEY	NV	89433
CHARLES P	JACKSON	5461 SIDEHILL DR		SUN VALLEY	NV	89433
ROXANNE	ROBINSON	5479 SIDEHILL DR		SUN VALLEY	NV	89433
EUGENE M	SMITH	5477 SIDEHILL DR		SUN VALLEY	NV	89433
	KING MTN RANCH INC	5555 WAINSCOTT DR		SUN VALLEY	NV	89433
BARBARA	MORRIS	PO BOX 20186		SUN VALLEY	NV	89433
MICHAEL M III	FRÖW	281 E 7TH AVE		SUN VALLEY	NV	89433
IGNACIO & MARIA I	CHAVEZ	6355 POTOMAC CT		SUN VALLEY	NV	89433
CARLOS A & MARIA Y	CRUZ	365 W 5TH AVE		SUN VALLEY	NV	89433
DEBORAH R	BURNS et al	5540 CHOCOLATE DR		SUN VALLEY	NV	89433
	CJG LLC SERIES 10	9825 S VIRGINIA ST	C/O JULIE CADIEW	RENO	NV	89511
JUSTIN R	SHERWOOD	5505 CHOCOLATE DR		SUN VALLEY	NV	89433
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY		RENO	NV	89509
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY		RENO	NV	89509
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY		RENO	NV	89509
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY		RENO	NV	89509
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY		RENO	NV	89509
SARAH A	BENAVIDEZ et al	340 BROWNLEE LN		SUN VALLEY	NV	89433
RICHARD J & DEBRA J	GRIFFIN	359 DEL WAY		SUN VALLEY	NV	89433
BACILIO	ESQUIVEL et al	PO BOX 20231		SUN VALLEY	NV	89433
JUAN & CHERYL W	MONTOYA	5370 KOALA LN		SUN VALLEY	NV	89433
VICKI M	ELLIS TRUST	PO BOX 765		DENAIR	CA	95316
DAVID D & DONNA L	DAVY	PO BOX 18275		RENO	NV	89511
ZOLA M	CHAPMAN TRUST	59 MECCA DR		CATHEDRAL CITY	CA	92234
	SERIES 3 CJG LLC	9825 S VIRGINIA ST	C/O JULIE CADIEW	RENO	NV	89511
MARGARET F	MCANINCH et al	236 WEBB RD		PINEY FLATS	TN	37686
MARGARET F	MCANINCH et al	236 WEBB RD		PINEY FLATS	TN	37686
ENRIQUE	MARTINEZ et al	373 MARTINEZ DR		SUN VALLEY	NV	89433
BETSY	TORRES	5456 QUID LN		SUN VALLEY	NV	89433
FOREST J	DENNIS	5463 SIDEHILL DR		SUN VALLEY	NV	89433
	CHOCOLATE GROUP LLC	3860 GS RICHARDS BLVD		CARSON CITY	NV	89703
TORIAN TO	UTLEY	5320 CHOCOLATE DR		SUN VALLEY	NV	89433
SHERRY J & PAUL	HODGES et al	355 W GEFFORD PKWY		SUN VALLEY	NV	89433
MICAE LA	RINCON-DEGONZALES	5320 KOALA LN		SUN VALLEY	NV	89433
TRAVIS	ENGLES	5326 KOALA LN		SUN VALLEY	NV	89433

DAVID R & CARMEN	JONES	5340 CHOCOLATE DR	SUN VALLEY	NV	89433	
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR	SUN VALLEY	NV	89433	
WERNER M	HELD	5500 WESTHILL CT	SUN VALLEY	NV	89433	
ANA S G	MIRANDA	5520 WESTHILL CT	SUN VALLEY	NV	89433	
ALEXXA M	GOODENOUGH	3272 TAYLOR ST	SACRAMENTO	CA	95838	
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E	RENO	NV	89509	
BARBARA A	SHAFER et al	5549 CHOCOLATE DR	SUN VALLEY	NV	89433	
PHILLIP & SHIRLEY	RULON FAMILY TRUST	3310 W HIDDEN VALLEY	RENO	NV	89502	
RALPH E	JAMMERMAN et al	PO BOX 4076	SPARKS	NV	89432	
JODY & KATHY	MATHENY	5260 CHOCOLATE DR	SUN VALLEY	NV	89433	
DIANA	ARELLANO et al	5258 FLINTSTONE CIR	SUN VALLEY	NV	89433	
STEPHEN	LONN	5254 CHOCOLATE DR	SUN VALLEY	NV	89433	
DENISE M & ROBERT C	CAIRNS	PO BOX 20304	SUN VALLEY	NV	89433	
JAVIER H	HERNANDEZ	361 DEL WAY	SUN VALLEY	NV	89433	
RONALD R & LINDA R	MUNSON	384 LOSTER WAY	SUN VALLEY	NV	89433	
LARA	DYER	415 W 2ND AVE	SUN VALLEY	NV	89433	
MARY A	FRANCIS et al	5375 KOALA LN	SUN VALLEY	NV	89433	
ALFREDO	GODOY	5348 CHOCOLATE DR	SUN VALLEY	NV	89433	
CINDY H	COLESTOCK LIVING TRUST	5483 PINE RANCH CT	LAS VEGAS	NV	89113	
RICHARD	RICKETTS	PO BOX 20235	SUN VALLEY	NV	89433	
BENJAMIN & BRANDY	DUNBAR	5420 CHOCOLATE DR	SUN VALLEY	NV	89433	
	COOVER FAMILY TRUST	220 MOONBEAM DR	SPARKS	NV	89441	
ALEXCIS & MARSHA	RAJ et al	PO BOX 60399	RENO	NV	89506	
HILDEGARD S	LAMBERT	5478 CHOCOLATE DR	SUN VALLEY	NV	89433	
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR	SUN VALLEY	NV	89433	
MIHAELA	GHIUCA	8345 OPAL RANCH WAY	RENO	NV	89506	
BARBARA	MORRIS	PO BOX 20186	SUN VALLEY	NV	89433	
FAUSTO & LOLIS	VAZQUEZ 2003 TRUST	PO BOX 33792	RENO	NV	89533	
IDA A	SHAPIRO LIVING TRUST	PO BOX 50346	RENO	NV	89513	
IDA A	SHAPIRO LIVING TRUST	PO BOX 50346	RENO	NV	89513	
WILLIAM L & CHERRIE A	BATES	3508 INDIAN LN	RENO	NV	89506	
CHARLES P	JENNINGS	5530 CHOCOLATE DR	SUN VALLEY	NV	89433	
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E	RENO	NV	89509	
JOHN & DOROTHY	FLOREY TRUST	1235 TANGLEWOOD DR	SPARKS	NV	89431	
VINCENZA	CASWELL	5257 FLINTSTONE CIR	SUN VALLEY	NV	89433	
	BIGELOW PROPERTIES LLC	737 SWEET BRIAR LN	SPARKS	NV	89436	
TERRI L	RILEY	386 BROWNLEE LN	SUN VALLEY	NV	89433	
GARY M & PATRICIA K	COLEMAN	370 BROWNLEE LN	SUN VALLEY	NV	89433	
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR	SUN VALLEY	NV	89433	
ANDREW J	FARNOCCHIA et al	5380 CHOCOLATE DR	SUN VALLEY	NV	89433	
MARK & KATHERINE	REYNOLDS	5360 FIREMAN DR	SUN VALLEY	NV	89433	
BRENDA L	SANBORN	5370 FIREMAN DR	SUN VALLEY	NV	89433	
ROBERT C & CARMEN M	HARWELL	345 W 4TH AVE	SUN VALLEY	NV	89433	
STEVEN	BENGE et al	395 W 4TH AVE	SUN VALLEY	NV	89433	
ROCHELLE S	CHABRE	11316 NE 28TH ST UNIT 28	VANCOUVER	WA	98682	
	LUCKY D'S LLC	PO BOX 104	SPARKS	NV	89432	
	CHOCOLATE GROUP LLC	3860 GS RICHARDS BLVD	CARSON CITY	NV	89703	
LOMIE A	STORM	PO BOX 1853	KINGS BEACH	CA	96143	
JUAN	BADILLO	PO BOX 20347	RENO	NV	89515	
	WASHOE COUNTY SCHOOL DISTRICT BOARD	PO BOX 30425	RENO	NV	89520	
TONY	DALY	PO BOX 14113	RENO	NV	89507	
NELLY A	BAUMB	7874 GUERRA CT	SPARKS	NV	89436	
PHILIP & BRENDA	ANDREA TRUST	3701 N COUNTRY CLUB DR APT 707	AVENTURA	FL	33180-1718	
JAQUELINE	ESTRADA-RAMIREZ	5510 WESTHILL CT	SUN VALLEY	NV	89433	
VICTOR	REYES	5625 PEARL DR	SUN VALLEY	NV	89433	
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E	RENO	NV	89509	
	ROGERS/GOODNIGHT PROP LLC	3690 GRANT DR STE E	RENO	NV	89509	
PAUL G & LA DONNA J	DELSOLDATO	5553 CHOCOLATE DR	SUN VALLEY	NV	89433	
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY	RENO	NV	89509	
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY	RENO	NV	89509	
	S F & W W ECCLES LLC	PO BOX 18628	RENO	NV	89511	
TEVITA T & LILIOLA	NAU	5246 CHOCOLATE DR	SUN VALLEY	NV	89433	
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY	RENO	NV	89509	
PETER J	WALL	359 W 2ND AVE	SUN VALLEY	NV	89433	
CHERYL A	MIDDLEMISS	361 W 2ND AVE	SUN VALLEY	NV	89433	
EDGAR C	CABRERA	380 LOSTER WAY	SUN VALLEY	NV	89433	
SUSANNE M	MORGAN	5360 KOALA LN	SUN VALLEY	NV	89433	
TERESA	GOMEZ	15110 WESTERN SPRINGS DR	RENO	NV	89521	
REFUGIO J & JOSEFINA G	CERVANTES	5365 FIREMAN DR	SUN VALLEY	NV	89433	
ARTHUR R	CORRAL LIVING TRUST	369 MARTINEZ DR	SUN VALLEY	NV	89433	
DANIEL	VILLALOBOS-RUIZ et al	335 W 4TH AVE	SPARKS	NV	89431	
BRISCELLA I	AVILA	385 W 4TH AVE	SUN VALLEY	NV	89433	
MARGARET F	MCANINCH et al	236 WEBB RD	PINEY FLATS	TN	37686	
ANDREA	MORALES	371 MARTINEZ DR	SUN VALLEY	NV	89433	
CHARLES A	GEPPORD	3095 SPROUT WAY	SPARKS	NV	89431	
MARTINA I	BARNETT	5474 QUID LN	SUN VALLEY	NV	89433	
REGINA L	MILLER	150 HAUOLI ST # 301	WAILUKU	HI	96793	
ELISANDRO	MARTINEZ-RODRIGUEZ et al	350 W 5TH AVE	SUN VALLEY	NV	89433	
	WASHOE COUNTY	1001 E 9TH ST BLDG A	RENO	NV	89512	
	ARCH LLC LOTS SERIES	1725 FAIRFIELD AVE	RENO	NV	89509	
W J	LYNCH LIVING TRUST	PO BOX 13519	C/O PDS TAX SERVICES	ARLINGTON	TX	76094
RICK D	WILBORN et al	5555 WESTHILL CT	SUN VALLEY	NV	89433	
NORBERT H	BLANCO	5530 CORINA CIR	SUN VALLEY	NV	89433	
JOHN H & HELEN L	NOYES	5555 WAINSCOTT DR	SUN VALLEY	NV	89433	

