

AMUNDSON ROOFING



SPECIAL USE PERMIT

Prepared by:



OCTOBER 8, 2020

AMUNDSON ROOFING

Special Use Permit Application

Prepared for:

Sector 9, LLC
8995 Terabyte Drive
Reno, Nevada 89521

Prepared by:

Christy Corporation, Ltd.
1000 Kiley Parkway
Sparks, Nevada 89436
(775) 502-8552

October 8, 2020

AMUNDSON ROOFING – SPECIAL USE PERMIT

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Appendices:

Washoe County Development Application
Owner Affidavit
Special Use Permit Application
Property Tax Verification

Attachments:

Site Plan
Building Elevations

AMUNDSON ROOFING – SPECIAL USE PERMIT

Introduction

This application includes the following request:

- A **Special Use Permit** to allow for the establishment of a Construction Sales and Services use within the Old Washoe City Commercial District Management Area.

Project Location

The project site (APN # 050-220-35) includes 1.76± acres located at 300 South US Highway 395 South in Old Washoe City. Specifically, the subject property is located on the south side of US Highway 395, immediately west of the existing gas station/mini-mart. Figure 1 (below) depicts the project location.



Figure 1 – Vicinity Map

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Existing Conditions

The subject property is currently zoned General Commercial (GC) and is designated as Commercial in the South Valleys Area Plan. The property is located within the Old Washoe City Commercial District Character Management Area established within the South Valleys Area Plan.

Surrounding uses include commercial the east (gas station and mini-mart and industrial commercial) and north (cannabis dispensary and nursery). Property to the west is currently vacant and zoned for residential uses (LDS) while property to the south includes single family residential (zoned GR). Figure 2 (below) depicts the zoning for the project site and surrounding area.

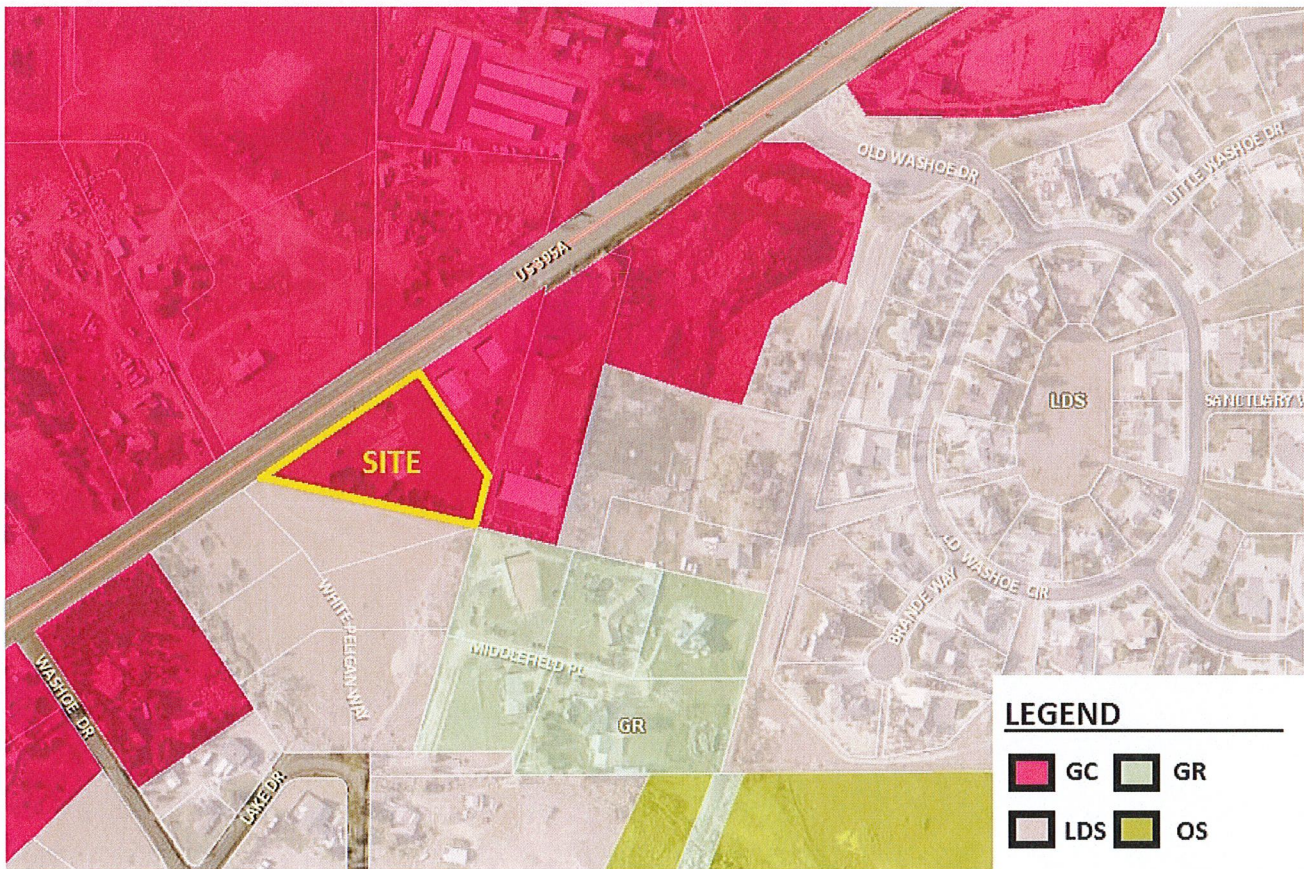


Figure 2 – Zoning

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Although currently vacant, the site was previously developed and includes a remnant foundation and associated utility structure. Washoe County Assessors data indicates that there is an existing well and septic system located onsite.

The site includes flat topography and is well suited for development. Onsite vegetation is limited and includes mature evergreen trees along the eastern and northern project perimeter.

Figures 3 (below) and 4 (following page) depict the existing onsite conditions.

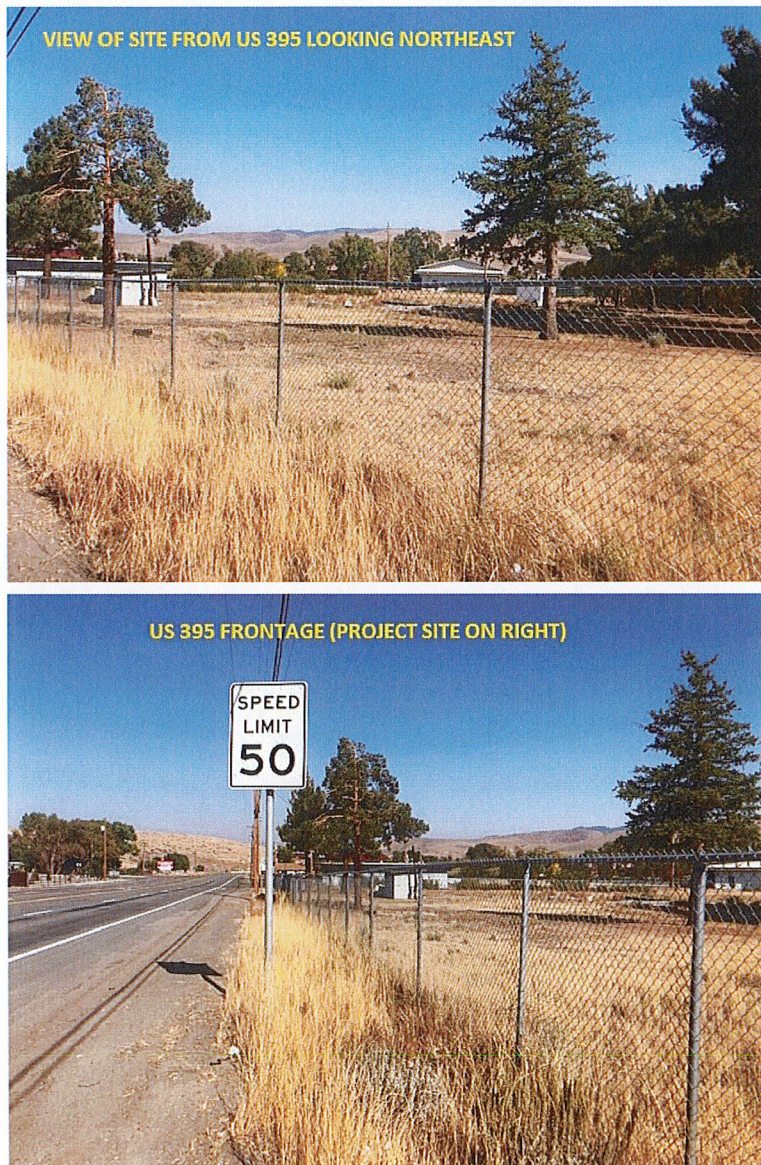


Figure 3 – Existing Conditions

AMUNDSON ROOFING – SPECIAL USE PERMIT

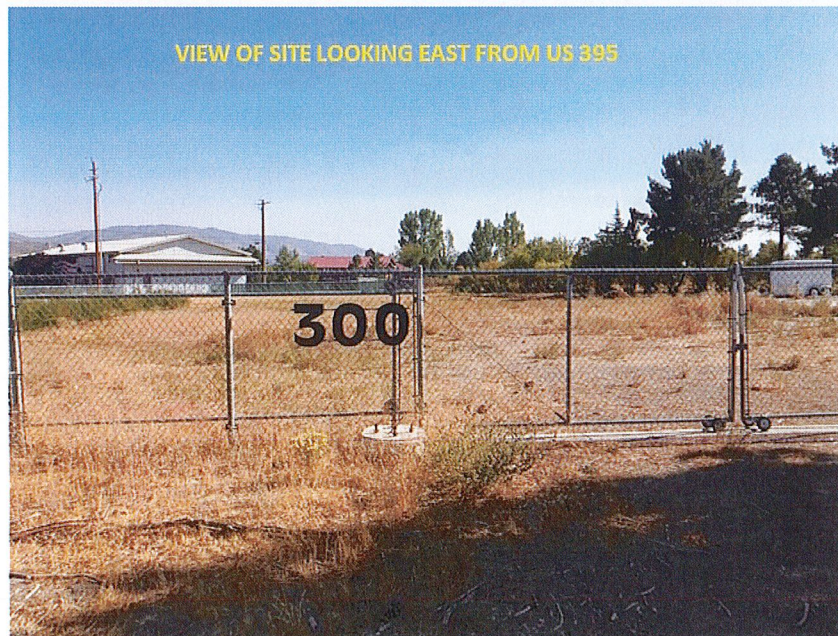
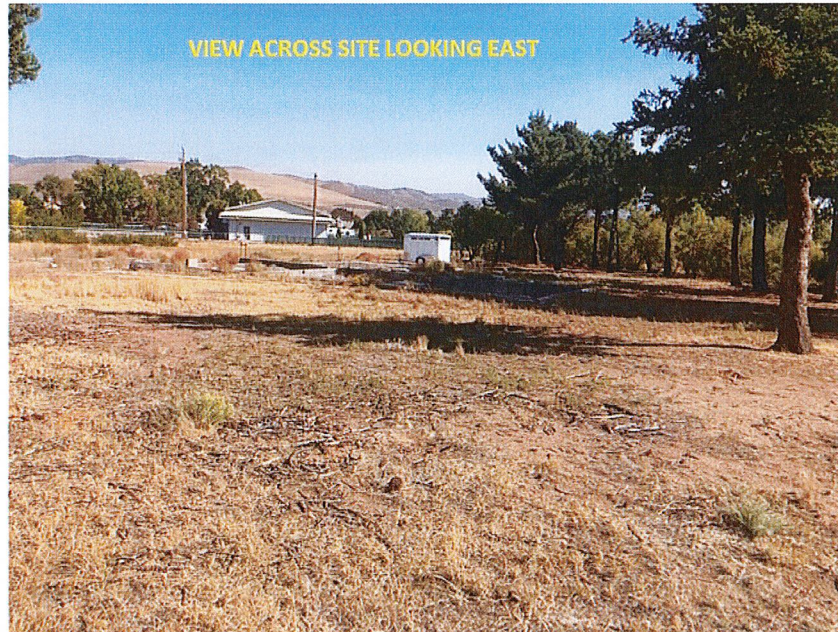


Figure 4 – Existing Conditions

AMUNDSON ROOFING – SPECIAL USE PERMIT

Project Description

Sector 9, LLC (doing business as Amundson Roofing) acquired the subject property in April 2020 with the intent of locating the company headquarters onsite. Amundson roofing wishes to construct a 14,410± square foot metal building that would include office and warehouse space and is classified by Washoe County as a Construction Sales and Service use.

Construction Sales and Services is permitted within the General Commercial (GC) regulatory zone with the approval of a Special Use Permit (SUP) per Table 110.302.05.3 of the Washoe County Development Code. Additionally, the Old Washoe City modifiers included in the South Valleys Area Plan also permit the proposed use, subject to the approval of a SUP, as outlined in the allowed use table include in Appendix 4 of the Area Plan. Thus, this application includes a request for a SUP to establish a 14,410± square foot Construction Sales and Service Use within the GC zone.

