

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Administrative Review Permit for Detached Accessory Dwelling

Washoe County Code (WCC) Chapter 110, Section 110.306.25, Detached Accessory Dwelling Administrative Review, application is required to establish a detached accessory dwelling unit, with specific requirements for the regulatory zone where the dwelling unit will be located. The Director of the Planning and Building Division, or their designee, shall review the application request for compliance with the Development Code taking into consideration any testimony offered by affected property owners and the applicant. The Director, or their designee, may approve, approve with conditions, modify, modify with conditions, or deny the request. See WCC 110.306.25, for further information.

Development Application Submittal Requirements

1. **Fees:** See Master Fee Schedule. **Make check payable to Washoe County.**
2. **Development Application:** A completed Washoe County Development Application form and all supplemental questions.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Administrative Review Permit for Detached Accessory Dwelling Application materials.
6. **Site Plan Specifications:**
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with topography expressed in intervals of no more than five (5) feet IF there is a difference in elevation of the two dwellings of five (5) feet or more
 - c. Show the all required yard setbacks, location and configuration of wells and well house, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Date, north arrow, scale and number of each sheet in relation to the total number of sheets, and the name of person preparing the plans.
7. **Building Elevations:** Elevations of the main dwelling unit and the detached accessory dwelling, existing or proposed for construction, shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented. Photographs of existing buildings (all sides) may be submitted in place of elevations of existing building.
8. **Floor Plans:** Floor plans to scale with all rooms and spaces labeled for both the main dwelling unit and the detached accessory dwelling.
9. **Packets:** Three (3) paper packets and flash drive or DVD – any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these

reproductions should be no smaller than 8 point on the 8½ x 11" display. Large format sheets should be included in a slide pocket(s).

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- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
 - (ii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies to clarify the potential impacts and potential conditions of development to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
 - (ii) **Labels:** If there is a mobile home park within five hundred (500) feet of the proposed project, the applicant is required to submit three (3) sets of mailing labels for every tenant residing in the mobile home park.
 - (iv) Please be advised that the Washoe County Director of the Planning and Building Division or their designee has the ability to determine if the application is incomplete, if it cannot be ascertain what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

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2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

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3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

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5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

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6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

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7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

Property Owner Affidavit

Applicant Name: _____

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, _____,
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): _____

Printed Name _____

Signed _____

Address _____

Subscribed and sworn to before me this
_____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Washoe County Treasurer
Tammi Davis

Bill Detail

[Back to Account Detail](#)
[Change of Address](#)
[Print this Page](#)

Pay By Check

Please make checks payable to:
**WASHOE COUNTY
TREASURER**

Mailing Address:

P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:

1001 E. Ninth St., Ste
D140
Reno, NV 89512-2845

Change of Address

All requests for a mailing address change must be submitted in writing, including a signature (unless using the online form).

To submit your address change online [click here](#)

Address change requests may also be faxed to:
(775) 328-3642

Address change requests may also be mailed to:
Washoe County Assessor
1001 E 9th Street
Reno, NV 89512-2845

Washoe County Parcel Information

Parcel ID	Status	Last Update
05528709	Active	7/21/2020 1:38:37 AM

Current Owner:

WEBB, WILLIAM
7420 FRANKTOWN RD
WASHOE VALLEY, NV 89704

SITUS:

7420 FRANKTOWN RD
WCTY NV

Taxing District

4000

Geo CD:

Legal Description

Block Lot 3 Section SubdivisionName _UNSPECIFIED Range 19 Township 16

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/17/2020	2020	\$2,271.66	\$0.00	\$0.00	\$2,271.66
INST 2	10/5/2020	2020	\$2,264.84	\$0.00	\$0.00	\$2,264.84
INST 3	1/4/2021	2020	\$2,264.84	\$0.00	\$0.00	\$2,264.84
INST 4	3/1/2021	2020	\$2,264.84	\$0.00	\$0.00	\$2,264.84
Total Due:			\$9,066.18	\$0.00	\$0.00	\$9,066.18

Tax Detail

	Gross Tax	Credit	Net Tax
State of Nevada	\$562.00	(\$86.70)	\$475.30
Truckee Meadows Fire Dist	\$1,785.19	(\$275.39)	\$1,509.80
Washoe County	\$4,600.83	(\$709.73)	\$3,891.10
Washoe County Sc	\$3,763.77	(\$580.61)	\$3,183.16
WASHOE VALLEY WATER BASIN	\$6.82	\$0.00	\$6.82
Total Tax	\$10,718.61	(\$1,652.43)	\$9,066.18

Payment History

No Payment Records Found

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

Permit # _____



Washoe County

Department of Building & Safety

1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020

FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bldgsafety



RESIDENTIAL/REMODEL

BUILDING PERMIT APPLICATION

Parcel Number: _____ Address: _____

Unit No. _____

Owner Information: Owner/Builder Permit? ___ Yes ___ No

Name: _____ Phone No: _____

Address: _____

Contractor Information:

General Contractor: _____ Contact Name: _____

Address: _____

Phone : _____ Fax : _____

Nevada License No. : _____ County Business License No.: _____

Design Professional Information:

Architect's Name: _____ Phone No.: _____

Email: _____ Fax No.: _____

Engineer's Name: _____ Phone _____

Email: _____ Fax No.: _____

Person to contact regarding the permit:

Name: _____ Phone No.: _____

Email: _____ Fax No.: _____

Project Information: (Complete Applicable Items)

Contract Price: _____

Total Project Sq. Footage: _____

New Living Area Sq. Footage: _____

Remodel Sq. Footage: _____

Current Living Area Sq. Footage: _____

New Garage Sq. Footage: _____

Current Garage Sq. Footage: _____

New Covered Deck and Porch Sq. Footage: _____

New Deck and Porch Sq. Footage: _____

Patio Cover or Sunroom Sq. Footage: _____

Shed Sq. Footage: _____

Fence Lineal Footage: _____

Water Well: Yes No

Septic System: Yes No

Architectural Committee Yes No

Description of Work:

Applicant (print) _____ **Date:** _____

Signature _____

FOR OFFICE USE ONLY

RTC:

New Single Family Home Accessory Dwelling (second kitchen on site) N/A

Park Tax Determination:

New Dwelling on Vacant Lot Replace Existing Dwelling Built Prior To 1974 N/A

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing ~ Steel Framing Occupancy Use _____

Occupancy Group: Single Family Home ~ Townhouse ~ Duplex

Repair WASHOE COUNTY DISTRICT HEALTH DEPARTMENT
INDIVIDUAL SEWAGE DISPOSAL SYSTEM

DATE 7-28-02

PERMIT # 102 PARCEL # 55-287-02

NAME R H SIMPULSON SEPTIC TANK INSTALLER

ADDRESS 7410 TRAVELWOOD NO. BEDROOMS MOBILE HOME

SUBDIVISION LOT BLOCK

AREA CAWIKTULLO WATER SUPPLY WELL COMMUNITY

SEPTIC TANK

Nearest well _____ Nearest structure 76'

Make of tank _____ Tank capacity 171'

DISPOSAL FIELD LOCATION

Nearest well 76' Nearest lot line 50' Direction N.W.

Direction of surface drainage _____ Slope _____ %

DISPOSAL FIELD SPECIFICATIONS

Total trench length 55' depth 8' width 2' no. of lines 2

Distance between lines 10' Effective sidewall area 660

Depth pipe to natural grade 28" - 30" Adequate filter material

Special design data: _____

SOIL PROFILE AND DEGREE OF COMPACTION (Loose, Moderate, Cemented)

Hardpan _____ Clay _____ Sand & Gravel _____

Clayey Sand _____ Sandy Clay

Sand (coarse, fine, silty) _____ Cobbles _____

Other soil types encountered: _____

ADDITIONAL DATA: New septic system to serve Subarea A10A

8-13-02 - Field ok to device - however concrete seal on

manhole could be removed adjacent to head box - seal back by

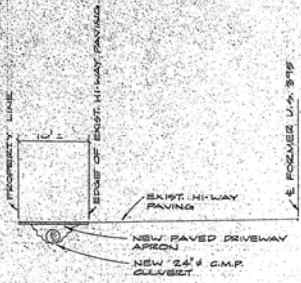
Final Inspection - 8/15/02

Date 8/15/02 Date 8-15-02

Hold

1193 / 530 600

NOTE:
INSTALLATION OF DRIVEWAY
APRON, CURB, ETC. SHALL
BE IN STRICT ACCORDANCE
WITH N.P.C.T. STANDARDS



SECTION B-B
SCALE 1/8" = 1'-0"



MASTER PLAN
FOR

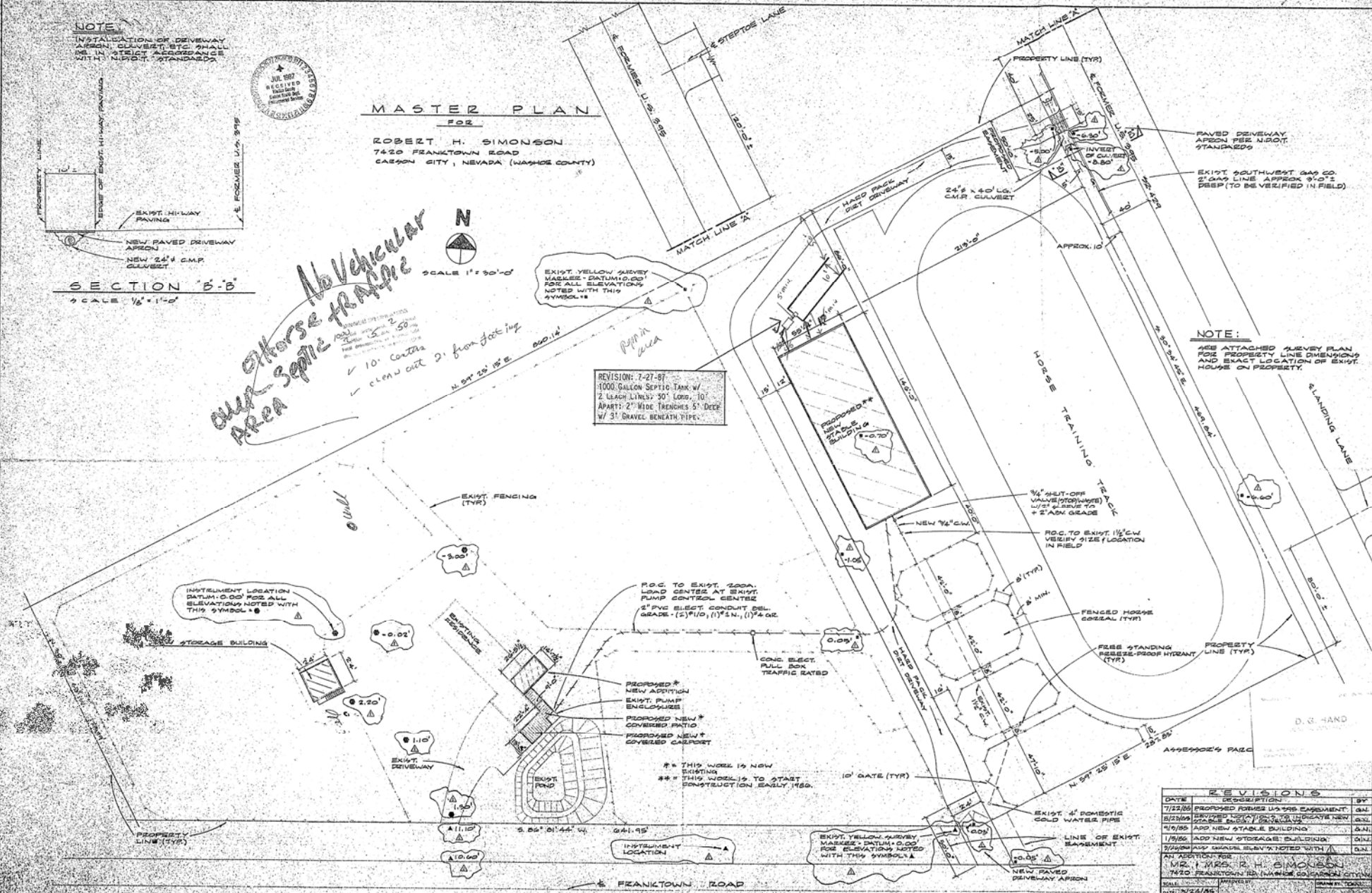
ROBERT H. SIMONSON
7420 FRANKTOWN ROAD
CARSON CITY, NEVADA (WASHOE COUNTY)



*No Vehicular
Out Horse Traffic
Area*

PROPOSED OPERATIONS
1000 GALLON SEPTIC TANK
2 LEACH LINES 50' LONG, 10'
APART 2" WIDE TRENCHES 5' DEEP
W/ 3" GRAVEL BENEATH PIPE.
10' CENTER
CLEAN OUT 2' FROM FOOTING

REVISION: 7-27-87
1000 GALLON SEPTIC TANK W/
2 LEACH LINES 50' LONG, 10'
APART 2" WIDE TRENCHES 5' DEEP
W/ 3" GRAVEL BENEATH PIPE.



NOTE:
SEE ATTACHED SURVEY PLAN
FOR PROPERTY LINE DIMENSIONS
AND EXACT LOCATION OF EXIST.
HOUSE ON PROPERTY.

REVISIONS		
DATE	DESCRIPTION	BY
7/12/86	PROPOSED FORMER USES ENGAGEMENT	GNL
8/28/86	REVISIONS TO SEPTIC TANK TO INDICATE NEW	GNL
9/9/86	ADD NEW STABLE BUILDING	GNL
1/26/86	ADD NEW STORAGE BUILDING	GNL
3/16/86	ADD GRAVEL SEVEN'S NOTED WITH	GNL
AN ADDITION FOR		
MR. & MRS. R. H. SIMONSON		
7420 FRANKTOWN ROAD WASHOE COUNTY NEVADA		
DATE: 12/21/85	DESIGNED BY: D.G. HAND	DRAWN BY: D.G. HAND
SITE & MASTER PLAN		
D.G. HAND, LICENSED CONTRACTOR		
CARSON CITY, NEVADA		

7420 Franktown Rd #34585

Repair

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT
INDIVIDUAL SEWAGE DISPOSAL SYSTEM

PERMIT # 34585 / PARCEL # 55-287-02
NAME Burch SEPTIC TANK INSTALLER _____
ADDRESS 7420 Franktown Rd NO. BEDROOMS 3 MOBILE HOME
SUBDIVISION _____ LOT BLOCK
AREA _____ WATER SUPPLY WELL COMMUNITY

SEPTIC TANK
Nearest well 150+ Nearest structure 13'
Make of tank Byramid Tank capacity 1250

DISPOSAL FIELD LOCATION
Nearest well _____ Nearest lot line 20 Direction S
Direction of surface drainage _____ Slope _____ %

DISPOSAL FIELD SPECIFICATIONS
Total trench length 220 depth 5' width 24 no. of lines 1
Distance between lines 10 ft Effective sidewall area 500+
Depth pipe to natural grade 2' over Adequate filter material
Special design data: _____

SOIL PROFILE AND DEGREE OF COMPACTION (Loose, Moderate, Cemented)
Hardpan _____ Clay _____ Sand & Gravel _____
Clayey Sand * _____ Sandy Clay * _____ Cobbles _____
Sand (coarse, fine, silty) _____
Other soil types encountered: _____

ADDITIONAL DATA: _____

First Inspection Peter Allen Final Inspection Peter Allen
Date 2-1-78 Peter Allen Date 2-14-78 Peter Allen

Hold

17.304 ACRES

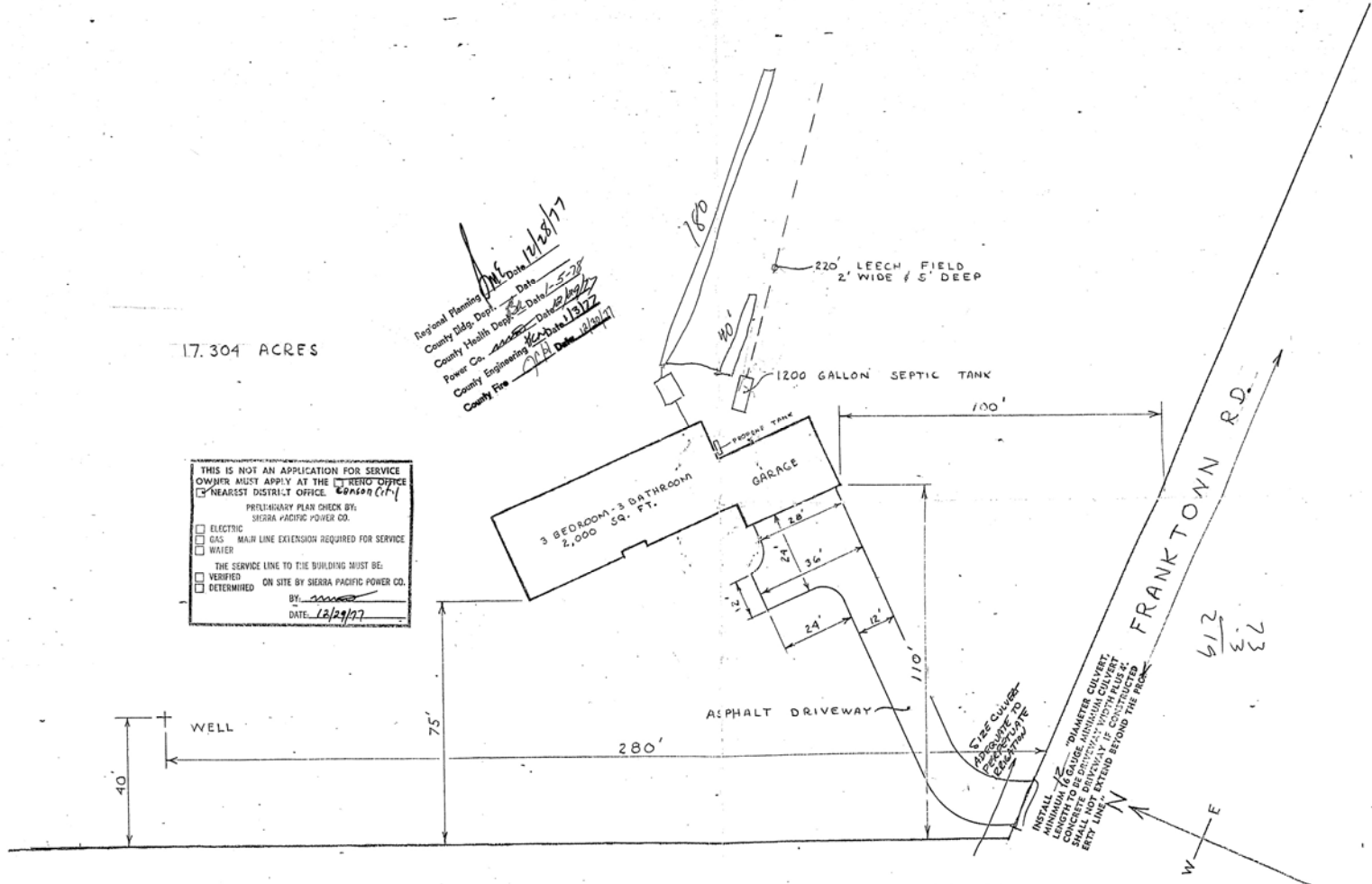
Regional Planning *MLC* Date *10/28/77*
 County Sds. Dept. _____ Date _____
 County Health Dept. _____ Date *5-28*
 Power Co. _____ Date _____
 County Engineering *RES-DAVID* Date *10/27/77*
 County Fire *SPB* Date *10/27/77*

THIS IS NOT AN APPLICATION FOR SERVICE OWNER MUST APPLY AT THE METRO OFFICE NEAREST DISTRICT OFFICE *Conson City*

PRELIMINARY PLAN CHECK BY: SIERRA PACIFIC POWER CO.

ELECTRIC
 GAS MAIN LINE EXTENSION REQUIRED FOR SERVICE
 WATER

THE SERVICE LINE TO THE BUILDING MUST BE:
 VERIFIED ON SITE BY SIERRA PACIFIC POWER CO.
 DETERMINED BY _____ DATE *12/29/77*



PROPERTY OF MR. & MRS. BURCH 358-1265
 SW. PORTION OF PARCEL # 2 ~BLOCK # 287
 SCALE - 1" = 20'

7420 Franktown Road

#55-287-09

Addition over garage & relocate master bedroom

Repair

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT
INDIVIDUAL SEWAGE DISPOSAL SYSTEM

DATE 6-4-90

PERMIT # 68021 PARCEL # 55-287-09

NAME Louis Bromif SEPTIC TANK INSTALLER

ADDRESS 7420 Franktown Road NO. BEDROOMS 5 MOBILE HOME

SUBDIVISION _____ LOT _____ BLOCK _____

AREA Washoe Valley WATER SUPPLY WELL COMMUNITY

SEPTIC TANK Existing

Nearest well _____ Nearest structure _____

Make of tank _____ Tank capacity _____

DISPOSAL FIELD LOCATION Existing

Nearest well _____ Nearest lot line _____ Direction _____ Slope _____ %

DISPOSAL FIELD SPECIFICATIONS

Total trench length _____ depth _____ width _____ no. of lines _____

Distance between lines _____ Effective sidewall area _____

Depth pipe to natural grade _____ Adequate filter material

Special design data: _____

SOIL PROFILE AND DEGREE OF COMPACTION (Loose, Moderate, Cemented)

Hardpan _____ Clay _____ Sand & Gravel _____

Clayey Sand _____ Sandy Clay _____

Sand (coarse, fine, silty) _____ Cobbles _____

Other soil types encountered: _____

ADDITIONAL DATA:

*Relocate master bedroom storage room over garage.
New plumbing approval. No health inspectors required.*

First inspection N/A Final inspection N/A

Date _____ Date _____

Hold

NOTE

INSTALLATION OF DRIVEWAY
AREA, CULVERT, ETC. SHALL
BE IN STRICT ACCORDANCE
WITH N.P.O.T. STANDARDS



SECTION 5-B
SCALE 1/2" = 1'-0"

DISTRICT HEALTH DEPARTMENT
APPROVED
BY: *[Signature]*
DATE: 6-5-90

*Addition over garage storage rooms, plus
relocate waste sink room. No new plumbing
approved, no health department inspections
will be required.*

MASTER PLAN

FOR
7420 FRANKTOWN ROAD
CARSON CITY, NEVADA (WASCO COUNTY)



SCALE 1" = 30'-0"

REVISION: 7-27-87
1000 GALLON SEPTIC TANK w/
2 LEACH LINES, 50' LONG, 10'
APART; 2" WIDE TRENCHES 5' DEEP
w/ 3" GRAVEL BEVEATHPIPE.