GLORIA	ANDREWS	445 W 5TH AVE	SUN VALLEY	NV	89433
DONNA	MCKINNELL	5290 CHOCOLATE DR	SUN VALLEY	NV	89433
RODNEY K & JUDY F	DIEGEL	365 BROWNLEE LN	SUN VALLEY	NV	89433
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY	RENO	NV	89509
JOHN H	BOYD	366 BROWNLEE LN	SUN VALLEY	NV	89433
DAVID C & VICKY S	DUGGINS	385 LOSTER WAY	SUN VALLEY	NV	89433
RAYMOND K	DAGGER SEPARATE TRUST	365 W 2ND AVE	SUN VALLEY	NV	89433
JASON W	MERLIS	395 W 2ND AVE	SUN VALLEY	NV	89433
JEROME	FARFING TRUST	2345 SAGITTARIUS DR	RENO	NV	89509
BRENDA D	BELL	5335 KOALA LN	SUN VALLEY	NV	89433
SALVADOR L	PICENO et al	5355 KOALA LN	SUN VALLEY	NV	89433
	A FALCON ON THE RESCUE INC	5699 WEDEKIND RD	SPARKS	NV	89431
	ELLISON FAMILY 2021 TRUST	5444 CHOCOLATE DR	SUN VALLEY	NV	89433
ENRIQUE JR & AMALIA L	MARTINEZ	363 MARTINEZ DR	SUN VALLEY	NV	89433
DOUGLAS & CHARLENE	BAKER	15335 TUXON WAY	RENO	NV	89521
RUTH A	BUTLER	5460 QUID LN	SUN VALLEY	NV	89433
ELISANDRO M	RODRIGUEZ et al	350 W 5TH AVE	SUN VALLEY	NV	89433
JOHN H & HELEN L	NOYES	5555 WAINSCOTT DR	SUN VALLEY	NV	89433
FLOYD A JR & NOVA E	CARPENTER	5324 CHOCOLATE DR	SUN VALLEY	NV	89433
ROBERT & BERTHA	MATTSON FAMILY TRUST	32178 61ST AVE	SAINT CLOUD	MN	56303-9526
ALFREDO P	GODOY TRUST	5348 CHOCOLATE DR	SUN VALLEY	NV	89433
EFRAIN	LOPEZ	5530 WESTHILL CT	SUN VALLEY	NV	89433
CARLOS D	MUNOZ et al	5515 WESTHILL CT	SUN VALLEY	NV	89433
MANUEL G	MORA et al	5550 CHOCOLATE DR	SUN VALLEY	NV	89433
CHRISTENE B	TOGNARELLI	5515 CORINA CIR	SUN VALLEY	NV	89433
ERIC C	KAUFFMANN	5551 CHOCOLATE DR	SUN VALLEY	NV	89433
GUY & MARY ELLEN	ARCHER LIVING TRUST et al	1725 FAIRFIELD AVE	RENO	NV	89509
MARCO	GIORDANO	PO BOX 9870	RENO	NV	89507
EDWARD	SOUZA	5256 FLINTSTONE CIR	SUN VALLEY	NV	89433
JOSEPH L	BENGOECHEA FAMILY TRUST	3355 PRESCOTT WAY	RENO	NV	89509
WYMAN	COOPER FAMILY TRUST	9150 FREMONT WAY	RENO	NV	89506
	COOVER FAMILY TRUST	220 MOONBEAM DR	SPARKS	NV	89441
JEFFREY	VEASLEY	PO BOX 11734	RENO	NV	89510
VERONICA	SEGURA	3610 EL RANCHO DR	SUN VALLEY	NV	89433
ANGEL L	RIOS et al	5340 KOALA LN	SUN VALLEY	NV	89433
SHERRY	HYBARGER et al	5385 KOALA LN	SPARKS	NV	89433
LORI K	HARRIS	5385 FIREMAN DR	SUN VALLEY	NV	89433
MARTIN L	EVERHART	PO BOX 2956	SPARKS	NV	89432
	VAZQUEZ 2003 TRUST	PO BOX 33792	RENO	NV	89533
WILLIAM W	ECCLES TRUST	3848 BEXLEY SQ	RENO	NV	89503
MARGARET F	MCANINCH et al	236 WEBB RD	PINEY FLATS	TN	37686
JOSE	MARTINEZ	1251 HAISTAR TRL	SPARKS	NV	89441
	JERSEY FAMILY TRUST	370 W 5TH AVE	SUN VALLEY	NV	89433
ALEXCIS & MARSHA	RAJ	PO BOX 60399	RENO	NV	89506
ADRIAN	RUIZ et al	5450 CHOCOLATE DR	SUN VALLEY	NV	89433
C BRONCZYK	WASHOE COUNTY CSD - PLANNING	1001 E 9TH ST, BLDG A	RENO	NV	89512
COMMISSIONER SUPPORT	WASHOE COUNTY MANAGER'S OFFICE	1002 E 9TH ST, BLDG A	RENO	NV	89512

ATTN: DISTRICT 3

PROPOSED CHOCOLATE DRIVE SITE PLAN



Chocolate Drive Site Plan Exhibit

Washoe County, Nevada
October 2022

NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

DWG NAME: K:\REN_CIVIL\132233-000 - PEDCOR CHOCOLATE DRIVE\07 CAD\EXHIBIT\2022\10 09 - NEW SITE PLAN\SITE PLAN EXHIBIT.DWG
LAST SAVED: 10/17/2022 2:35 PM

Kimley»Horn

7900 Ranchhartah Parkway
Suite 100
Reno, Nevada 89511
(775) 200-1978

PROPOSED CHOCOLATE DRIVE OVERALL SITE VIEW WITH AERIAL



LEGEND

	PROPERTY LINE
	SETBACK LINE
	OPEN SPACE SPLIT ZONING BOUNDARY LINE
	EXISTING EASEMENT
	EXISTING FENCE
	EXISTING FAULTLINE - APPROXIMATE FROM USGS
	50' FAULT SETBACK
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK

Chocolate Drive
Overall Site View

Washoe County, Nevada
October 2022

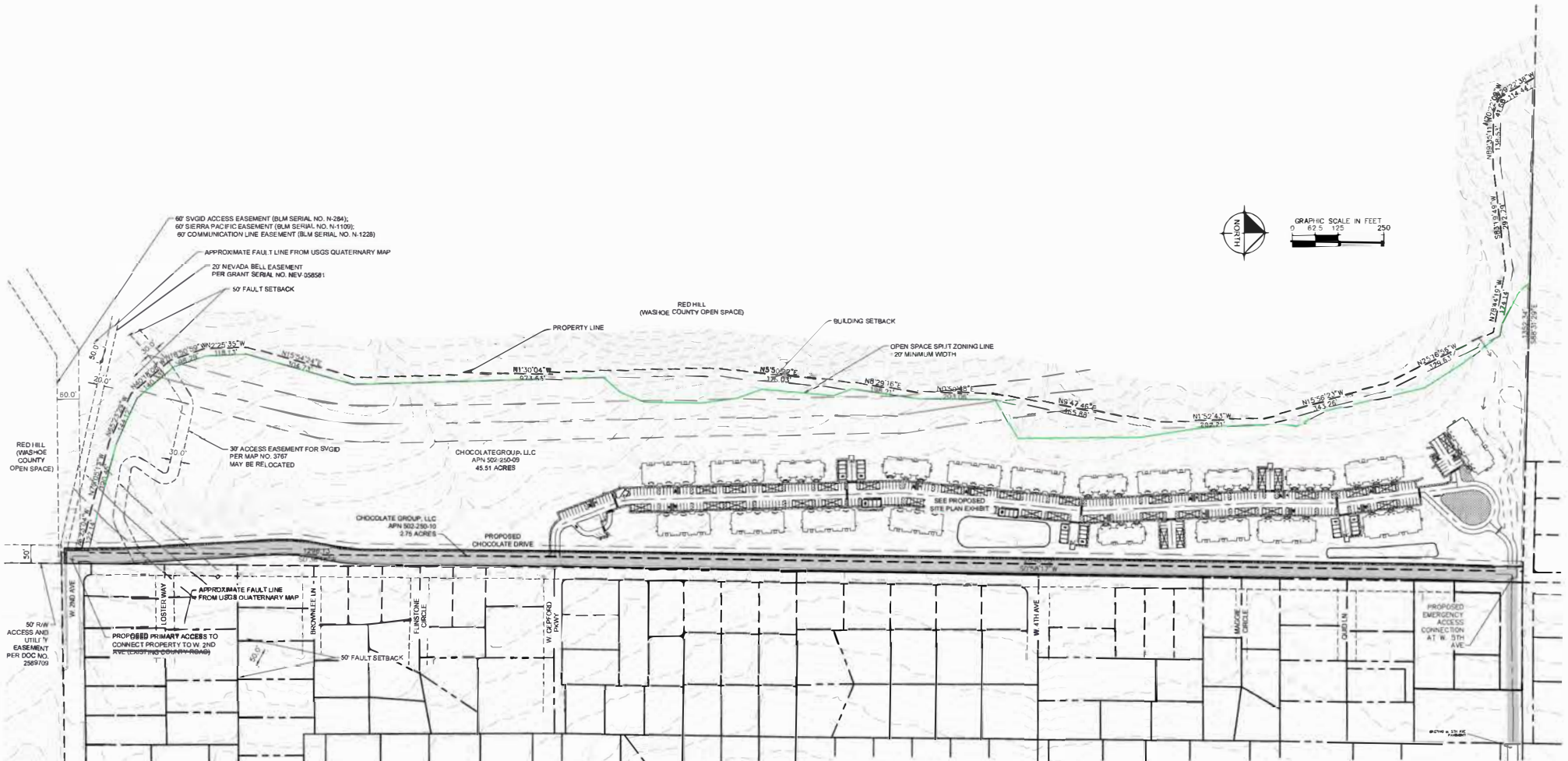
NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

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Kimley»Horn

7900 Ranchharrah Parkway
Suite 100
Reno, Nevada 89511
(775) 200-1978

PROPOSED CHOCOLATE DRIVE OVERALL SITE VIEW WITH AERIAL



Chocolate Drive
 Overall Site View

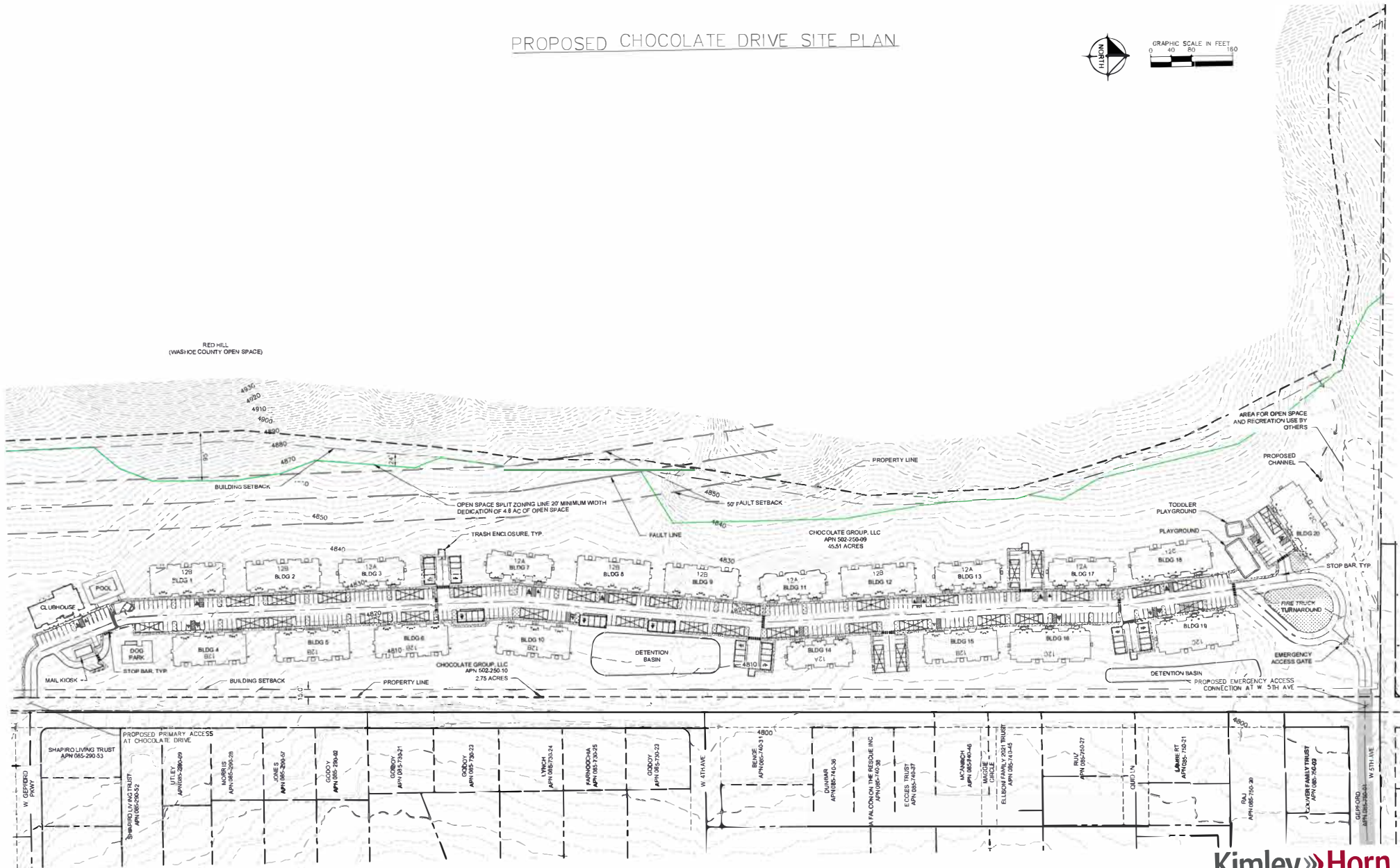
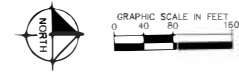
Washoe County, Nevada
 October 2022 NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

DRWG NAME: K:\REN_CIVIL\192333000 - PEDCOR CHOCOLATE DRIVE\1 CAD\EXHIBIT\30222_09_22 ROAD ACCESS ALTERNATIVES\1 3 - NEIGHBORHOOD MEETING PARTIAL CHOCOLATE DR.DWG
 LAST SAVED: 10/19/2022 2:39 PM

Kimley»Horn

7900 Ranchamah Parkway
 Suite 100
 Reno, Nevada 89511
 (775) 200-1978

PROPOSED CHOCOLATE DRIVE SITE PLAN



Chocolate Drive Site Plan Exhibit

Washoe County, Nevada
October 2022

NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

DWG NAME: K:\REN_CIVIL\132233-000 - PEDCOR CHOCOLATE DRIVE\07 CAD\EXHIBIT\20222_10_08 - NEW SITE PLAN\SITE PLAN EXHIBIT.DWG
LAST SAVED: 10/17/2022 2:35 PM