The Amundson Roofing building is proposed to be located at the northern portion of the property and will access US 395 at the current fenced access gate (previously depicted in Figure 4. As noted previously, the total building area is proposed at 14,410± square feet of which 1,941± square feet will be dedicated to office use with the remaining 12,469± square feet as warehouse area. The office area will include an executive office, open employee “bullpen,” restrooms, breakroom, and a storage/mechanical room. The warehouse will be used to store roofing supplies and materials and provide for limited shop space. The office area is located on the west side of the building (US 395 frontage side) with the warehouse in the rear.

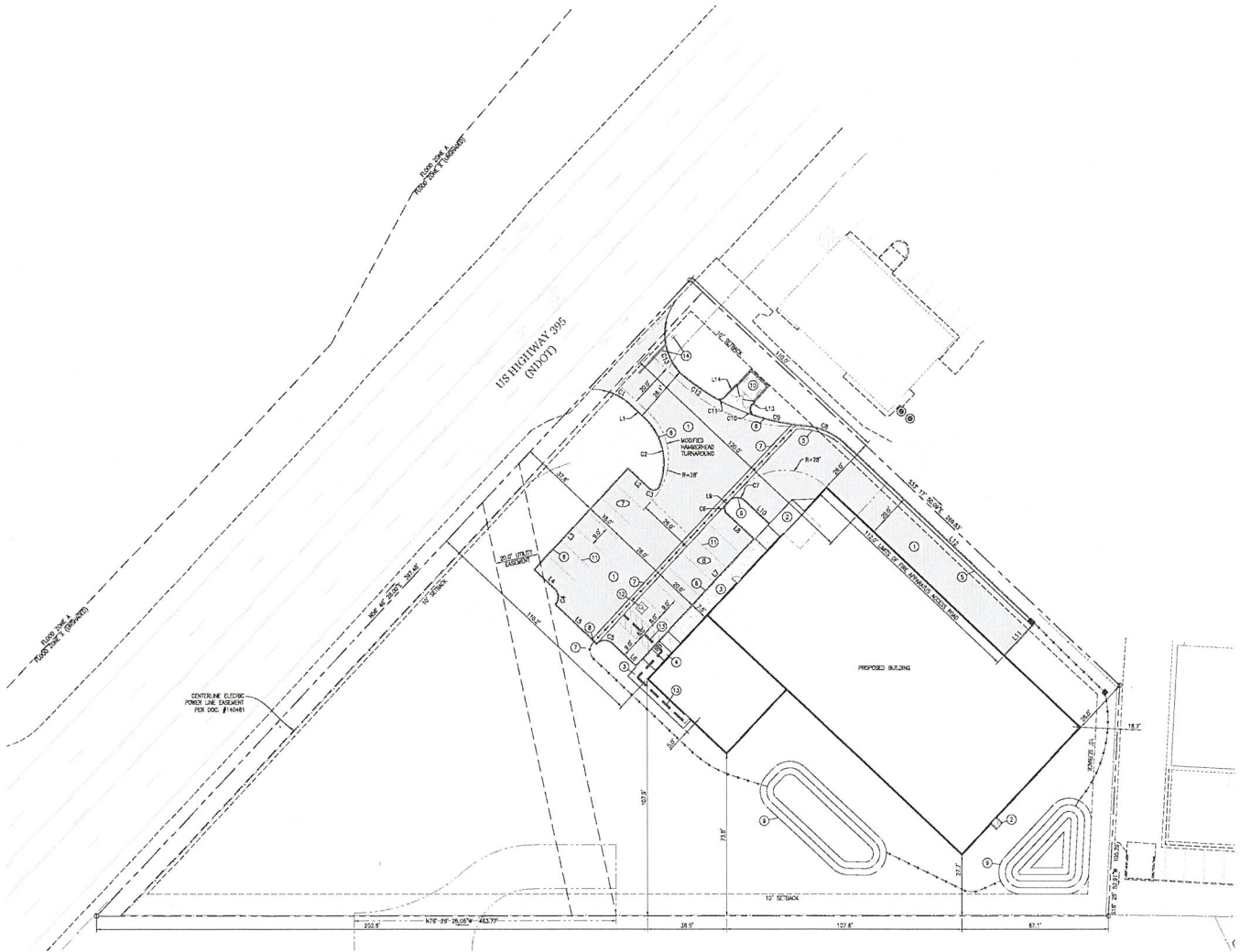
A total of 15 parking spaces are provided adjacent to the building on the west side. The roll-up door accessing the warehouse is located at the northwest corner of the building. A fire apparatus access road is proposed to be located on the north side of the building. Landscaping will be provided along the US 395 frontage and will allow for an aesthetically pleasing streetscape. The existing mature evergreen trees that are located at the western portion of the site will be protected and incorporated into the project landscaping. Similarly, it is not proposed to disturb the southern portion of the site, protecting mature trees along the southern project boundary.

By locating the proposed building at the northern portion of the site, residentially zoned property to the south is significantly separated from activities occurring onsite. Additionally, stormwater detention areas are located on the south and east sides of the building and will be landscaped per Washoe County Development Code standards. This provides a further buffer between Amundson Roofing and residential areas.

The building design includes the use of a metal building structure similar to that of other commercial uses in the area (i.e. directly to the north and south). The west and south elevations (visible from US 395) include the office component of the building and include the primary access door and office windows. The warehouse roll-up door is also located on the west elevation. The northern and eastern elevations are largely hidden from view of US 395 and are not proposed to include windows. This further ensures that privacy impacts do not occur to residents to the south.

AMUNDSON ROOFING – SPECIAL USE PERMIT

Figure 5 (below) depicts the project site plan, while Figure 6 (following page) depicts the preliminary building elevations proposed for Admunson Roofing.



Note: Full-size site plan is included as an attachment to this report.

Figure 5 – Site Plan

AMUNDSON ROOFING – SPECIAL USE PERMIT

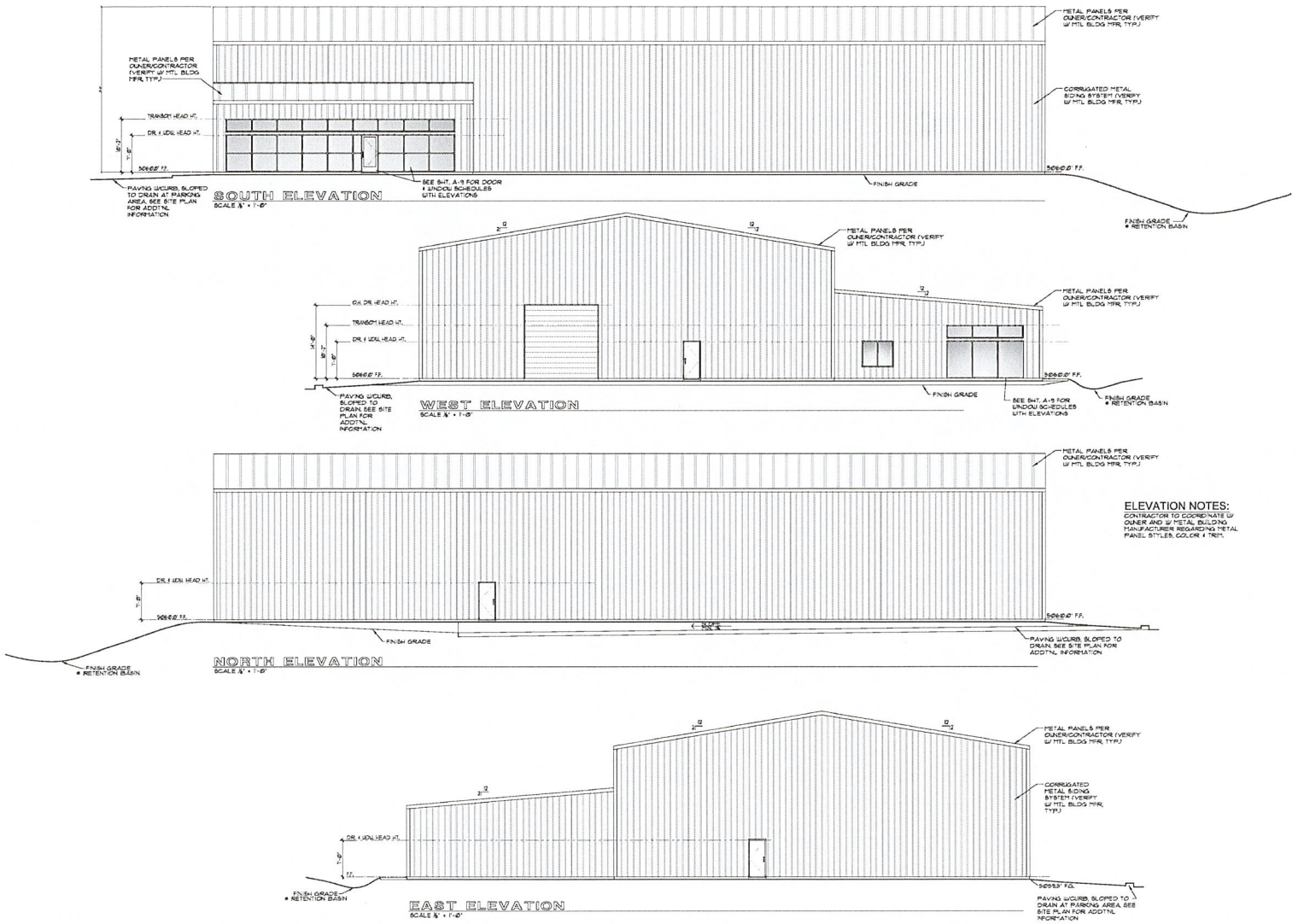


Figure 6 – Building Elevations

AMUNDSON ROOFING – SPECIAL USE PERMIT

Prior to construction, the existing foundation(s), outbuildings, etc. currently onsite will be demolished to make way for the proposed new improvements. The project will connect to municipal water service (Truckee Meadows Water Authority) and will install an engineered septic system for sanitary sewer service, to be reviewed and approved by the Washoe County District Health Department. The existing onsite septic system will be abandoned.

Amundson Roofing anticipates 4 to 6 employees onsite at any given time, making the proposed facility a very low intensity use. The majority of the building area will be warehouse/shop area. The office area will include 2 to 3 employees. Hours of operation for the facility are generally 7:00 am to 5:00 pm (Monday through Friday). It is very rare that any activity would occur onsite on weekends.

As noted previously, the overall site design ensures that residential uses to the south (both existing and future) will not be negatively impacted by the proposed commercial use. No vehicle access/circulation is proposed on the south or east sides of the building and a significant setback exists from the property line (up to 27+ feet). Also, there are no proposed windows or public access doors on the south/east elevations. All activities associated with Amundson Roofing will occur within the enclosed building, ensuring no noise impacts. Proposed landscape improvements will soften the appearance of the building and provide additional buffering.

Given the nature of the use, number of employees, and proposed hours of operation, traffic impacts associated with the project are very minor in nature. Trip generation for the project was estimated utilizing the Institute of Transportation Engineers (ITE) Trip Generation Manual. For estimating purposes, land use code 710 (General Office) was assumed for 1,941± square feet with the remaining building area (12,469± square feet) calculated utilizing land use code 151 (Warehousing). Per ITE trip generation data, the office component can be expected to generate 21 average daily trips (ADT) with 3 am peak and 3 pm peak trips. The warehouse use will generate 44 ADT with 4 am and 4 pm peak hour trips. Total traffic is estimated at 65 ADT with 7 am and 7 pm peak hour trips. The anticipated trip generation is approximately 91% less than that which would trigger a traffic analysis per Washoe County standards. With the construction of Interstate 580, surplus capacity exists within US 395. With the addition of Amundson Roofing, no impact to existing levels of service will occur.

Lighting will be provided for safety and security purposes only and is generally limited to building-mounted fixtures. All lighting fixtures will comply with Washoe County Development Code standards and will incorporate shielded/cut-off fixtures to ensure that spill-over of light to adjoining properties does not occur. Signage will comply with the GC zoning standards included in the Development Code. No lighted signs facing residentially zoned property are proposed.

AMUNDSON ROOFING – SPECIAL USE PERMIT

Special Use Permit Findings

In order to approve a Special Use Permit, the following findings must be made. Responses are provided in **bold face** type.

1. Consistency. The granting of the special use permit is consistent with the policies and maps of the Comprehensive Plan Elements and the Area Plan in which the property is located.

The proposed use is consistent with the current GC zoning as well as the South Valleys Area Plan. The project adheres to the requirements and policies of the Area Plan including the Old Washoe City modifiers. As proposed, Amundson Roofing is consistent with surrounding properties in terms of use, intensity, architectural style, etc., and will be a positive addition to the area.

2. Adequate Public Facilities. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities must exist or will be provided.

All necessary infrastructure and services needed to serve the facility are in place and can be expanded (at the expense of the applicant) to serve Amundson Roofing. The project will connect to municipal water (TMWA) and includes an engineered septic system that will be reviewed and permitted through the Washoe County District Health Department. Onsite detention is provided to ensure that drainage is properly addressed. US 395 has excess capacity and the addition of Amundson Roofing will have no noticeable impact on traffic patterns within the area.