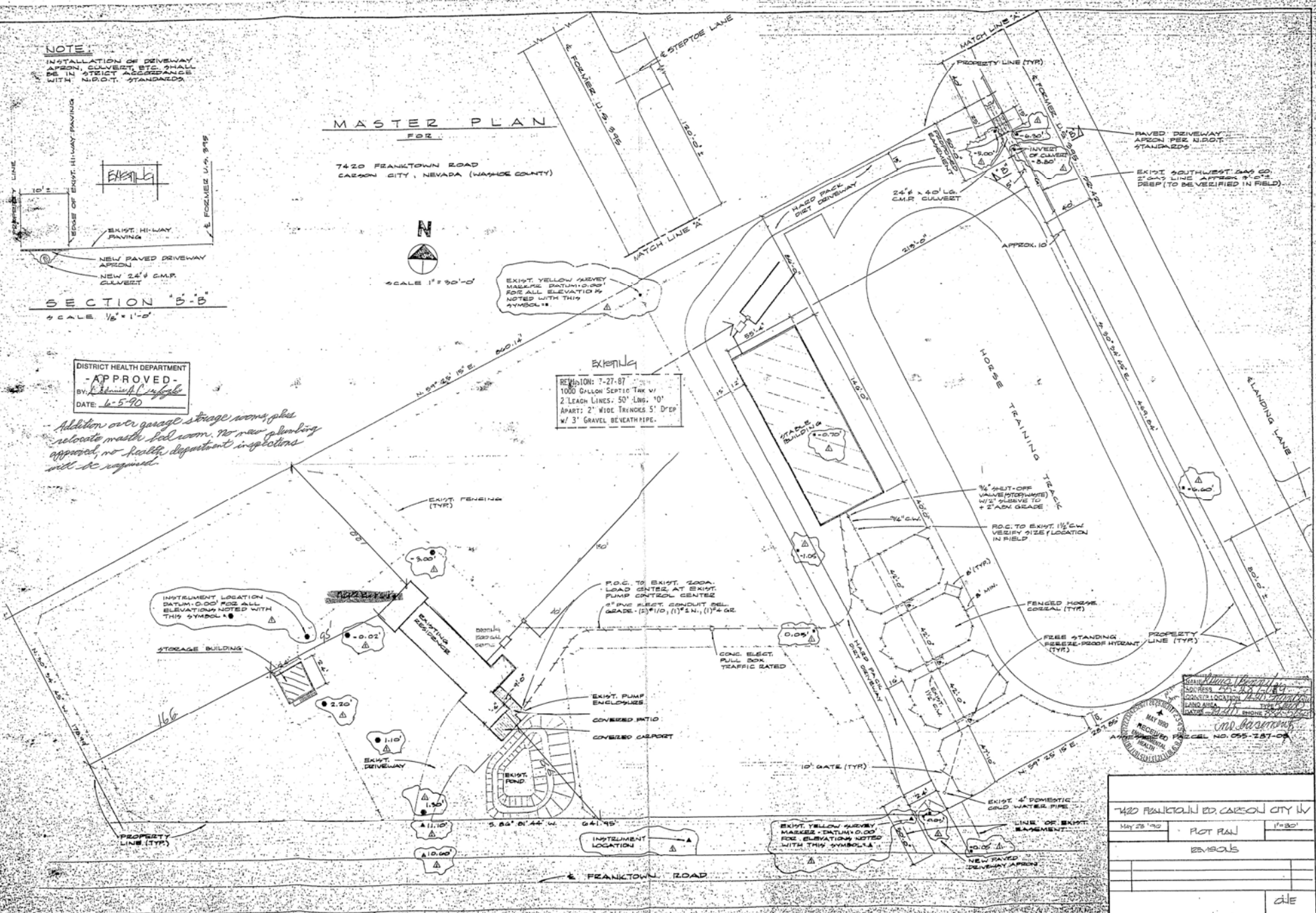
WASCO COUNTY

RECEIVED
MAY 28 1990
ENVIRONMENTAL
HEALTH

PROJECT NO. 055-287-08

carl barstow

7420 FRANKTOWN RD CARSON CITY NV		
May 28 '90	PLOT PLAN	1"=30'
ENCLOSURE		
cde		



7420 Franktown Road

WASHOE COUNTY DISTRICT HEALTH DEPARTMENT
DIVISION OF ENVIRONMENTAL SERVICES

WELL CONSTRUCTION INSPECTION FORM

OWNER S. Johnson DATE 9-16-83
ADDRESS OR PARCEL NUMBER 7420 Franktown Road
PERMIT NO. 1997 WELL DRILLED BY S. Sierra Pump & Drilling
DRILLING METHOD - ROTARY CABLE TOOL _____ OTHER _____
DEPTH 190 CASING SIZE 8" MATERIAL 188
GRAVEL PACKED yes SANITARY SEAL IN PLACE 50 ft
SAMPLES COLLECTED _____ BACTERIOLOGICAL _____ CHEMICAL _____
APPROXIMATE GPM 60
ESTIMATED BY _____
SET-BACK FROM SEPTIC SYSTEMS (IF IN PLACE) OK
REMARKS: Johnson sur 6" 162 TO 182 Proj 13270
142

INSPECTOR _____ DATE OF FIRST INSPECTION _____
INSPECTOR R. Brown DATE OF FINAL INSPECTION 4-24-84
(inspection request)
Request for 1st inspection: Date 4-17-83 Time _____
Person calling _____ On Site 4-17-83
Request for final inspection: Date 4-24-84 Time 0900
Person calling Buck Time 2:00
Call and time to seal well 4-24-84 0900

WASHOE COUNTY HEALTH DEPARTMENT
DIVISION OF ENVIRONMENTAL SERVICES
Wells at Ninth Street
Reno, Nevada 89500

785-4280

WELL AND WATER SYSTEM PERMIT

Permit Number 1997
Owner Sumner
Address 7430 Franklin Rd.
Driller Sierra Pump & Drilling

Inspection Type _____ Inspector: _____ Date: _____
Well Construction: RB
Bore Hole: 12
Casing: 8
Sanitary Seal: 504
Seal Material: 7-2-84

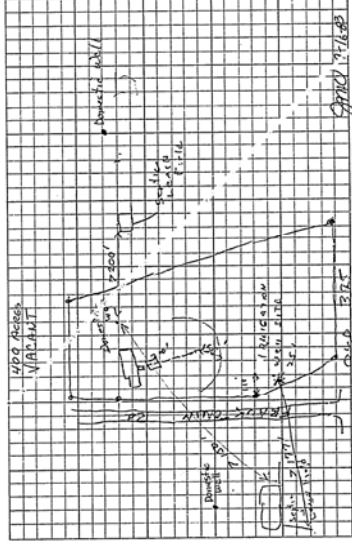
Inspection Type _____ Inspector: _____ Date: _____
Water System Appurtenances: _____
Pump _____
Tank _____
Controls _____
Pressure Relief Valve _____
Electrical _____
Water Lines _____
Drop Pipe _____
8/11/88

WELL CONSTRUCTION PERMIT AND PROPOSED PLOT PLAN

PERMIT NO. 1997
Items to be shown within 150' of proposed well:
1. Property Lines & Dimensions
2. Sewage Disposal System (if in place)
3. Water Bodies (lakes, streams, etc.)
4. Drainage Pattern
5. Existing Wells
6. Indica's setback from property line
7. Structures (if in place)
8. Roads or Highways (by name)

DATE 9-16-83
Owner's Phone # 552-5832
Owner of Proposed Well S. L. M. S. S. S. R.
Address 7420 Franktown Rd
Address at Site 7420 Franktown Rd
Parcel Number _____
_____ W _____ N _____ Sec _____ T _____ R _____
New Well X Modification _____
Well Drilling Company Stewart Pump and Drilling
Approximate Depth _____
Use of Well _____

PLOT PLAN



COPY TO BE ON WELL SITE

9-19 - Moving for a week
1500 to Patsy
at 9-16 Time 3:15
new WHILE YOU WERE OUT
plot of Bob Simpson
at Phone 882-5036

Will print in 1977

TELEPHONED	PLEASE CALL
CALLER TO SEE YOU	WILL CALL AGAIN
WANTS TO SEE YOU	RUSH

Message: wants to change
will adding location
to SW corner of
flat plan.

Bob
DODD

Water business has
NOT authorized this

7420 FRANKTOWN RD WASH

055-287-09

Address: 7420 FRANKTOWN RD WASH Permit No: 02-2735
 Location: 855-287-09 Type: RES-BUS
 Parcel No: 855-287-09 Change#: RESAD

Company: 36 Use Code: Applied: 06/11/2002
 Group: 500K Area: S Issued:
 Area: S Sewer: SEPTIC Well: WELL Status: PENDING
 Special Use: CROWN: 434 Eject:
 Volume No: # Units: 1
 M.P.R. No: # Blgs: 1

OWNER: WEND WELLS AND SHELLY Phone:
 7420 FRANKTOWN RD
 8550 NY 85511

CONTRACTOR: BOWDRAFTERS LTD Phone: 7757460808
 4751 GARFIELD PARKWAY # 1
 8520 NY
 License: 0043335 85509

CONTACT: BOWDRAFTERS LTD Phone: 7757460808
 4751 GARFIELD PARKWAY # 1
 8520 NY 85509

Parcel Description: NEW ADDITION/LIVING ROOM, VESTIBULE AND NEW 2ND FLOOR GAME ROOM WITH BATH/ADDITION TO GARAGE AND STORAGE ROOM

VALIDATION: \$146,852.22

Company	Type	Factor	Per Area	Valuation
RESO - Residential	Dwelling - Addition	80.83	1,644	\$132,565.72
RESO - Residential	Garage/Shop/Carwash	21.18	875	\$18,496.50
	Totals:		2,519	\$146,852.22*

FEES:

Building Fee:	\$125.76	Colossal Fee:	\$1,080.79
Electrical Fee:	\$100.25	Additional Fee:	\$0.00
Plumbing Fee:	\$141.21	TOTAL FEES:	\$1,080.79
Mechanical Fee:	\$182.46	Payments:	\$178.88
Inspection:	\$6.00	BALANCE DUE:	\$1,080.91
Plan Check Fee:	\$178.88	VALIDATED BY:	MD
Permit Fee:	\$0.00	ISSUED BY:	
Utility Fee:	\$0.00		
Survey Fee:	\$0.00		
Impact Fee (SEZ):	\$0.00		
Impact Fee (COM):	??		
Grading Fee:	??		

Applications for which no permit is issued within 180 days following the date of application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. The building official may extend the time for action by the applicant for a period not exceeding 180 days on request by the applicant showing that circumstances beyond the control of the applicant have prevented action from being taken. No application shall be extended more than once. In order to renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee.

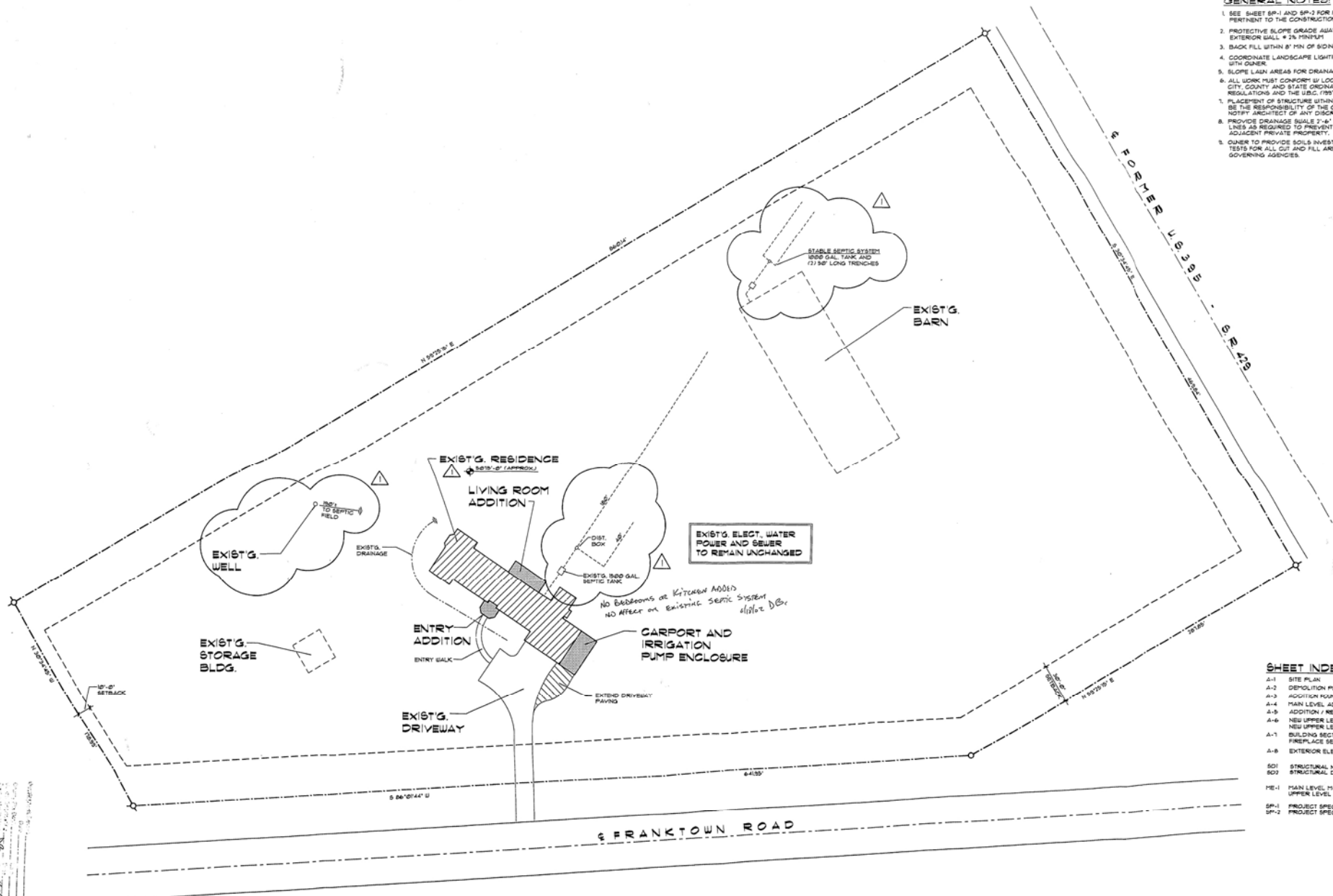
No effect on existing Septic System

MICROFILM ONLY



GENERAL NOTES:

1. SEE SHEET SP-1 AND SP-2 FOR PROJECT SPECIFIC PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
2. PROTECTIVE SLOPE GRADE AWAY FROM EXTERIOR WALL # 2% MINIMUM.
3. BACK FILL WITHIN 8" MIN OF SIDING.
4. COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER.
5. SLOPE LAIN AREAS FOR DRAINAGE MIN. 1/4" PER 7'-0".
6. ALL WORK MUST CONFORM TO LOCAL BUILDING CODE, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE U.B.C. (1991 EDITION).
7. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. PROVIDE DRAINAGE SLOPE 2"-6" MIN. IN FROM PROFILES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY.
9. OWNER TO PROVIDE SOILS INVESTIGATION AND COMPTESTS FOR ALL CUT AND FILL AREAS AND AS REGD. GOVERNING AGENCIES.



EXIST'G. ELECT. WATER POWER AND SEWER TO REMAIN UNCHANGED

No Bedrooms or Kitchen Added
NO AFFECT on EXISTING SEPTIC SYSTEM
displace D.B.C.

SHEET INDEX

- S-1 SITE PLAN
- A-1 DEMOLITION PLAN
- A-2 ADDITION FOUNDATION PLAN
- A-3 MAIN LEVEL ADDITION / REPOPOSE
- A-4 ADDITION / REPOPOSE ROOF PLAN
- A-5 NEW UPPER LEVEL FLOOR PLAN
- A-6 NEW UPPER LEVEL ROOF FRAMING
- A-7 BUILDING SECTION 1/2" = 1'-0"
- A-8 FIREPLACE SECTION
- A-9 EXTERIOR ELEVATIONS
- SD-1 STRUCTURAL NOTES
- SD-2 STRUCTURAL DETAILS
- PE-1 MAIN LEVEL THE PLAN
- PE-2 UPPER LEVEL THE PLAN
- SP-1 PROJECT SPECIFICATIONS
- SP-2 PROJECT SPECIFICATIONS

ADDITION AREA6 = 1644 ± 6

SITE PLAN

SCALE 1" = 30'-0"



PROJECT NO. 1644
DATE 10/15/01
SCALE 1" = 30'-0"
SHEET INDEX

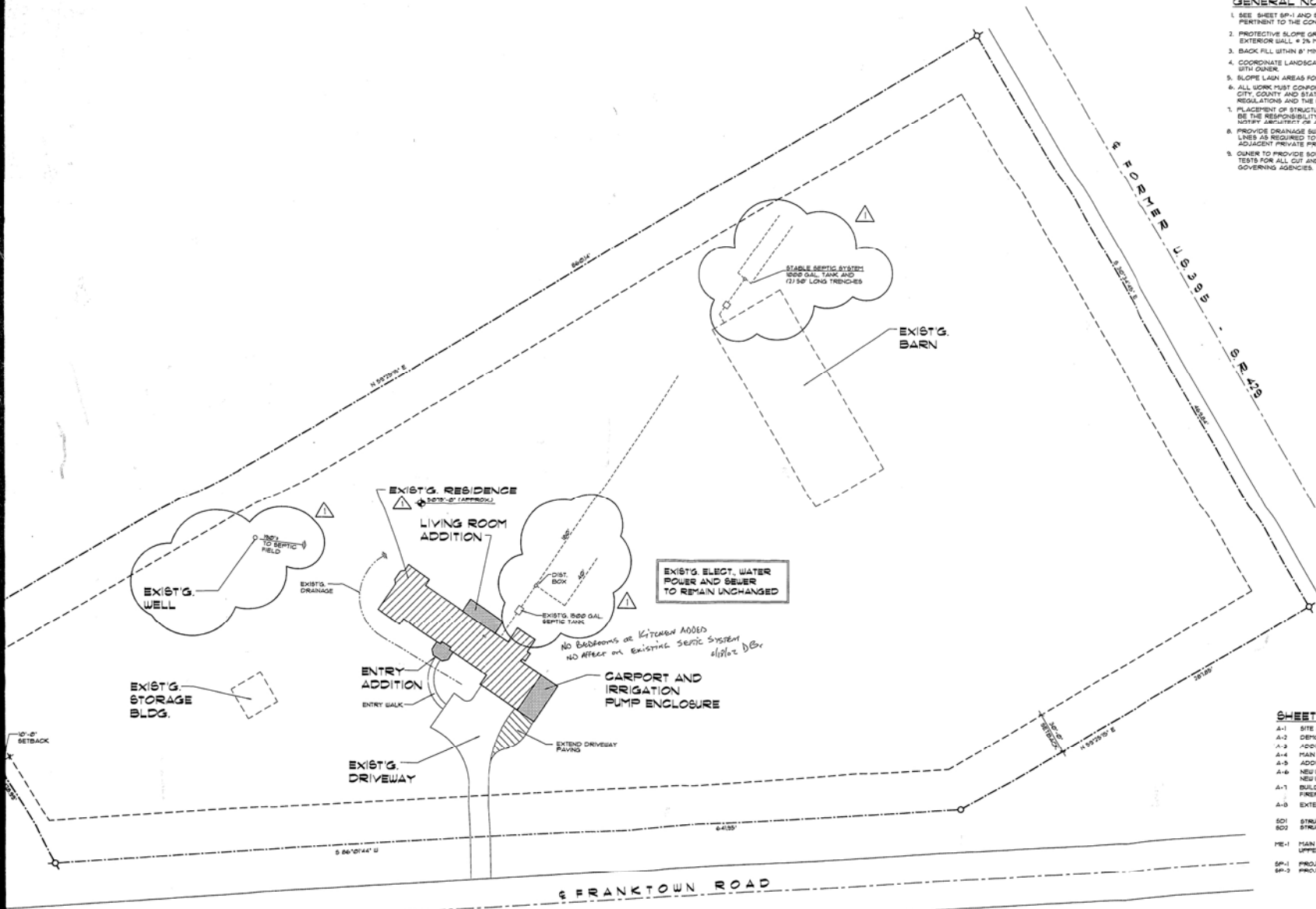
REVISIONS	
△	6/10/07
△	
△	

- GENERAL NOTES:**
- SEE SHEET SP-1 AND SP-2 FOR PROJECT SPECIFICATIONS PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
 - PROTECTIVE SLOPE GRADE AWAY FROM EXTERIOR WALL = 2% MINIMUM.
 - BACK FILL WITHIN 8' MIN OF SIDING.
 - COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER.
 - SLOPE LEAN AREAS FOR DRAINAGE MIN 1/4" PER 1'-0".
 - ALL WORK MUST CONFORM WITH LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE U.S.C. (FIRST EDITION).
 - PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, NOTIFY ARCHITECT FOR ANY DISCREPANCIES.
 - PROVIDE DRAINAGE SLOPE 7'-6" MIN. IN FRONT PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY.
 - OWNER TO PROVIDE SOILS INVESTIGATION AND COMPACTION TESTS FOR ALL CUT AND FILL AREAS AND AS REQ'D BY GOVERNING AGENCIES.

© 2007 BY RICHIE & ASSOCIATES, ARCHITECTS
 100 CLARKMAN CROSSING
 RENO, NEVADA 89503
 PHONE: (775) 786-2229
 FAX: (775) 786-2228
 WWW.RICHIE-ARCHITECTS.COM

RICHIE & ASSOCIATES
 ARCHITECTS • PLANNERS
 100 CLARKMAN CROSSING
 RENO, NEVADA 89503
 PHONE: (775) 786-2229
 FAX: (775) 786-2228
 WWW.RICHIE-ARCHITECTS.COM

WEBB RESIDENCE
 SITE PLAN
 100 CLARKMAN CROSSING
 RENO, NEVADA 89503



SHEET INDEX

A-1	SITE PLAN
A-2	DEMOLITION PLAN
A-3	ADDITION FOUNDATION PLAN
A-4	PLAN LEVEL ADDITION / REMODEL PLAN
A-5	ADDITION / REMODEL ROOF FRAMING PLAN
A-6	NEW UPPER LEVEL FLOOR PLAN
A-7	NEW UPPER LEVEL ROOF FRAMING PLAN
A-8	NEW UPPER LEVEL FLOOR PLAN
A-9	NEW UPPER LEVEL ROOF FRAMING PLAN
A-10	EXTERIOR ELEVATIONS
SO1	STRUCTURAL NOTES
SO2	STRUCTURAL DETAILS
PE-1	PLAN LEVEL THE PLAN
PE-2	UPPER LEVEL THE PLAN
SP-1	PROJECT SPECIFICATIONS
SP-2	PROJECT SPECIFICATIONS

SITE PLAN
 SCALE 1" = 30'-0"



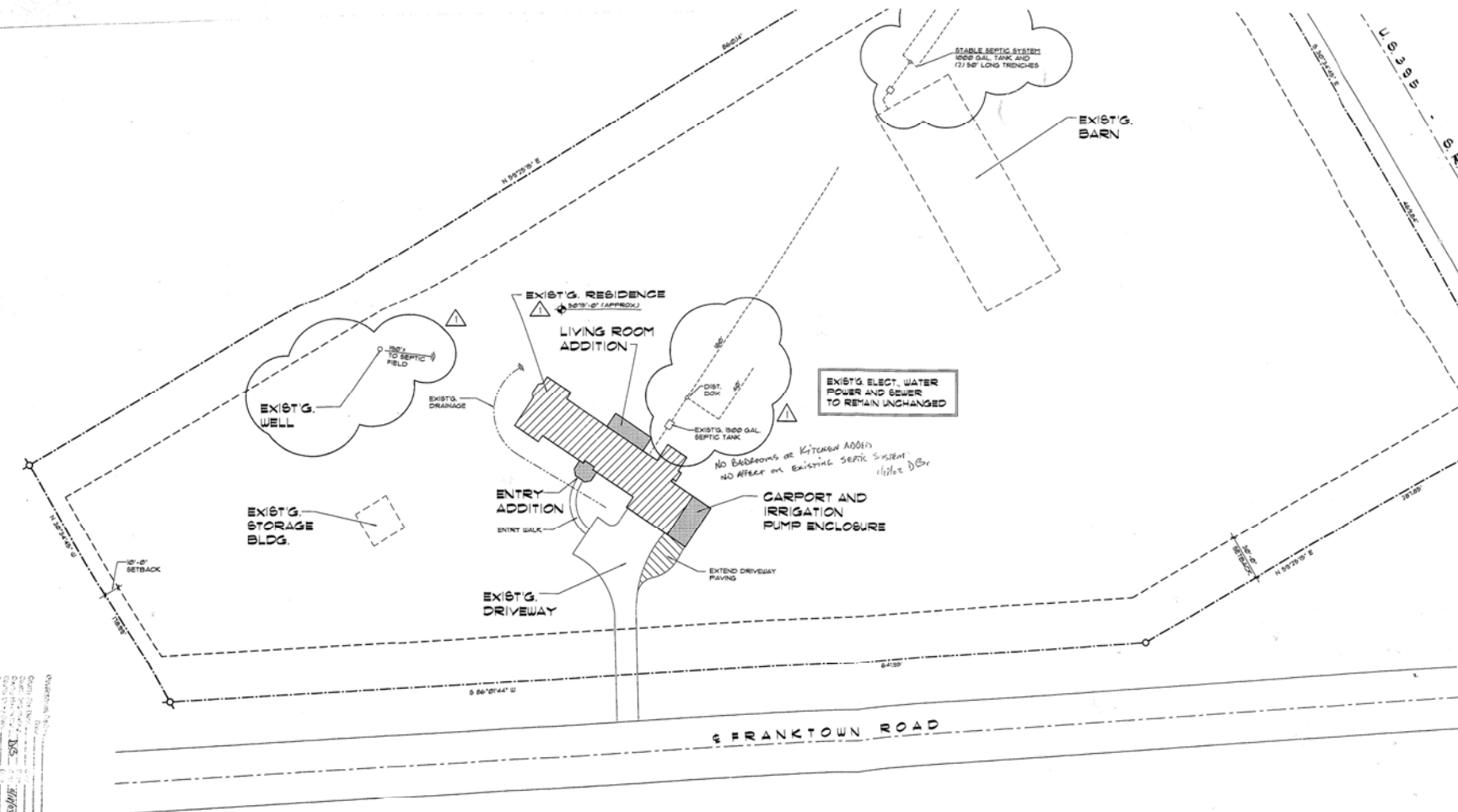
ADDITION AREAS = 1,644 SQFT.