Kimley»Horn

7900 Ranchhartah Parkway
Suite 100
Reno, Nevada 89511
(775) 200-1978



4 BUILDING TYPE 12A RIGHT ELEVATION
1/8" = 1'-0" BUILDINGS 3 & 4



2 BUILDING TYPE 12A REAR ELEVATION
1/8" = 1'-0" BUILDINGS 3 & 4



3 BUILDING TYPE 12A LEFT ELEVATION
1/8" = 1'-0" BUILDINGS 3 & 4



1 BUILDING TYPE 12A FRONT ELEVATION
1/8" = 1'-0" BUILDINGS 3 & 4

**COLOR SCHEME:
NAVAJO BEIGE (LIGHT COLOR)**
NOTE: COLOR SCHEMES VARY BETWEEN BUILDING LOCATIONS



4 BUILDING TYPE 12B RIGHT ELEVATION
1/8" = 1'-0" BUILDINGS 2, 6, 7, 10, 12, & 16



3 BUILDING TYPE 12B LEFT ELEVATION
1/8" = 1'-0" BUILDINGS 2, 6, 7, 10, 12, & 16



2 BUILDING TYPE 12B REAR ELEVATION
1/8" = 1'-0" BUILDINGS 2, 6, 7, 10, 12, & 16

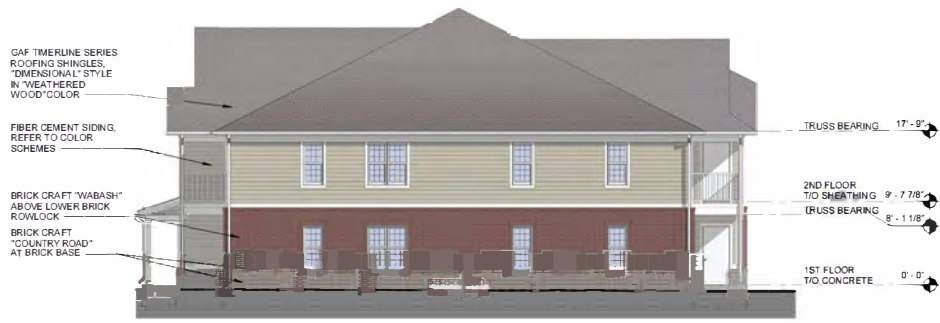


1 BUILDING TYPE 12B FRONT ELEVATION
1/8" = 1'-0" BUILDINGS 2, 6, 7, 10, 12, & 16

**COLOR SCHEME:
TIMBER BARK (DARK COLOR)**
NOTE: COLOR SCHEMES VARY BETWEEN BUILDING LOCATIONS

NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.





4 BUILDING TYPE 12C RIGHT ELEVATION
1/8" = 1'-0" BUILDINGS 8, 9, & 11



3 BUILDING TYPE 12C LEFT ELEVATION
1/8" = 1'-0" BUILDINGS 8, 9, & 11



2 BUILDING TYPE 12C REAR ELEVATION
1/8" = 1'-0" BUILDINGS 8, 9, & 11

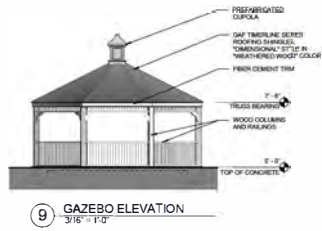


1 BUILDING TYPE 12C FRONT ELEVATION
1/8" = 1'-0" BUILDINGS 8, 9, & 11

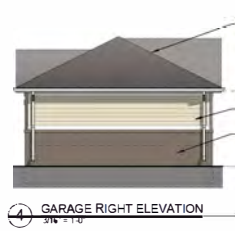
NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.



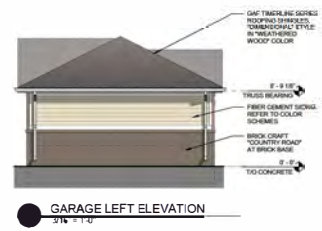
COLOR SCHEME:
MONTEREY TAUPE (MEDIUM COLOR)
NOTE: COLOR SCHEMES VARY BETWEEN BUILDING LOCATIONS
WADMIN22-0029 & WSUP23-0001
EXHIBIT C



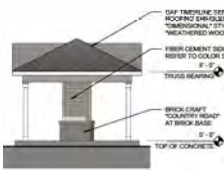
9 GAZEBO ELEVATION
3/16" = 1'-0"



4 GARAGE RIGHT ELEVATION
3/16" = 1'-0"



3 GARAGE LEFT ELEVATION
3/16" = 1'-0"



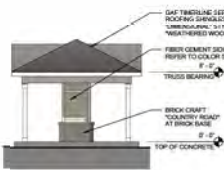
8 MAIL KIOSK RIGHT ELEVATION
3/16" = 1'-0"



6 MAIL KIOSK REAR ELEVATION
3/16" = 1'-0"



2 GARAGE REAR ELEVATION
3/16" = 1'-0"



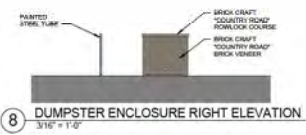
7 MAIL KIOSK LEFT ELEVATION
3/16" = 1'-0"



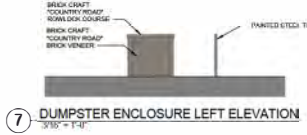
5 MAIL KIOSK FRONT ELEVATION
3/16" = 1'-0"



1 GARAGE FRONT ELEVATION
3/16" = 1'-0"



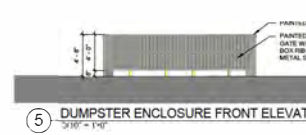
8 DUMPSTER ENCLOSURE RIGHT ELEVATION
3/16" = 1'-0"



7 DUMPSTER ENCLOSURE LEFT ELEVATION
3/16" = 1'-0"



6 DUMPSTER ENCLOSURE REAR ELEVATION
3/16" = 1'-0"



5 DUMPSTER ENCLOSURE FRONT ELEVATION
3/16" = 1'-0"



4 CLUBHOUSE RIGHT ELEVATION
1/8" = 1'-0"



3 CLUBHOUSE REAR ELEVATION
1/8" = 1'-0"



2 CLUBHOUSE LEFT ELEVATION
1/8" = 1'-0"



1 CLUBHOUSE FRONT ELEVATION
1/8" = 1'-0"

NOTE: THIS PLAN IS PRELIMINARY IN NATURE AND IS SUBJECT TO CHANGE.

PROPOSED CHOCOLATE DRIVE VIEWSHED ANALYSIS



Chocolate Drive
VIEW SHED ANALYSIS
Washoe County, Nevada
November 2022

Kimley»Horn

7800 Ranchdarrah Parkway
Suite 100
Reno, Nevada 89511
(775) 200-1978

DWG NAME: K:\REN_CIVIL\190223\000 - PEDCOR CHOCOLATE DRIVE\07 CAD\X1\HRT\2022.10.06 - NEW SITE PLAN\VIEWSHED ANALYSIS.DWG
LAST SAVED: 12/30/2022 9:39 AM

Chocolate Drive Viewshed Analysis

Viewshed Methodology

1. Used Autodesk Infracore software application/tool to develop the 3D imagery and the degree that proposed sample apartment buildings were visible from the cross sections.
2. From each cross section, the view faced to and from the development and panned 180 degrees horizontally (e.g., left-to-right) and these views were intersected with the Chocolate Drive existing and proposed Digital Elevation Models (DEMs).
3. Views do not include obstructions of any existing buildings, houses, or trees in the vicinity which will reduce visibility.
4. Used a uniform maximum height of 32-feet for 2-story buildings, however building heights will vary according to architectural elevations.
5. Observation height is approximately 5-feet from ground elevation.

Chocolate Drive Viewshed Analysis

From Lois Allen Elementary School looking northwest to West 2nd and Chocolate Ave – Grading of Chocolate Drive is partially visible



From Chocolate Drive and Loster Way Intersection towards Lois Allen Elementary looking southeast

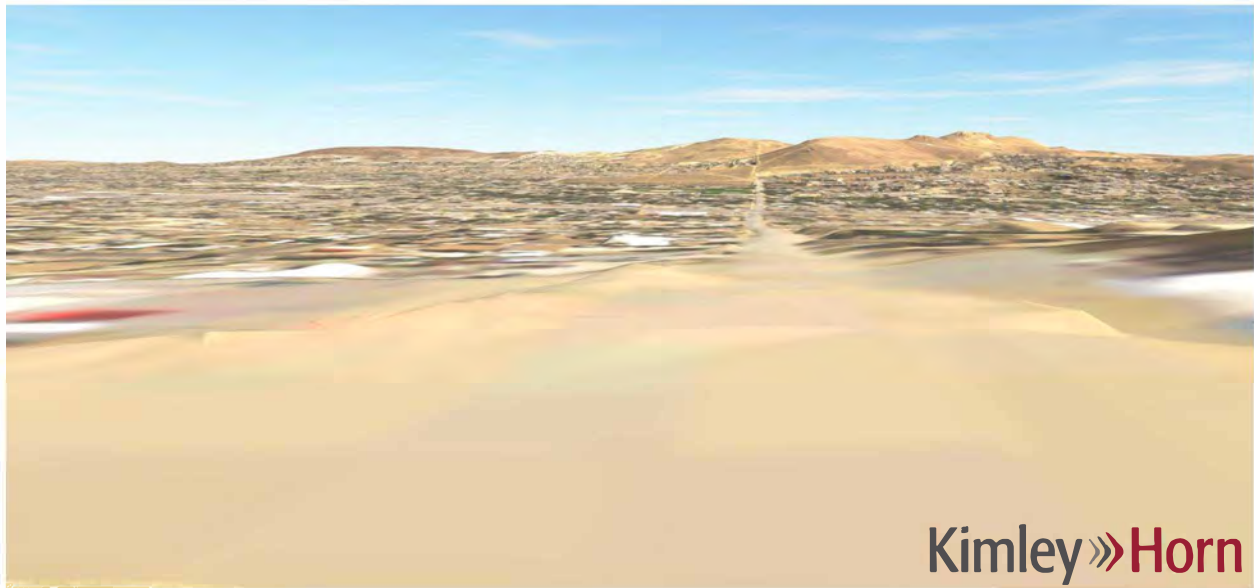


Chocolate Drive Viewshed Analysis

From Sun Valley Boulevard looking west along Gepford Parkway – Buildings partially visible



From Chocolate Drive and Gepford Parkway Intersection towards Sun Valley Boulevard looking east

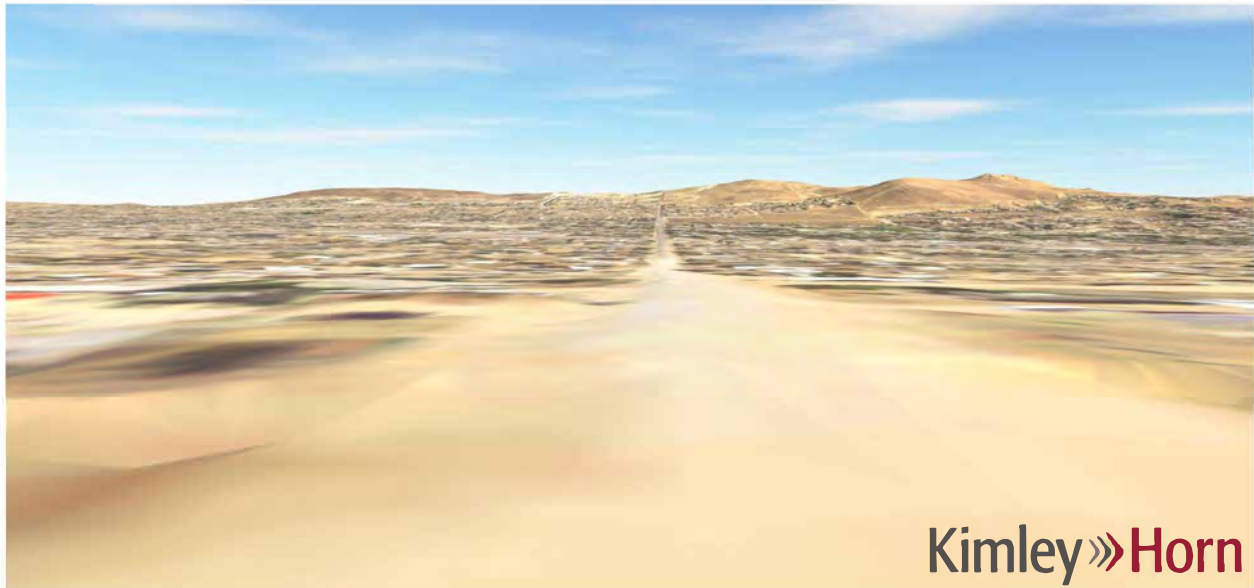


Chocolate Drive Viewshed Analysis

From Sun Valley Boulevard looking west along West 4th Ave – Buildings partially visible