3. Site Suitability. The site must be physically suitable for the proposed use and for the intensity of development.

The subject property is flat and well suited for the type and intensity of development proposed. The property does not include any natural constraints and existing mature trees will be preserved. The site's location along US 395 ensures proper access and ample capacity to accommodate the proposed use.

4. Issuance Not Detrimental. Issuance of the permit may not be significantly detrimental to the public health, safety or welfare; have a detrimental impact on adjacent properties; or be detrimental to the character of the surrounding area.

As proposed, Amundson Roofing is compatible with and complementary to surrounding uses. The project design is very similar to uses that currently exist across US 395. Additionally, the site and building design respect the adjoining residential uses and ensure that privacy for existing residences is retained.

APPENDICES

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Amundson Roofing			
Project Description: A SUP to allow for the establishment of a Construction Sales and Services use within the General Commercial regulatory zone (Old Washoe City Commercial District Management Area).			
Project Address: 300 S. US Highway 395 S, Old Washoe City			
Project Area (acres or square feet): 1.76 acres			
Project Location (with point of reference to major cross streets AND area locator): The site is located on the south side of Old Highway 395, south of Eastlake Boulevard and Old Washoe Circle.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
050-220-35	1.76		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Sector 9, LLC		Name: Christy Corporation, Ltd.	
Address: 8995 Terabyte Dr.		Address: 1000 Kiley Pkwy.	
Reno, NV	Zip: 89521	Sparks, NV	Zip: 89436
Phone: 775-852-1115	Fax:	Phone: 775-502-8552	Fax:
Email: chris@amundsonroofing.com		Email: mike@christynv.com	
Cell: 775-745-7774	Other:	Cell: 775-250-3455	Other:
Contact Person: Chris Amundson		Contact Person: Mike Railey	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as Above		Name: K2 Engineering and Structural Design	
Address:		Address: 860 Maestro Dr.	
	Zip:	Reno, NV	Zip: 89511
Phone:	Fax:	Phone: 775-355-0505	Fax:
Email:		Email: jared@k2eng.net	
Cell:	Other:	Cell: 775-560-8305	Other:
Contact Person:		Contact Person: Jared Krupa	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Sector 9 LLC Chris Amundson

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Chris Amundson
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050 220 35

Printed Name Chris Amundson

Signed Chris Amundson

Address 8995 Terabyte suite #

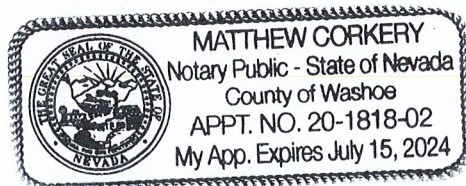
State of Nevada
County of Washoe
Subscribed and sworn to before me this
5 day of October, 2020.

Matthew Corkery

Notary Public in and for said county and state

My commission expires: July 15, 2024

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

ENTITY INFORMATION

ENTITY INFORMATION

Entity Name:

SECTOR 9 LLC

Entity Number:

E3440222019-1

Entity Type:

Domestic Limited-Liability Company (86)

Entity Status:

Active

Formation Date:

12/10/2019

NV Business ID:

NV20191660538

Termination Date:

Perpetual

Annual Report Due Date:

12/31/2020

Series LLC:

Restricted LLC:

REGISTERED AGENT INFORMATION

Name of Individual or Legal Entity:

Arleta Ann Hooper

Status:

Active

CRA Agent Entity Type:

Registered Agent Type:

Non-Commercial Registered Agent

NV Business ID:

Office or Position:

Jurisdiction:

Street Address:

18124 Wedge Pkwy Ste 437, Reno, NV, 89511, USA

Mailing Address:

Individual with Authority to Act:

Fictitious Website or Domain Name:

OFFICER INFORMATION

VIEW HISTORICAL DATA

Title	Name	Address	Last Updated	Status
Manager	Christopher Paul Amundson	8995 Terabyte Drive, suite H, Reno, NV, 89521, USA	12/10/2019	Active

Page 1 of 1, records 1 to 1 of 1

[Filing History](#)

[Name History](#)

[Mergers/Conversions](#)

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

This SUP would allow for the establishment of a 14,410 square foot Construction Sales and Services use within the GC zone and Old Washoe City Commercial District Management Area. Refer to attached report for a full description.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Refer to attached report and site plan.

3. What is the intended phasing schedule for the construction and completion of the project?

The project will be completed in a single phase, as detailed in the attached report.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The project site is located along Old US 395, is flat, and well suited for the use and intensity/density proposed. Refer to attached report for a detailed analysis.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The project will be complementary to adjoining uses and is a redevelopment of the project site. Refer to attached report for a detailed analysis.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

The project is not anticipated to generate any negative impacts. The site and building design serves to protect the privacy of adjoining properties, as detailed in the attached report.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Refer to the attached report and engineering plans.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Engineered Septic
b. Electrical Service	NV Energy
c. Telephone Service	AT&T or Charter Communications
d. LPG or Natural Gas Service	NV Energy or Propane
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	AT&T or Charter Communications
g. Water Service	Truckee Meadows Water Authority

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

Water rights to serve the project will be dedicated to TMWA, as necessary.
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10. Community Services (provided and nearest facility):

a. Fire Station	TMFD Station 32
b. Health Care Facility	Renown Regional Medical Center
c. Elementary School	Pleasant Valley Elementary
d. Middle School	Herz Middle School
e. High School	Damonte Ranch High School
f. Parks	Bowers Mansion Regional Park/Washoe Lake State Park
g. Library	Washoe County - South Valleys Branch
h. Citifare Bus Stop	N/A

Washoe County Treasurer
 Tammi Davis

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
Collection Cart	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
05022035	Active	10/7/2020 1:40:17 AM
Current Owner: SECTOR 9 LLC		SITUS: 300 US HIGHWAY 395 S WASHOE COUNTY NV
8995 TERABYTE DR STE H RENO, NV 89521		
Taxing District 4000	Geo CD:	

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$546.90	\$546.90	\$0.00	\$0.00	\$0.00
2019	\$521.15	\$521.15	\$0.00	\$0.00	\$0.00
2018	\$497.57	\$497.57	\$0.00	\$0.00	\$0.00
2017	\$480.26	\$480.26	\$0.00	\$0.00	\$0.00
2016	\$468.31	\$485.19	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.


Pay By Check


Please make checks payable to:
WASHOE COUNTY TREASURER


Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**



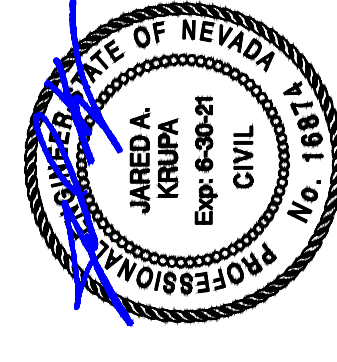
860 Maestro Dr., Ste. A
 Reno, NV 89511
 P: (775) 355-0905
 F: (775) 355-0566
 www.k2eng.net

Amundson Roofing - Office & Shop

Washoe County,
 NV

300 U.S. Highway 395 A
 APN: 050-220-35

Brandt T. Kennedy, P.E.
 Jared A. Krupa, P.E.



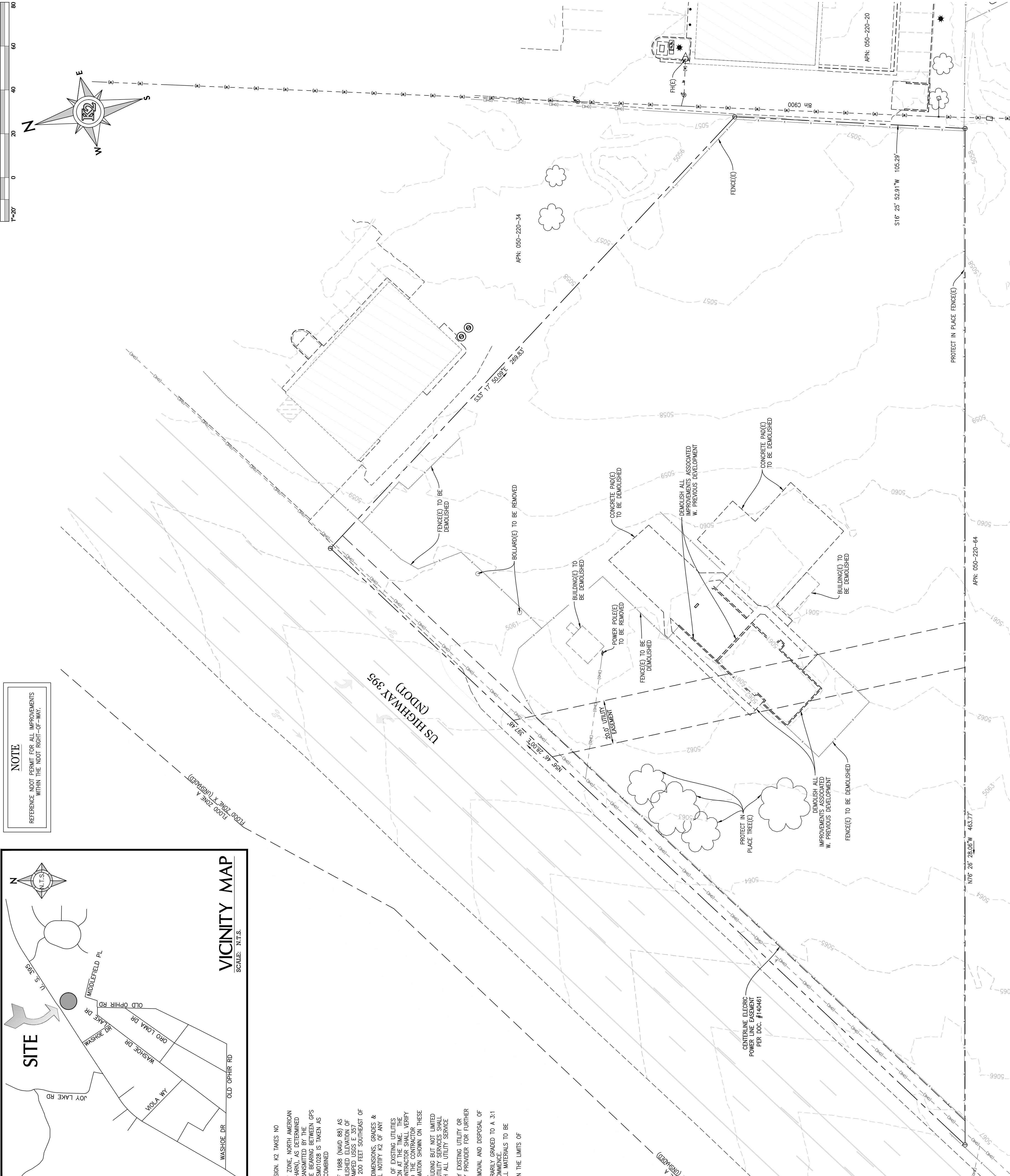
8/26/2020

REVISIONS

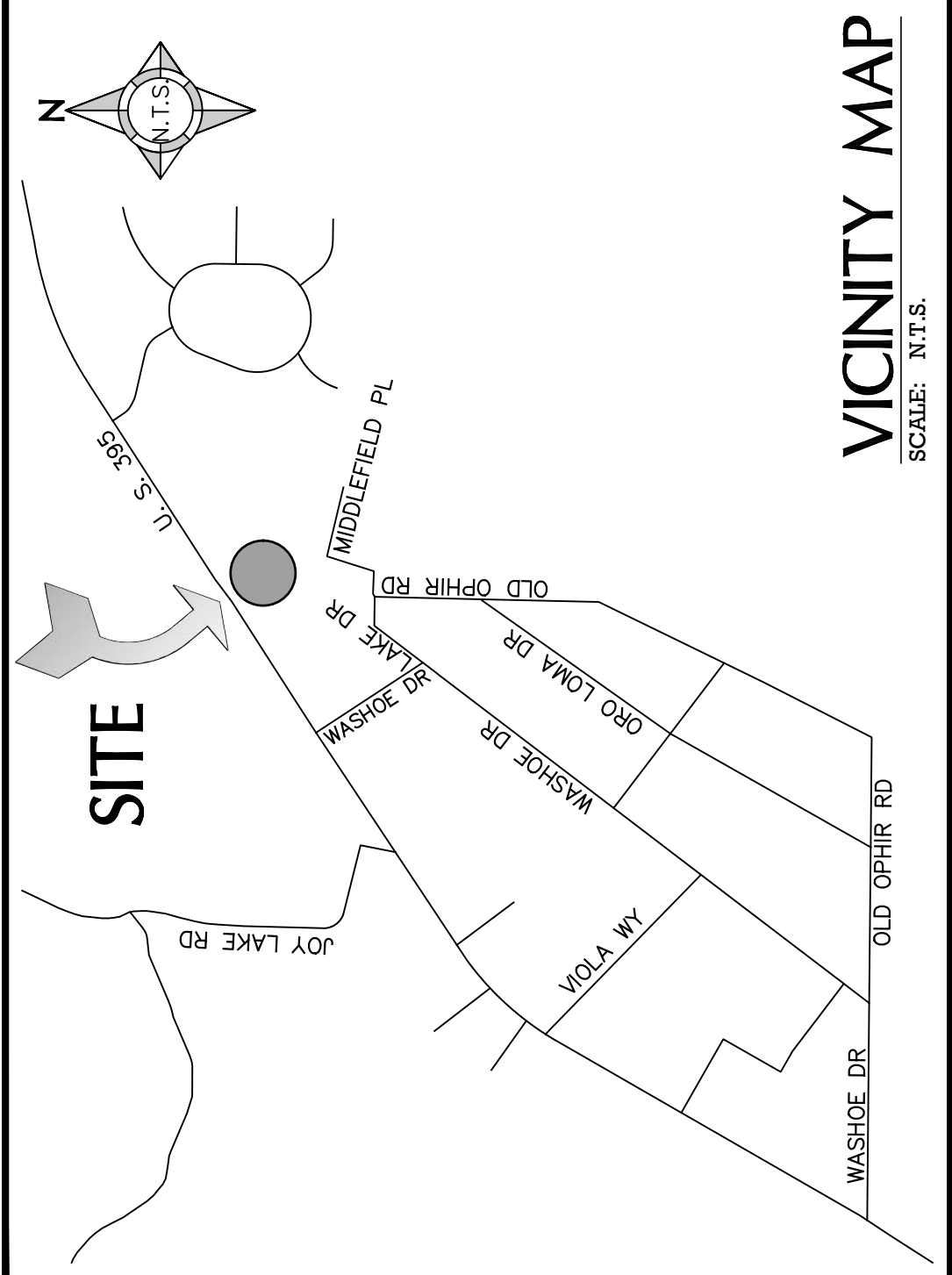
Date	Drawn	Checked	Project No.
8/19/2020	K2	JAK	20-066

Existing
 Conditions &
 Demo Plan

C-1



NOTE
 REFERENCE NOT PERMIT FOR ALL IMPROVEMENTS
 WITHIN THE MOOT RIGHT-OF-WAY.