6/19/07

DATE	5/23/07
DRAWN	JU
CHECKED	GR
FILE NAME	WEBB-A1

Approved: _____
 Date: _____
 Checked: _____
 Date: _____
 Drawn: _____
 Date: _____
 Title: _____
 Project: _____
 Client: _____
 Scale: _____
 Sheet: _____
 Drawing No.: _____



SHEET INDEX

A-1	SITE PLAN
A-2	DEMOLITION PLAN
A-3	ADDITION FOUNDATION PLAN
A-4	FLOOR LEVEL ADDITION / REPOSE
A-5	ADDITION / REPOSED ROOF PLAN
A-6	NEW UPPER LEVEL FLOOR PLAN
A-7	NEW UPPER LEVEL ROOF FRAMING
A-1	BUILDING SECTION "A-A"
A-8	FIREPLACE SECTION
A-9	EXTERIOR ELEVATIONS
SD-1	STRUCTURAL NOTES
SD-2	STRUCTURAL DETAILS
ME-1	FLOOR LEVEL THE PLAN
ME-2	UPPER LEVEL THE PLAN
SP-1	PROJECT SPECIFICATIONS
SP-2	PROJECT SPECIFICATIONS

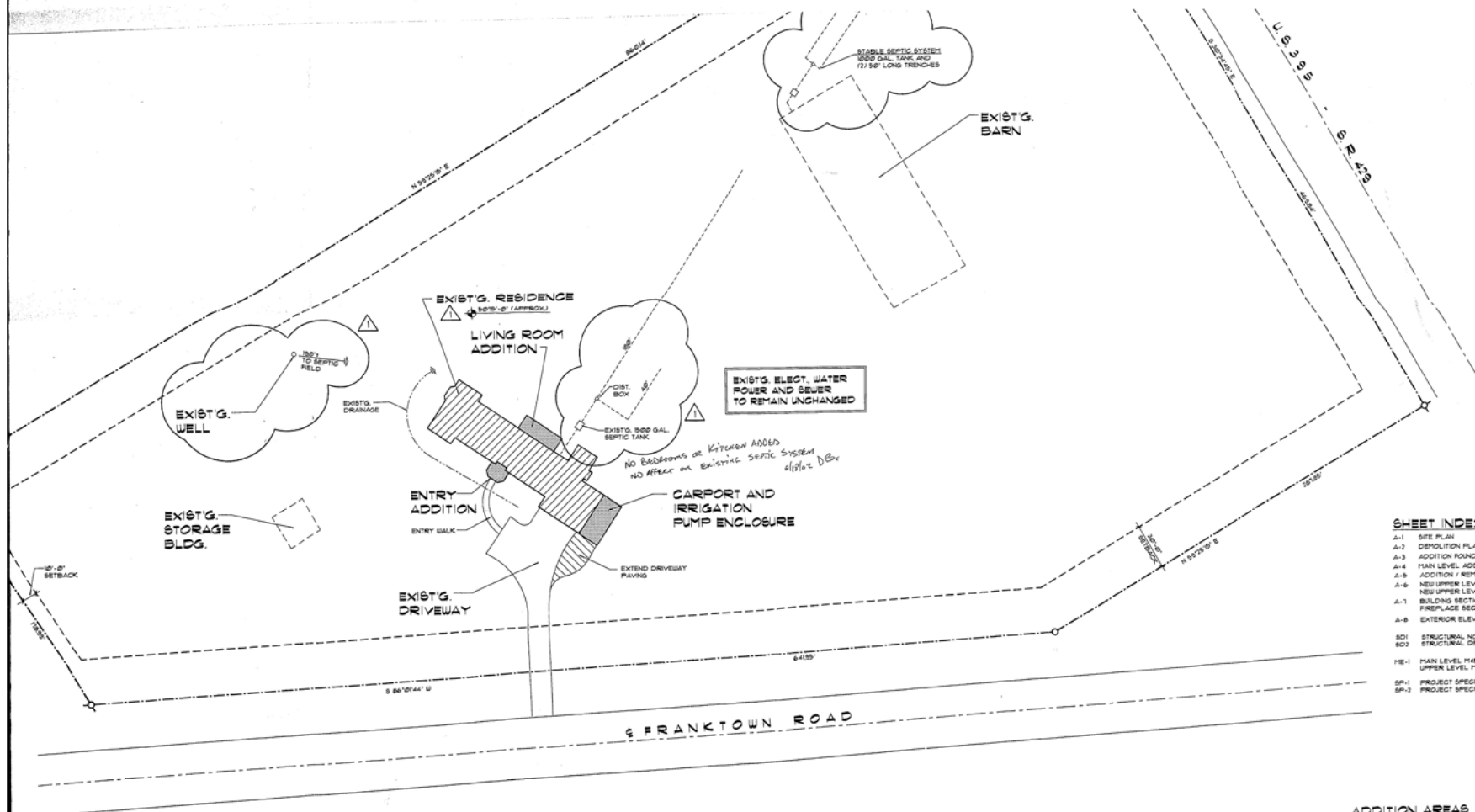
ADDITION AREAS = 1,644.5 S

SITE PLAN
SCALE 1" = 30'-0"



1420 FRANKTOWN ROAD
APN. = 055-287-08





RICHE & ASSOC
 ARCHITECTS • PLANNERS
 100 CAMARCA CROWNING
 RENO, NEVADA 89503

WEBB RESIDENCE
 SITE PLAN
 1420 FRANKTOWN ROAD
 WARDEN CO., NEVADA

- SHEET INDEX**
- A-1 SITE PLAN
 - A-2 DEMOLITION PLAN
 - A-3 ADDITION FOUNDATION PLAN
 - A-4 MAIN LEVEL ADDITION / RENOVEL PLAN
 - A-5 ADDITION / RENOVEL ROOF FRAMING PLAN
 - A-6 NEW UPPER LEVEL FLOOR PLAN
 - NEW UPPER LEVEL ROOF FRAMING PLAN
 - A-1 BUILDING SECTION "A-A"
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 - A-8 EXTERIOR ELEVATIONS
 - SD1 STRUCTURAL NOTES
 - SD2 STRUCTURAL DETAILS
 - ME-1 MAIN LEVEL THE PLAN
 - UPPER LEVEL THE PLAN
 - SP-1 PROJECT SPECIFICATIONS
 - SP-2 PROJECT SPECIFICATIONS

ADDITION AREA = 1,644 SQFT.

SITE PLAN
 SCALE 1" = 30'-0"

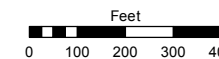


1420 FRANKTOWN ROAD
 A.P.N. = 055-287-08

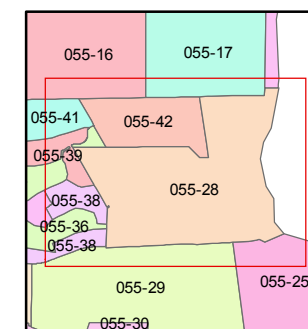
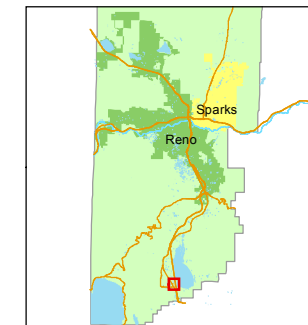


6/10/02

DATE:	5/23/02
DRAWN:	JW
CHECKED:	OR
FILE NAME:	WEBB-A1
SHEET:	A-1
OF SHEETS:	OR SHEETS



1 inch = 400 feet



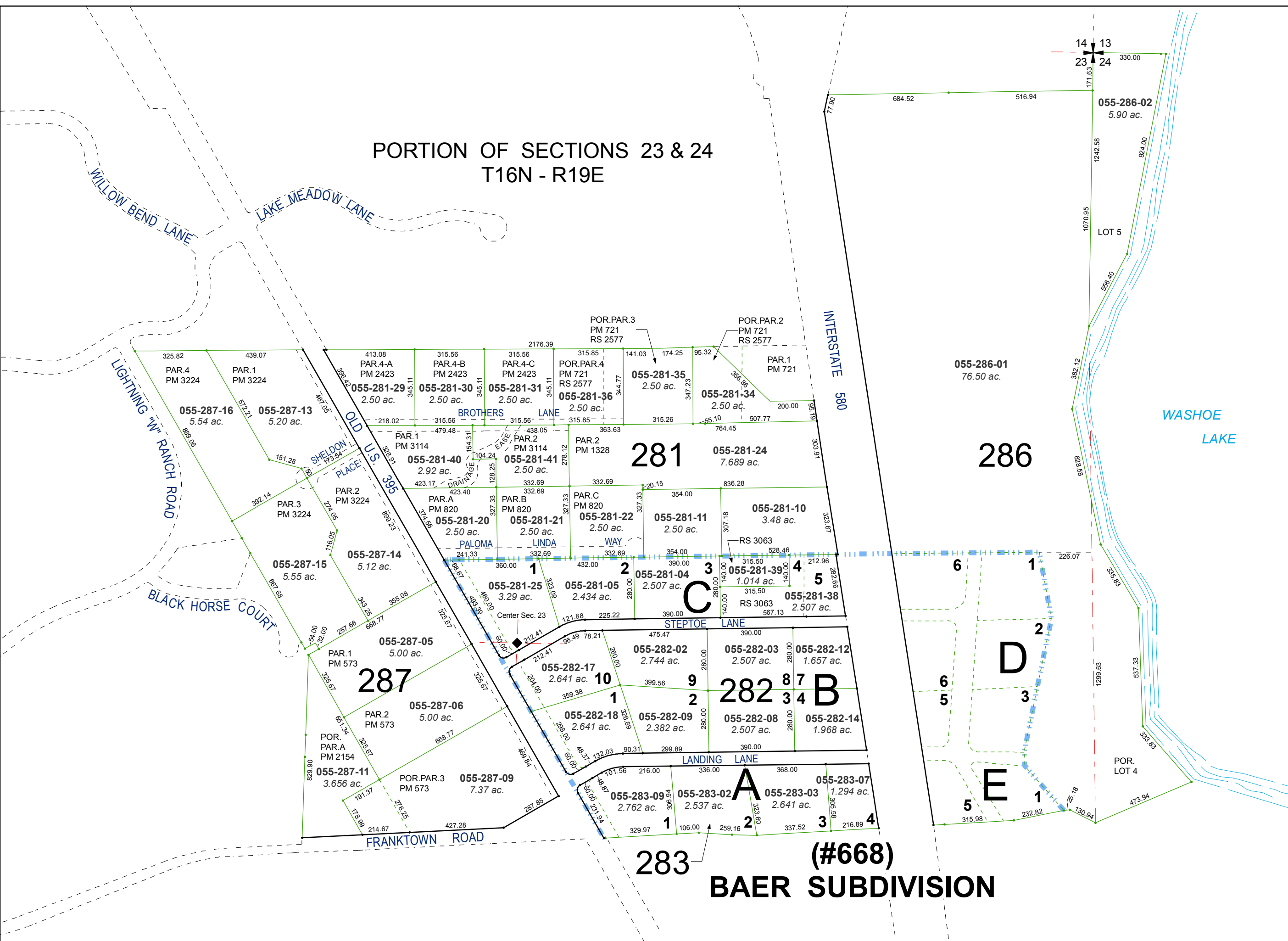
created by: SR 12/22/2016

last updated: _____

area previously shown on map(s)

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.

PORTION OF SECTIONS 23 & 24
 T16N - R19E



283 (#668) BAER SUBDIVISION

281

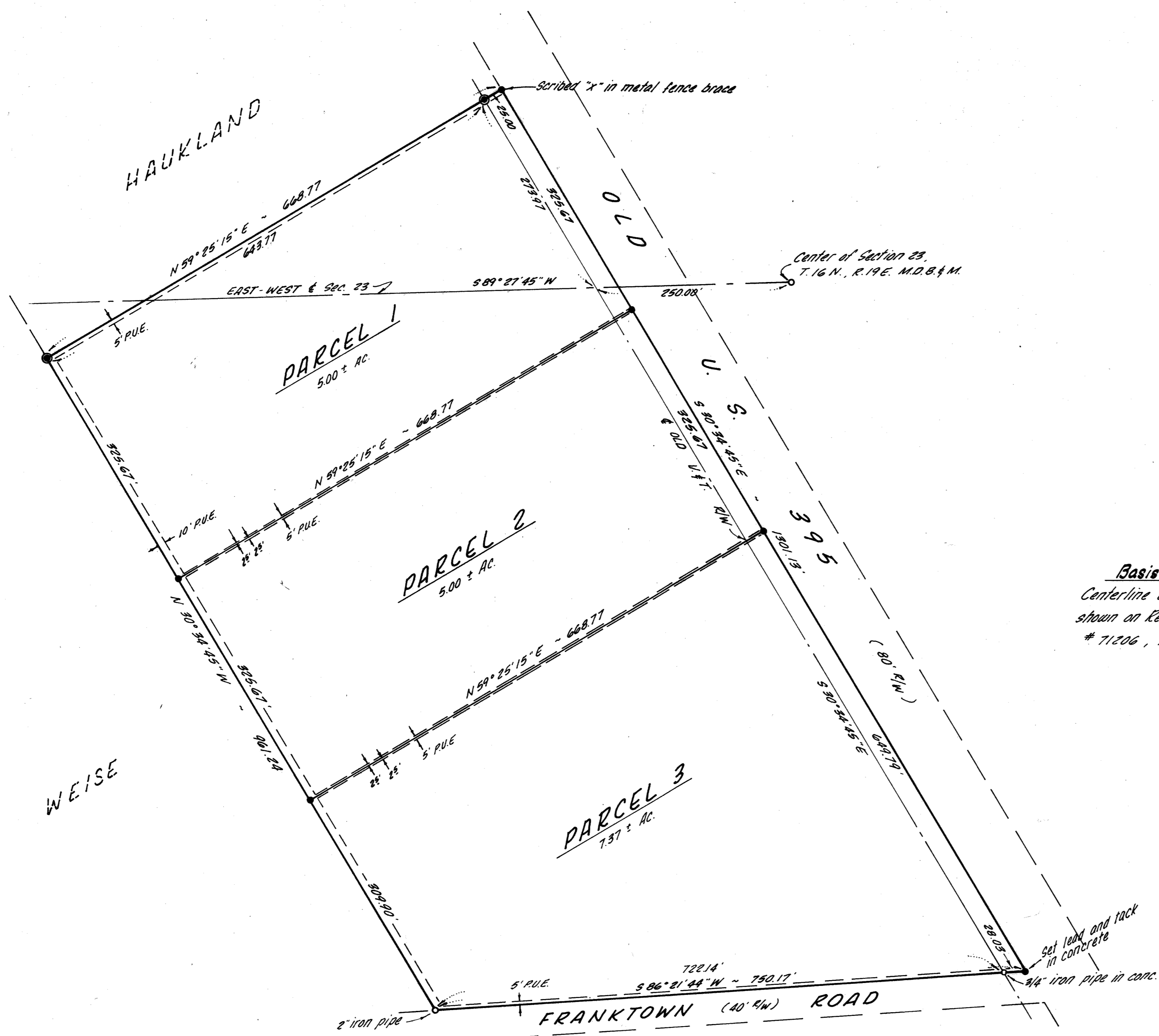
286

287

282

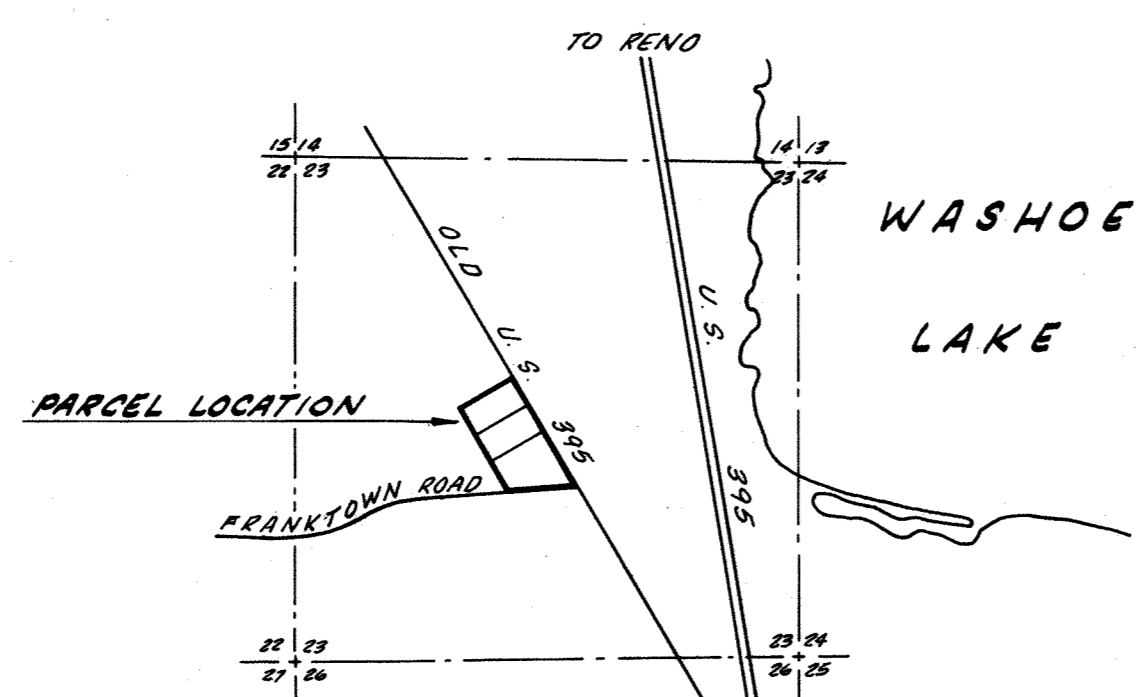
(#668)

BAER SUBDIVISION



LEGEND

- set 3/8" rebar topped "RLS 886"
- ⊙ set bronze disk in concrete "LS 884"
- P.U.E. — public utility easement



Prepared By: Longfield Engineering
Reno, Nevada

OWNERS CERTIFICATE

State of Nevada ss
County of Washoe

This is to certify that the undersigned Walter and Agatha Burch are the owners of the tract of land represented on this map or plat and that the same is executed in compliance with and subject to the provisions of NRS Chapter 278, and the owners hereby grant permanent easements for access and utility installations as designated on this map.

In witness whereof, the said Walter and Agatha Burch have caused their names to be signed this 6th day of March, 1978.

Walter Burch
Walter Burch

Agatha Burch
Agatha Burch

State of Nevada ss
County of Washoe

On this 6th day of March, 1978, A.D., personally appeared before me, a Notary Public in and for the County of Washoe, State of Nevada, Walter and Agatha Burch, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged to me that they executed the same freely and voluntarily for the uses and purposes therein mentioned.

In witness whereof, I have hereunto set my hand and affixed my seal at my office in the County of Washoe, State of Nevada, the day and year in this certificate first written above.

JOYCE L. ROBERTS
Notary Public - State of Nevada
Washoe County
My Commission Expires Mar 18, 1979

Joyce L. Roberts
Notary Public

SURVEYORS CERTIFICATE

State of Nevada ss
County of Washoe

I, Eugene B. Longfield, being duly sworn, do hereby certify that this plat is a true and accurate map of the lands represented herein, surveyed by me and laid out into parcels at the instance of Walter and Agatha Burch, that the location of said parcels has been definitely established and perpetuated in accordance with the law as shown herein, and is situated wholly within Section 23, T.16N., R.19E., M.D.B. & M.; that the survey was completed on April 21, 1978; that no additional monuments or bands are required to conform to NRS Chapter 278, and that the monuments are of the character shown and occupy the positions indicated.

Eugene B. Longfield
Eugene B. Longfield
RLS 886

UTILITY CERTIFICATE

The easements shown on this plat have been checked and approved by the Sierra Pacific Power Company and the Bell Telephone Company of Nevada.

John B. Cooper 3-6-78
Sierra Pacific Power Co.

J.A. Lannett 3-6-78
Bell Telephone Co. of Nevada

COUNTY COMMISSIONERS CERTIFICATE

Approved and accepted on this 2nd day of May, 1978, by the Board of County Commissioners of Washoe County, Nevada.

Alex Coon
County Clerk

By: Jude Tucker
Chief Deputy



File No. 529883

Filed for record at the request of Agatha Burch on this 3rd day of May, 1978, at 15 minutes past 4 o'clock P.M.; Official Records of Washoe County, Nevada.

James K. Jones
County Recorder
Fee: \$ 5.00

By: Arlan C. Johnson
Deputy

529883

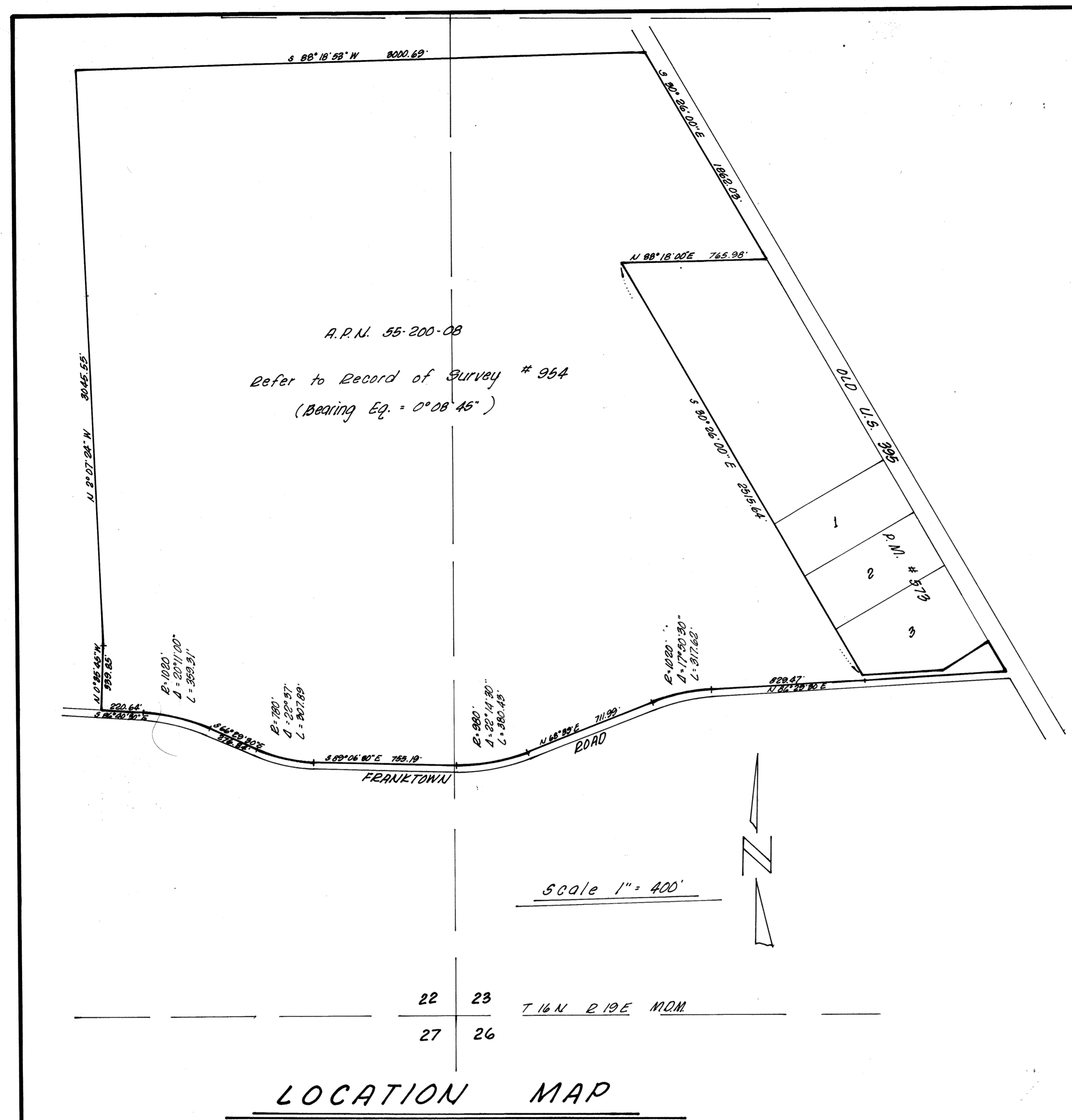
PARCEL MAP
for
WALTER and AGATHA BURCH

A portion of Section 23
T.16N., R.19E., M.D.B. & M.
Washoe County, Nevada

Scale: 1" = 100'

April, 1978

Parcel Map # 573



LOCATION MAP

762748

SURVEYOR'S CERTIFICATE:

I, E.P. Osgood, do hereby certify that this map is a true and accurate plat of the lands shown hereon taken from field notes of a survey made by me or under my supervision at the request of Robert L. Weise and completed on September 25, 1981. I do further certify that monuments of the required character occupy the positions indicated and that they are sufficient to enable the survey to be retraced.

E.P. Osgood
E. P. Osgood C.S. 445



NOTES:

1. Basis of Bearings: Parcel Map # 573.
2. This Record of Survey is not a violation of Parcel Map Law, under N.R.S. 278-461 (2-C), and no additional parcels have been created. This map is to support a boundary line adjustment.