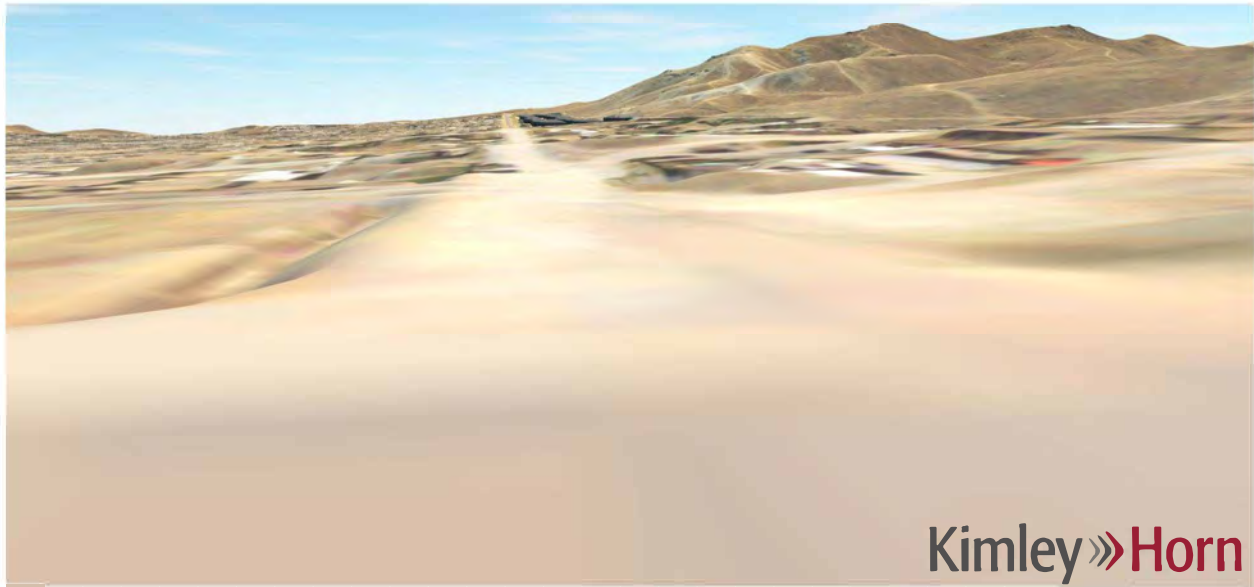


From Chocolate Drive and West 4th Ave Intersection towards Sun Valley Boulevard looking east

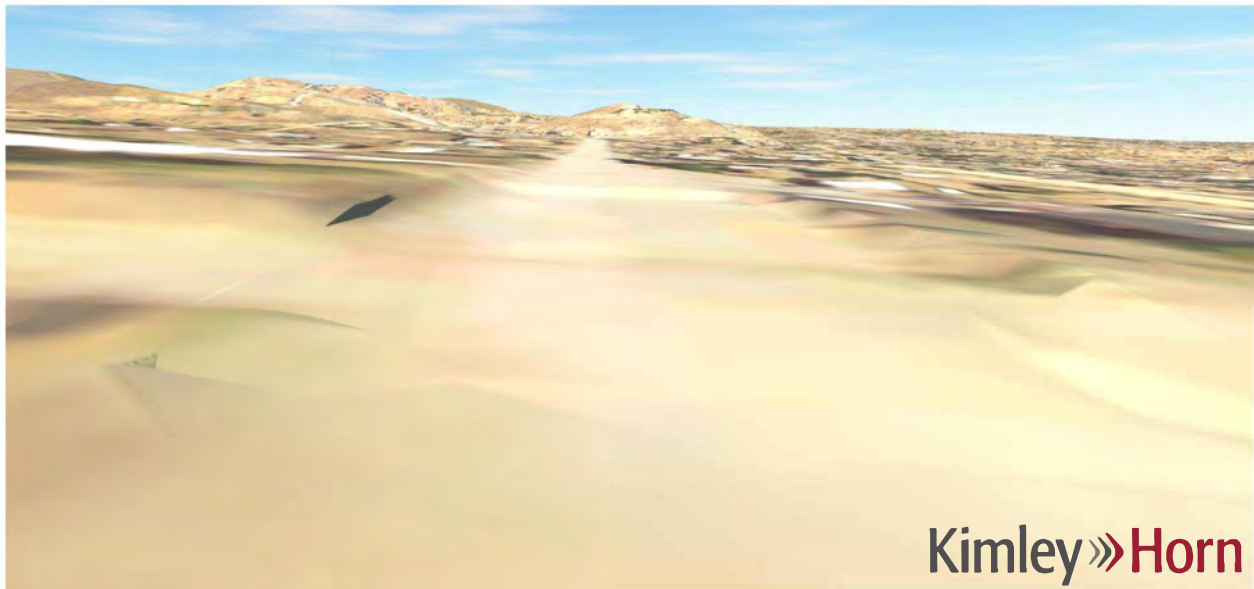


Chocolate Drive Viewshed Analysis

From 7th Ave looking south along Chocolate Drive Ave – Buildings partially visible

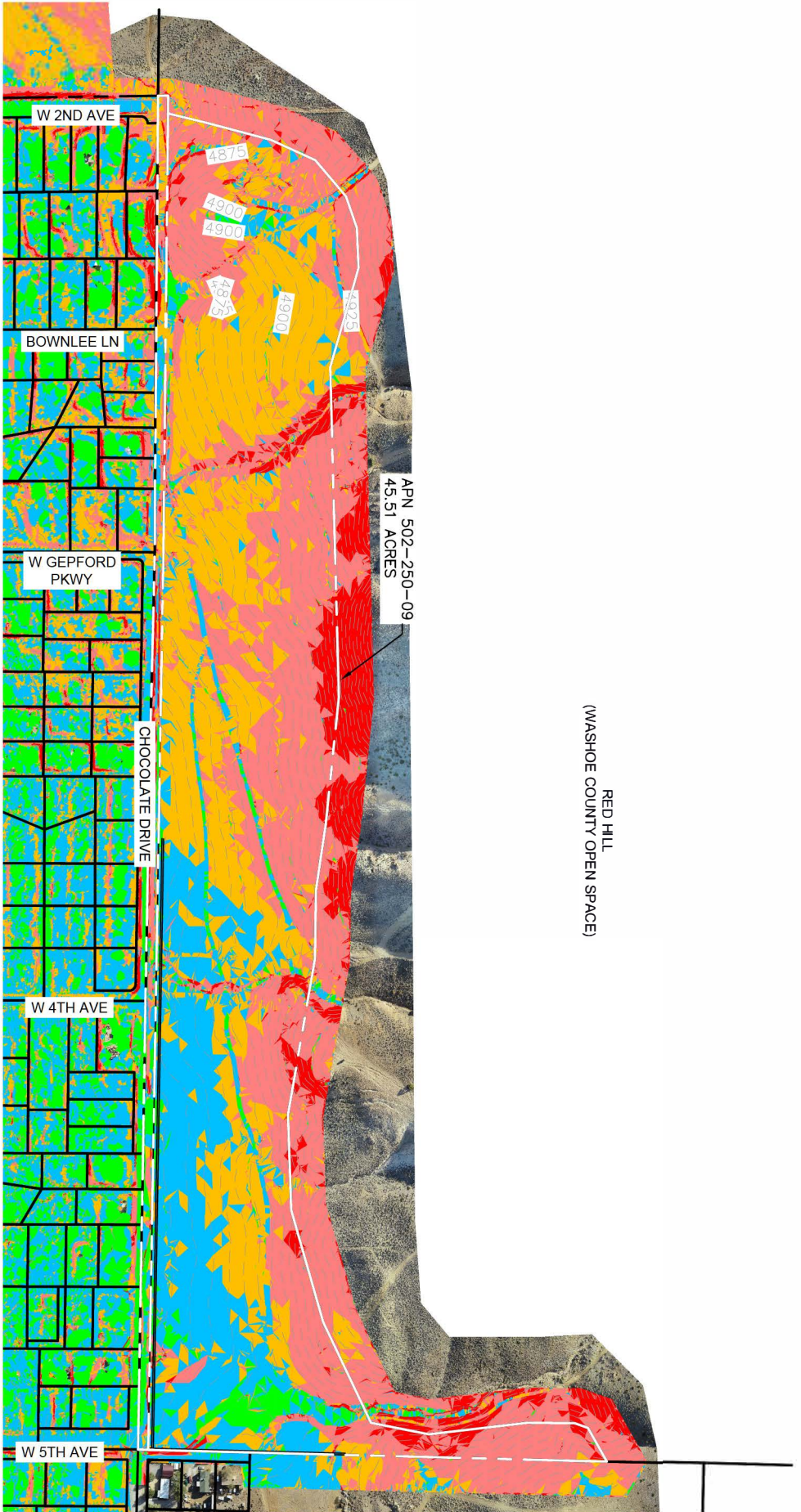


From Chocolate Drive and West 5th Ave Intersection towards 7th Ave looking north



**6400 CHOCOLATE DRIVE
SLOPE ANALYSIS**
WASHOE COUNTY, NEVADA

- APPROXIMATELY 43%± OF SITE (4.19.56 ACRES) IS OVER 15% IN SLOPE.
- APPROXIMATELY 8%± OF SITE (33.64 ACRES) IS OVER 30% IN SLOPE.



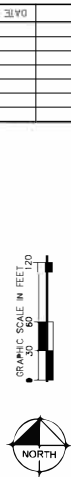
Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	0.04%	5.00%	Green
2	5.00%	10.00%	Blue
3	10.00%	15.00%	Yellow
4	15.00%	30.00%	Red
5	30.00%	57879.93%	Dark Red

Kimley **Horn**

7900 Ranchbarrah Parkway
Suite 100
Reno, Nevada 89511
775-200-1978

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TREE LOCATION SURVEY, UTILITIES, ETC. ADDITIONAL SURVEY IS REQUIRED TO PHYSICALLY VERIFY EXISTING TREES AND VERIFY TOPOGRAPHY.

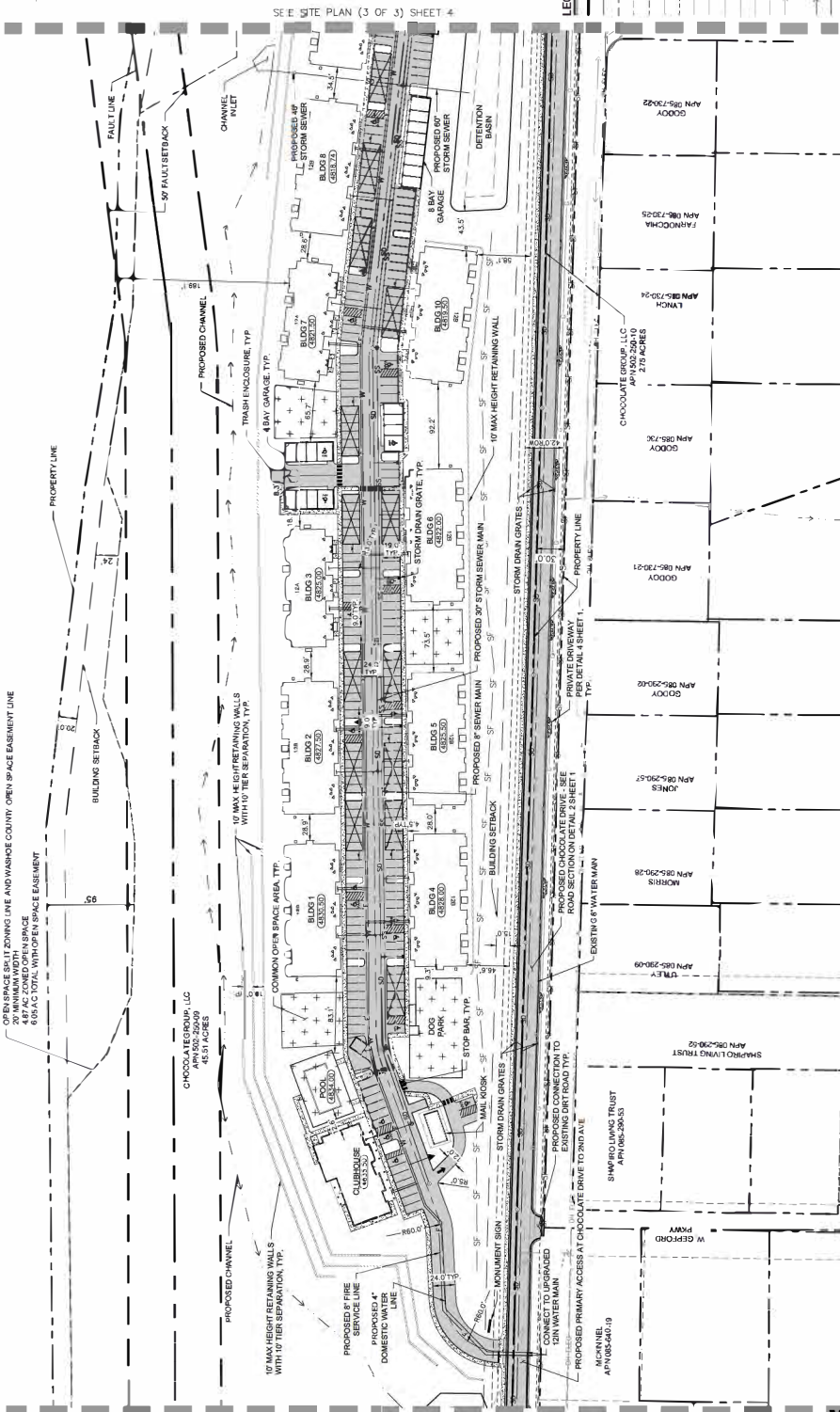


SITE INFORMATION	
SITE APN	502-250-09, 502-250-10
SITE AREA	-09 PARCEL IS 46.51 AC -10 PARCEL IS 2.79 AC
ZONING	-09 PARCEL IS MEDIUM DENSITY URBAN (MDZ) (0.64 AC) AND OPEN SPACE (OS) (1.15 AC) -10 PARCEL IS GENERAL RURAL (GR) (2.79 AC)
EXISTING LAND USE	-09 PARCEL IS 100 (VAGAN-UNKNOWN/OTHER) -10 PARCEL IS 170 (UNDESIGNED)
PROPOSED LAND USE	-09 PARCEL TO BE 340 (10 PARCEL TO BE) PHRE (PUBLIC ROAD)
TOTAL NUMBER OF UNITS	240 UNITS
TOTAL PARKING REQUIRED	468 (INCLUDING 234 CARPORTS OR GARAGES AND 10 ADA SPACES)
TOTAL PARKING PROVIDED	470 (INCLUDING 38 GARAGES, 204 CARPORTS, AND 28 ADA SPACES)
PARKING RATIO	1.9 PER UNIT
CONSTRUCTION PHASING	ONE PHASE
TOTAL NUMBER OF BUILDINGS	50 APARTMENTS 1 CLUBHOUSE (384 SF) 6 BUILDINGS 61440 SF
1-BEDROOM 12-UNIT BUILDINGS	10 BUILDINGS 84328 SF
2-BEDROOM 12-UNIT BUILDINGS	1 (38) 10,748 SF
3-BEDROOM 12-UNIT BUILDINGS	1 (42)