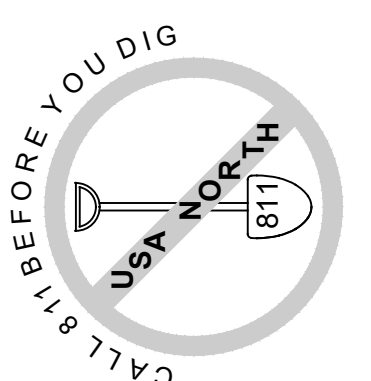


DEMOLITION LEGEND

- (UTILITY) ---
- ⊖ (A) FIRE HYDRANT ASSEMBLY
- ⊖ (S) FLUSH VALVE ASSEMBLY
- ⊖ (W) DUAL/SINGLE WATER SERVICE
- ⊖ (R) AIR RELEASE VALVE ASSEMBLY
- ⊖ (T) WATER MAIN TEE W. GATE VALVES
- ⊖ (B) BACKFLOW PREVENTION ASSEMBLY
- ⊖ (E) ELBOW
- ⊖ (M) MAHOLE W. DESCRIPTION
- CLEANOUT
- CATCH BASIN/DROP INLET
- 4800 EXISTING CONTOUR LINE

DEMOLITION NOTES

1. THE FIELD SURVEY PREPARED BY WOOD PROBERS IS THE BASIS OF THIS DESIGN. K2 TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY.
2. THE BASIS OF BEARINGS IS THE NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983/1984. HIGH ACCURACY REFERENCE NETWORK (NA0 83/94-HARN), AS DETERMINED USING REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS WITH CORRECTIONS TRANSMITTED BY THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK GPS (NNGCRN GPS). THE BEARING BETWEEN GPS REFERENCE STATION "WAZOLEZZI" - 8623501279 AND "RW Reno" - N745M01028 IS TAKEN AS NORTH-40°39'41.00" WEST. ALL DIMENSIONS SHOWN ARE GROUND DISTANCES. COMBINED.
3. THE DATUM OF ELEVATION IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS TAKEN FROM NATIONAL GEODETIC SURVEY (NGS) "E 357 RESET", WITH A PUBLISHED ELEVATION OF 5098.8 FT. BENCHMARK "E 357 RESET" IS DESCRIBED AS 4" BRASS DISK STAMPED USGS E 357 RESET, LOCATED NEAR THE INTERSECTION OF US-395 AND SR-38, APPROX. 200 FEET SOUTHEAST OF THE INTERSECTION OF THE PROPERTY LINE.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY CONDITIONS, INCLUDING, DIMENSIONS, GRADES, & POINTS OF CONNECTION PRIOR TO ANY DEMOLITION. THE CONTRACTOR SHALL NOTIFY K2 OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
5. UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING UTILITIES ARE UNKNOWN TO THE DESIGNER AND ARE NOT TO BE ASSUMED TO BE PRESENT. THE CONTRACTOR SHALL DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS. THEY SHALL NOTIFY K2 BEFORE PROCEEDING WITH CONSTRUCTION.
6. ALL EXISTING UTILITIES AND ASSOCIATED SITE CONDITIONS INCLUDING SERVICES SHALL BE DEMOLISHED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY SERVICE PROVIDERS.
7. SHOULD ANY QUESTION ARISE REGARDING THE REMOVAL/MODIFICATION OF ANY EXISTING UTILITY OR IMPROVEMENT, THE CONTRACTOR SHALL CONTACT K2 AS WELL AS THE UTILITY PROVIDER FOR FURTHER INFORMATION.
8. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE OWNER ON THE REMOVAL AND DISPOSAL OF EXISTING IMPROVEMENTS AND LANDSCAPING.
9. ANY DEMOLITION RESULTING IN GRADES STEEPER THAN 3:1 SHALL BE TEMPORARILY GRADED TO A 3:1 MAX SLOPE & COMPACTED TO BEST M.D.D. UNTIL FINAL GRADING ACTIVITIES COMMENCE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS TO BE REMOVED FROM THE SITE.
11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ON-SITE DEBRIS WITHIN THE LIMITS OF CONSTRUCTION.



SITE LEGEND

- A.C. PAVEMENT AREA
- CONCRETE AREA
- ACCESSIBLE PARKING SPACE W. SIGN & PAVEMENT MARKINGS
- PEDESTRIAN ACCESS RAMP
- ACCESSIBLE ROUTE
- PARKING SPACE COUNT
- KEYNOTE (REF. CORRESPONDING LEGEND)

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	14.53	25.00	33.29	S49° 56' 37"E	14.32
C2	33.67	28.00	68.90	N1° 09' 10"E	31.68
C3	5.82	3.00	111.10	S88° 50' 50"E	4.95
C4	7.85	5.00	90.00	N11° 42' 10"E	7.07
C5	7.85	5.00	90.00	N78° 17' 50"W	7.07
C6	4.71	3.00	90.00	S11° 42' 10"W	4.24
C7	7.85	5.00	90.00	N78° 17' 50"W	7.07
C8	20.06	30.00	38.31	N52° 27' 17"W	19.89
C9	23.72	100.00	13.59	S64° 48' 57"E	23.67
C10	8.01	3.00	114.72	S0° 39' 30"E	5.05
C11	3.99	3.00	76.14	S85° 13' 56"E	3.70
C12	17.97	100.00	10.30	S42° 00' 28"E	17.95
C13	27.76	25.00	63.61	S5° 03' 15"E	26.35

FFC Line Table

Line #	Length	Direction
L1	9.33	N33° 17' 50.09"W
L2	13.30	S33° 17' 50.09"E
L3	63.00	S56° 42' 09.91"W
L4	13.00	S33° 17' 50.09"E
L5	26.00	N33° 17' 50.09"W
L6	15.00	N33° 17' 50.09"W
L7	79.00	S56° 42' 09.91"W
L8	17.00	N33° 17' 50.09"W
L9	2.00	S56° 42' 09.91"W
L10	15.50	N33° 17' 50.09"W
L11	20.00	S56° 42' 09.91"W
L12	119.40	S33° 17' 50.09"E
L13	1.94	N56° 42' 09.91"E
L14	8.01	N66° 42' 09.91"E

PARKING ANALYSIS

USE	AREA (FT²)	CRITERIA	REQUIRED SPACES
WAREHOUSE	12,800	65/1,000 S.F.	6.4
OFFICE	2,000	4/1,000 S.F.	8
TOTAL REQUIREMENT	15	PROVIDED SPACES: ACCESSIBLE	1

NOTES:
1. REQUIREMENTS DETERMINED USING WASHOE COUNTY DEVELOPMENT CODE TABLE 110.410.10.2.

SITE ANALYSIS

AREA	1.76 AC
ZONING	GC
SETBACKS (F/R/S)	10/10/10 (FT)
BUILDING FOOTPRINT	14,800 S.F. 19.3%
PAVED/IMPERVIOUS	12,388 S.F. 16.2%
LANDSCAPED	49,478 S.F. 64.5%

NOTE

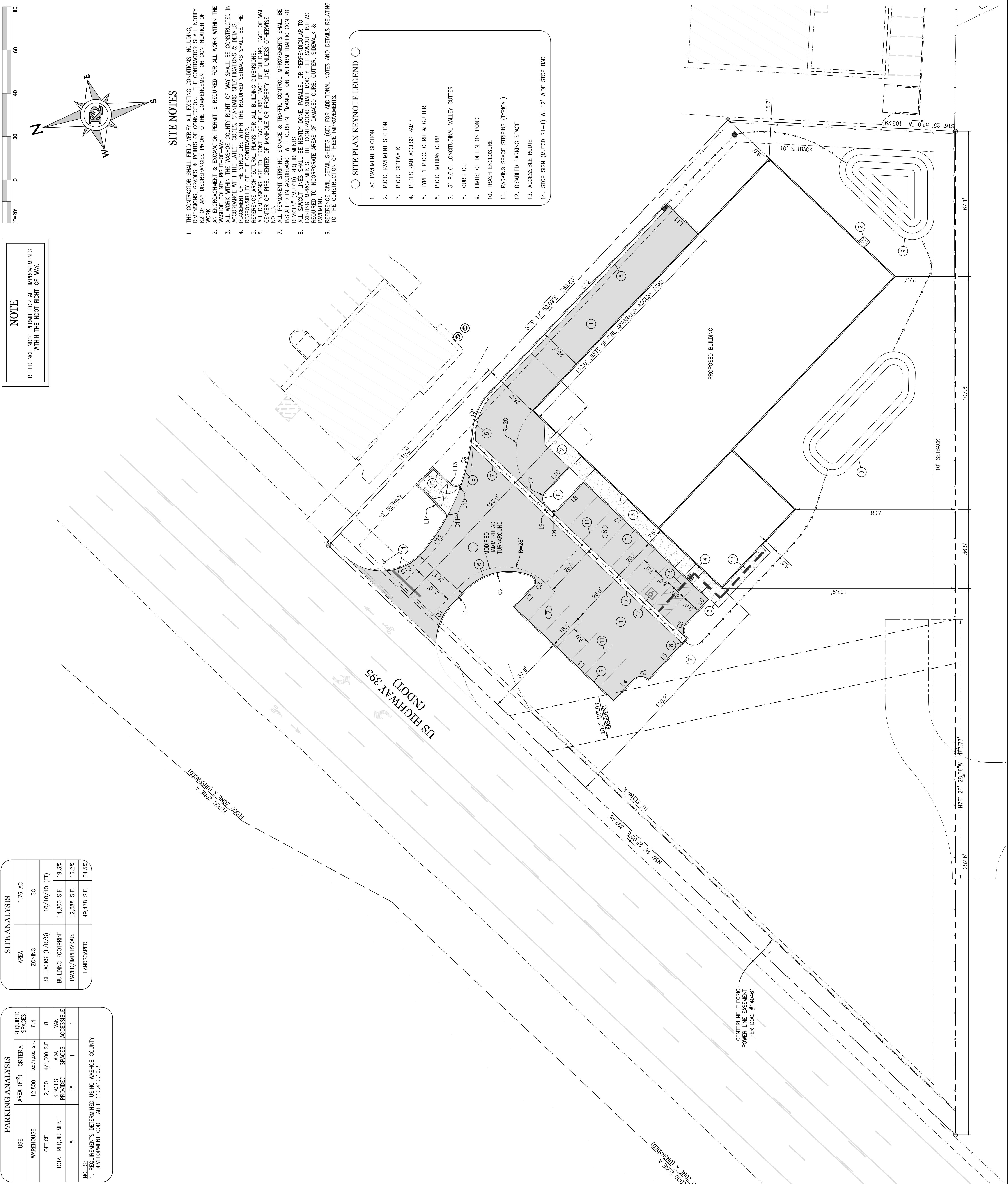
REFERENCE NOT PERMIT FOR ALL IMPROVEMENTS WITHIN THE ROOT RIGHT-OF-WAY.