File No. 762748
Filed for record at the request of Osgood Engineers, Inc., on this 6th day of October 1981 at 10 minutes past 4 o'clock P. M. official records of Washoe County, Nevada. Fee \$ 10.⁰⁰

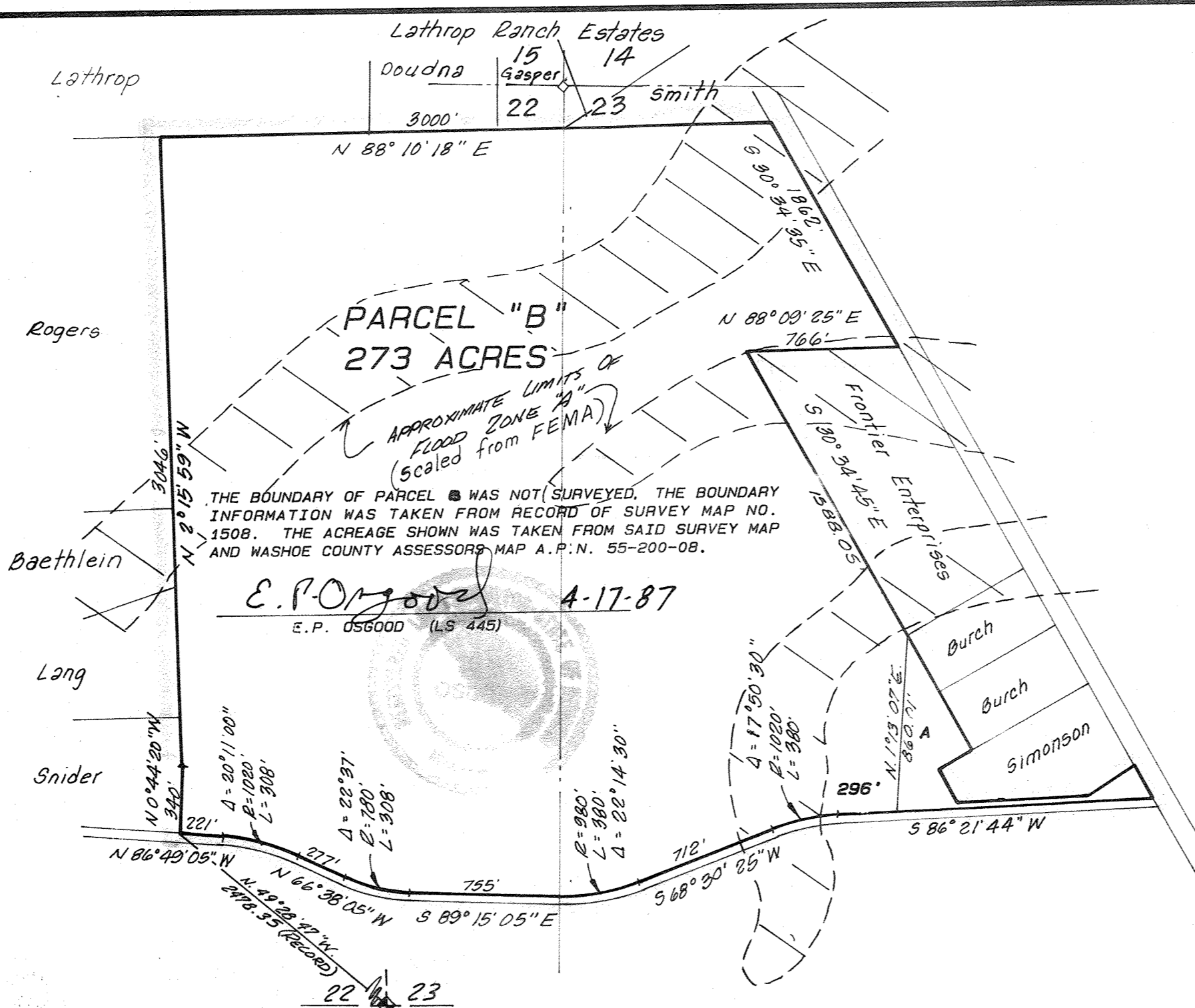
By: *Alan C. Johnson*
County Recorder Deputy

RECORD OF SURVEY
FOR
ROBERT L. WEISE
PORTION OF PARCEL 3 OF PARCEL MAP NO. 573 &
PORTION OF SECS. 22 & 23 T16N, R19E, M.D.M.
OSGOOD ENGINEERS, INC. RENO, NEVADA
SEPTEMBER 1981 SHEET 1 OF 1

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP.

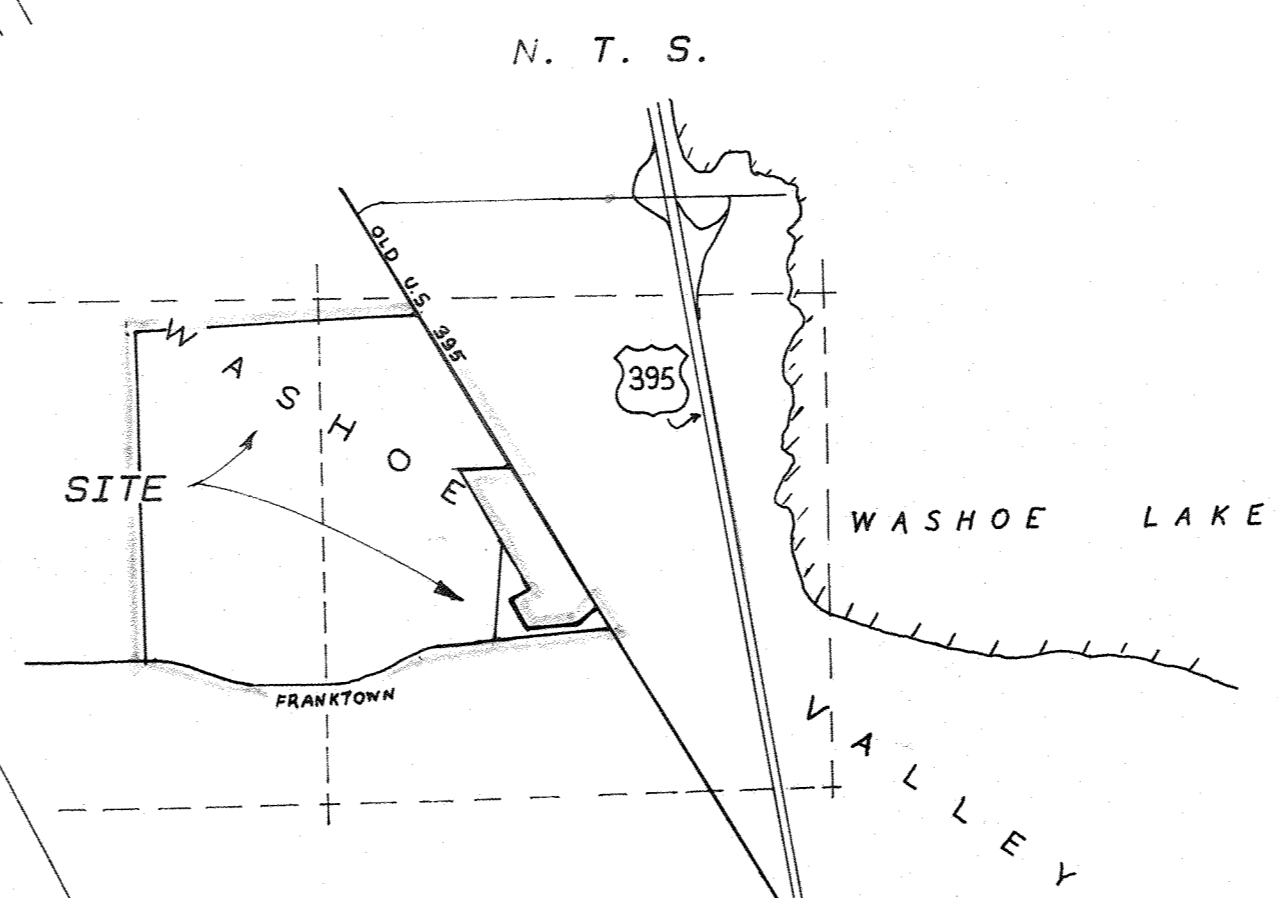
4918

LINE	BEARING	DISTANCE
L1	N 86°21'44" E	25.00
L2	N 86°21'44" E	25.04
L3	N 59°25'15" E	25.00
L4	N 30°34'45" W	33.65
L5	S 30°34'45" E	46.36
L6	S 3°38'16" E	30.00
L7	N 30°34'45" W	33.65

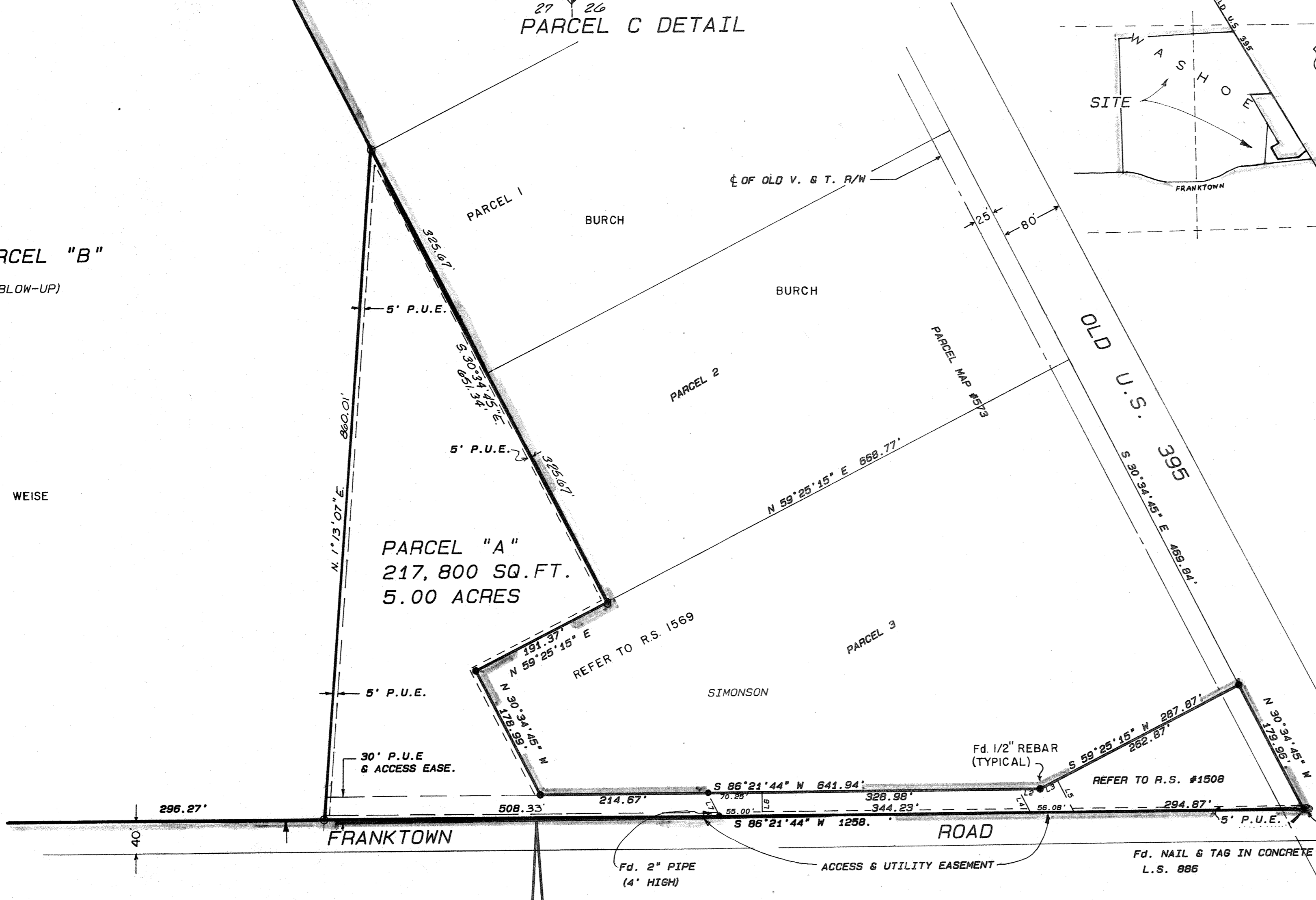


- NOTES**
1. A PUBLIC UTILITY EASEMENT IS ALSO HEREBY GRANTED WITHIN EACH PARCEL FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICE FACILITIES TO THAT PARCEL AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THE TIME OF INSTALLATION AND THE UTILITY COMPANY.
 2. IF WASHOE COUNTY, OR ANY OTHER GOVERNMENTAL ENTITY OR AGENCY, ESTABLISHES A WATER OR WASTEWATER SERVICE AREA OR ESTABLISHES OR CREATES AN ENTITY FOR THE PURPOSE OF PURVEYING OR SUPPLYING WATER OR WASTEWATER SERVICE, THE APPLICANT SUCCESSORS OR ASSIGNS SHALL PETITION FOR ANNEXATION TO, OR INCLUSION IN THAT SERVICE AREA AND TO DEDICATE ALL WATER AND WASTEWATER FACILITIES AND APPURTENANT WATER RIGHTS, IN AN AMOUNT AS DETERMINED BY PLANNING COMMISSION STAFF AND THE PUBLIC WORKS DEPARTMENT AND APPROVED BY THE BOARD OF COUNTY COMMISSIONERS, TO SERVICE THE ENTIRE PROJECT.
 3. BASIS OF BEARINGS: R.S. #1569.
 4. \odot INDICATES SET 1/2" REBAR WITH CAP, "05600 445".
 5. PUE DENOTES PUBLIC UTILITY EASEMENT.
 6. THE OWNER, BUYER, ASSIGNS, OR ANY INTEREST HOLDERS OF ANY LOTS OR PARCELS SHOWN HEREON, HEREBY AGREE THAT ALL EXISTING IRRIGATION FLOWS CROSSING THESE PARCELS SHALL BE PERPETUATED, ANY LEGAL RIGHTS TO WATER FROM THESE DITCHES SHALL BE HONORED AND THE RIGHT OF ACCESS FOR MAINTENANCE AND OPERATION WILL NOT BE DENIED TO VALID HOLDERS OF THOSE RIGHTS.
 7. THE TOTAL AREA OF THIS PARCEL MAP IS 273 ACRES ±.

VICINITY MAP



PARCEL "B"
(SEE BLOW-UP)



SCALE 1" = 100'

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE UNDERSIGNED, ROBERT L. WEISE, IS THE OWNER OF THAT TRACT OF LAND REPRESENTED ON THIS PLAT AND HAS CONSENTED TO THE PREPARATION AND RECORDATION OF THIS PLAT AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF N.R.S. CHAPTER 278. THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON ARE SET APART FOREVER.

Robert L. Weise Cathy Weise
ROBERT L. WEISE CATHY WEISE

STATE OF NEVADA S.S.
COUNTY OF WASHOE

ON THIS 13 DAY OF June, 1987, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN THE COUNTY OF WASHOE, Robert L. & Cathy Weise, WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE ABOVE INSTRUMENT, IN WITNESS WHEREOF I HERETO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DATE AND YEAR FIRST ABOVE WRITTEN.

Lee Ann Friedrich
NOTARY PUBLIC

LEE ANN FRIEDRICH
Notary Public - State of Nevada
Appointment Received in Washoe County
MY APPOINTMENT EXPIRES MAY 27, 1989

TITLE COMPANY CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THE SUBDIVIDER OFFERING THIS PLAT IS THE LAST TITLE HOLDER OF RECORD FOR ALL THE LANDS DELINEATED HEREON, AS OF MAY 13, 1987.

LAWYERS TITLE OF NORTHERN NEVADA
Donald S. Allen 5-13-87
(TITLE) DONALD S. ALLEN DATE
VICE PRESIDENT

SURVEYOR'S CERTIFICATE

I, E.P. OSGOOD, A REGISTERED LAND SURVEYOR IN THE STATE OF NEVADA, CERTIFY THAT:

1. THIS IS A TRUE AND ACCURATE REPRESENTATION OF THE LANDS SURVEYED UNDER MY SUPERVISION AT THE INSTANCE OF ROBERT L. WEISE
2. THE LANDS SURVEYED LIE WITHIN SECTION 23, T16N, R19E, M.D.M., AND THE SURVEY WAS COMPLETED ON Dec 29, 1986.
3. THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES.
4. THE MONUMENTS ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

E.P. Osgood 4/17/87
E.P. 05600 (MLS 445) DATE

COUNTY COMMISSION CERTIFICATE

APPROVED AND ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS, WASHOE COUNTY, NEVADA, ON THE 13 DAY OF June, 1987.

Paul D. Saly
COUNTY CLERK

SEAL

UTILITY COMPANIES' CERTIFICATE

THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN CHECKED, ACCEPTED, AND APPROVED BY THE UNDERSIGNED PUBLIC UTILITY COMPANIES.

W. G. Thomas 6-16-86
SIERRA PACIFIC POWER COMPANY DATE

L. W. Pentka 6-16-86
NEVADA BELL DATE

James M. Hill 6-16-86
GROUP-W TABLE DATE
TCL-b 0-41

FILE NO. 1174853 FEE: \$20.00 FILED FOR RECORD AT THE REQUEST OF OSGOOD ENGINEERS, INC. ON THIS 17 DAY OF June, 1987 AT 15 MINUTES PAST 9 O'CLOCK 12 M. OFFICIAL RECORDS OF WASHOE COUNTY NEVADA.

JOE MEACHAM J. Sedonman
COUNTY RECORDER BY DEPUTY

PARCEL MAP

ROBERT L. & CATHY WEISE

SITUATE IN SEC. 22 & 23, T16 N, R19E, MDM
WASHOE COUNTY, NEVADA

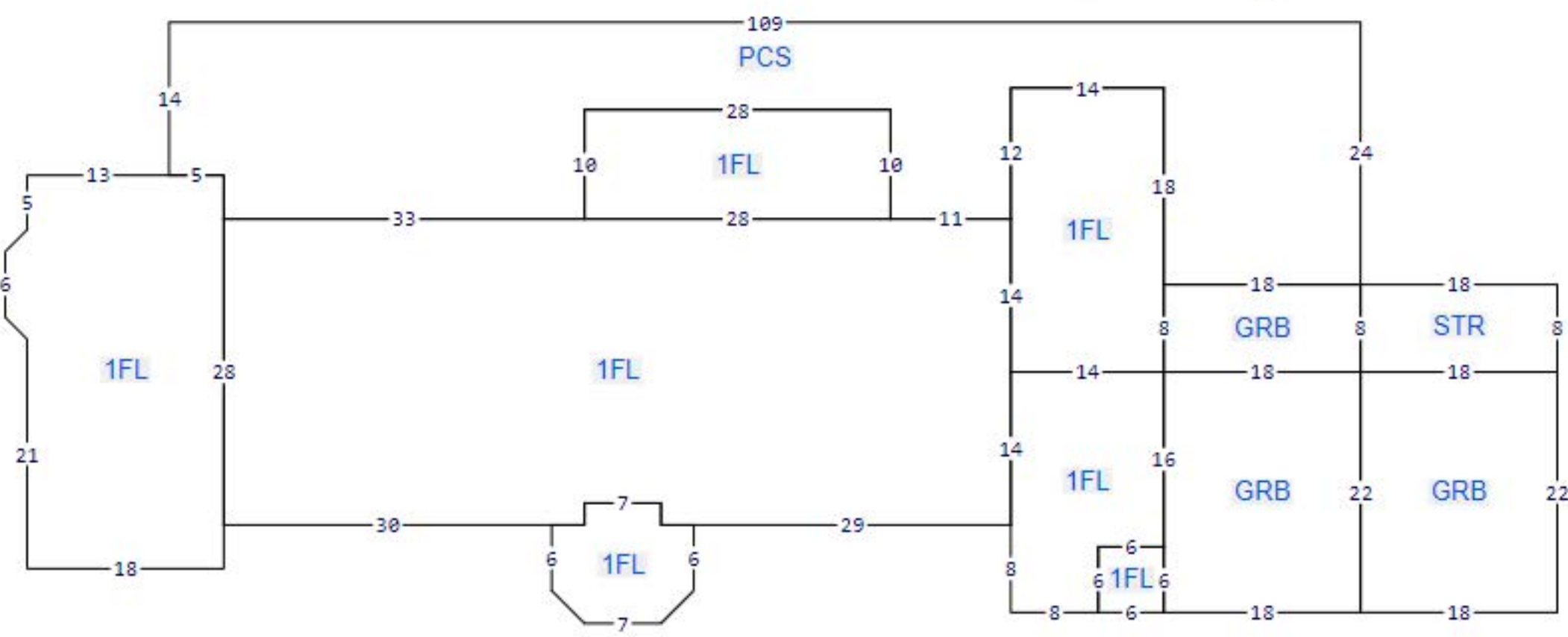
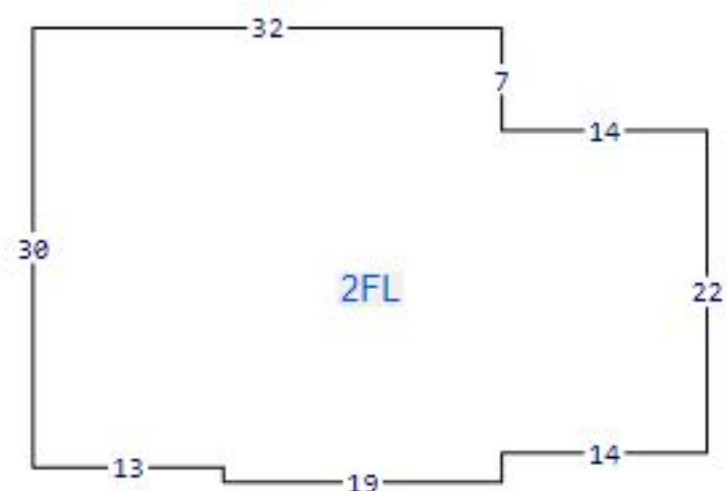
OSGOOD ENGINEERS, INC. - RENO, NEVADA

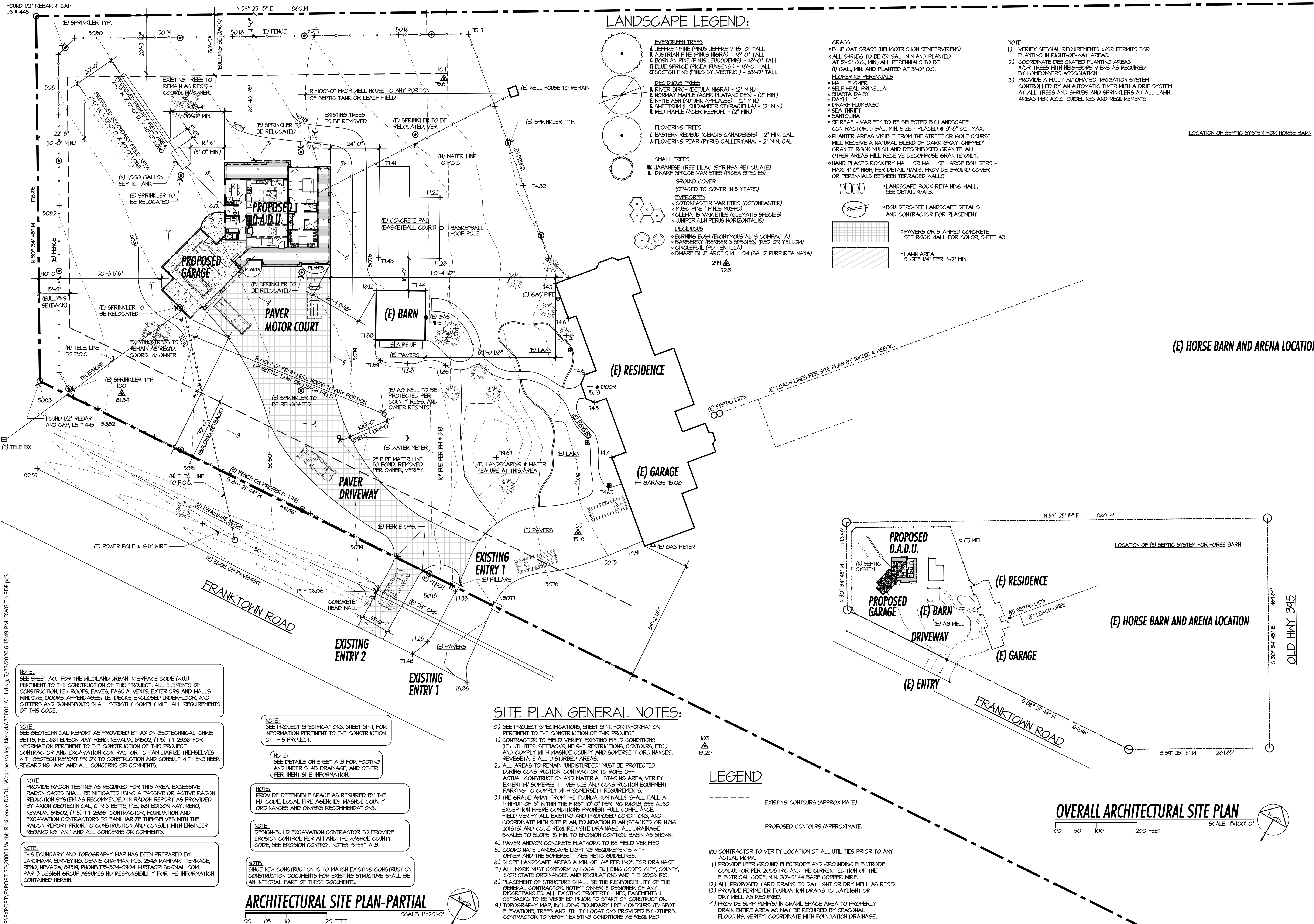
SHEET 1 OF 1

1174853

PARCEL MAP 2154

2154





LANDSCAPE LEGEND:

- EVERGREEN TREES**
 - A. JEFFREY PINE (PINUS JEFFREYI) - 18'-0" TALL
 - B. AUSTRIAN PINE (PINUS NIGRA) - 18'-0" TALL
 - C. BOSNIAN PINE (PINUS LEUCODEMIS) - 18'-0" TALL
 - D. BLUE SPRUCE (PICEA PUNGENS) - 18'-0" TALL
 - E. SCOTCH PINE (PINUS SYLVESTRIS) - 18'-0" TALL
- DECIDUOUS TREES**
 - F. RIVER BIRCH (BETULA NIGRA) - (2" MIN)
 - G. NORWAY MAPLE (ACER PLATANOIDES) - (2" MIN)
 - H. WHITE ASH (FRAXINUS AMERICANA) - (2" MIN)
 - I. SWEETGUM (LIQUIDAMBAR STYRACIFLUA) - (2" MIN)
 - J. RED MAPLE (ACER RUBRUM) - (2" MIN)
- FLOWERING TREES**
 - K. EASTERN REDBUD (GERONIA CANADENSIS) - 2" MIN. CAL.
 - L. FLOWERING PEAR (PYRUS CALLERYANA) - 2" MIN. CAL.
- SMALL TREES**
 - M. JAPANESE TREE LILAC (SYRINGA RETICULATA)
 - N. DWARF SPRUCE VARIETIES (PICEA SPECIES)
- GROUND COVER**
 - (SPACED TO COVER IN 5 YEARS)
 - EVERGREEN
 - O. COTONEASTER VARIETIES (COTONEASTER)
 - P. MISO PINE (PINUS MIEHO)
 - Q. CLEMATIS VARIETIES (CLEMATIS SPECIES)
 - R. JUNIPER (JUNIPERUS HORIZONTALIS)
 - DECIDUOUS
 - S. BURNING BUSH (ELYONIMOUS ALTS COMPACTA)
 - T. BARBERY (BERBERIS SPECIES) RED OR YELLOW
 - U. CINQUEFOIL (POTTENTILLA)
 - V. DWARF BLUE ARCTIC WILLOW (SALIX PURPUREA NANA)
- GRASS**
 - W. BLUE OAT GRASS (HELICTRICHON SEMPERVIRENS)
- ALL SHRUBS TO BE (5) GAL. MIN AND PLANTED AT 5'-0" O.C. MIN; ALL PERENNIALS TO BE (1) GAL. MIN. AND PLANTED AT 3'-0" O.C.**
- FLOWERING PERENNIALS**
 - X. WALL FLOWER
 - Y. SELF HEAL PRUNELLA
 - Z. SHASTA DAISY
 - AA. DAY LILLY
 - AB. DWARF PLUMBAGO
 - AC. SEA THRIFT
 - AD. SANTOLINA
 - AE. SPIREAE - VARIETY TO BE SELECTED BY LANDSCAPE CONTRACTOR. 5 GAL. MIN. SIZE - PLACED @ 3'-6" O.C. MAX.
- PLANTER AREAS VISIBLE FROM THE STREET OR GOLF COURSE WILL RECEIVE A NATURAL BLEND OF DARK GRAY 'CHIPPED' GRANITE ROCK MULCH AND DECOMPOSED GRANITE. ALL OTHER AREAS WILL RECEIVE DECOMPOSED GRANITE ONLY.**
- HAND PLACED ROCKERY WALL OR WALL OF LARGE BOULDERS - MAX. 4'-0" HIGH PER DETAIL 9/A1.3. PROVIDE GROUND COVER OR PERENNIALS BETWEEN TERRACED WALLS**
- LANDSCAPE ROCK RETAINING WALL, SEE DETAIL 9/A1.3.**
- BOULDERS-SEE LANDSCAPE DETAILS AND CONTRACTOR FOR PLACEMENT**
- PAVERS OR STAMPED CONCRETE-SEE ROCK WALL FOR COLOR, SHEET A3.1**
- LAWN AREA SLOPE 1/4" PER 1'-0" MIN.**

- NOTE:**
- 1) VERIFY SPECIAL REQUIREMENTS 4/OR PERMITS FOR PLANTING IN RIGHT-OF-WAY AREAS.
 - 2) COORDINATE DESIGNATED PLANTING AREAS 4/OR TREES WITH NEIGHBORS VIEWS AS REQUIRED BY HOMEOWNERS ASSOCIATION.
 - 3) PROVIDE A FULLY AUTOMATED IRRIGATION SYSTEM CONTROLLED BY AN AUTOMATIC TIMER WITH A DRIP SYSTEM AT ALL TREES AND SHRUBS AND SPRINKLERS AT ALL LAWN AREAS PER A.C.C. GUIDELINES AND REQUIREMENTS.

SITE PLAN GENERAL NOTES:

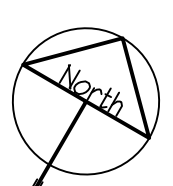
- 1) CONTRACTOR TO FIELD VERIFY EXISTING FIELD CONDITIONS (IE: UTILITIES, SETBACKS, HEIGHT RESTRICTIONS, CONTOURS, ETC.) AND COMPLY WITH WASHOE COUNTY AND SOMERSET ORDINANCES. REVEGETATE ALL DISTURBED AREAS.
- 2) ALL AREAS TO REMAIN "UNDISTURBED" MUST BE PROTECTED DURING CONSTRUCTION. CONTRACTOR TO ROPE OFF ACTUAL CONSTRUCTION AND MATERIAL STAGING AREA. VERIFY EXTENT W/ SOMERSET. VEHICLE AND CONSTRUCTION EQUIPMENT PARKING TO COMPLY WITH SOMERSET REQUIREMENTS.
- 3) THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R401.3. SEE ALSO EXCEPTION WHERE CONDITIONS PROHIBIT FULL COMPLIANCE. FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN, FOUNDATION PLAN (STACKED OR HUNG JOISTS) AND CODE REQUIRED SITE DRAINAGE. ALL DRAINAGE SHALES TO SLOPE 1/8" MIN. TO EROSION CONTROL BASIN AS SHOWN.
- 4) PAVEMENT AND/OR CONCRETE FLATWORK TO BE FIELD VERIFIED.
- 5) COORDINATE LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER AND THE SOMERSET AESTHETIC GUIDELINES.
- 6) SLOPE LANDSCAPE AREAS A MIN. OF 1/4" PER 1'-0", FOR DRAINAGE.
- 7) ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY, 4/OR STATE ORDINANCES AND REGULATIONS AND THE 2006 IRC.
- 8) PLACEMENT OF STRUCTURE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER & DESIGNER OF ANY DISCREPANCIES. ALL EXISTING PROPERTY LINES, EASEMENTS & SETBACKS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.
- 9) TOPOGRAPHY MAP INCLUDING BOUNDARY LINE, CONTOURS, (E) SPOT ELEVATIONS, TREES AND UTILITY LOCATIONS PROVIDED BY OTHERS. CONTRACTOR TO VERIFY EXISTING CONDITIONS AS REQUIRED.
- 10) CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY ACTUAL WORK.
- 11) PROVIDE UFER GROUND ELECTRODE AND GROUNDING ELECTRODE CONDUCTOR PER 2006 IRC AND THE CURRENT EDITION OF THE ELECTRICAL CODE. MIN. 20'-0" #4 BARE COPPER WIRE.
- 12) ALL PROPOSED YARD DRAINS TO DAYLIGHT OR DRY WELL AS REG. 6D.
- 13) PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT OR DRY WELL AS REQUIRED.
- 14) PROVIDE SUMP PUMP(S) IN CRANL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS MAY BE REQUIRED BY SEASONAL FLOODING. VERIFY. COORDINATE WITH FOUNDATION DRAINAGE.

LEGEND

- EXISTING CONTOURS (APPROXIMATE)
- PROPOSED CONTOURS (APPROXIMATE)

OVERALL ARCHITECTURAL SITE PLAN

SCALE: 1"=100'-0"
00 50 100 200 FEET



- NOTE:** SEE SHEET A0.1 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E., ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.
- NOTE:** SEE GEOTECHNICAL REPORT AS PROVIDED BY AXION GEOTECHNICAL, CHRIS BETTS, P.E., 681 EDISON WAY, RENO, NEVADA, 84502, (775) 771-2388 FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.
- NOTE:** PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A PASSIVE OR ACTIVE RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS PROVIDED BY AXION GEOTECHNICAL, CHRIS BETTS, P.E., 681 EDISON WAY, RENO, NEVADA, 84502, (775) 771-2388. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.
- NOTE:** THIS BOUNDARY AND TOPOGRAPHY MAP HAS BEEN PREPARED BY LANDMARK SURVEYING, DENIS CHAPMAN, PLS. 2548 RAMPART TERRACE, RENO, NEVADA. 84514. PHONE: 775-324-0904, HEBTACPLS@GMAIL.COM. PAR 3 DESIGN GROUP ASSUMES NO RESPONSIBILITY FOR THE INFORMATION CONTAINED HEREIN.

- NOTE:** SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- NOTE:** SEE DETAILS ON SHEET A1.3 FOR FOOTING AND UNDER SLAB DRAINAGE, AND OTHER PERTINENT SITE INFORMATION.
- NOTE:** PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.
- NOTE:** DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A1 AND THE WASHOE COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.3.
- NOTE:** SINCE NEW CONSTRUCTION IS TO MATCH EXISTING CONSTRUCTION, CONSTRUCTION DOCUMENTS FOR EXISTING STRUCTURE SHALL BE AN INTEGRAL PART OF THESE DOCUMENTS.

ARCHITECTURAL SITE PLAN-PARTIAL
SCALE: 1"=20'-0"

Revisions

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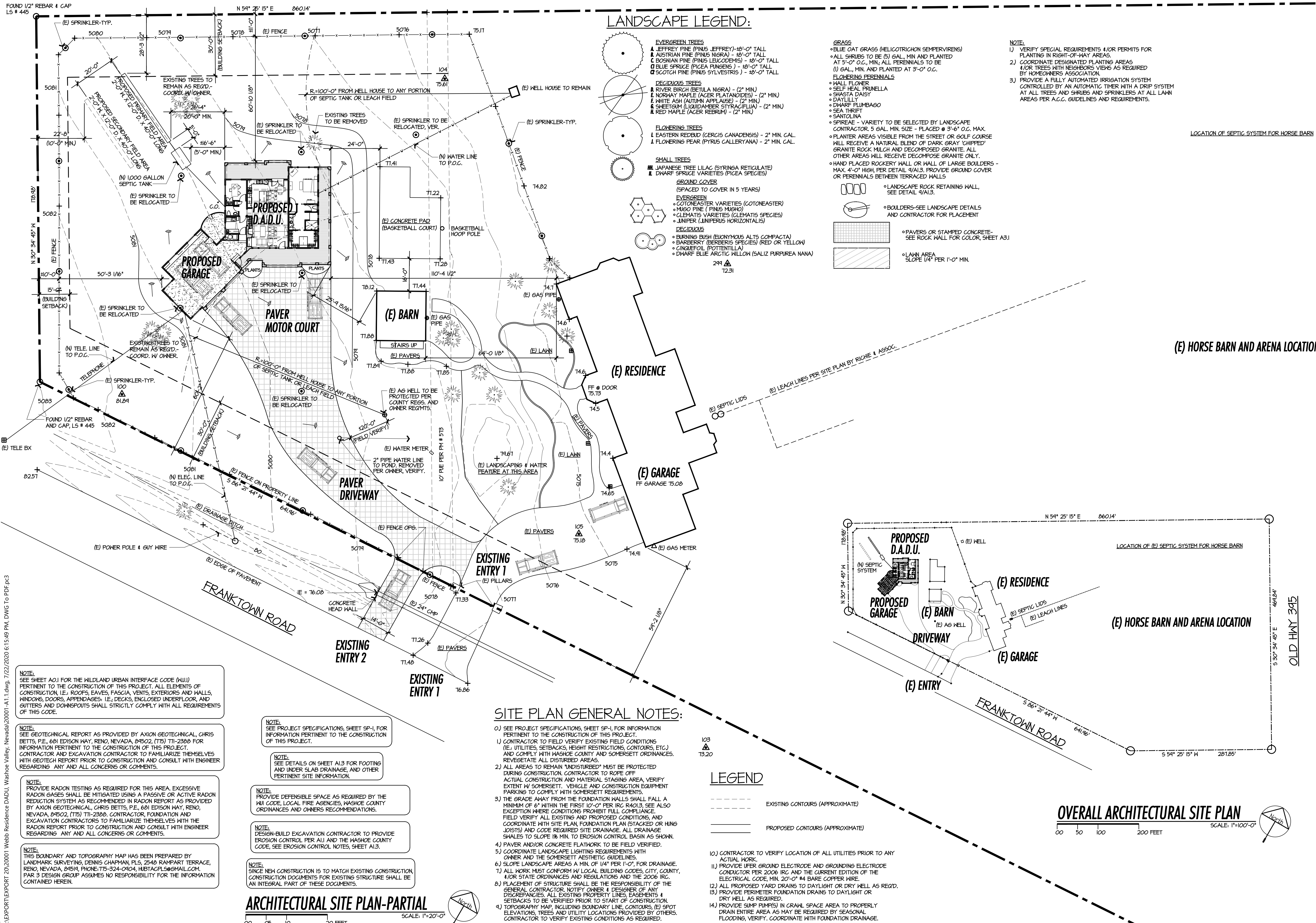
Par 3 Design Group
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E-mail: par3designgroup@aol.com
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National Council of Building Designers: AIBD, Professional Member
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National Council of Building Designers: CPBD, No. 29103
Certified Professional Building Designer

ARCHITECTURAL COMMITTEE STAMP:

A Detached Accessory Dwelling Unit
Shelly Webb
Only For The Property Located At:
7420 Franktown Road
Washoe Valley, Nevada 897104
APN: 055-2281-04

N.C.B.D.C.
NATIONAL COUNCIL OF BUILDING DESIGNERS
David D. Blay
CERTIFICATION NO. 29-103
TM

Drawn & Checked by: DB
Date: July 23, 2020
Scale: 1/8" = 1'-0"
Job No.: 20001
DADAR.
SHEET **A1.1**
2 OF 10 SHEETS



LANDSCAPE LEGEND:

- EVERGREEN TREES**
 - A. JEFFREY PINE (PINUS JEFFREYI) - 18'-0" TALL
 - B. AUSTRIAN PINE (PINUS NIGRA) - 18'-0" TALL
 - C. BOSNIAN PINE (PINUS LEUCODEMIS) - 18'-0" TALL
 - D. BLUE SPRUCE (PICEA PUNGENS) - 18'-0" TALL
 - E. SCOTCH PINE (PINUS SYLVESTRIS) - 18'-0" TALL
- DECIDUOUS TREES**
 - F. RIVER BIRCH (BETULA NIGRA) - (2" MIN)
 - G. NORWAY MAPLE (ACER PLATANOIDES) - (2" MIN)
 - H. WHITE ASH (FRAXINUS AMERICANA) - (2" MIN)
 - I. SWEETGUM (LIQUIDAMBAR STYRACIFLUA) - (2" MIN)
 - J. RED MAPLE (ACER RUBRUM) - (2" MIN)
- FLOWERING TREES**
 - K. EASTERN REDBUD (GERGONIA CANADENSIS) - 2" MIN. CAL.
 - L. FLOWERING PEAR (PYRUS CALLERYANA) - 2" MIN. CAL.
- SMALL TREES**
 - M. JAPANESE TREE LILAC (SYRINGA RETICULATA)
 - N. DWARF SPRUCE VARIETIES (PICEA SPECIES)
- GROUND COVER**
 - (SPACED TO COVER IN 5 YEARS)
 - EVERGREEN
 - O. COTONEASTER VARIETIES (COTONEASTER)
 - P. MISO PINE (PINUS MISO)
 - Q. CLEMATIS VARIETIES (CLEMATIS SPECIES)
 - R. JUNIPER (JUNIPERUS HORIZONTALIS)
 - DECIDUOUS
 - S. BURNING BUSH (ELYONIMOUS ALTS COMPACTA)
 - T. BARBERY (BERBERIS SPECIES) RED OR YELLOW
 - U. CINQUEFOIL (POTTENTILLA)
 - V. DWARF BLUE ALECTIC WILLOW (SALIX PURPUREA NANA)
- GRASS**
 - W. BLUE OAT GRASS (HELICTRICHON SEMPERVIRENS)
- ALL SHRUBS TO BE (5) GAL. MIN AND PLANTED AT 5'-0" O.C. MIN; ALL PERENNIALS TO BE (1) GAL. MIN. AND PLANTED AT 3'-0" O.C.**
- FLOWERING PERENNIALS**
 - X. WALL FLOWER
 - Y. SELF HEAL PRUNELLA
 - Z. SHASTA DAISY
 - AA. DAYLILLY
 - AB. DWARF PLUMBAGO
 - AC. SEA THRIFT
 - AD. SANTOLINA
 - AE. SPIREAE - VARIETY TO BE SELECTED BY LANDSCAPE CONTRACTOR. 5 GAL. MIN. SIZE - PLACED @ 3'-6" O.C. MAX.
- PLANTER AREAS VISIBLE FROM THE STREET OR GOLF COURSE WILL RECEIVE A NATURAL BLEND OF DARK GRAY 'CHIPPED' GRANITE ROCK MULCH AND DECOMPOSED GRANITE. ALL OTHER AREAS WILL RECEIVE DECOMPOSED GRANITE ONLY.**
- HAND PLACED ROCKERY WALL OR WALL OF LARGE BOULDERS - MAX. 4'-0" HIGH PER DETAIL 9/A1.3. PROVIDE GROUND COVER OR PERENNIALS BETWEEN TERRACED WALLS**
- LANDSCAPE ROCK RETAINING WALL, SEE DETAIL 9/A1.3.**
- BOULDERS-SEE LANDSCAPE DETAILS AND CONTRACTOR FOR PLACEMENT**
- PAVERS OR STAMPED CONCRETE-SEE ROCK WALL FOR COLOR, SHEET A3.1**
- LAWN AREA SLOPE 1/4" PER 1'-0" MIN.**

NOTE:
 1) VERIFY SPECIAL REQUIREMENTS 4/ OR PERMITS FOR PLANTING IN RIGHT-OF-WAY AREAS.
 2) COORDINATE DESIGNATED PLANTING AREAS 4/ OR TREES WITH NEIGHBORS VIEWS AS REQUIRED BY HOMEOWNERS ASSOCIATION.
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SITE PLAN GENERAL NOTES:

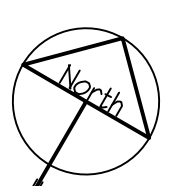
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- PROVIDE UFER GROUND ELECTRODE AND GROUNDING ELECTRODE CONDUCTOR PER 2006 IRC AND THE CURRENT EDITION OF THE ELECTRICAL CODE, MIN. 20'-0" #4 BARE COPPER WIRE.
- ALL PROPOSED YARD DRAINS TO DAYLIGHT OR DRY WELL AS REG. 40.
- PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT OR DRY WELL AS REQUIRED.
- PROVIDE SUMP PUMP(S) IN CRANL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS MAY BE REQUIRED BY SEASONAL FLOODING, VERIFY. COORDINATE WITH FOUNDATION DRAINAGE.

LEGEND

- EXISTING CONTOURS (APPROXIMATE)
- PROPOSED CONTOURS (APPROXIMATE)

OVERALL ARCHITECTURAL SITE PLAN

SCALE: 1"=100'-0"
 00 50 100 200 FEET



NOTE:
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NOTE:
 PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A PASSIVE OR ACTIVE RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS PROVIDED BY AXION GEOTECHNICAL, CHRIS BETTS, P.E., 681 EDISON WAY, RENO, NEVADA, 89502, (775) 771-2388. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:
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NOTE:
 SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:
 SEE DETAILS ON SHEET A1.3 FOR FOOTING AND UNDER SLAB DRAINAGE, AND OTHER PERTINENT SITE INFORMATION.

NOTE:
 PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE:
 DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A1 AND THE WASHOE COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.3.

NOTE:
 SINCE NEW CONSTRUCTION IS TO MATCH EXISTING CONSTRUCTION, CONSTRUCTION DOCUMENTS FOR EXISTING STRUCTURE SHALL BE AN INTEGRAL PART OF THESE DOCUMENTS.

ARCHITECTURAL SITE PLAN-PARTIAL

SCALE: 1"=20'-0"
 00 05 10 20 FEET

Revisions

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 E-mail: par3designgroup@aol.com
 Nevada Registered Residential Designer: No. 93-RD
 American Institute Of Building Design: AIBD, Professional Member
 National Council Of Building Designers: Certification: CPBD, No. 29103
 Certified Professional Building Designer: CPBD, No. 29103

ARCHITECTURAL COMMITTEE STAMP:

A Detached Accessory Dwelling Unit
 Shelly Webb
 Only For The Property Located At:
 7420 Franktown Road
 Washoe Valley, Nevada 897104
 APN: 055-2281-04

SCALE: 1"=100'-0"
 00 50 100 200 FEET

Drawn & Checked by: DB
 Date: July 23, 2020
 Scale: 1/8" = 1'-0"
 Job No.: 20001

DADAR.

SHEET
A1.1
 2 OF 10 SHEETS

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PLANS, WORK OR FORMS REPRESENTED CAN
RESULT IN THE VIOLATION OF SUCH
CONSTRUCTION, CONSIDERABLE MONETARY FINES,
AND/OR IMPRISONMENT.