KHA-PROJECT 17/04/2023
 DRAWN BY: A.S./J.W.
 REVISIONS: 01/07/2023
 SCALE: AS SHOWN
 DATE: 01/07/2023
 SHEET NO. 2 OF 3

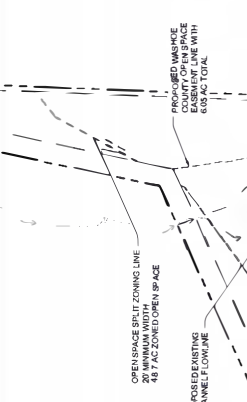
CHOCOLATE DRIVE
 SUN VALLEY, NV
 SHEET NUMBER
 3 OF 10



LEGEND

- PROPERTY LINE
- SE BACK LINE
- OPEN SPACE SPLIT ZONING BOUNDARY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- PROPOSED RIGHT OF WAY
- EXISTING FAULTLINE
- 50' FAULT SETBACK
- EXISTING WATER
- EXISTING GAS
- EXISTING SEWER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING FLOW PATH
- EXISTING ELECTRIC POWER POLE
- PROPOSED FLOW PATH
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED SEWER
- PROPOSED SULT FENCE
- PROPOSED FIRE HYDRANT
- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- COMMON OPEN SPACE AREA
- PROPOSED RETAINING WALL
- PROPOSED CARPORTS

NO.	REVISIONS	DATE



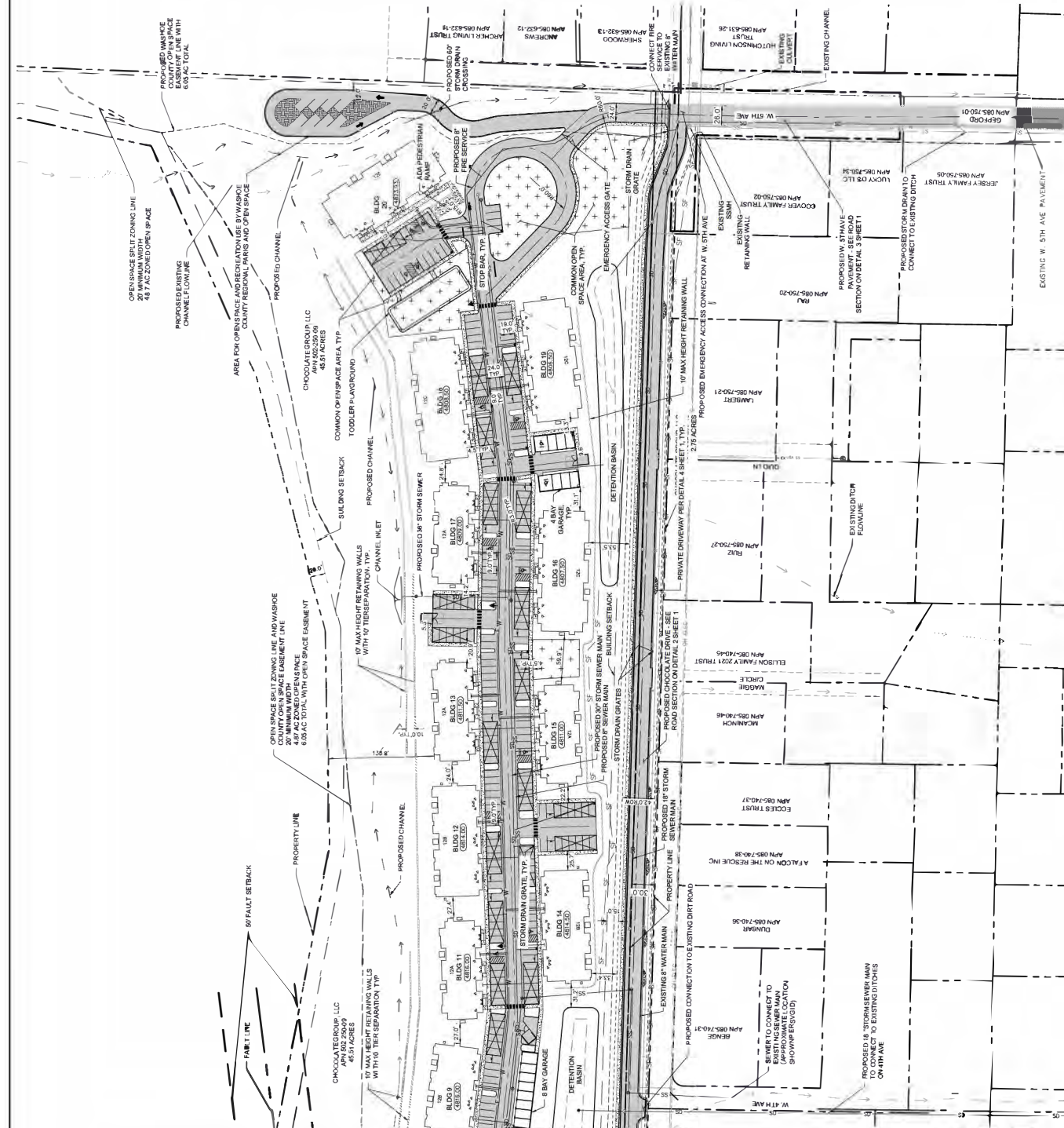
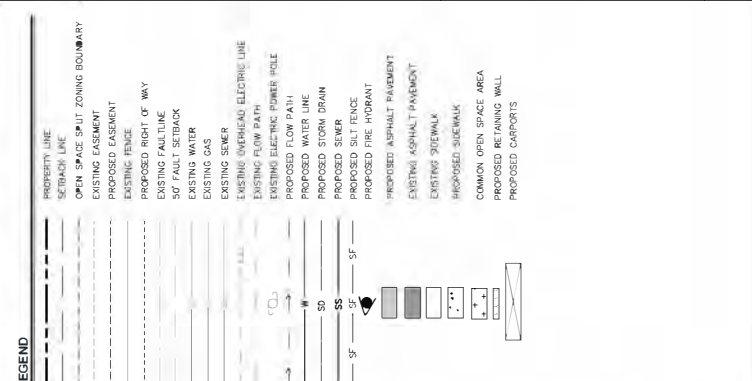
SITE INFORMATION	
SITE APN	502-250-09, 502-250-10
SITE AREA	-09 PARCEL IS 14.51 AC -10 PARCEL IS 2.79 AC
ZONING	-09 PARCEL IS MEDIUM DENSITY URBAN (MDU) (10.84 AC) AND OPEN SPACE (1.66 AC) -10 PARCEL IS GENERAL RURAL (GR) (2.79 AC)
EXISTING LAND USE	-09 PARCEL IS 200 (VACANT-UNKNOWN/OTHER) -10 PARCEL IS 170 (UNASSIGNED)
PROPOSED LAND USE	-09 PARCEL TO BE 300 (10 PARCELS TO BE 10 PBR (PUBLIC ROAD)) -10 PARCEL TO BE 300 (10 PARCELS TO BE 10 PBR (PUBLIC ROAD))
TOTAL NUMBER OF UNITS	240 UNITS
TOTAL PARKING REQUIRED	468 (INCLUDING 204 CARPORTS OR GARAGES AND 10 ADA SPACES)
TOTAL PARKING PROVIDED	470 (INCLUDING 36 GARAGES, 204 CARPORTS, AND 28 ADA SPACES)
PARKING RATIO	1.9 FEET UNIT
CONSTRUCTION PHASING	ONE PHASE
TOTAL NUMBER OF BUILDINGS	25
1-BEDROOM (12A)	6 BUILDINGS (3884 SF)
2-BEDROOM (12-UNIT BUILDINGS) (12B)	10 BUILDINGS (6140 SF)
3-BEDROOM (12-UNIT BUILDINGS) (12C)	14 BUILDINGS (8528 SF)

Kimley-Horn
 7500 BANCHER PARKWAY, SUITE 100, DENVER, CO 80231
 PHONE: 303-733-2000
 WWW.KIMLEY-HORN.COM



MHA PROJECT
 DATE: 08/20/2022
 SCALE: AS SHOWN
 SHEET NO.: 3 OF 3
 SHEET TITLE: SITE PLAN (3 OF 3)

CHOCOLATE DRIVE
 SUN VALLEY, NV
 SHEET NUMBER: 4 OF 10



SEE SITE PLAN (2 OF 3) SHEET 3

NO.	REVISIONS	DATE	BY

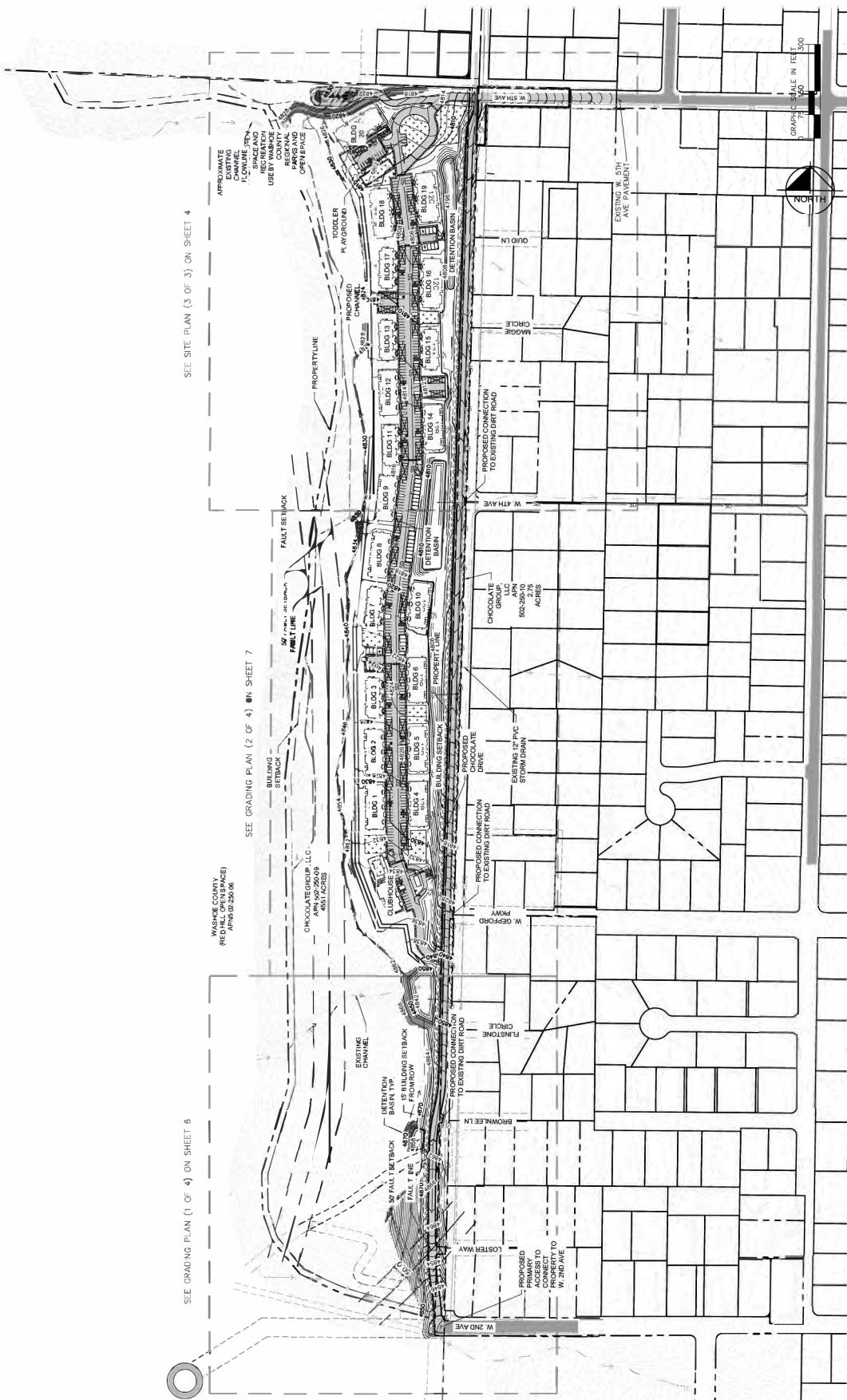
Kimley-Horn
 PROFESSIONAL ENGINEERS
 7500 BANCHER PARKWAY, SUITE 300, RENO, NV 89511
 PHONE: 775-784-1000
 WWW.KIMLEY-HORN.COM