SITE NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
- AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
- ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WASHOE COUNTY RIGHT-OF-WAY MANUAL, WASHOE COUNTY, NV, U.S.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- ALL DIMENSIONS ARE TO FRONT FACE OF CURB, FACE OF BUILDING, FACE OF WALL, CENTER OF PIPE, CENTER OF MANHOLE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- ALL PERMANENT STRIPING, SIGNAGE & TRAFFIC CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) REQUIREMENTS.
- ALL SAWCUT LINES SHALL BE NEATLY DONE, PARALLEL OR PERPENDICULAR TO THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PLACEMENT OF THE IMPROVEMENTS AND THE SAWCUT LINES AS REQUIRED TO INCORPORATE AREAS OF DAMAGED CURB, GUTTER, SIDEWALK & PAVEMENT.
- REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.

SITE PLAN KEYNOTE LEGEND

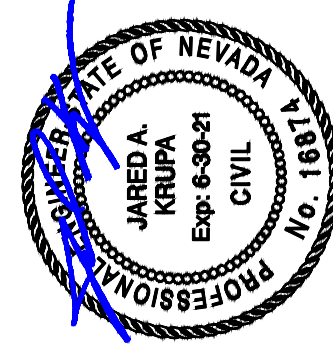
- AC PAVEMENT SECTION
- P.C.C. PAVEMENT SECTION
- P.C.C. SIDEWALK
- PEDESTRIAN ACCESS RAMP
- TYPE 1 P.C.C. CURB & GUTTER
- P.C.C. MEDIAN CURB
- 3" P.C.C. LONGITUDINAL VALLEY GUTTER
- CURB CUT
- LIMITS OF DETENTION POND
- TRASH ENCLOSURE
- PARKING SPACE STRIPING (TYPICAL)
- DISABLED PARKING SPACE
- ACCESSIBLE ROUTE
- STOP SIGN (MUTCD R1-1) W. 12" WIDE STOP BAR



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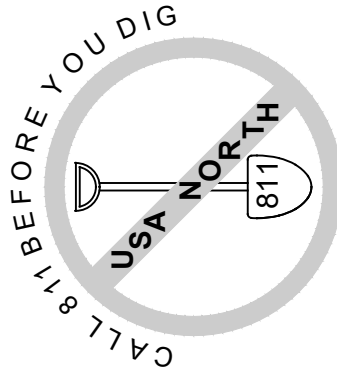
8/26/2020

Revisions

Date	8/19/2020
Drawn	K2
Checked	JAK
Project No.	20-066

Site Plan

C-2



GRADING LEGEND

	A.C. PAVEMENT AREA
	CONCRETE AREA
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	MAHOLE W. DESCRIPTION (EXISTING/PROPOSED)
	CLEANOUT (EXISTING/PROPOSED)
	CATCH BASIN/DROP INLET
	YARD DRAIN
	DIRECTIONAL FLOW LINE
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	SPOT ELEVATION (EXISTING) ~ PROPOSED

GRADING NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 ENGINEERING AND STRUCTURAL DESIGN OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
- SLOPES STEEPER THAN 3:1 V SHALL BE MECHANICALLY STABILIZED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION/REPORT PREPARED BY NOVA GEOTECHNICAL & INSPECTION SERVICES. EXCEEDING 2% REFERENCE SITE PLAN FOR LOCATION.
- THE ACCESSIBILITY ROUTE SHALL NOT HAVE A RUNNING SLOPE EXCEEDING 5% OR A CROSS SLOPE EXCEEDING 2% REFERENCE SITE PLAN FOR LOCATION.
- BACKFILL MAINTAINING 8" (6" MIN.) BETWEEN FINISHED GRADE AND SIDING UNLESS OTHERWISE NOTED.
- THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (3203C33333). ZONE X (UNSHADED) IS UNDESIRABLE FOR CONSTRUCTION OF PERMANENT STRUCTURES, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT ANNUAL CHANCE FLOODPLAIN.
- ANY RETAINED HEIGHTS INDICATED ARE FROM SURFACE TO SURFACE UNLESS OTHERWISE NOTED. REFERENCE APPLICABLE STRUCTURAL/ARCHITECTURAL DESIGN BY OTHERS FOR DESIGN AND DETAIL UNLESS SPECIFIED OTHERWISE. ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ADD 5000' TO ALL ELEVATIONS.

EARTHWORK NOTES

- PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL OBTAIN & REVIEW THE SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS PREPARED BY NOVA GEOTECHNICAL & INSPECTION SERVICES.
- IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE THE DEVELOPER WITH RESPONSIBLE TEST RESULTS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS TO THE TESTING COMPANY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
- THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT CONSTITUTE A GUARANTEE OF QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING UNSUITABLE SOIL OR MATERIALS NOT TO BE INCLUDED IN THE WORK INCLUDE, ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOIL, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN.

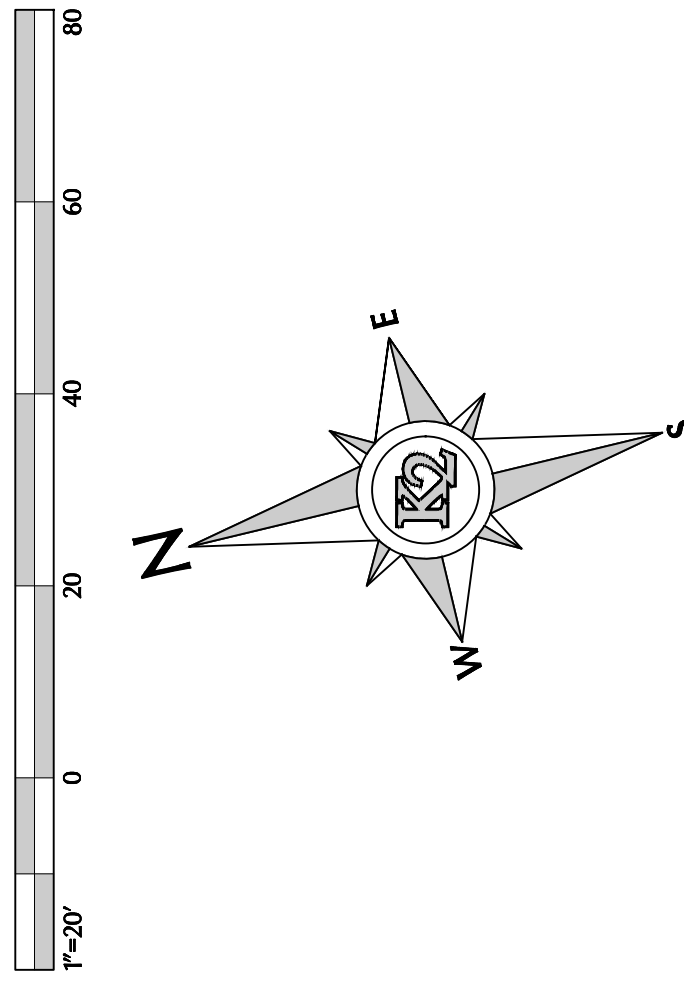
EARTHWORK ANALYSIS

SITE AREA	1.76 AC
SITE DISTURBANCE	1.1 AC
PROPOSED CUT	800 YD ³
PROPOSED FILL	1,500 YD ³
NET EARTHWORK	700 YD ³ FILL

THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

NOTE

REFERENCE NOT PERMIT FOR ALL IMPROVEMENTS WITHIN THE 100' RIGHT-OF-WAY.



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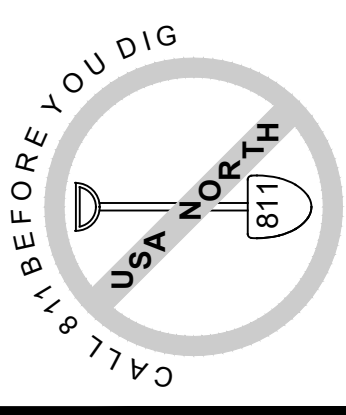
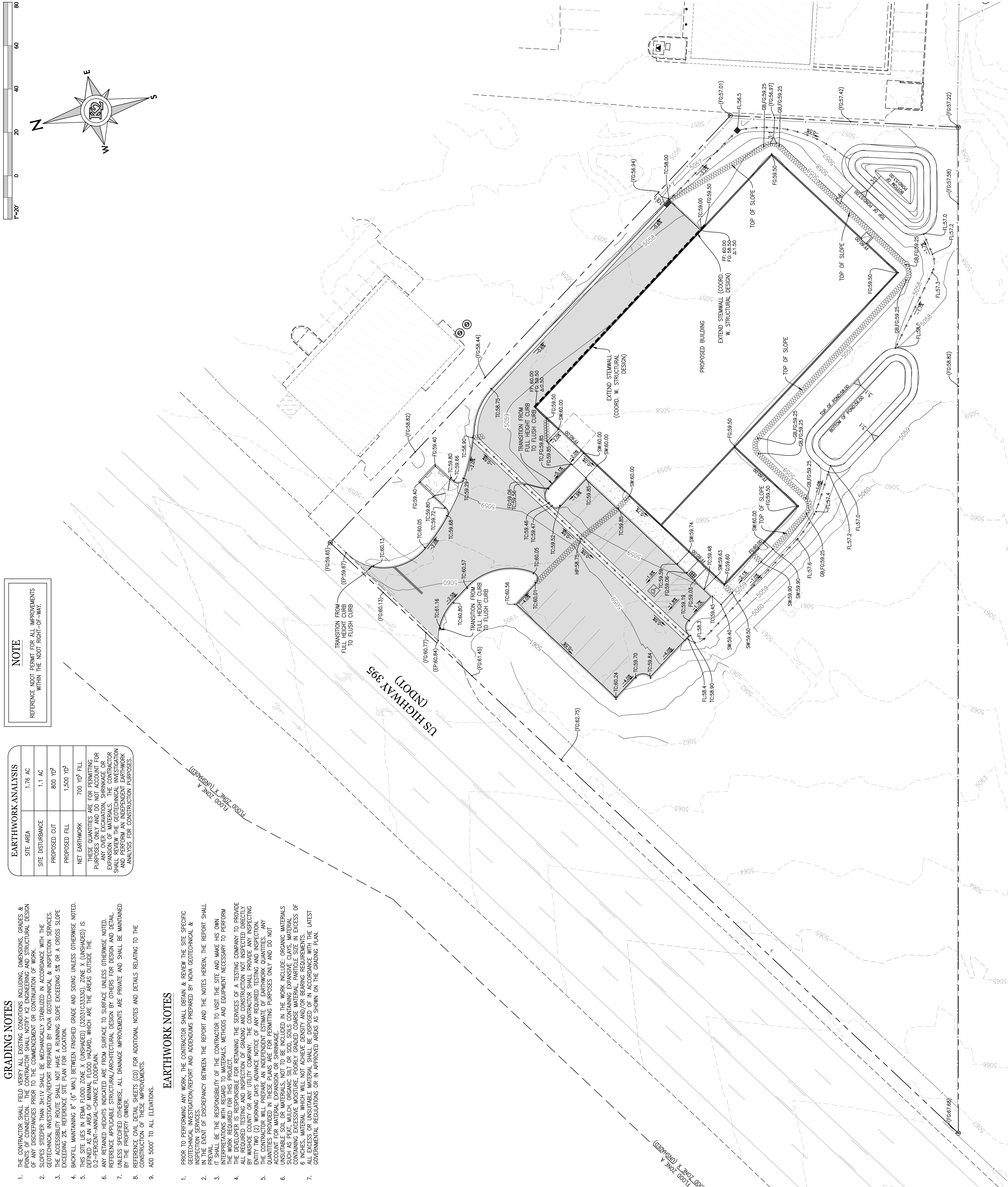
8/26/2020

REVISIONS

Date	8/19/2020
Drawn	K2
Checked	JAK
Project No.	20-066

Grading Plan

C-3



UTILITY LEGEND	
---	PROPOSED UTILITY LINE W. DESCRIPTION
---	(UTILITY)
△	EXISTING UTILITY LINE W. DESCRIPTION
△	FIRE HYDRANT ASSEMBLY (EXISTING/PROPOSED)
⊗	FLUSH VALVE ASSEMBLY (EXISTING/PROPOSED)
⊗	DUAL/SINGLE WATER SERVICE (EXISTING/PROPOSED)
⊗	AIR RELEASE VALVE ASSEMBLY (EXISTING/PROPOSED)
⊗	WATER MAIN TIE W. GATE VALVES & THRUST BLOCK
⊗	BACKFLOW PREVENTION ASSEMBLY
⊗	ELBOW W. THRUST BLOCK
⊗	MAHOLE W. DESCRIPTION (EXISTING/PROPOSED)
⊗	CLEANOUT (EXISTING/PROPOSED)
⊗	SANITARY SEWER LATERAL
⊗	CATCH BASIN/DROP INLET
⊗	YARD DRAIN
⊗	KEYNOTE (REF. CORRESPONDING LEGEND)

UTILITY PROVIDERS	
DOMESTIC WATER	TRUCKEE MEADOWS WATER AUTHORITY
IRRIGATION WATER	TRUCKEE MEADOWS WATER AUTHORITY
SANITARY SEWER	SEPTIC
STORM DRAIN	WASHOE COUNTY
NATURAL GAS	NV ENERGY
ELECTRICITY	NV ENERGY
TELECOMMUNICATIONS	AT&T / CHARTER COMMUNICATIONS
FIRE	TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
POLICE	WASHOE COUNTY SHERIFF'S OFFICE

FIRE FLOW ANALYSIS

FIRE FLOW REQUIREMENT IS 2,000 GALLONS PER MINUTE @ 20 PSI RESIDUAL PRESSURE FOR 2 HOURS.