Par 3 Design Group
Reno, Nevada 89511
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Nevada Registered Residential Designer: No. 95-RD
American Institute Of Building Design: AIBD, Professional Member
National Council Of Building Designers:
Certified Professional Building Designer: CPPD, No. 29103

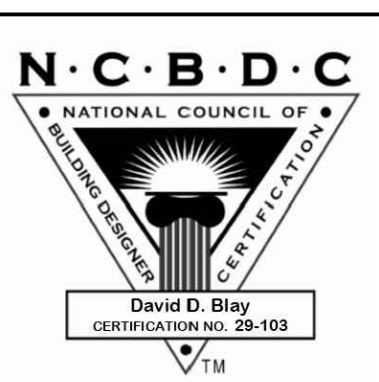
ARCHITECTURAL COMMITTEE STAMP:

A Detached Accessory Dwelling Unit

Shelly Webb

Only For The Property Located At:
7420 Franklown Road
Washoe Valley, Nevada 894104
APN: 055-287-09

EXISTING MAIN RESIDENCE-
MAIN LEVEL



Drawn & Checked by: DB

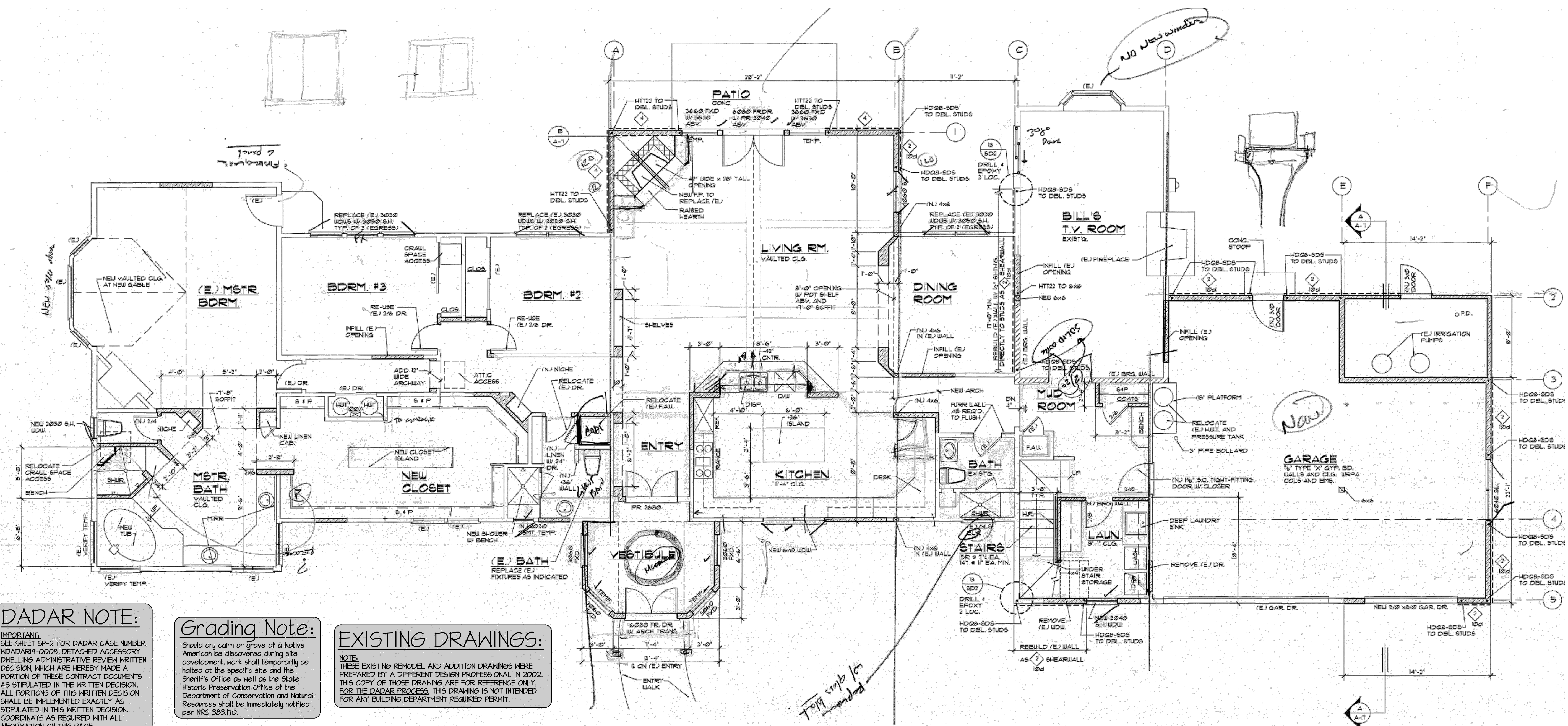
Date: July 23, 2020

Scale: 1/4" = 1'-0"

Job No.: 20001

DADAR.

SHEET
A2.0.1
3 OF 10 SHEETS



DADAR NOTE:
IMPORTANT:
SEE SHEET SP-2 FOR DADAR CASE NUMBER
WDADAR14-0008, DETACHED ACCESSORY
DWELLING ADMINISTRATIVE REVIEW WRITTEN
DECISION, WHICH ARE HEREBY MADE A
PORTION OF THESE CONTRACT DOCUMENTS
AS STIPULATED IN THE WRITTEN DECISION.
ALL PORTIONS OF THIS WRITTEN DECISION
SHALL BE IMPLEMENTED EXACTLY AS
STIPULATED IN THIS WRITTEN DECISION.
COORDINATE AS REQUIRED WITH ALL
INFORMATION ON THIS PAGE.

Grading Note:
Should any cairn or grave of a Native
American be discovered during site
development, work shall temporarily be
halted at the specific site and the
Sheriff's Office as well as the State
Historic Preservation Office of the
Department of Conservation and Natural
Resources shall be immediately notified
per NRS 383.170.

EXISTING DRAWINGS:
NOTE:
THESE EXISTING REMODEL AND ADDITION DRAWINGS WERE
PREPARED BY A DIFFERENT DESIGN PROFESSIONAL IN 2002.
THIS COPY OF THOSE DRAWINGS ARE FOR REFERENCE ONLY
FOR THE DADAR PROCESS. THIS DRAWING IS NOT INTENDED
FOR ANY BUILDING DEPARTMENT REQUIRED PERMIT.

EXISTING MAIN RESIDENCE - MAIN LEVEL FLOOR PLAN

00 02 04 08 FEET

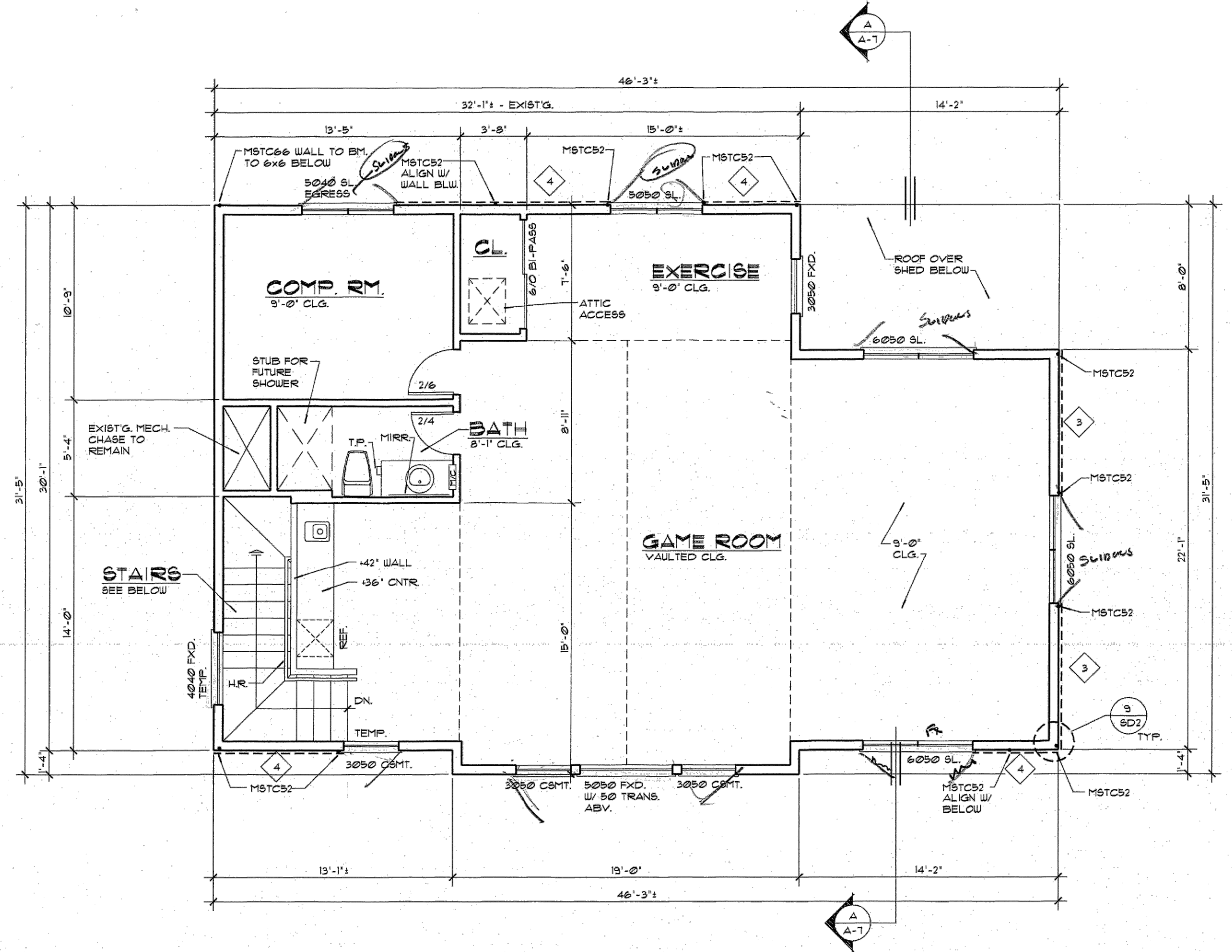
SCALE: 1/4"=1'-0"

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DADAR NOTE:
 IMPORTANT:
 SEE SHEET SP-2 FOR DADAR CASE NUMBER WADAR14-0008, DETACHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW WRITTEN DECISION, WHICH ARE HEREBY MADE A PORTION OF THESE CONTRACT DOCUMENTS AS STIPULATED IN THE WRITTEN DECISION. ALL PORTIONS OF THIS WRITTEN DECISION SHALL BE IMPLEMENTED EXACTLY AS STIPULATED IN THIS WRITTEN DECISION. COORDINATE AS REQUIRED WITH ALL INFORMATION ON THIS PAGE.

Grading Note:
 Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

EXISTING DRAWINGS:
 NOTE:
 THESE EXISTING REMODEL AND ADDITION DRAWINGS WERE PREPARED BY A DIFFERENT DESIGN PROFESSIONAL IN 2002. THIS COPY OF THOSE DRAWING ARE FOR REFERENCE ONLY FOR THE DADAR PROCESS. THIS DRAWING IS NOT INTENDED FOR ANY BUILDING DEPARTMENT REQUIRED PERMIT.



EXISTING MAIN RESIDENCE - UPPER LEVEL FLOOR PLAN

00 02 04 08 FEET

SCALE: 1/4" = 1'-0"

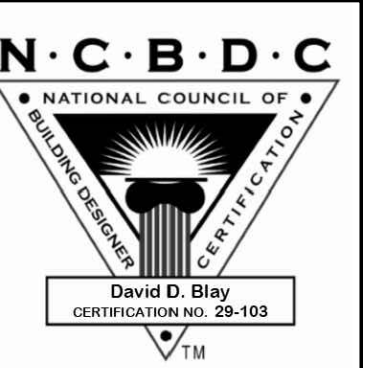
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Shelly Webb
 Only For The Property Located At:
 7420 Franktown Road
 Washoe Valley, Nevada 897104
 APN: 055-287-04

EXISTING MAIN RESIDENCE - UPPER LEVEL



Drawn & Checked by: DB

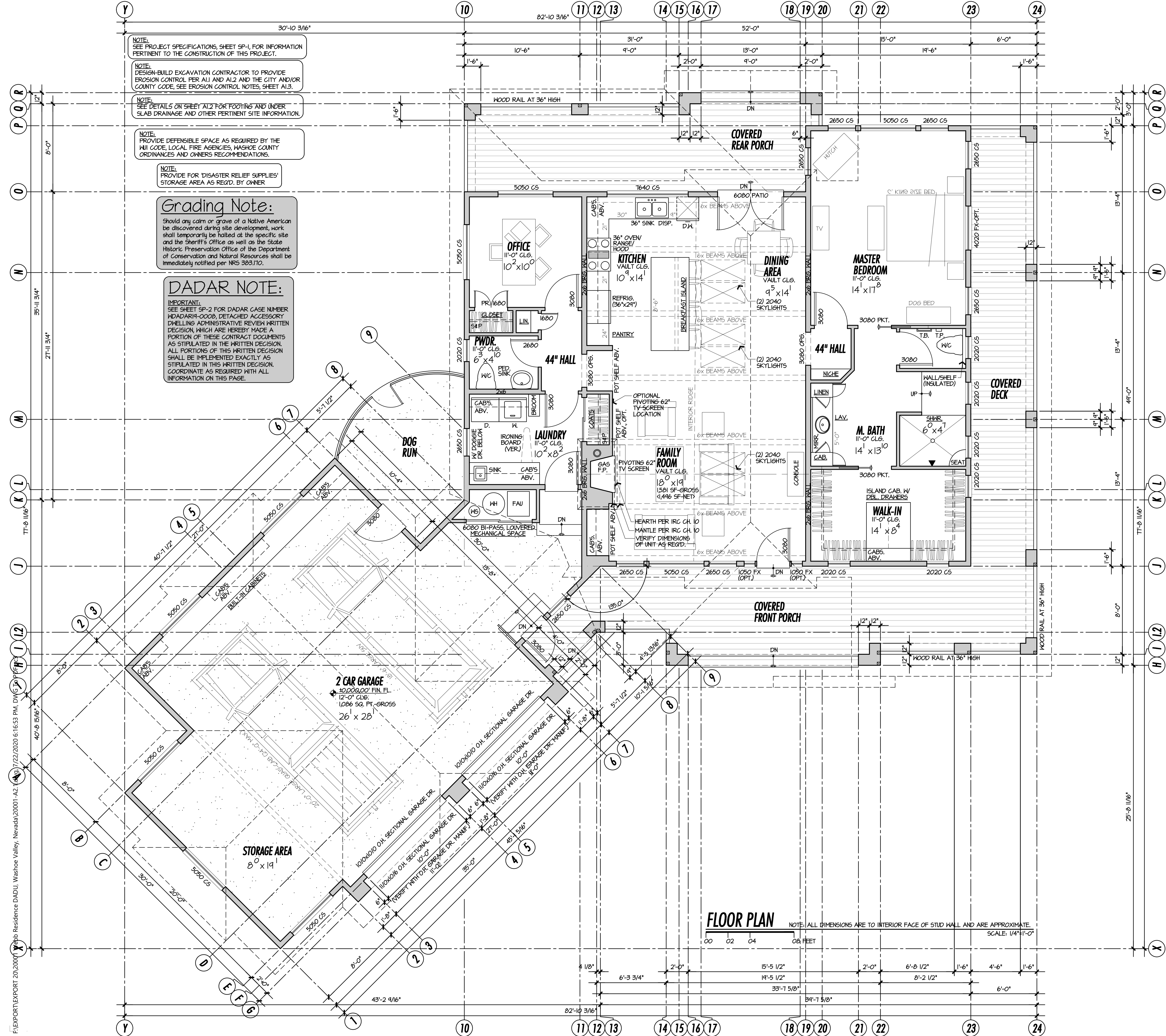
Date: July 23, 2020

Scale: 1/4" = 1'-0"

Job No.: 20001

DADAR

SHEET
A2.0.2
 4 OF 10 SHEETS



NOTE:
SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:
DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER ALL AND AL2 AND THE CITY AND/OR COUNTY CODE. SEE EROSION CONTROL NOTES, SHEET AL3.

NOTE:
SEE DETAILS ON SHEET AL2 FOR FOOTING AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

NOTE:
PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE:
PROVIDE FOR 'DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQ'D. BY OWNER.

Grading Note:
Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 303.110.

DADAR NOTE:
IMPORTANT:
SEE SHEET SP-2 FOR DADAR CASE NUMBER NDADAR14-0008, DETACHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW WRITTEN DECISION WHICH ARE HEREBY MADE A PORTION OF THESE CONTRACT DOCUMENTS AS STIPULATED IN THE WRITTEN DECISION. ALL PORTIONS OF THIS WRITTEN DECISION SHALL BE IMPLEMENTED EXACTLY AS STIPULATED IN THIS WRITTEN DECISION. COORDINATE AS REQUIRED WITH ALL INFORMATION ON THIS PAGE.

NOTE:
SEE SHEET A01 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E., ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE:
SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:
PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A 'PASSIVE OR ACTIVE' RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

CRAWL SPACE VENTILATION

CRAWL SPACE VENTS = (14) AT 24 SQ. FT. (8'x16') = 125 SF. (MIN. PROVIDED)
CRAWL SPACE VENTS = (4) AT 24 SQ. FT. (8'x16') = 36 SF. (MIN. SEE BELOW)

TOTAL VENT AREA PROVIDED = 125 SF.
TOTAL VENT AREA REQ'D. PER CODE = 1650 SF / 150 = 11.0 SF.
TOTAL VENT AREA REQ'D. PER CODE = 1650 SF / 1500 = 1.1 SF. (MIN. SEE BELOW)
(SEE NOTE BELOW FOR ABSOLUTE MINIMUM VENTING REQUIREMENTS, NOT RECOMMENDED.)

NOTE:
FOUNDATION VENTS SHALL BE PERMITTED TO BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER (2) PERM OR LESS) PER IRC SECTIONS R408.1 AND R408.2 AND LOCAL ORDINANCES. A MINIMUM OF (4) FOUNDATION VENTS LOCATED WITHIN 3'-0" OF BUILDING CORNERS AND PROVIDING CROSS VENTILATION SHALL BE PROVIDED.

SQUARE FEET

1591 SQ. FT. AT GROSS FLOOR AREA
1496 SQ. FT. AT NET LIVING AREA
1086 SQ. FT. GROSS LIVING AREA AT GARAGE

5021 SQ. FT. GROSS LIVING AREA AT MAIN RESIDENCE FLOOR AREA (PER ASSESSOR)
1500 SQ. FT. MAX. ALLOWED

1496 SQ. FT. AT NET LIVING AREA - MAXIMUM PROPOSED
(NOT TO BE EXCEEDED PER IRC SECTION 103.06.25(d))
364 SQ. FT. AT COVERED FRONT PORCH
229 SQ. FT. AT COVERED REAR PORCH

LEGEND

- NEW WOOD FRAME WALLS - SEE STRUCT.
- NEW WOOD FRAME BEARING WALLS - SEE STRUCT.
- NEW CONCRETE RETAINING WALLS - SEE STRUCT.

FLOOR PLAN NOTES:

- SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR TO VERIFY EXISTING AND PROPOSED CONDITIONS AND COORDINATE AS REQ'D. TO COMPLY W/ WASHOE COUNTY AND APPLICABLE ORDINANCES AND THE 2018 IRC.
- EXTERIOR WALLS: 2x6 STUDS PER STRUCT. DWGS. W/ R-21 BATT INSUL.-MIN. UNO.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. AND/OR AS SHOWN OR REQ'D. - SEE STRUCTURAL DRAWINGS, UNO.
- PROVIDE WATER-RESISTANT GYPSUM BACKING BOARD AT LOCATIONS REQUIRED PER IRC SECTIONS R301.2, R102.3 & R102.4. PROVIDE DENSEIELD® TILE BACKER BOARD BY GEORGIA-PACIFIC (OR EQUAL), AT ALL WALL TILE ASSEMBLIES IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE CORROSION RESISTANT ATTACHMENT PER MANUFACTURER'S RECOMMENDATIONS FOR TILE SET LOCATIONS PER IRC SECTIONS R102.3 AND R102.4. NOTE: 'GREEN BOARD' CANNOT BE USED AS A TILE BACKER BOARD.
- PROVIDE SOUND ATTENUATION BLANKETS AT ALL INTERIOR PLUMBING WALLS, AT WALL AREAS WITH DRAIN LINES AND AS REQ'D. BY OWNER.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR REQUIREMENTS AND COORDINATE AS REQUIRED.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER IRC SECTION R308, INCLUDING TUB AND SHOWER SURROUNDS PER IRC R308.4.
- ALL WINDOWS TO BE CENTERED IN ROOM IN WHICH THEY ARE LOCATED OR WITHIN 4" OR 6" OF ADJACENT WALL UNLESS NOTED OTHERWISE.
- ALL DOORS TO BE LOCATED AT CENTERLINE OF COMMON FEATURE (I.E., ROOF RIDGE) OR WITHIN 4" OR 6" OF ADJACENT WALLS UNLESS NOTED OTHERWISE.
- STAIR AND STAIR HANDRAIL TO BE BUILT IN STRICT ACCORDANCE WITH IRC SECTION R311.7. PROVIDE STAIR GUARDRAILS PER IRC SECTION R312.
- PROVIDE A MIN. OF (1) 22"x30" ATTIC ACCESS, TO EACH INDIVIDUAL ATTIC AREA WITH A MINIMUM HEIGHT OF 30". PER IRC SECTION R801.1.
- PROVIDE A MIN. OF (1) 18"x24" CRAWL SPACE ACCESS TO EACH INDIVIDUAL CRAWL SPACE AREA PER IRC SECTION R408.4. PROVIDE CRAWL SPACE VENTILATION PER IRC SECTIONS R408.1 & R408.2 AND/OR LOCAL ORDINANCES. CUT VENTS INTO STEMWALL (ABOVE GRADE) AND/OR PROVIDE MECHANICAL VENTILATION AS REQUIRED.
- PROVIDE ZERO-CLEARANCE GAS APPLIANCE AT LOCATIONS SHOWN ON DRAWINGS WITH W/MANTEL, NON-COMBUSTIBLE HEARTH, SEALED DOORS AND COMBUSTION AIR AS REQ'D. PER IRC SECTIONS R1003.4 & R1003.10. SEE ALSO IRC CHAPTERS 10, IT, IB & 24 AND LOCAL ORDINANCES. VERIFY DESIGN WITH OWNER AND/OR DESIGNER.
- PROVIDE WOOD STOVE APPLIANCE AT LOCATIONS SHOWN ON DWGS. W/ MANTEL, SURROUND, NON-COMBUSTIBLE HEARTH, SEALED DOORS AND COMBUSTION AIR AS REQ'D. PER IRC CHAPTER 10. SEE ALSO IRC CHAPTERS IT, IB & 24 AND LOCAL ORDINANCES. VERIFY DESIGN WITH DESIGNER AND/OR OWNER.
- PROVIDE FIREPLACE MANTEL AND SURROUND PER IRC CHAPTER 10 AND PER OWNERS INSTRUCTIONS. VERIFY DESIGN WITH DESIGNER AND/OR OWNER.
- PROVIDE UL LISTED CHIMNEY CAP PER IRC AND LOCAL ORDINANCES AS REQUIRED.
- PROVIDE LOW CEILING AND CHASE AREAS AS REQUIRED TO ALLOW FOR MECHANICAL DUCTING. CONTRACTOR TO FIELD VERIFY MECHANICAL DUCTING REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
- PROVIDE COMBUSTION AIR FOR MECHANICAL EQUIPMENT AT LOCATIONS SHOWN IN GARAGE. PROVIDE A MIN. OF (2) 8"x16" COMBUSTION AIR LOUVERS: (1) LOCATED WITHIN 12" OF FLOOR AND (1) LOCATED WITHIN 12" OF CEILING. SEE IRC CHAPTER IT AND LOCAL ORDINANCES.
- PROVIDE FOR FRESH AIR AT A RATE OF 15 CU. FT./MINUTE PER OCCUPANT AT 'INTERIOR' ROOM LOCATION ONLY. PROVIDE 8" DUCT W/ DAMPER INTERCONNECTED WITH REQ'D. ARTIFICIAL LIGHT. SEE IRC SECTION R303.
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF MOMENT FRAMES, INTERIOR BEARING WALLS, INTERIOR SHEAR WALLS, INTERIOR POSTS / COLUMNS AND OTHER STRUCTURAL REQUIREMENTS.

Revisions

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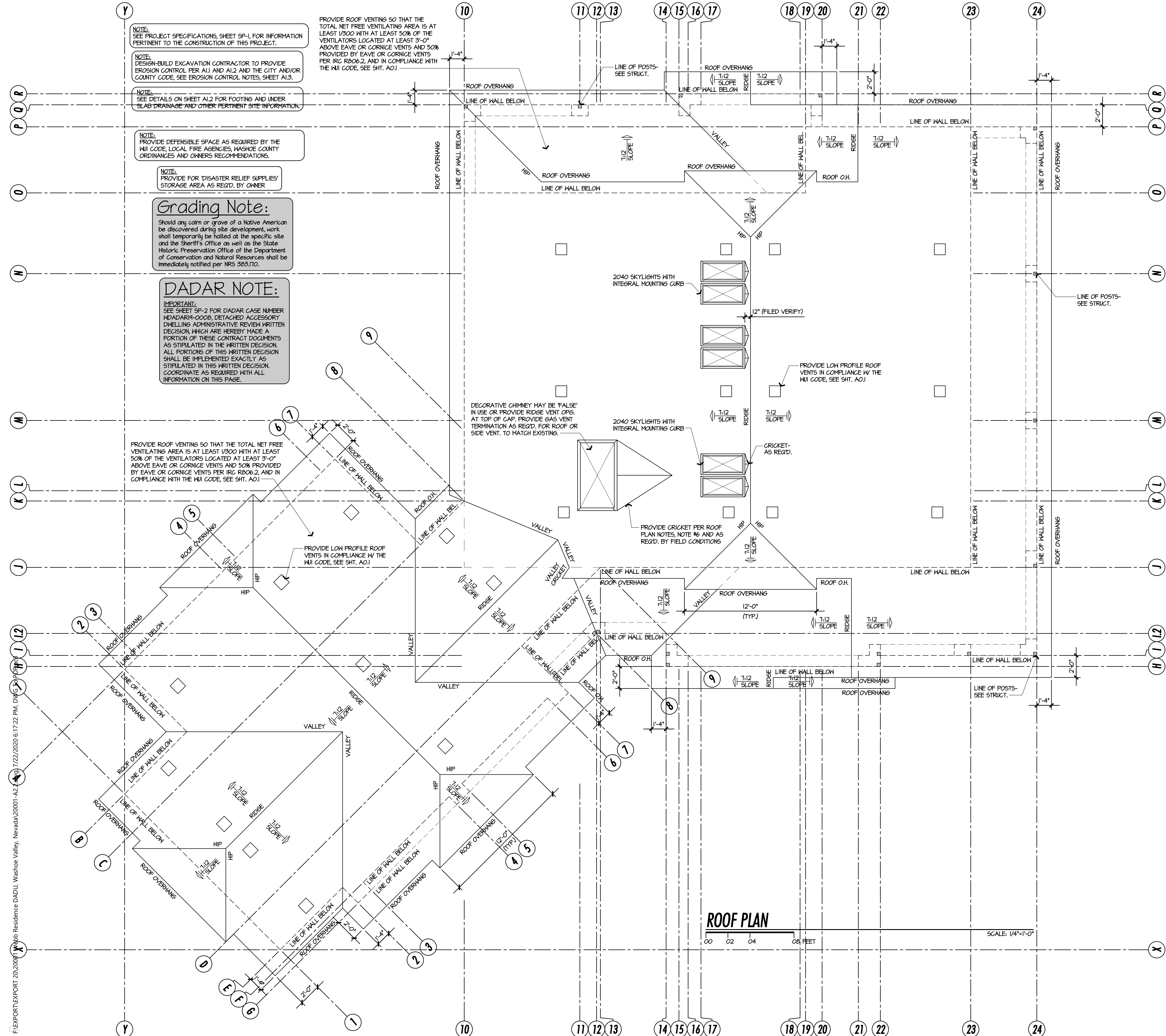
ARCHITECTURAL COMMITTEE STAMP

A Detached Accessory Dwelling Unit
Shelly Webb
Only For The Property Located At:
1420 Franktown Road
Washoe Valley, Nevada 89704
APN: 055-2871-04

FLOOR PLAN

Drawn & Checked by: DB
Date: July 23, 2020
Scale: 1/4" = 1'-0"
Job No.: 20001

DADAR
SHEET
A2.1
5 OF 10 SHEETS



NOTE:
SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:
DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER ALL AND A12 AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A13.