PROFESSIONAL ENGINEER
 LICENSE NO. 100000000
 EXPIRES 12/31/2025
 DATE: 08/20/2024
 SCALE: AS SHOWN
 DESIGNED BY: C.W./J.F.
 DRAWN BY: A.M./J.F.
 CHECKED BY: C.W./J.F.
 KHA-PROJECT
 10/25/2020

GRADING INDEX

CHOCOLATE DRIVE SUN VALLEY, NV

SHEET NUMBER
5 OF 10



SEE GRADING PLAN (1 OF 4) ON SHEET 6

SEE GRADING PLAN (2 OF 4) ON SHEET 7

SEE SITE PLAN (3 OF 3) ON SHEET 4

NOTES

- CUT: 15% MAX. CUT
- NET: 1% MIN. (CUT)
- EARTHWORK CALCULATIONS BASED ON SURFACE TO SURFACE. UNADJUSTED ANALYSIS AND DO NOT BUILDING SURF OR BUILDING FOUNDATIONS.

BASIS OF BEARINGS

INDIANA STATE PLANNING COMMISSION DISTRICT ZONE (M003) 300' DISTANCES
 FROM STATE AVE CORNER MARKS TO CENTERLINE OF CHOCOLATE DRIVE
 GROUND COMBED SCALE FACTOR OF 1.000197939

FLOOD ZONE

INDIANA STATE PLANNING COMMISSION DISTRICT ZONE (M003) 300' DISTANCES
 FROM STATE AVE CORNER MARKS TO CENTERLINE OF CHOCOLATE DRIVE
 EFFECTIVE MARCH 18, 2008

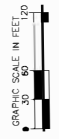
VERTICAL DATUM

INDIANA STATE PLANNING COMMISSION DISTRICT ZONE (M003) 300' DISTANCES
 FROM STATE AVE CORNER MARKS TO CENTERLINE OF CHOCOLATE DRIVE
 BENCH MARK NO. 3056 A.7 BRASS DISK MARKING THE SOUTHEAST CORNER OF SECTION 24 T.20N. R.18E. M. 088M ELEVATION = 4877.80

Kimley-Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
7900 MANCHESTER PHASE 2, SUITE 100, RENO, NV 89517
WWW.KIMLEY-HORN.COM



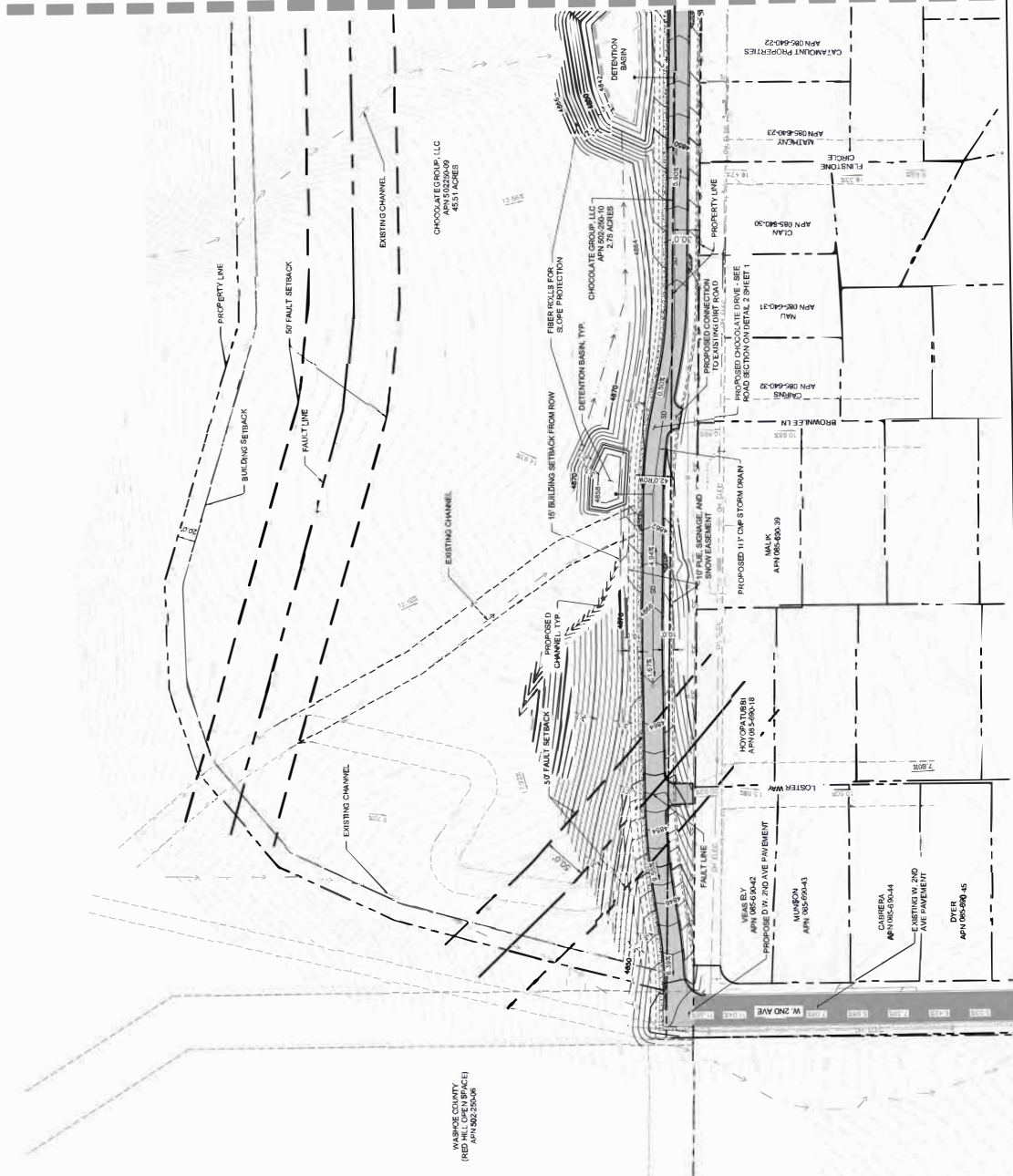
DATE	12/15/2022
PROJECT	RVA PROJECT
SCALE	AS SHOWN
DESIGNED BY	JM/WT
CHECKED BY	JM



LEGEND

	PROPERTY LINE
	SETBACK LINE
	OPEN SPACE SPLIT ZONING BOUNDARY
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	PROPOSED RIGHT OF WAY
	EXISTING FAULT LINE
	50' FAULT SETBACK
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	EXISTING FLOW PATH
	EXISTING ELECTRIC POWER POLE
	PROPOSED FLOW PATH
	PROPOSED STORM DRAIN
	PROPOSED SILT FENCE
	PROPOSED FIRE HYDRANT
	PROPOSED ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	COMMON OPEN SPACE AREA
	PROPOSED RETAINING WALL
	PROPOSED CARPORTS

SEE GRADING PLAN (2 OF 4) ON SHEET 7



CHOCOLATE DRIVE
SUN VALLEY, NV

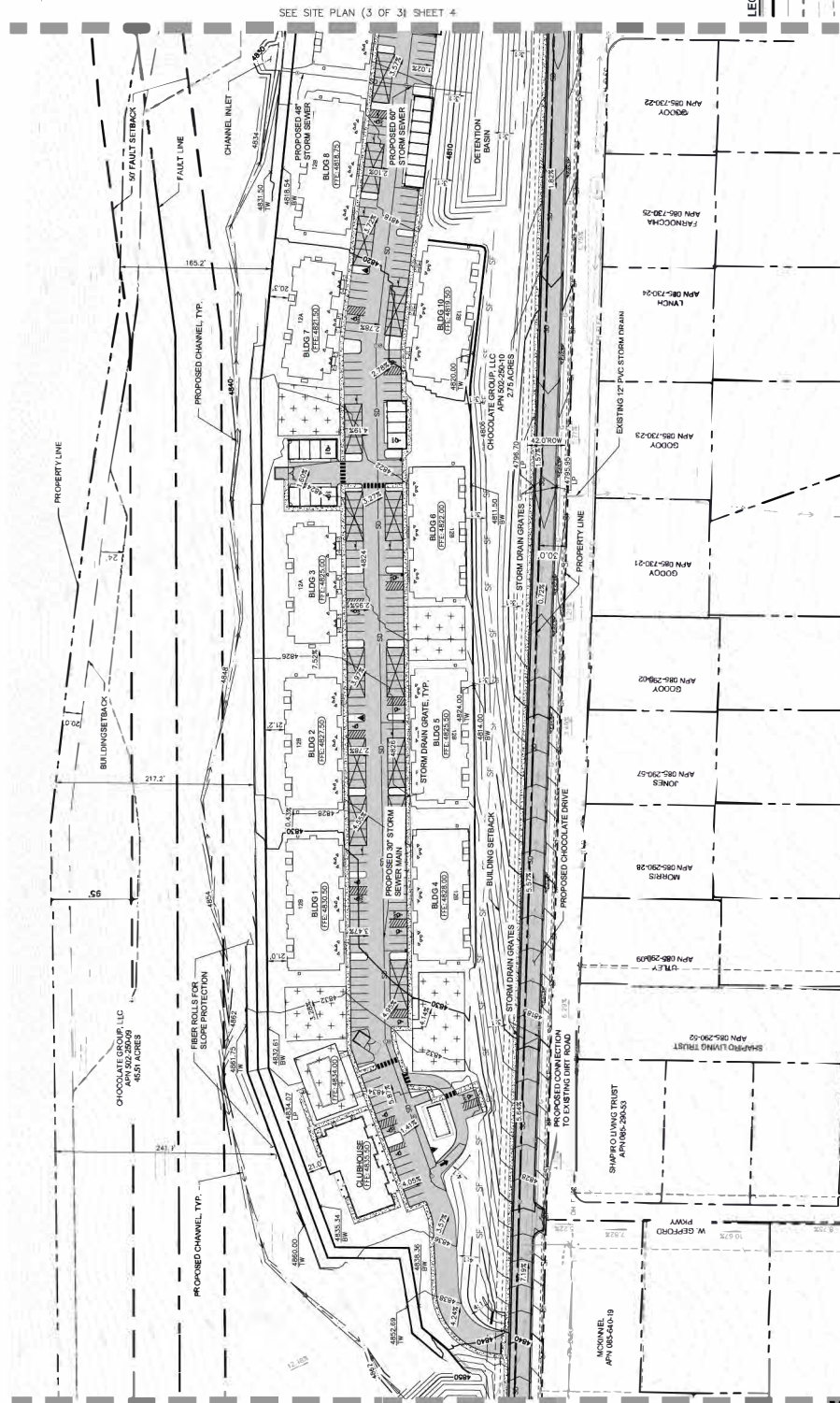
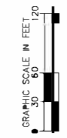
GRADING PLAN
(2 OF 4)

KHA PROJECT: 17253000
DATE: 08/20/2022
SCALE: AS SHOWN
DESIGNED BY: CM
CHECKED BY: CM
KIMLEY-HORN AND ASSOCIATES, INC.
7500 BANCHER PARKWAY, SUITE 100, RENO, NV 89519
PHONE: 775-784-1878
WWW.KIMLEY-HORN.COM



Kimley-Horn

NO.	REVISIONS	DATE



LEGEND

- PROPERTY LINE
- SETBACK LINE
- OPEN SPACE SPLIT ZONING BOUNDARY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- PROPOSED FENCE
- PROPOSED RIGHT OF WAY
- EXISTING PAVEMENT
- 50' FAULT SETBACK
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- EXISTING FLOW PATH
- EXISTING ELECTRIC POWER POLE
- PROPOSED FLOW PATH
- PROPOSED STORM DRAIN
- PROPOSED SILT FENCE
- PROPOSED FIRE HYDRANT
- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- COMMON OPEN SPACE AREA
- PROPOSED RETAINING WALL
- PROPOSED CARPORTS



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Engineering and Capital Projects

1001 EAST 9TH STREET
 RENO, NEVADA 89512
 PHONE (775) 328-3600
 FAX (775) 328.3699

MEMOMORANDUM

Date: September 15, 2022

To: Ryan Rodgers, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
 Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Primary, Secondary, and Chocolate Drive Access Improvements
 APN: 502-250-09

WASHOE COUNTY DEVELOPMENT CODE REQUIREMENTS (CHAPTER 110)

This memo is to provide you the minimum roadway improvement requirements which will be needed to provide access to your development. The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access requirements. Detailed conditions of approval addressing traffic, roadway, and drainage will be prepared once an application for development is submitted for review. The latest plan is showing access to the project via W. 2nd Avenue and W. 5th Avenue.