BASED ON THE LARGEST ON-SITE BUILDING:

SQUARE FOOTAGE: 14,800 S.F.

LARGEST AREA BETWEEN 4-HOUR AREA SEPARATION WALLS: 14,800 S.F.

BUILDING HEIGHT: 4.32'

NUMBER OF STORIES: 1 FLOOR

TYPE OF CONSTRUCTION: II-B

OCCUPANCY GROUP: F-1

FULL AUTOMATIC FIRE SPRINKLER SYSTEM: YES

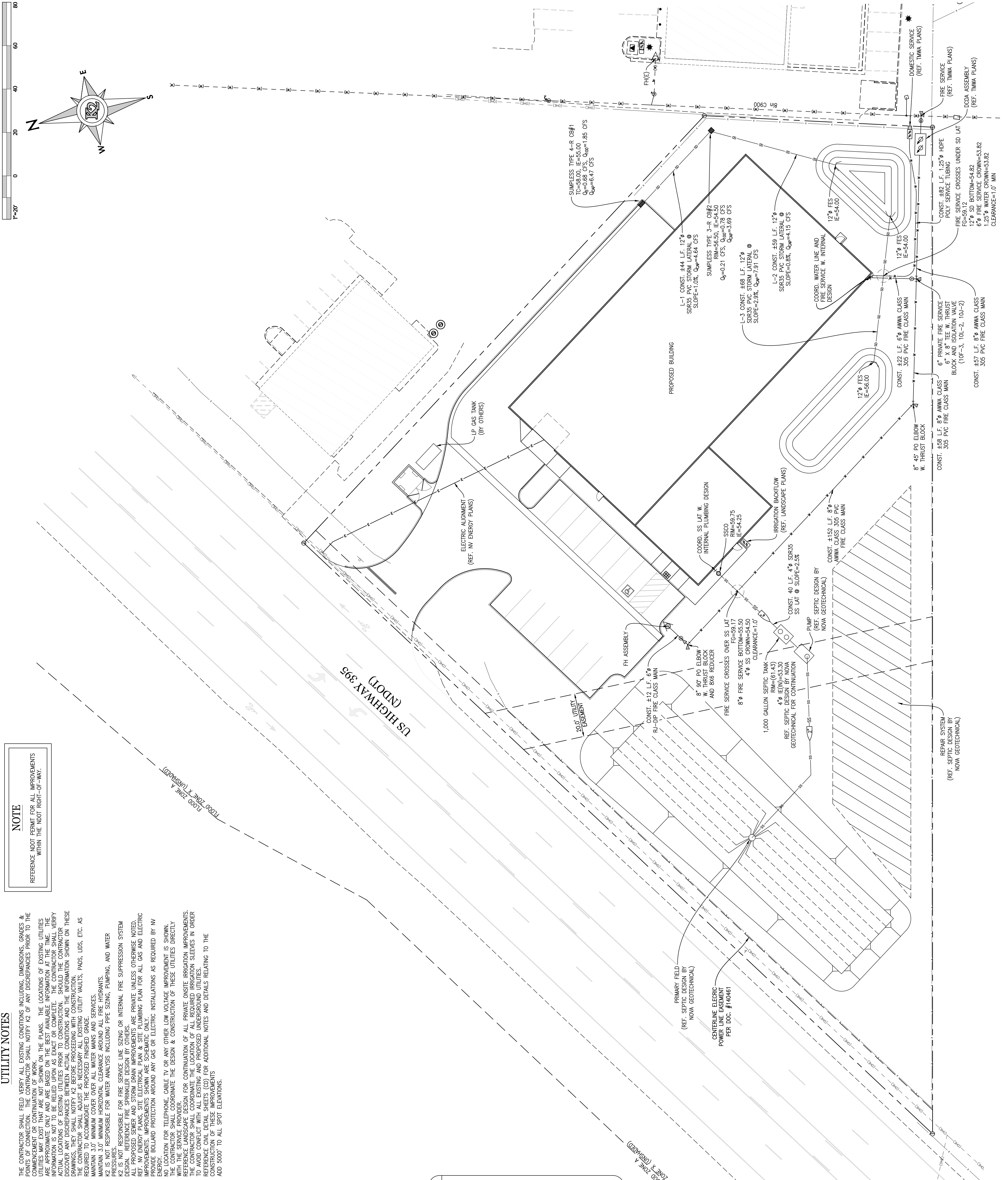
REVIEWED BY: TRUCKEE MEADOWS FIRE PROTECTION DISTRICT

DATE: _____

- UTILITY NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, INCLUDING DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
 - ALL INFORMATION SHOWN ON THESE PLANS IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY K2 BEFORE PROCEEDING WITH CONSTRUCTION.
 - EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 - MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
 - MAINTAIN 3.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
 - K2 IS NOT RESPONSIBLE FOR WATER ANALYSIS INCLUDING PIPE SIZING, PUMPING, AND WATER PRESSURES.
 - NOT RESPONSIBLE FOR FIRE SERVICE LINE SIZING OR INTERNAL FIRE SUPPRESSION SYSTEM DESIGN.
 - REFERENCE FIRE SPRINKLER DESIGN BY OTHERS.
 - ALL PROPOSED SENER AND STORM DRAIN IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED. REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS. IMPROVEMENTS SHOWN ARE SCHEMATIC ONLY.
 - PROTECT ALL EXISTING UTILITIES AND SERVICES.
 - NO LOCATION FOR TELEPHONE, CABLE TV OR ANY OTHER LOW VOLTAGE IMPROVEMENT IS SHOWN. THE CONTRACTOR SHALL COORDINATE THE DESIGN & CONSTRUCTION OF THESE UTILITIES DIRECTLY WITH THE SERVICE PROVIDER.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL REQUIRED IRRIGATION IMPROVEMENTS. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL REQUIRED IRRIGATION SLEEVES IN ORDER TO AVOID CONFLICT WITH ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES.
 - REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - ADD 5000' TO ALL SPOT ELEVATIONS.

NOTE

REFERENCE NDOT PERMIT FOR ALL IMPROVEMENTS WITHIN THE NDOT RIGHT-OF-WAY.



K2 ENGINEERING AND ARCHITECTURAL DESIGN

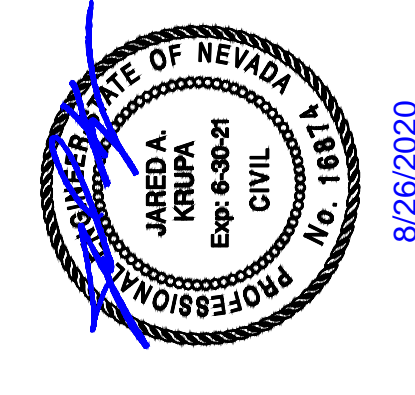
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Washoe County, NV

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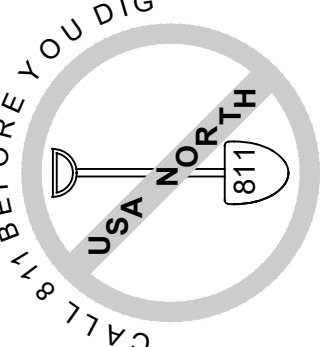


REVISIONS	
△	
△	
△	

Date	8/19/2020
Drawn	K2
Checked	JAK
Project No.	20-066

Utility Plan

C-4



DRAINAGE LEGEND

	UTILITY
	PROPOSED UTILITY LINE
	EXISTING UTILITY LINE
	MANHOLE
	CATCH BASIN
	YARD DRAIN
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	INLET PROTECTION
	FIBER ROLL
	SILT FENCE
	CONSTRUCTION ENTRANCE
	REDEVELOPMENT
	RIPRAP
	SOLID WASTE MANAGEMENT
	STREET SURFACE CLEANING
	VEHICLE & EQUIPMENT CLEANING
	VEHICLE & EQUIPMENT FUELING
	CONCRETE WASHOUT
	MATERIAL DELIVERY & STORAGE
	SANITARY WASTE MANAGEMENT
	FLOW DIRECTION ARROW
	SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION

DRAINAGE & EROSION CONTROL NOTES

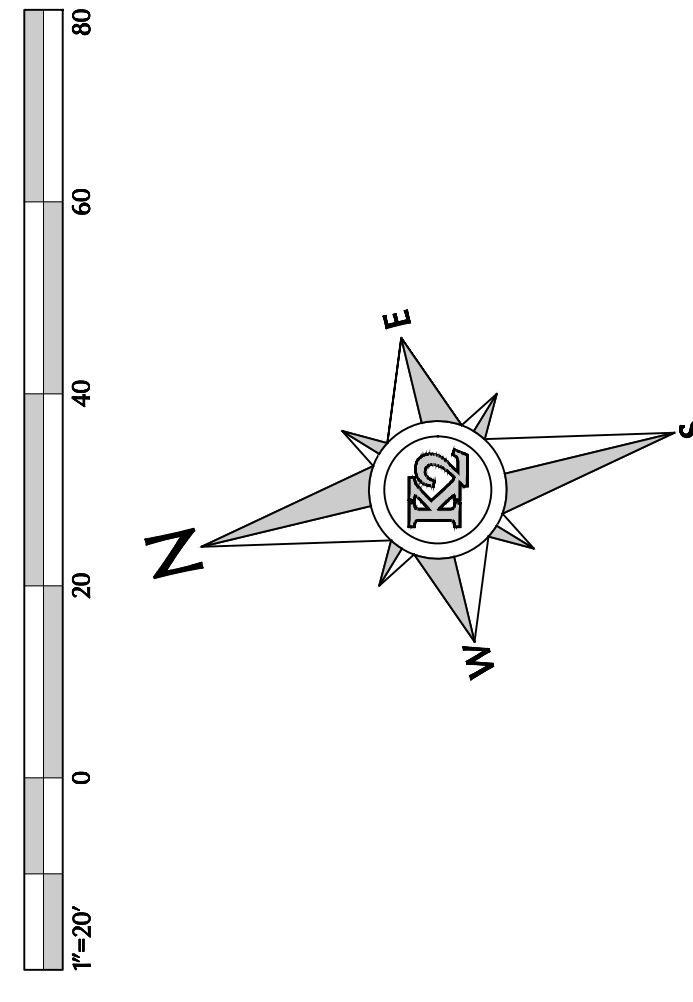
- THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (22031C33336). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
- A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HANDBOOK INCLUDING THE SWPPP FOR THE PROJECT SHALL BE PROVIDED TO THE LOCAL AGENCIES AND THE STATE DEPARTMENT OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL REFER TO THE STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK FOR ALL BEST MANAGEMENT PRACTICES (BMP's) TO BE UTILIZED DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS IN ORDER TO MAINTAIN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
- STABILIZE THE CONSTRUCTION ENTRANCE.
- REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ADD 5000' TO ALL ELEVATIONS.

BIORETENTION BASIN NOTES

- THE ONSITE DETENTION PONDS ARE LOCATED ON PRIVATELY OWNED PROPERTY. IT WILL BE THE PROPERTY OWNER'S RESPONSIBILITY TO PROPERLY MAINTAIN THE PONDS AND FOLLOW THE MAINTENANCE SCHEDULE BELOW.
- PROVIDE INFILTRATION TRENCH IN THE LOW FLOW SWALE OF EACH RETENTION POND.
- MAX SIDE SLOPE SHALL BE 3:1 AND DISTURBED SLOPES SHALL BE STABILIZED WITHIN 1 WEEK OF CONSTRUCTION.
- THE BASINS SHALL BE INSPECTED ANNUALLY, AND FOLLOWING ANY MAJOR STORM EVENT.
- DEBRIS SHALL BE PERIODICALLY REMOVED AND ANY VEGETATION MAINTAINED.
- IF THE BASIN DOES NOT FULLY INFILTRATE WITHIN 7 DAYS, THE FILTER MEDIA SHALL BE REPLACED. EVERY 5-10 YEARS THE AREA SHOULD BE TILLED, FINE MATERIALS REMOVED AND THE BASE REGRADDED TO MAINTAIN LONG TERM VIABILITY OF THE BASIN.
- IF A HAZARDOUS MATERIALS SPILL OCCURS AND THE SOILS BECOME CONTAMINATED, THE AFFECTED AREAS SHOULD BE REMOVED IMMEDIATELY AND APPROPRIATE SOILS AND MATERIALS REPLACES AS SOON AS POSSIBLE.

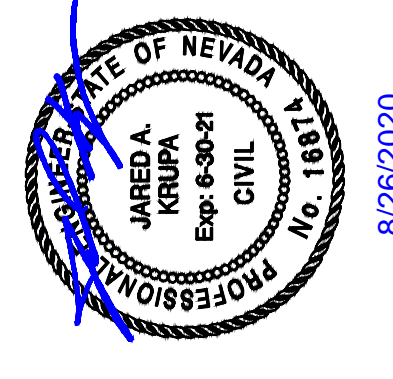
NOTE

REFERENCE NOT PERMIT FOR ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.