NOTE:
SEE DETAILS ON SHEET A12 FOR FOOTINGS AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

NOTE:
PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE:
PROVIDE FOR 'DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQD. BY OWNER

Grading Note:
Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.110.

DADAR NOTE:
IMPORTANT!
SEE SHEET SP-2 FOR DADAR CASE NUMBER WDADAR14-0008, DETACHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW WRITTEN DECISION, WHICH ARE HEREBY MADE A PORTION OF THESE CONTRACT DOCUMENTS AS STIPULATED IN THE WRITTEN DECISION. ALL PORTIONS OF THIS WRITTEN DECISION SHALL BE IMPLEMENTED EXACTLY AS STIPULATED IN THIS WRITTEN DECISION. COORDINATE AS REQUIRED WITH ALL INFORMATION ON THIS PAGE.

PROVIDE ROOF VENTING SO THAT THE TOTAL NET FREE VENTILATING AREA IS AT LEAST 1/300 WITH AT LEAST 50% OF THE VENTILATORS LOCATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS AND 50% PROVIDED BY EAVE OR CORNICE VENTS PER IRC R206.2, AND IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01.

PROVIDE LOW PROFILE ROOF VENTS IN COMPLIANCE W/ THE WUI CODE, SEE SHT. A01

DECORATIVE CHIMNEY MAY BE 'FALSE' IN USE OR PROVIDE RIDGE VENT OPS. AT TOP OF CAP. PROVIDE GAS VENT TERMINATION AS REQD. FOR ROOF OR SIDE VENT. TO MATCH EXISTING.

PROVIDE CRICKET PER ROOF PLAN NOTES, NOTE #6 AND AS REQD. BY FIELD CONDITIONS

NOTE:
SEE SHEET A01 FOR THE MIDLAND URBAN INTERFACE CODE (MUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E.: ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E.: DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE:
SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:
PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A 'PASSIVE OR ACTIVE' RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

TYPICAL ROOF / CEILING

- COMPOSITION SHINGLE AND METAL ROOFING SYSTEM - INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR 'EXTREME' WEATHER CONDITIONS, INCLUDING HEAVY 4' DEEP SNOW, FREEZE / THAW CYCLE AND EXTREMELY HIGH WINDS. MANUFACTURER / COLOR: SEE EXTERIOR ELEVATION. (VERIFY FOR LOW OR HIGH ROOF SLOPE APPLICATION)
- 30# FELT-MIN. (BITUTHENE-OPT.) COORDINATE WITH ROOF TILE INSTALLATION REQUIREMENTS - SEE DETAILS 1, 2 & 11(A&B), AND NOTES ABOVE AND BELOW.

- NOTE:
- 1) PROVIDE ATTIC VENTILATION AS REQUIRED BY IRC SECTION R206.
 - 2) PROVIDE ATTIC ACCESS AS REQUIRED BY IRC SECTION R207.
 - 3) PROVIDE UNDERLAYMENT REQUIREMENTS FOR 'SEVERE CLIMATE' AS REQUIRED BY CITY /OR COUNTY ORDINANCE, IRC CHAPTER 9, MANUFACTURER REQUIREMENTS &/OR OWNER'S REQUIREMENTS. SEE ALSO 11(A&B).
 - 4) PROVIDE BITUTHENE ROOFING AT TURRET AND CUPOLA ROOFS, AT LOW SLOPE ROOF AREAS, CRICKETS, VALLEYS, EAVES, NORTH FACING ROOF AREAS OR AS MAY OTHERWISE BE DEEMED NECESSARY FOR THE PROPER PROTECTION OF THE ENTIRE ROOF AREA.
 - 5) CONCRETE AND CLAY ROOF TILE TO BE INSTALLED IN STRICT COMPLIANCE WITH LOCAL ORDINANCE AND MANUFACTURER'S SPECIFICATIONS, FOR 'FASTEST MILE' WIND SPEED AND A 3 SECOND MAXIMUM GUST PER IRC SECTIONS R301.2.1.3 AND/OR IRC TABLE 1609.3.1, AND IRC SECTION 905.3.1 AND/OR IRC TABLE 1507.3.1. AT EVERY JOINT OF CONCRETE OR CLAY TILES, PROVIDE BATTENS, ANKERS, WIRE TIES, GLUE STRIPS, HOOKS, NAILS OR OTHER ATTACHMENT DEVICES THAT ARE FASTENED TO EACH AND EVERY PREMANUFACTURED TRUSS OR RAFTER / BEAM WITH A MINIMUM OF (1) 10D RING SHANK NAIL, EMBEDDED AT LEAST 3/4" INTO EACH FRAMING MEMBER. (SEE STRUCTURAL WHERE REQUIRED) (OPTIONAL AS REQ'D)
 - 6) PROVIDE ATTIC/FLOOR DRAFTSTOPS PER IRC R302.1.2 AND/OR IRC 710.2, WHERE REQUIRED.

ROOF PLAN NOTES:

- 1) SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- 2) CONTRACTOR TO VERIFY EXISTING AND PROPOSED CONDITIONS AND COORDINATE AS REQD. TO COMPLY WITH LOCAL ORDINANCES.
- 3) PROVIDE ROOF DRAINAGE SYSTEM AS REQUIRED BY OWNER, FIELD CONDITIONS, GEOTECH REPORT AND THE 2018 IRC, I.E. ALL EXITS, GUTTERS, WITH DOWNSPOUTS CONNECTED TO SOLID PIPE, SHALL BE USED TO CONTAIN STORM WATER AND DIRECT IT AWAY FROM FOUNDATIONS AND IMPROVEMENTS, SEE GEOTECH REPORT.
- 4) PAINT VENT TERMINATIONS AND ATTIC VENTS TO MATCH ROOF COLOR.
- 5) PROVIDE BITUTHENE MEMBRANE ROOFING AT ALL VALLEYS, CRICKETS, EAVES AND ROOF SLOPES LESS THAN 4:12 TYP. COORDINATE AS REQUIRED WITH EAVE DETAIL, SEE 11(A&B).
- 6) PROVIDE ROOF VENTS IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01 AND AS SHOWN ON ATTIC VENTILATION CALCULATIONS. (OPTIONAL) PROVIDE CONTINUOUS RIDGE VENT BY COR-A-VENT (V600) W/ AIR DAM FLASHING, AT 20 SQ. IN. NFVA / LINEAL FOOT, TO COMPLY W/ IRC SECTION 806, TO PROHIBIT RAIN AND SNOW PENETRATION. VERIFY RIDGE VENT DESIGN WITH MANUFACTURER PRIOR TO INSTALLATION, MUST BE IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01.
- 7) ALL CHIMNEYS, PLUMBING, HEATING VENTS AND ELECTRICAL MASTS INSTALLED 3'-0" OR LOWER FROM THE RIDGE ON A ROOF SLOPE OF 7:12 PITCH OR GREATER SHALL HAVE APPROVED SNOW SPLITTERS OR ROOF DIVERTERS INSTALLED ABOVE THE CHIMNEYS, VENTS OR MASTS AT LEAST 2/3 THE HEIGHT OF THE CHIMNEY, VENT OR MAST. SNOW SPLITTERS OR ROOF DIVERTERS WILL BE PROVIDED ON ALL METAL ROOFS ABOVE 5300' ELEVATION REGARDLESS OF ROOF PITCH. (MURPHY VENTS ARE NOT AN APPROVED SPLITTER FOR TYPE 'B' VENTS, CHIMNEYS OR ELECTRICAL MASTS) SEE IRC CHAPTER 903.2.2, 905.2.8.4 AND LOCAL ORDINANCES FOR APPLICABILITY OF THE CODES MENTIONED IN THIS SECTION.

ATTIC VENTILATION

EAVE VENTS = (2) 2'x @ (14) BAYS	= 1.32 S.F. (42 BAYS TOTAL)
GABLE END VENTS = (2) AT 60 SQ. FT.	= 1.36 S.F.
MUSHROOM VENTS = (4) (MIN) AT 667	= 2.67 S.F.
TOTAL VENT AREA PROVIDED	= 5.35 S.F.
TOTAL VENT AREA REQD. = 1435 S.F. / 300	= 4.78 S.F.
50% (MIN) ABOVE AND BELOW = 4.78 S.F. / 2	= 2.39 S.F. MIN. ABOVE AND BELOW = 0.25

NOTE:
PROVIDE ROOF VENTING IN COMPLIANCE WITH THE WUI CODE SEE SHT. A01, SO THAT THE TOTAL NET FREE VENTILATING AREA IS AT LEAST 1/300 WITH AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3'-0" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3'-0" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

Revisions

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American Institute of Building Design: AIBD, Professional Member
National Council of Building Designers: Certified
Certified Professional Building Designer: CPBD, No. 29103

ARCHITECTURAL COMMITTEE STAMP

A Detached Accessory Dwelling Unit
Shelly Webb
Only For The Property Located At:
1420 Frankton Road
Washoe Valley, Nevada 89704
APN: 055-287-01

ROOF PLAN

Drawn & Checked by: DB
Date: July 23, 2020
Scale: 1/4" = 1'-0"
Job No.: 20001

DADAR
SHEET
A2.2
6 OF 10 SHEETS

FILE: EXPORT 20200001 Web Residence DADU, Washoe Valley, Nevada 20001 - A2.2.dwg
 PLOT: 7/22/2020 6:17:22 PM, DWG PLOTTER: HP DesignJet 5000PS
 EXPORTED: 20200001

NOTE: PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A PASSIVE OR ACTIVE RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE: DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER ALL AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.3.

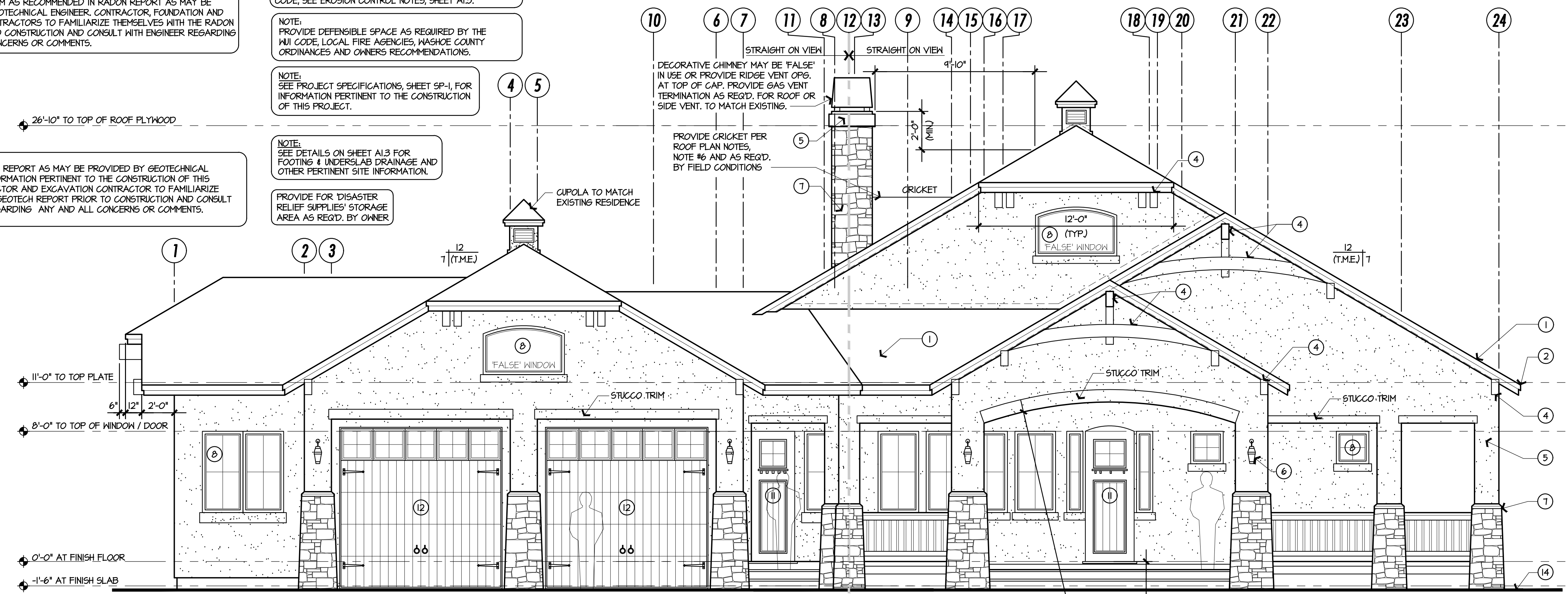
NOTE: PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE HUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE: SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE: SEE DETAILS ON SHEET A1.3 FOR FOOTINGS & UNDERSLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

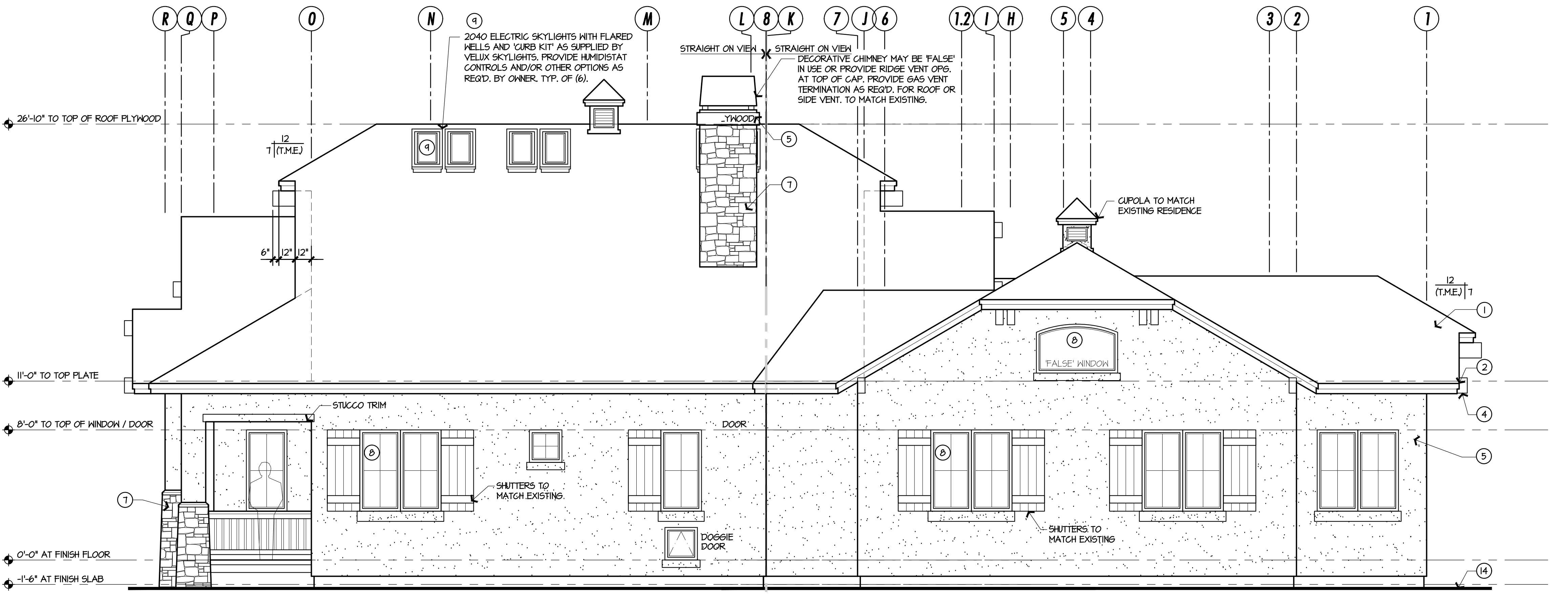
PROVIDE FOR DISASTER RELIEF SUPPLIES STORAGE AREA AS REQ'D. BY OWNER

NOTE: SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.



FRONT ELEVATION AT GARAGE AND RESIDENCE

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION AT HOUSE / REAR ELEVATION AT GARAGE

SCALE: 1/4"=1'-0"

ELEVATION KEY NOTES:

- NOTE: ALL COLORS AND MATERIALS TO BE AS SPECIFIED BELOW. ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE ST. JAMES VILLAGE ALC PRIOR TO MATERIAL PURCHASE AND INSTALLATION. PROVIDE ACTUAL SAMPLES FOR ALL COLOR &/OR MATERIAL SUBSTITUTIONS. PROVIDE TWO 'SEPARATE BATCH' COLOR SAMPLES FOR ALL STUCCO COLOR SUBSTITUTIONS.
- COMPOSITION SHINGLE ROOFING - INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS. MANUFACTURER / COLOR: CERTAINTED, PRESIDENTIAL SHAKE, 40 YR, HIGH PROFILE, 10/130 MPH WIND, ALGAE RESISTANT, AUTUMN BLEND, WITH WinterGuard.
 - 2x8 FASCIA AND 1x4 TRIM (IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1) MANUFACTURER / COLOR: SHERWIN WILLIAMS, SW 7504, TIKI HUT. RAIN GUTTER: TO MATCH FASCIA COLOR.
 - ATTIC GABLE VENTS (W/ STUCCO SILL), IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 COLOR: TO MATCH FASCIA COLOR. ROOF VENTS: WHERE SHOWN OR REQ'D, IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: TO MATCH ROOFING COLOR.
 - WOOD TRUSS AND OUTRIGGERS: IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 6x10 BOTTOM CHORD 6x8 VERTICAL MEMBER 6x6 DIAGONAL MEMBER COLOR: TO MATCH FASCIA COLOR. NOTES: 1) USE 'KNIFEPLATE' CONNECTIONS AS REQ'D, SEE STRUCT. 2) PROVIDE METAL ANODIZED CAP WITH DRIP EDGE OVER ALL EXPOSED BEAMS. COLOR: TO MATCH FASCIA COLOR.
 - ACRYLIC STUCCO FINISH SYSTEM: INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS, AND IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: DRYVIT, WEATHERLAST ELASTOMERIC EXTERIOR FINISH SYSTEM WITH WEATHERLASTIC SANDPEBBLE FINISH, TO MATCH SW 1533, KHAKI SHADE, Control Number:060514-MJM-B-4-CM, TO MATCH APPROVED SAMPLE (SEE DETAILS ON SHEET A9.2 FOR INSTALLATION INSTRUCTIONS)
 - DECORATIVE LIGHT FIXTURES MANUFACTURER / COLOR: BLACK OR DARK PATINA
 - DECORATIVE STONE VENEER: INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS, AND IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: ELDORADO STONE PRODUCTS, CLIFFSTONE, MONTECITO W/ STONE OR STUCCO CAP, WHERE SHOWN, STUCCO CAP COLOR: TO MATCH STUCCO, STONE CAP COLOR: TO MATCH STONE (SEE DETAILS ON SHEET A9.2 FOR INSTALLATION INSTRUCTIONS)
 - DUAL-GLAZED VINYL WINDOWS AND MUNTINS AS SHOWN W/ STUCCO SILL (COLOR TO MATCH STUCCO BODY COLOR) AND IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: MILGARD, TUSCANY SERIES, PREMIUM FINISH, TNEED, (WHITE INTERIOR COLOR).
 - DUAL-GLAZED OPERABLE 'VENTED' SKYLIGHT WITH OPTIONAL SHADINGS, AND REMOTE CONTROL OPEN, RATED FOR SNOW-LOAD, SEE STRUCTURAL DRAWINGS. MANUFACTURER / COLOR: VELUX, BRONZE (VERIFY ALL OPTIONS WITH OWNER)
 - DUAL-GLAZED PATIO DOORS, IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: MILGARD, TUSCANY SERIES, PREMIUM FINISH, TNEED, (WHITE INTERIOR COLOR).
 - 'WOOD SIMULATED' OR HOOD ENTRY DOOR WITH BLACK HARDWARE, IN COMPLIANCE WITH THE HUI CODE, SEE SHT. AO.1 MANUFACTURER / COLOR: TRU-STILE, PL SERIES, RESERVE COLLECTION, CHERRY (TO MATCH GARAGE DR)
 - OVERHEAD SECTIONAL 'WOOD SIMULATED' METAL GARAGE DOORS W/ BLACK HARDWARE AS MANUFACTURER / COLOR: CLOPAY, CANYON RIDGE COLLECTION, ULTRA-GRAIN CYPRESS, MED FINISH, STYLE TO MATCH EXTERIOR ELEVATIONS
 - ROCK LANDSCAPE WALL-SEE SITE PLAN FOR EXACT HEIGHT & LOCATION MANUFACTURER / COLOR: SEE OWNER'S APPROVED SAMPLES OPTIONAL: KEYSTONE RETAINING WALL, COUNTRY MANOR, TAN / CHARCOAL BLEND PAVERS, CONCRETE &/OR STAMPED CONCRETE; MANUFACTURER / COLOR: COUNTRY MANOR, TAN / CHARCOAL BLEND.
 - THE FINISH GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R403.3. SEE ALSO EXCEPTION WHERE CONDITIONS PROHIBIT FULL COMPLIANCE. FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN AND CODE REQUIRED SITE DRAINAGE. SHALES SHALL BE SLOPED A MINIMUM OF 2% WHEN LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION. NOTES: 1. ALL PROPOSED YARD DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN AS REQ'D. COORD. WITH GEOTECH REPORT. 2. PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN. COORD. WITH GEOTECH REPORT AND AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. 3. PROVIDE SUMP PUMPS IN CRAWL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS REQUIRED BY GEOTECH REPORT AND AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. COORDINATE WITH FOUNDATION DRAINAGE WHERE REQ'D.

ELEVATION GENERAL NOTES:

- SEE STRUCTURAL NOTES & DETAILS, BUILDING SECTIONS & KEY NOTES AND DETAILS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- PLATE ELEVATIONS ABOVE FINISH FLOOR ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR MUST VERIFY EXACT PLATE ELEVATIONS REQUIRED WITH EXTERIOR ELEVATIONS, BUILDING SECTIONS, DETAILS, TRUSS CALCULATIONS, ACTUAL FINISH FLOOR HEIGHT AND MAXIMUM ALLOWED BUILDING HEIGHT.
- CONTRACTOR TO PROVIDE FOR ATTIC ACCESS AND VENTILATION PER IRC SECTION R806 & R807.
- VENT TERMINATIONS TO MEET MANUFACTURER AND IRC REQUIREMENTS.
- PROVIDE RAIN GUTTER ROOF DRAINAGE SYSTEM AS REQUIRED BY OWNER, FIELD CONDITIONS, GEOTECH REPORT AND THE 2018 IRC, I.E. ALL EXITS, GUTTERS, WITH DOWNSPOUTS CONNECTED TO SOLID PIPE, SHALL BE USED TO CONTAIN STORM WATER AND DIRECT IT AWAY FROM FOUNDATIONS AND IMPROVEMENTS, SEE GEOTECH REPORT.
- ALL CHIMNEYS, PLUMBING, HEATING VENTS AND ELECTRICAL MASTS INSTALLED 3'-0" OR LOWER FROM THE RIDGE ON A ROOF SLOPE OF 7:12 PITCH OR GREATER SHALL HAVE APPROVED SNOW SPLITTERS OR ROOF DIVERTERS INSTALLED ABOVE THE CHIMNEYS, VENTS OR MASTS AT LEAST 2/3 THE HEIGHT OF THE CHIMNEY, VENT OR MAST. SNOW SPLITTERS OR ROOF DIVERTERS WILL BE PROVIDED ON ALL METAL ROOFS ABOVE 5300' ELEVATION REGARDLESS OF ROOF PITCH. (MURPHY VENTS ARE NOT AN APPROVED SPLITTER FOR TYPE 'B' VENTS, CHIMNEYS OR ELECTRICAL MASTS.) SEE IRC CHAPTER 403.2.2, 405.2.8.4 AND LOCAL ORDINANCES FOR APPLICABILITY OF THE CODES MENTIONED IN THIS SECTION.