W. 2nd Avenue Access

Washoe County currently owns and maintains W. 2nd Avenue up to Chocolate Drive with the roadway currently constructed with curb and gutter on both sides of the street and sidewalk along at least one side of the street from Chocolate to Sun Valley Blvd. The proposed development plan shows a private roadway extension from the Chocolate/W. 2nd intersection westerly into the development. Please note that Washoe County is the owner of the surrounding property as Open Space and it will not be possible for Washoe County to grant an access easement for your development. This will require then that south access point into your development will need to be move north along Chocolate Drive.

W. 5th Avenue Access

Washoe County currently owns and maintains W. 5th Avenue to a point approximately 165 feet west of Westhill Court. This road then transitions to a private access road extending to Chocolate Drive. The proposed development plan utilizes W. 5th Avenue as a secondary access. In accordance with Code Section 110.436.20(c) a secondary access shall be provided therefore the current private roadway section of W. 5th Ave. (approximately 440 feet), shall be constructed to Washoe County standards in accordance with Roadway Section – D (attached), with 26’ wide, 4” thick AC paving, 2’ wide minimum gravel shoulders, drainage ditches with driveway culverts matching the existing 60-foot right-of-way section. All right-of-way per Code 110.436.20(d) shall be obtained and granted/dedicated to Washoe County. It should be noted that alternative alignments for secondary access to the development could be considered and similar requirements would apply.



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

Chocolate Drive Improvements

Per Code 110.436.20(e), Chocolate Drive from W. 2nd Ave to W. 5th Ave shall be constructed to Washoe County standards in accordance with "Roadway Sections – B" (attached). The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter and sidewalk.

The project shall comply with Washoe County Development Code which can be found at https://www.washoecounty.gov/csd/planning_and_development/dev-code/index.php. Excerpts from Article 436 Street Design Standards are provided below for your reference.

We trust that this information provides clarification and answers your questions regarding the requirements of Washoe County Development Code for primary, secondary, and Chocolate Drive access roadway improvements. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Colin Patterson, Ariahna Wolf, Timber Weiss, Chris Bronczyk



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

Washoe County Code Excerpts

Article 436: Street Design Standards

Section 110.436.20 General Requirements. Street design requirements set forth in this section shall apply to all development subject to this article.

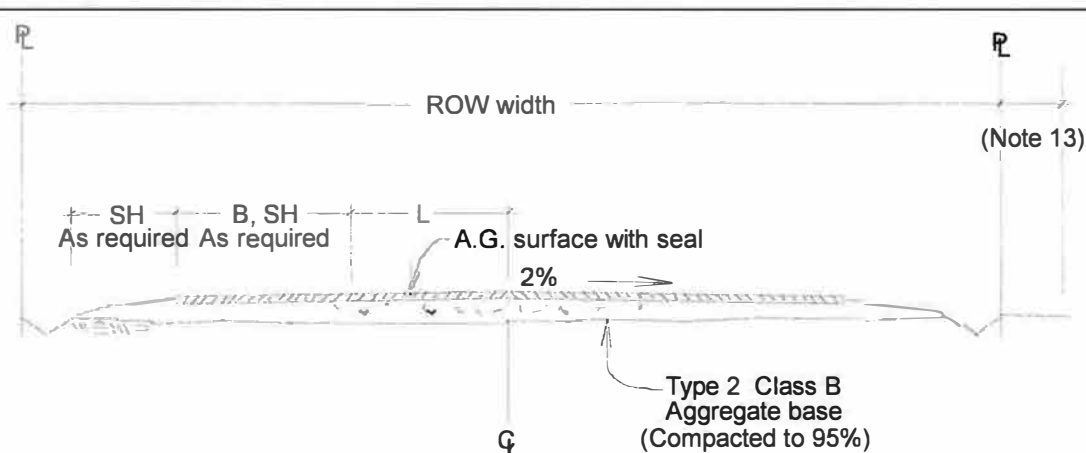
- (a) **Level of Service.** Streets shall be designed to meet a Level of Service (LOS) standard C, or as otherwise provided for by Regional Transportation Commission policy.
- (b) **Street Improvements.** All public and private streets within a development shall be improved to conform to the standards as set forth in this article.
- (c) **Ingress and Egress.** Unless otherwise approved by the County Engineer, at least two (2) means of ingress and egress built to County standards shall be provided to serve a subdivision development. Of the two (2) means, one (1) may be constructed to emergency access standards provided in Section 110.436.95, Emergency Access Roads.
- (d) **Right-of-Way and Easement Acquisition.** All necessary right-of-way or easement acquisition outside the boundaries of a proposed development, including any agreements pertaining to access, drainage, ownership and maintenance, shall be completed prior to the final map approval unless otherwise approved by the County Engineer.
- (e) **Streets Adjacent to Property Boundaries.** The location of streets adjacent to property boundaries shall comply with the following provisions:
 - (1) Unless otherwise approved by the County Engineer, a street shown by an adopted street pattern or indicated on the Streets and Highways System Plan map that lies along a boundary of a development is to be dedicated and constructed at full width and to County standards; and
 - (2) A proposed street, or streets or access adjacent to or necessary to serve a proposed development, which are not within the boundaries of the development, shall be improved full width with the development in accordance with County standards as required by the County Engineer.
- (f) **Additional Right-of-Way.** To facilitate turning movements near intersections, additional right-of-way shall be provided to the satisfaction of the County Engineer.
- (g) **Partial Width Streets.** Where permitted, partial width streets shall comply with the provisions set forth in Section 110.436.125, Partial Width Streets.
- (h) **Street Extensions.** Street extensions shall comply with the general provisions of this section and the provisions of Section 110.436.130, Street Extensions.

Section 110.436.25 Street Sections. All roadways dedicated and improved in Washoe County shall be constructed in accordance with the street sections for urban, suburban and rural areas illustrated in Tables 110.436.25.1 to 110.436.25.4. These standards are to be used in conjunction with the Land Use and Transportation Element of the Master Plan and the standards set forth in this article.



Table 110.436.25.4

ROADWAY SECTIONS - D
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES GREATER THAN 1.5 ACRES



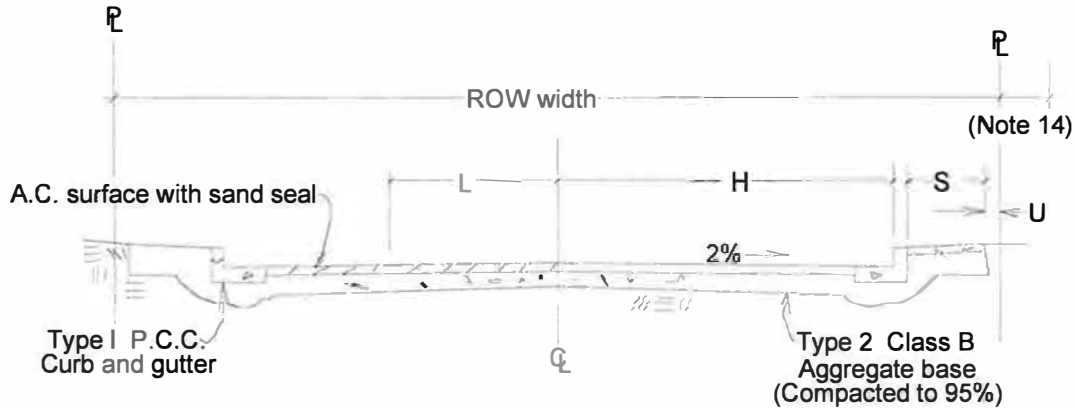
ROW	L	B	SH	ADT Maximum per 2 Travel Lanes	Remarks
60	12	0	0	9,600	Collector
50	11	0	0	1,000	Local

- Notes:
1. All widths are in feet.
 2. L is travel lane; B is bicycle lane; SH is shoulder; ROW is right-of-way; ADT is average daily traffic.
 3. ADT represents the design volume for a two (2) lane facility.
 4. Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 5. Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 6. All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 7. Residential access not allowed to streets on which ten (10) year design ADT exceeds two thousand (2,000).
 8. The minimum paved shoulder width shall be two (2) feet, otherwise, the shoulder shall be engineered, Type 2 Class B aggregate base course or A.C. structural section as above, as required by the County Engineer.
 9. Erosion protection required for drainage ditches.
 10. Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 11. All construction to be done to current Washoe County standards and specifications.
 12. Slope easements may be required in certain terrain to accommodate roadway section.
 13. A seven and one-half (7.5) foot public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works

Table 110.436.25.2

ROADWAY SECTIONS - B
GENERAL APPLICATIONS: STREETS SERVING LOT SIZES LESS THAN 0.5 ACRES



ROW	H	S	U	L	B	PL	ADT Maximum per 2 Travel Lanes	Remarks
52	20	5	0.5	12	4	0	9,600	Collector
42	16	4	0.5	11	0	2	1,000	Local

- Notes:
- All widths are in feet.
 - H is measured to the front face of the curb.
 - L is travel lane; S is sidewalk; B is bicycle lane; PL is maximum number of parking lanes allowed; ROW is right-of-way, ADT is average daily traffic.
 - ADT represents the design volume for a two (2) lane facility.
 - Bicycle lanes shall be provided in accordance with the Bicycle and Pedestrian Element of the Regional Transportation Plan and to the satisfaction of the County Engineer.
 - Structural sections shall be designed by a registered engineer for a twenty (20) year life based on subgrade characteristics, as determined by a geotechnical investigation and anticipated traffic volume. Refer to Section 110.436.60(d) for minimum pavement section thickness.
 - All curb and gutter is monolithic concrete and L shaped per standard detail.
 - Sidewalks are to be provided in accordance with Table 110.436.25.5.
 - All A.C. surfaces shall be sealed in accordance with Washoe County standards.
 - Residential driveway access not allowed to streets on which ten (10) year ADT design exceeds two thousand (2,000).
 - Design of improvements to be done in accordance with Article 420, Storm Drainage Standards, and Article 436, Street Design Standards, of the *Washoe County Development Code*.
 - All construction is to be done to current Washoe County standards and specifications.
 - Slope easements may be required in certain terrain to accommodate roadway section.
 - A seven and one-half (7.5) foot wide public utility, traffic control signage and plowed snow easement on both sides of the ROW is required per standard detail.

Source: Washoe County Department of Public Works.



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

MEMORANDUM

Date: November 3, 2022

To: Colin Patterson, PedCor Investments, LLC

From: Mitchell Fink, P.E., Licensed Engineer
Phone: (775) 328-2050, Email: mfink@washoecounty.gov

Re: Response to Requested Changes for Chocolate Drive
APN: 502-250-09

This memorandum is to provide clarification to your requested roadway design changes (email request attached) for Chocolate Drive from the Washoe County requirements outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering dated September 15, 2022 (attached). The following comments and requirements are based on our review of the documents you provided and do not represent a comprehensive analysis of the project but is strictly focused on access, alignment and drainage requirements.

1. Road Section

Washoe County will require that Chocolate Drive from W. 2nd Avenue to W. 5th Avenue be constructed to Washoe County standards in accordance with "Roadway Sections – B". The local 42-foot right-of-way section shall apply to Chocolate Drive with 4" thick AC paving, curb, gutter, sidewalk and crowned roadway section. However, we would allow a reduction in the width of asphalt pavement by removing on-street parking to reduce the asphalt width to 22 feet from 27 feet wide. No parking signs would be required on both sides of the road in this instance and the 42-foot right-of-way section would remain the same. Concrete driveway aprons for driveway access and curb returns will be required at the major roadway intersections to Chocolate Drive and constructed in accordance with Washoe County standard details and code requirements.

2. Drainage Concerns

A hydrological report shall be required for the drainage affected by the project and roadway development. Drainage ditches will not be allowed in the Chocolate Drive right-of-way as depicted in preliminary site plan. The curb and gutter section of roadway will require inlets, manholes and catch basins designed and constructed in accordance with Washoe County standard details and code requirements. Please be aware that with this project development that an offsite storm drain conveyance system may be needed and directed to existing County drainage facilities having the same pre-and-post developed flow condition.



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WWW.WASHOECOUNTY.US

Subject: Chocolate Drive
Date: September 15, 2022
Page: 2

3. Road Alignment

Based on review of the preliminary site plan (attached) showing the proposed Chocolate Drive alignment from W. 2nd Avenue and W. 5th Avenue, the proposed primary and secondary accesses to the development, and the proposed curvature of Chocolate Drive near W. 5th Avenue will be acceptable provided they meet County code requirements and conditions. Where the roadway curvature enters the private parcel, you will have to obtain an Irrevocable Offer of Dedication to Washoe County from the parcel owner. The 10-foot snow storage, sign and utility easements are required as part of the roadway section. On the west side there cannot be a 2:1 slope behind the sidewalk the maximum grade allowed will be 5% over a 10-foot width behind sidewalk for snow storage.