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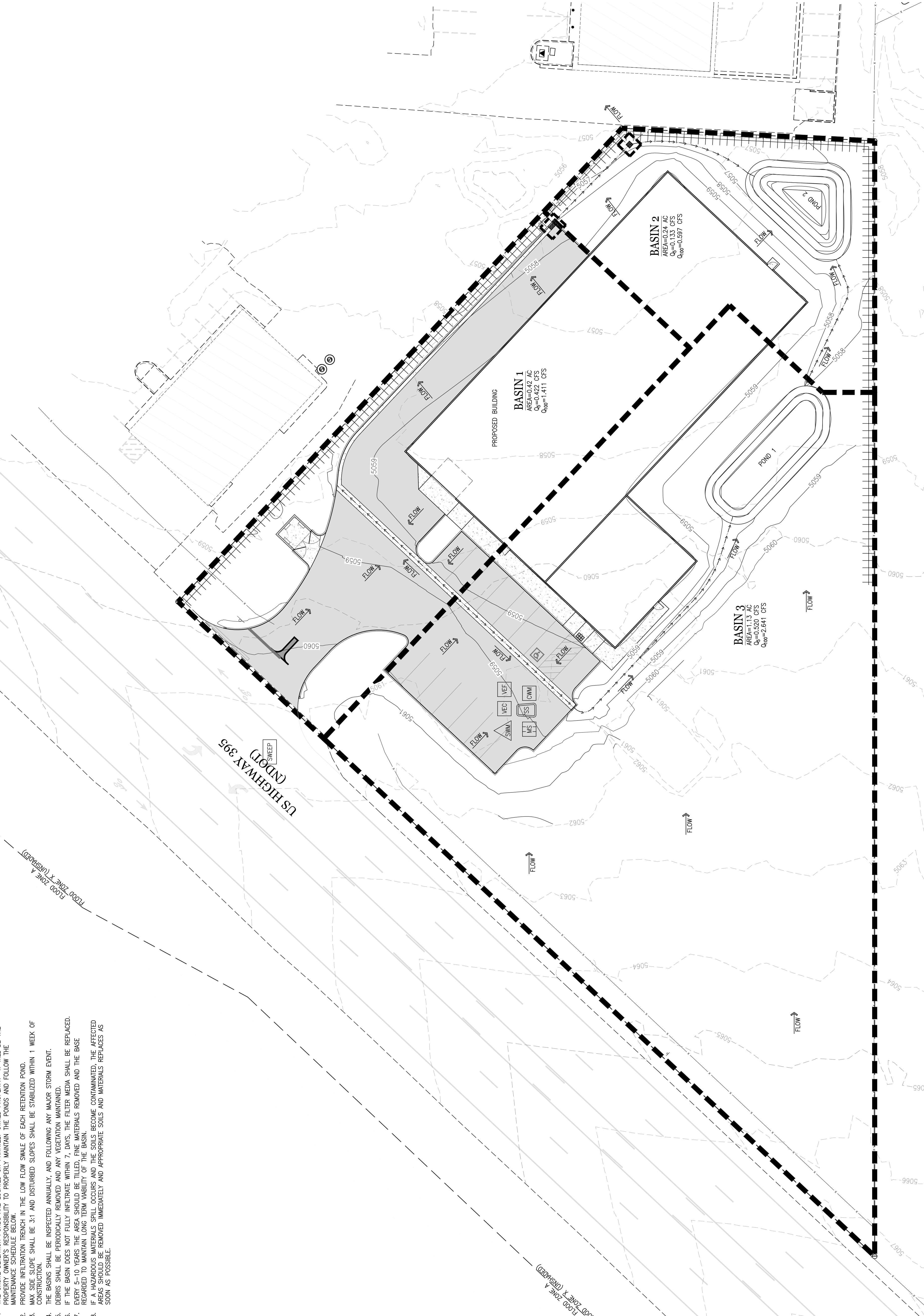


8/26/2020

REVISIONS	

Date: 8/19/2020
 Drawn: K2
 Checked: JAK
 Project No.: 20-066

Drainage & Erosion Control
 Plan
C-5



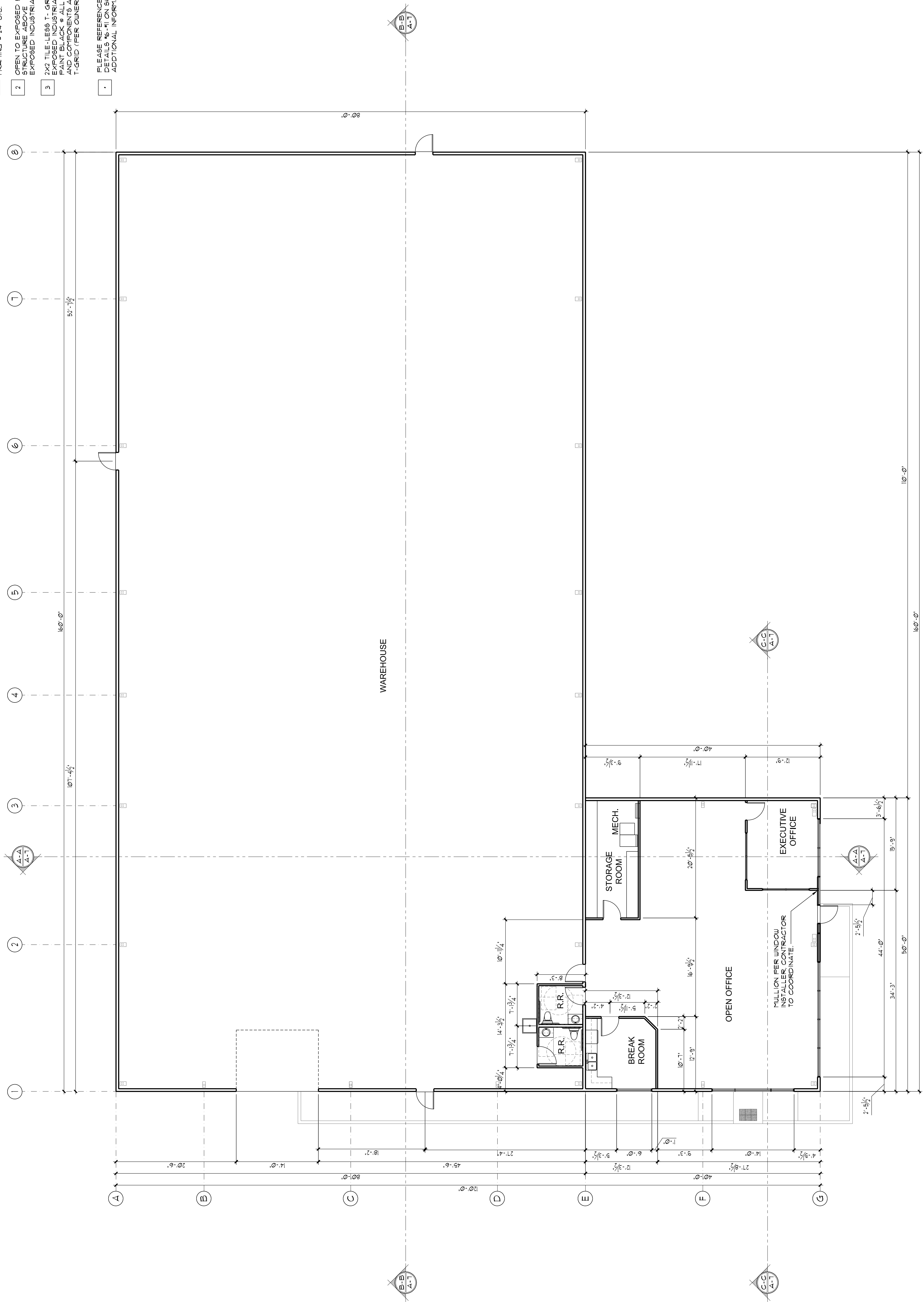


Revisions

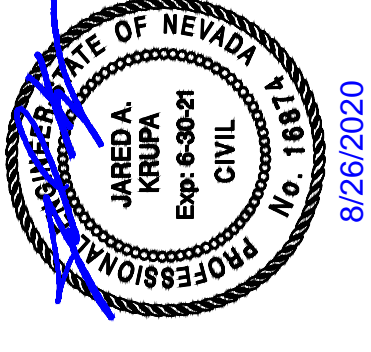
Date	8/20/2020
Drawn	K2
Checked	JAK
Project No.	20-066

REFLECTED CEILING PLAN KEYNOT

- 1. SOLID CEILING W/ 3'-5/8" T. STUD FRAMING @ 24" O.C.
- 2. OPEN TO EXPOSED ROOF STRUCTURE ABOVE EXPOSED INDUSTRIAL LOOK
- 3. 2X2 TILE-LESS T-GRID EXPOSED INDUSTRIAL LOOK. EXPOSED INDUSTRIAL LEAS AND COMPONENTS ADV. T-GRID (PER OWNER)
- PLEASE REFERENCE CEILING DETAILS & SHEET A-11 FOR ADDITIONAL INFORMATION



DIMENSION PLAN
 SCALE 1/8" = 1'-0"



Revisions	
Date	8/20/2020
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DOOR/WINDOW LEGEND:

INDICATES DOOR NUMBER WITH HARDWARE PACKAGE. SEE SHEET A-9 FOR SPECS.

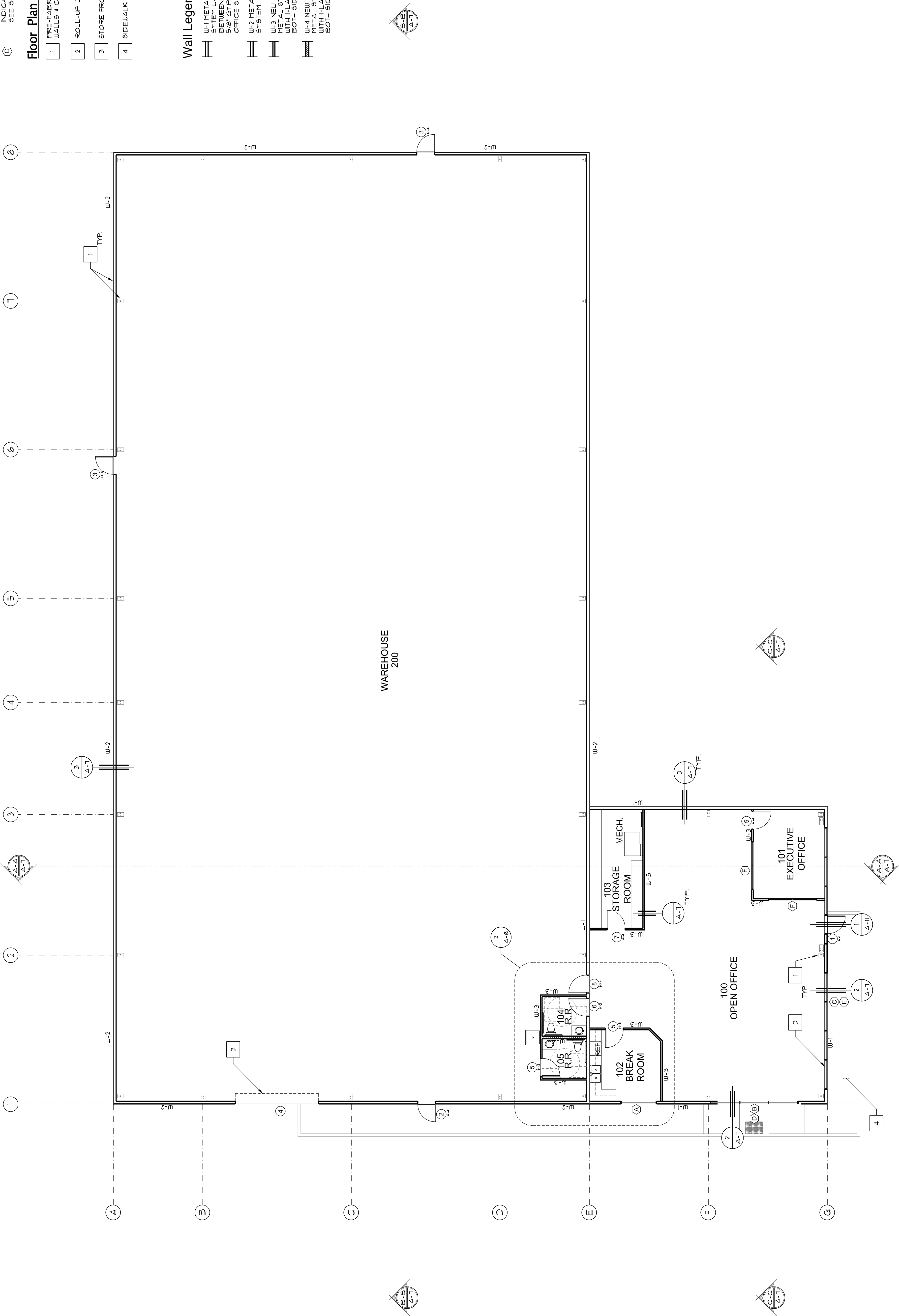
INDICATES WINDOW LETTER SEE SHEET A-9 FOR SPECS.