There will be a condition requirement with the Administrative Permit allowing Washoe County to have ample time to contact the affected private residents to provide them an opportunity to submit an Irrevocable Offer of Dedication to Washoe County for the current access easement in the existing Chocolate Drive alignment. If the Irrevocable Offer of Dedication is accepted by all of the property owners along Chocolate Washoe County will require that Chocolate Drive to be constructed along the existing easement section.

W. 2nd Avenue Access & W. 5th Avenue Access

The items outlined in the Memorandum titled, *Primary, Secondary, and Chocolate Drive Access Improvements*, from Washoe County Engineering will still apply for the W. 2nd Avenue and W. 5th Avenue accesses.

We trust that this information provides clarification to your request for design changes for Chocolate Drive. Please feel free to contact me if you have any further questions.

Cc: Dwayne Smith, Walter West, Jen Heeran, Sarah Tone, Chris Waechter, Ariaahna Wolf, Timber Weiss, Chris Bronczyk



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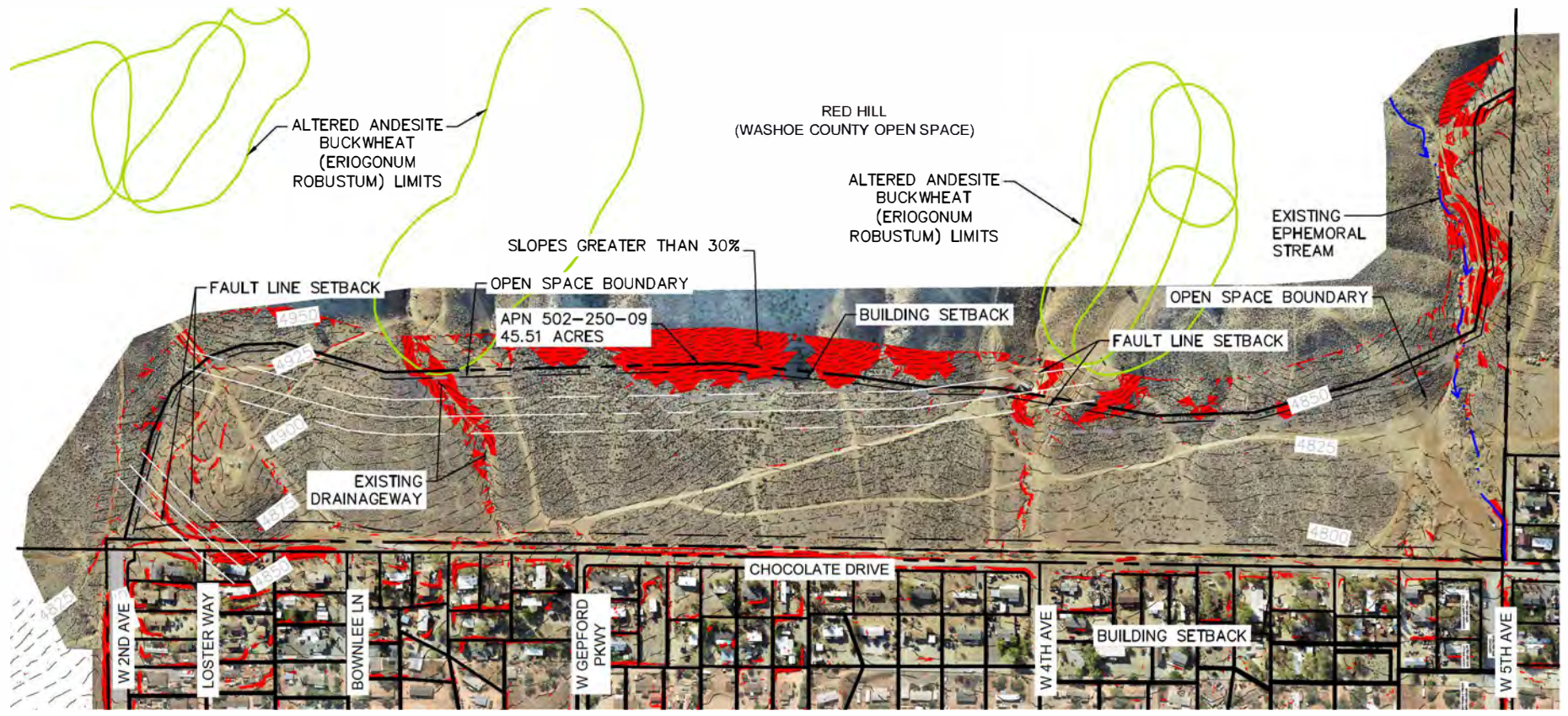
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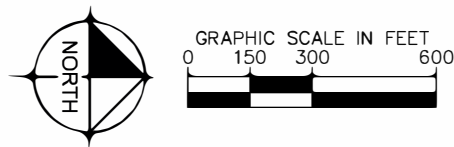
\\pdp01\MT_REMIREN_Civil\192233000 - Pedcor Chocolate Drive\07 CAD\Exhibits\2022.12.20 - Developable Area Map 12/28/2022 1:22 PM



Number	Minimum Slope	Maximum Slope	Color
1	30.00%	57879.93%	

- * APPROXIMATELY 43%± OF SITE (±19.56 ACRES) IS OVER 15% IN SLOPE.
- * APPROXIMATELY 8%± OF SITE (±3.64 ACRES) IS OVER 30% IN SLOPE.

	AREA	
	SQUARE FOOT	ACRES
TOTAL PARCEL	1,982,369.00	45.51
FAULT ZONES	(245,648.00)	(5.64)
SETBACK AND OPEN SPACE ZONING	(274,958.55)	(6.31)
SLOPE >30%	(9,009.46)	(0.21)
DRAINAGEWAY	(18,260.00)	(0.42)
TOTAL BUILDABLE AREA	1,434,492.99	32.93
PERCENTAGE OF PROJECT SITE BUILDABLE AREA	72%	



Kimley»Horn

7900 Rancharrah Parkway
Suite 100
Reno, Nevada 89511
775-200-1978

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY, TREE LOCATION SURVEY, UTILITIES, ETC. ADDITIONAL SURVEY IS REQUIRED TO PHYSICALLY LOCATE EXISTING TREES AND VERIFY TOPOGRAPHY.

CHOCOLATE DRIVE DEVELOPABLE AREA MAP WASHOE COUNTY, NEVADA

No.	REVISIONS	DATE	BY

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 7800 RAVENHURST PARKWAY, SUITE 100, RENO, NV 89511
 PHONE: 775-201-1978
 WWW.KIMLEY-HORN.COM

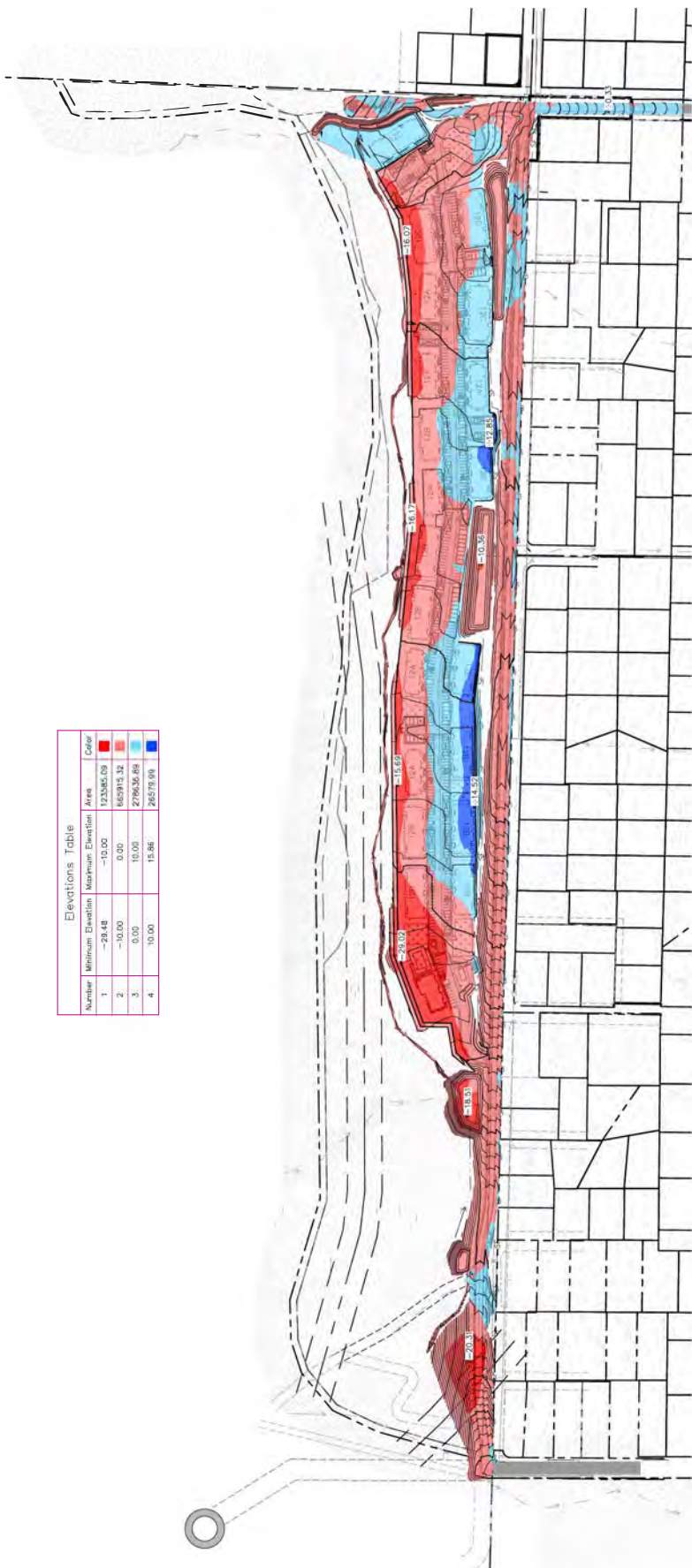


KHA PROJECT
 19.2.23.008
 19.2.23.008
 DATE: 11/27/23
 CHECKED BY: CM
 DRAWN BY: A.W./F
 PROJECT NO.: 19
 SCALE: AS SHOWN
 LOADS: AS SHOWN

10 FOOT CUT FILL ANALYSIS

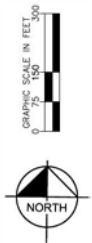
CHOCOLATE DRIVE
 SUN VALLEY, NV

SHEET NUMBER
 10 OF 10



Elevations Table

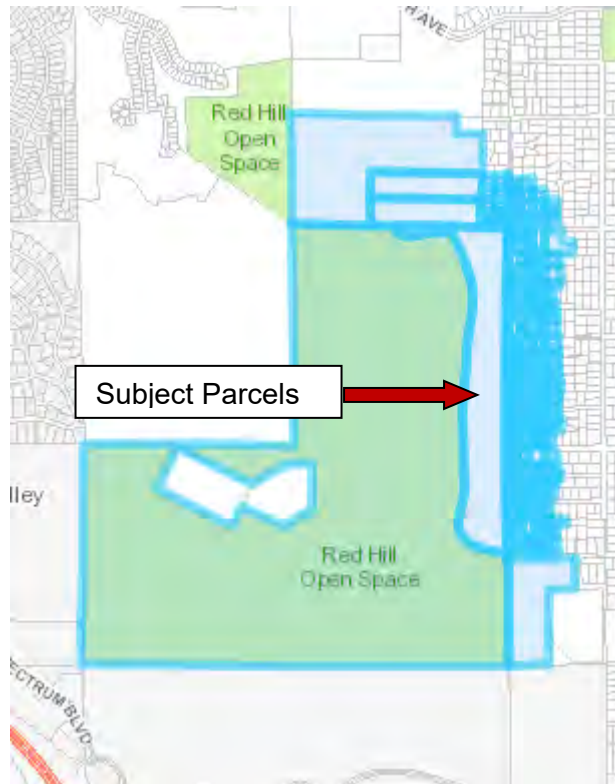
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-28.48	-10.00	123065.09	Red
2	-10.00	0.00	669913.32	Light Blue
3	0.00	10.00	279636.69	Dark Blue
4	10.00	15.86	26578.94	Lightest Blue



EARTHWORK
 CUT: 196,886 CY
 FILL: 43,832 CY
 NET: 153,054 (CY)
 EARTHWORK CALCULATIONS BASED ON SURFACE TO
 ACCOUNT FOR OVER-EXCAVATION, PAVEMENT SECTION,
 BUILDING SUB-OR BUILDING FOUNDATIONS.
 AREA TO BE DISTURBED: 1,095,000 SQUARE FEET

Public Notice Map

Pursuant to Washoe County Code Section 110.810.25 public notification consists of notification by mail of at least 30 separate property owners within a minimum 500-foot radius of the subject property. This proposal was noticed within a 500-foot radius of the subject property, noticing 128 separate property owners.



NOTICING MAP

Exhibit L: Project Application

The project application is extensive. To review the complete project application, click [here](#). Or visit, https://www.washoecounty.gov/csd/planning_and_development/applications/files-planning-development/comm_dist_three/2023/Files/WSUP23-0001_WADMIN22-0029_app.pdf .