Floor Plan Keynotes

- 1 PRE-FABRICATED METAL BUILDING WALLS & COMPONENTS
- 2 ROLL-UP DOOR
- 3 STORE FRONT SYSTEM
- 4 SIDEWALK - SEE CIVIL PLANS

Wall Legend

- W-1 METAL BUILDING WALL SYSTEM W/ 8" X 16" STUDS @ 24" O.C. WITH 1-LAYER OF 5/8" GYP. BD. INTERIOR FACE / OFFICE SPACE
- W-2 METAL BUILDING WALL SYSTEM.
- W-3 NEW 3" X 8" X 20 GA. METAL STUDS AT 24" O.C. WITH 1-LAYER OF 5/8" GYP. BD. BOTH SIDES
- W-4 NEW 6" X 20 GA. METAL STUDS AT 24" O.C. WITH 1-LAYER OF 5/8" GYP. BD. BOTH SIDES



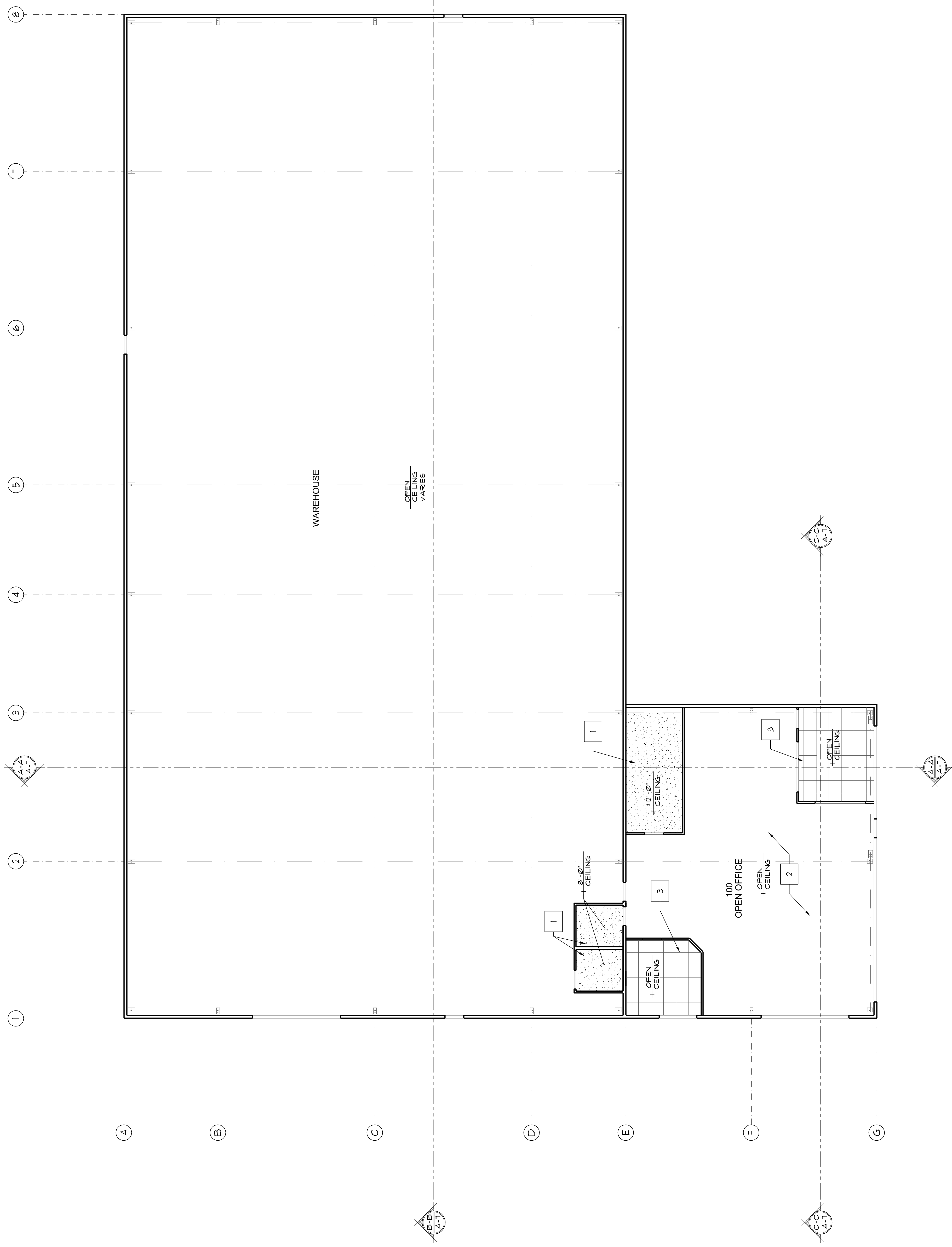
FLOOR PLAN
 SCALE 1/8" = 1'-0"

Revisions

Date	8/20/2020
Drawn	K2
Checked	JAK
Project No.	20-066

REFLECTED CEILING PLAN KEYNOTES:

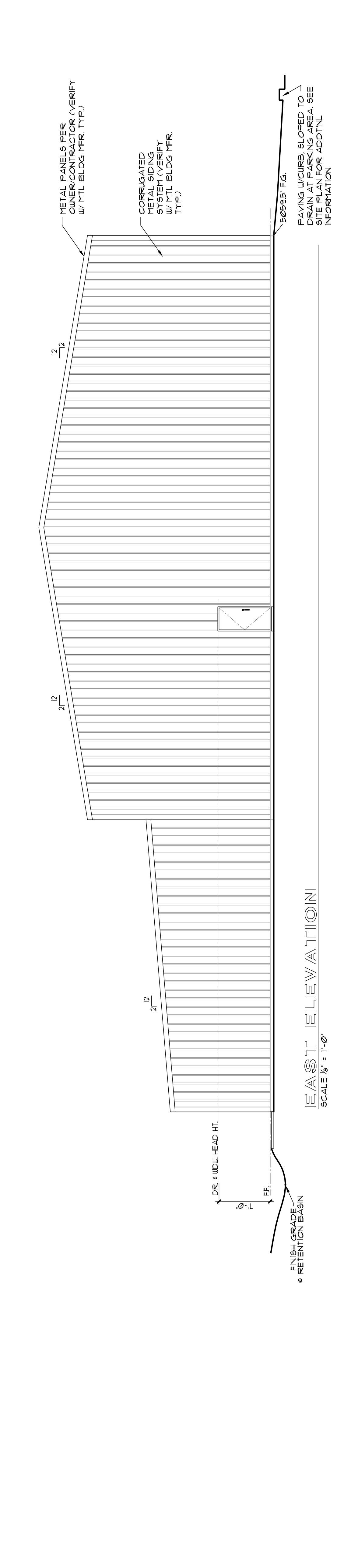
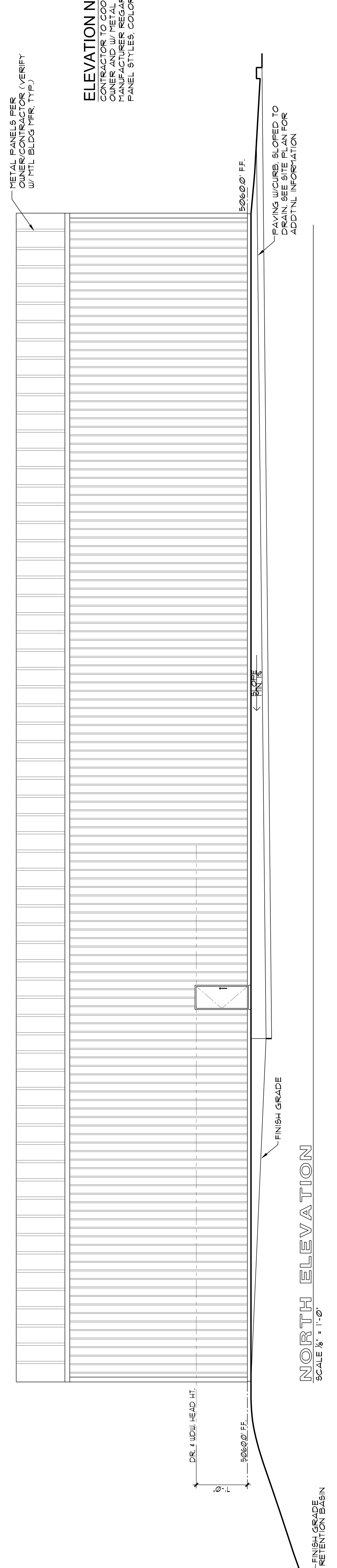
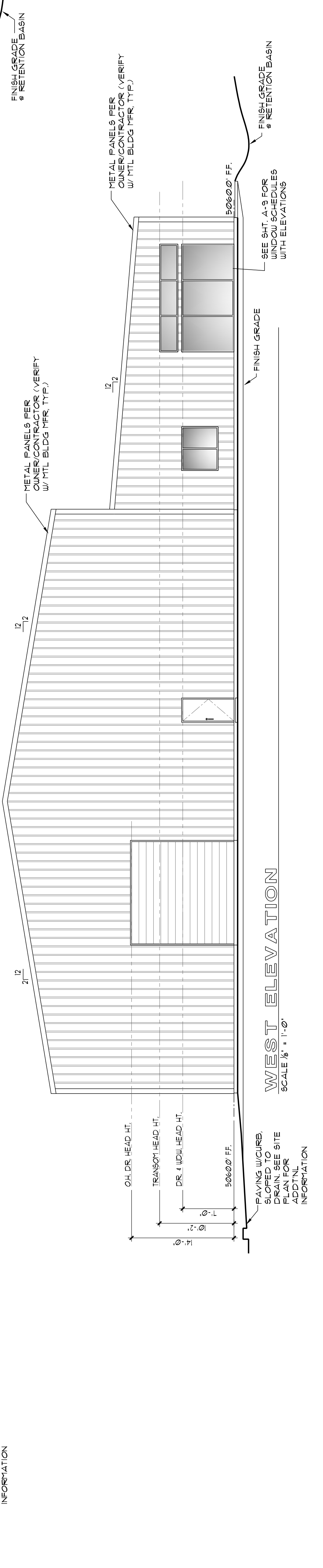
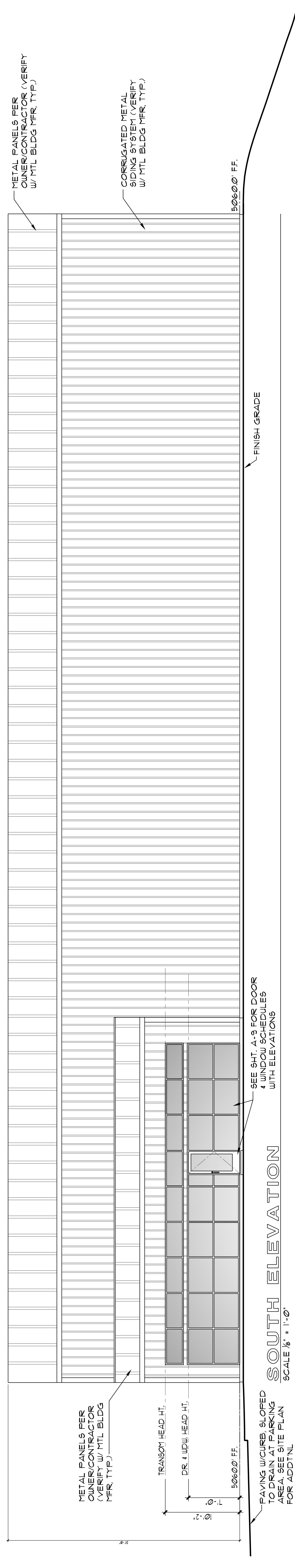
- 1 HAROLD CEILING w/ 3-5/8" T-1 STUD FRAMING @ 7'4" o.c.
- 2 OPEN TO EXPOSED ROOF INCLUDING EXPOSED INDUSTRIAL LOOK
- 3 2X2 TILE-LESS T- GRID EXPOSED INDUSTRIAL LOOK. PAINT BLACK @ ALL AREAS AND COMPONENTS BY T-GRID (PER OWNER)
- PLEASE REFERENCE CEILING DETAILS #1 ON SHEET A-II FOR ADDITIONAL INFORMATION.



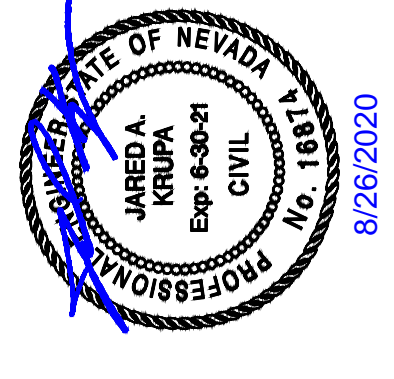


8/26/2020

Revisions	
Date	8/20/2020
Drawn	K2
Checked	JAK
Project No.	20-086



ELEVATION NOTES:
 CONTRACTOR TO COORDINATE W/ ARCHITECT FOR WINDOW SCHEDULES, MANUFACTURER REGARDING METAL PANEL STYLES, COLOR & TRIM.



Revisions	

Date	8/20/2020
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A, B, & C
Sections

A-6