NOTE: SEE SHEET AO.1 FOR THE HIGHLAND URBAN INTERFACE CODE (HUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E. ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E.; DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

Revisions

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American Institute of Building Design: AIBD, Professional Member
National Council of Building Designers: NCBD, No. 29103
Certified Professional Building Designer: CPBD, No. 29103

ARCHITECTURAL COMMITTEE STAMP:

A Detached Accessory Dwelling Unit
Shelly Webb
Only For The Property Located At:
7420 Franktown Road
Washoe Valley, Nevada 89704
APN: 055-287-01

EXTERIOR ELEVATIONS

N.C.B.D.C.
NATIONAL COUNCIL OF BUILDING DESIGNERS
David D. Blay
CERTIFICATION NO. 29-103

Drawn & Checked by: DB
Date: July 23, 2020
Scale: 1/4" = 1'-0"
Job No.: 20001

DADAR
SHEET
A3.1
7 OF 10 SHEETS

NOTE:
PROVIDE RADON TESTING AS REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A 'PASSIVE OR ACTIVE' RADON REDUCTION SYSTEM AS RECOMMENDED IN RADON REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:
SEE GEOTECHNICAL REPORT AS MAY BE PROVIDED BY GEOTECHNICAL ENGINEER FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

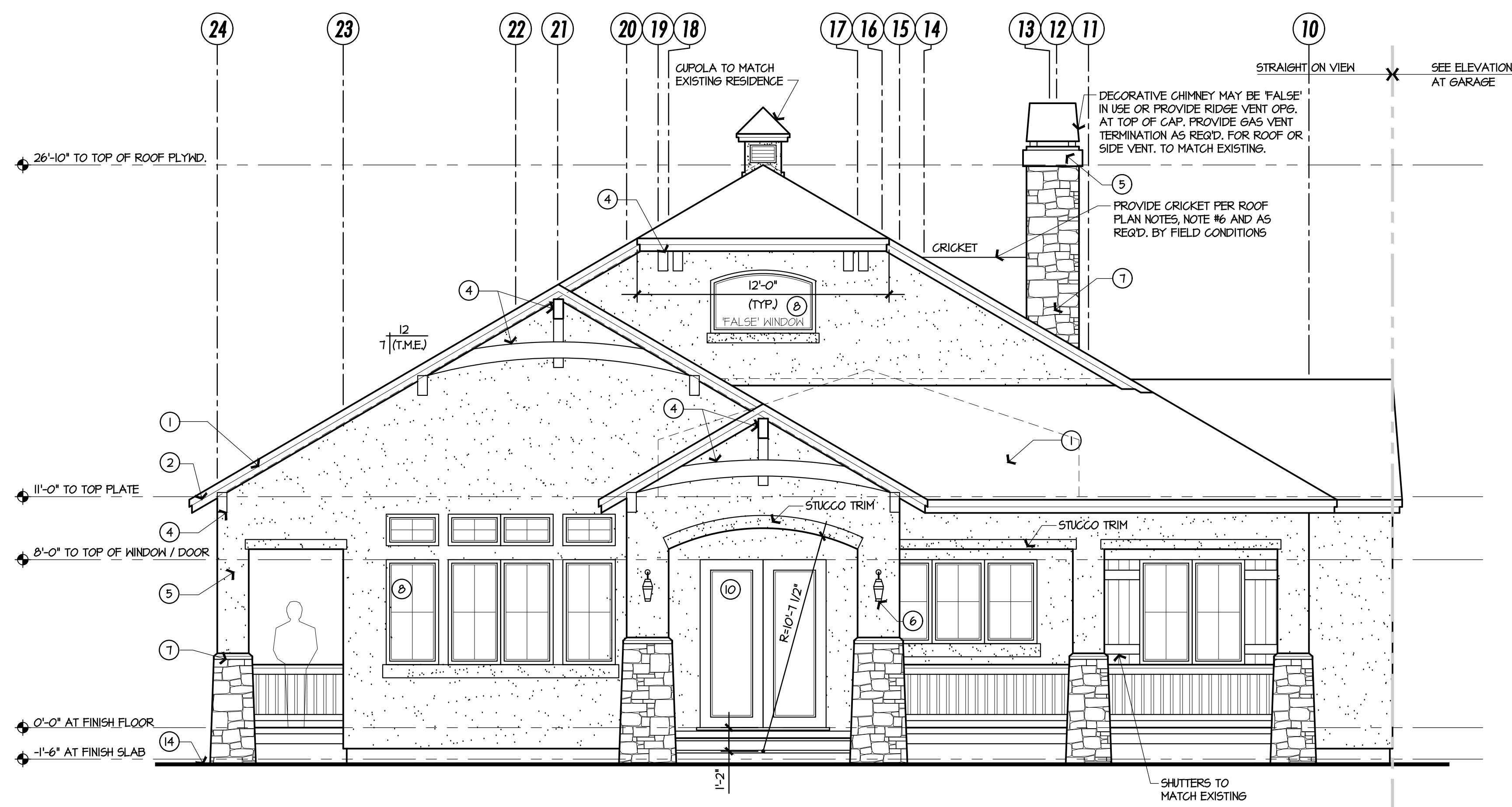
NOTE:
DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A11 AND THE CITY AND/OR COUNTY CODE, SEE EROSION CONTROL NOTES, SHEET A1.3.

NOTE:
PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE WUI CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

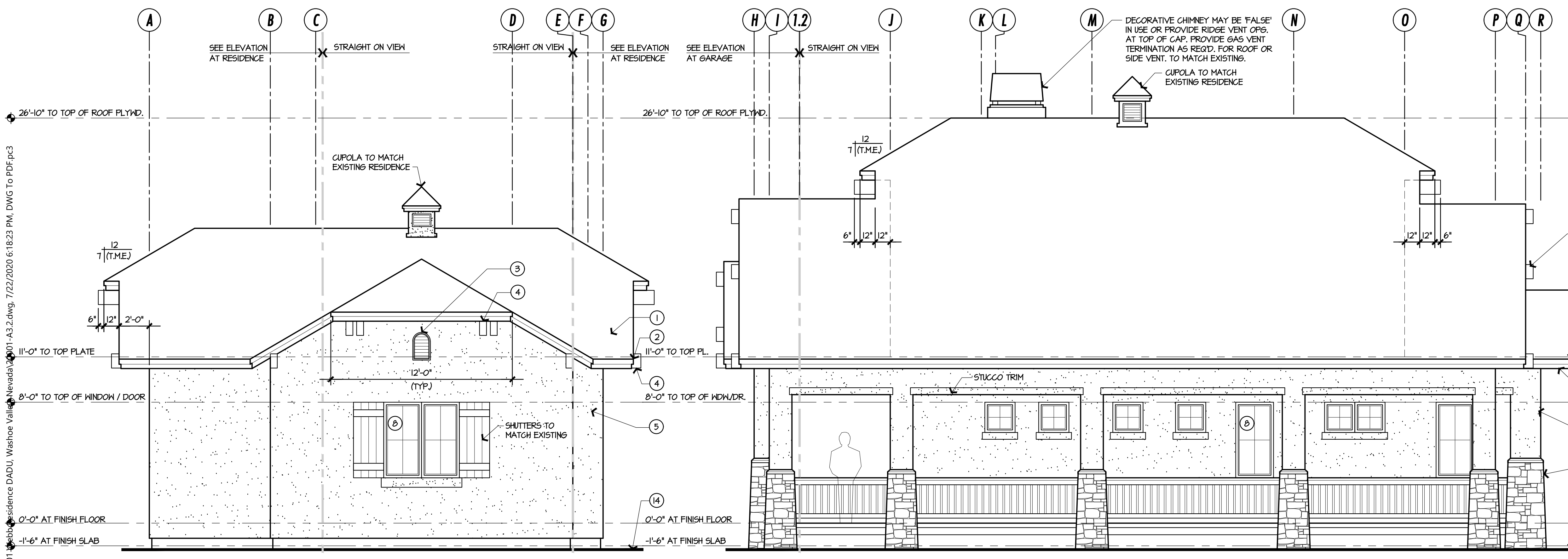
NOTE:
SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:
SEE DETAILS ON SHEET A1.3 FOR FOOTING & UNDERSLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

PROVIDE FOR DISASTER RELIEF SUPPLIES STORAGE AREA AS REQD. BY OWNER



REAR ELEVATION AT RESIDENCE
SCALE: 1/4"=1'-0"



LEFT SIDE AT GARAGE ELEVATION
SCALE: 1/4"=1'-0"

RIGHT SIDE ELEVATION AT RESIDENCE
SCALE: 1/4"=1'-0"

ELEVATION KEY NOTES:

- NOTE:**
ALL COLORS AND MATERIALS TO BE AS SPECIFIED BELOW. ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE ST. JAMES VILLAGE ALG PRIOR TO MATERIAL PURCHASE AND INSTALLATION. PROVIDE ACTUAL SAMPLES FOR ALL COLOR &/OR MATERIAL SUBSTITUTIONS. PROVIDE TWO SEPARATE BATCH COLOR SAMPLES FOR ALL STUCCO COLOR SUBSTITUTIONS.
- COMPOSITION SHINGLE ROOFING - INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS. MANUFACTURER / COLOR: CERTAINTED, PRESIDENTIAL SHAKE, 40 YR, HIGH PROFILE, 10/130 MPH WIND, ALGAE RESISTANT, AUTUMN BLEND, with WinterGuard.
 - 2x8 FASCIA AND 1x4 TRIM: (IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01) MANUFACTURER / COLOR: SHERWIN WILLIAMS, SK 1504, TIKI HUT. RAIN GUTTER: TO MATCH FASCIA COLOR.
 - ATTIC GABLE VENTS (W/ STUCCO SILL), IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01 COLOR: TO MATCH FASCIA COLOR.
 - WOOD TRUSSES AND OUTRIGGERS: IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01. 6x10 OUTRIGGERS. 6x10 BOTTOM CHORD. 6x8 VERTICAL MEMBER. 6x6 DIAGONAL MEMBER. COLOR: TO MATCH FASCIA COLOR.
NOTES:
1) USE 'KNIFFPLATE' CONNECTIONS AS REQD., SEE STRUCT.
2) PROVIDE METAL ANODIZED CAP WITH DRIP EDGE OVER ALL EXPOSED BEAMS. COLOR: TO MATCH FASCIA COLOR.
 - ACRYLIC STUCCO FINISH SYSTEM: INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS, AND IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01. MANUFACTURER / COLOR: DRYVIT, WEATHERLAST ELASTOMERIC EXTERIOR FINISH SYSTEM WITH WEATHERLAST SANDPEBBLE FINISH, TO MATCH SK 1533, KHAKI SHADE, Control Number: 060514-MJ-M-8-4-CM, TO MATCH APPROVED SAMPLE (SEE DETAILS ON SHEET A8.2 FOR INSTALLATION INSTRUCTIONS).
 - DECORATIVE LIGHT FIXTURES. MANUFACTURER / COLOR: BLACK OR DARK PATINA.
 - DECORATIVE STONE VENEER: INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR EXTREME WEATHER CONDITIONS, INCLUDING SNOW, FREEZE / THAW CYCLE AND HIGH WINDS, AND IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01. MANUFACTURER / COLOR: ELDERADO STONE PRODUCTS, CLIFFSTONE, MONTECITO W/ STONE OR STUCCO CAP, WHERE SHOWN, STUCCO CAP COLOR: TO MATCH STUCCO, STONE CAP COLOR: TO MATCH STONE. (SEE DETAILS ON SHEET A8.2 FOR INSTALLATION INSTRUCTIONS).
 - DUAL-GLAZED VINYL WINDOWS AND MUNTINS AS SHOWN W/ STUCCO SILL (COLOR TO MATCH STUCCO BODY COLOR) AND IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01. MANUFACTURER / COLOR: MILGARD, TUSCANY SERIES, PREMIUM FINISH, TEEED, (WHITE INTERIOR COLOR).
 - DUAL-GLAZED OPERABLE 'VENTED' SKYLIGHT WITH OPTIONAL SHADINGS, AND REMOTE CONTROL, OPEN RATED FOR SNOW-LOAD, SEE STRUCTURAL DRAWINGS. MANUFACTURER / COLOR: VELUX, BRONZE (VERIFY ALL OPTIONS WITH OWNER).
 - DUAL-GLAZED PATIO DOORS, IN COMPLIANCE WITH THE WUI CODE, SEE SHT. A01. MANUFACTURER / COLOR: MILGARD, TUSCANY SERIES, PREMIUM FINISH, TEEED, (WHITE INTERIOR COLOR).
 - 'WOOD SIMULATED' OR WOOD ENTRY DOOR WITH BLACK HARDWARE, IN COMPLIANCE WITH THE CODE, SEE SHT. A01. MANUFACTURER / COLOR: TRI-STILE, PL SERIES, RESERVE COLLECTION, CHERRY (TO MATCH GARAGE DR).
 - OVERHEAD SECTIONAL 'WOOD SIMULATED' METAL GARAGE DOORS W/ BLACK HARDWARE AS MANUFACTURER / COLOR: CLOPAY, CANYON RIDGE COLLECTION, ULTRA-GRAIN CYPRESS, MED FINISH, STYLE TO MATCH EXTERIOR ELEVATIONS.
 - ROCK LANDSCAPE WALL-SEE SITE PLAN FOR EXACT HEIGHT & LOCATION. MANUFACTURER / COLOR: SEE OWNERS APPROVED SAMPLES. OPTIONAL: KEYSTONE RETAINING WALL, COUNTRY MANOR, TAN / CHARCOAL BLEND. PAVERS, CONCRETE &/OR STAMPED CONCRETE: MANUFACTURER / COLOR: COUNTRY MANOR, TAN / CHARCOAL BLEND.
 - THE FINISH GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R401.3. SEE ALSO EXCEPTION WHERE CONDITIONS PROHIBIT FULL COMPLIANCE. FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN AND CODE REQUIRED SITE DRAINAGE. SHALES SHALL BE SLOPED A MINIMUM OF 2% WHEN LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION.
NOTES:
1. ALL PROPOSED YARD DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN AS REQD. COORD. WITH GEOTECH REPORT.
2. PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN. COORD. WITH GEOTECH REPORT AND AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS.
3. PROVIDE SUMP PUMP(S) IN CRAWL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS REQUIRED BY GEOTECH REPORT AND AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. COORDINATE WITH FOUNDATION DRAINAGE WHERE REQD.

ELEVATION GENERAL NOTES:

- SEE STRUCTURAL NOTES & DETAILS, BUILDING SECTIONS & KEY NOTES AND DETAILS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
 - PLATE ELEVATIONS ABOVE FINISH FLOOR ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR MUST VERIFY EXACT PLATE ELEVATIONS REQUIRED WITH EXTERIOR ELEVATIONS, BUILDING SECTIONS, DETAILS, TRUSS CALCULATIONS, ACTUAL FINISH FLOOR HEIGHT AND MAXIMUM ALLOWED BUILDING HEIGHT.
 - CONTRACTOR TO PROVIDE FOR ATTIC ACCESS AND VENTILATION PER IRC SECTION R806 & R807.
 - VENT TERMINATIONS TO MEET MANUFACTURER AND IRC REQUIREMENTS.
 - PROVIDE RAIN GUTTER ROOF DRAINAGE SYSTEM AS REQUIRED BY OWNER, FIELD CONDITIONS, GEOTECH REPORT AND THE 2018 IRC, I.E. ALL EXITS, GUTTERS, WITH DOWNSPOUTS CONNECTED TO SOLID PIPE, SHALL BE USED TO CONTAIN STORM WATER AND DIRECT IT AWAY FROM FOUNDATIONS AND IMPROVEMENTS, SEE GEOTECH REPORT.
 - ALL CHIMNEYS, PLUMBING, HEATING VENTS AND ELECTRICAL MASTS INSTALLED 3'-0" OR LOWER FROM THE RIDGE ON A ROOF SLOPE OF 1:12 PITCH OR GREATER SHALL HAVE APPROVED SNOW SPLITTERS OR ROOF DIVERTERS INSTALLED ABOVE THE CHIMNEYS, VENTS OR MASTS AT LEAST 2/3 THE HEIGHT OF THE CHIMNEY, VENT OR MAST. SNOW SPLITTERS OR ROOF DIVERTERS WILL BE PROVIDED ON ALL METAL ROOFS ABOVE 5300' ELEVATION REGARDLESS OF ROOF PITCH. (MURPHY VENTS ARE NOT AN APPROVED SPLITTER FOR TYPE 'B' VENTS, CHIMNEYS OR ELECTRICAL MASTS) SEE IRC CHAPTER 403.2.2, 405.2.8.4 AND LOCAL ORDINANCES FOR APPLICABILITY OF THE CODES MENTIONED IN THIS SECTION.
- NOTE:**
ALL CHIMNEYS, PLUMBING, HEATING VENTS AND ELECTRICAL MASTS INSTALLED 3'-0" OR LOWER FROM THE RIDGE ON A ROOF SLOPE OF 1:12 PITCH OR GREATER SHALL HAVE APPROVED SNOW SPLITTERS OR ROOF DIVERTERS INSTALLED ABOVE THE CHIMNEYS, VENTS OR MASTS AT LEAST 2/3 THE HEIGHT OF THE CHIMNEY, VENT OR MAST. SNOW SPLITTERS OR ROOF DIVERTERS WILL BE PROVIDED ON ALL METAL ROOFS ABOVE 5300' ELEVATION REGARDLESS OF ROOF PITCH. (MURPHY VENTS ARE NOT AN APPROVED SPLITTER FOR TYPE 'B' VENTS, CHIMNEYS OR ELECTRICAL MASTS) SEE IRC CHAPTER 403.2.2, 405.2.8.4 AND LOCAL ORDINANCES FOR APPLICABILITY OF THE CODES MENTIONED IN THIS SECTION.

NOTE:
SEE SHEET A01 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E.: ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

Revisions

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American Institute of Building Design: AIBD, Professional Member
National Council of Building Designer Certification:
Certified Professional Building Designer: CPBD, No. 29103

ARCHITECTURAL COMMITTEE STAMP:

A Detached Accessory Dwelling Unit
Shelly Webb
Only For The Property Located At:
7420 Franklown Road
Washoe Valley, Nevada 894104
APN: 055-28T-09

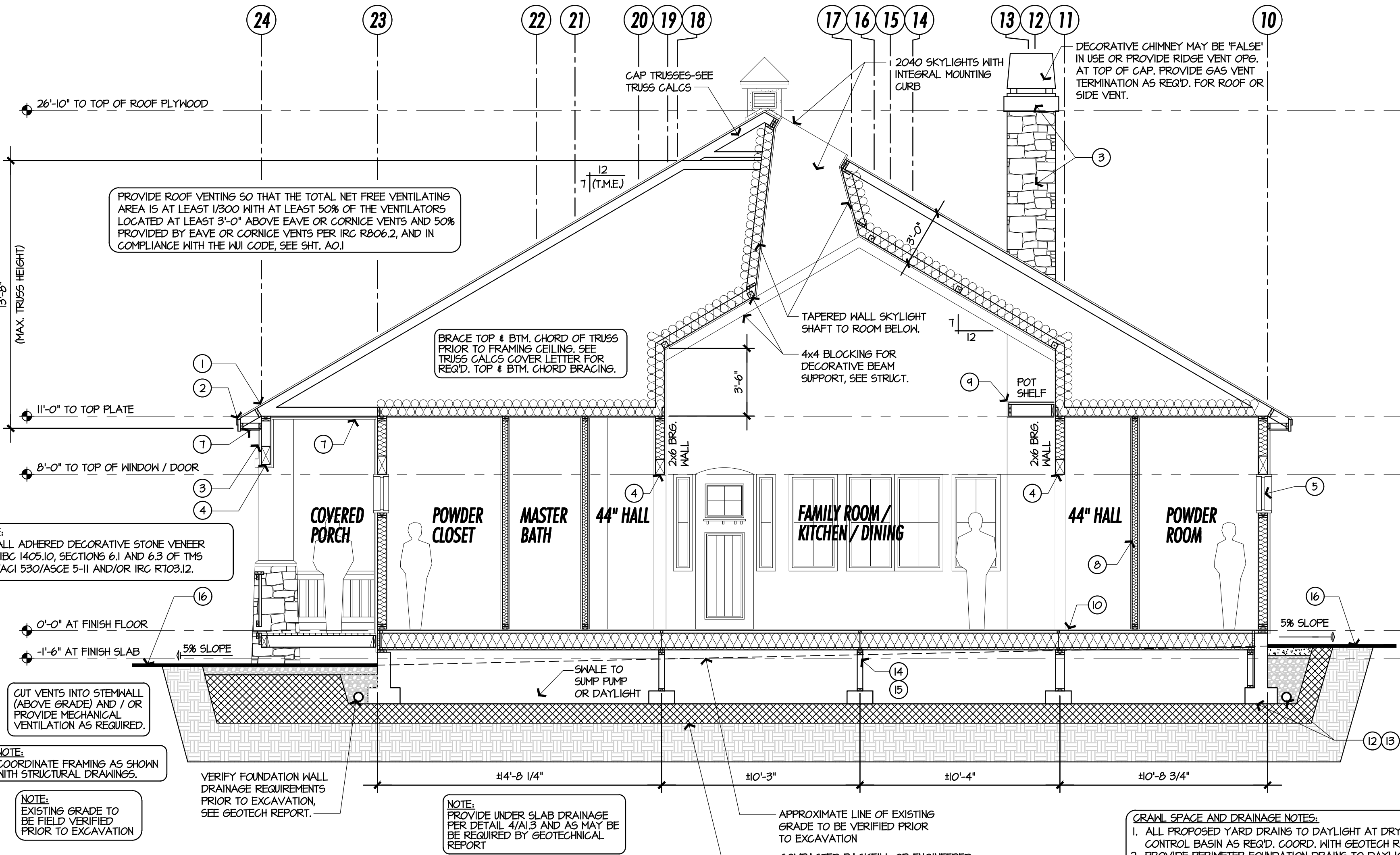
EXTERIOR ELEVATIONS

N.C.B.D.C.
NATIONAL COUNCIL OF BUILDING DESIGNERS
David D. Blay
CERTIFICATION NO. 29-103

Drawn & Checked by: DB
Date: July 23, 2020
Scale: 1/4" = 1'-0"
Job No.: 20001

DADAR.
SHEET
A3.2
8 OF 10 SHEETS

F:\EXPORT\PORT 20,20001\18-Sub\residence DADU, Washoe Valley, Nevada\2001-A3.2.dwg, 7/22/2020 6:18:23 PM, DWG to PDF.pc3



BUILDING SECTION 'A-A'
 SCALE: 1/4"=1'-0"
 00 02 04 08 FEET

BUILDING SECTION KEY NOTES:

- NOTES:**
- SEE STRUCTURAL NOTES & DETAILS, ARCHITECTURAL DETAILS AND ELEVATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
 - ALL COLORS AND MATERIALS TO BE AS SPECIFIED BY DESIGNER PRIOR TO MATERIAL INSTALLATION. PROVIDE ACTUAL SAMPLES FOR ALL COLOR &/OR MATERIAL SUBSTITUTIONS. PROVIDE TWO SEPARATE BATCH COLOR SAMPLES FOR ALL STUCCO COLOR SUBSTITUTIONS.
- 1) TYPICAL ROOF / CEILING** (SEE THE IBC CODE, SEE SHT. A0.1)
- COMPOSITION SHINGLE ROOFING - INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS FOR 'EXTREME' WEATHER CONDITIONS, INCLUDING HEAVY & DEEP SNOW, FREEZE / THAW CYCLE AND EXTREMELY HIGH WINDS, MANUFACTURER / COLOR: SEE EXTERIOR ELEVATION.
 - VERIFY REQUIREMENTS FOR LOW OR HIGH ROOF SLOPE APPLICATION. SEE NOTES BELOW.
 - 30# FELT-MIN. BITUMENE-OPT. J-COORDINATE WITH COMPOSITION SHINGLE INSTALLATION REQUIREMENTS- SEE DETAILS 1, 2 & IIA.1, AND NOTES ABOVE AND BELOW.
 - SHEATHING - SEE STRUCT.
 - PREMANUFACTURED WOOD TRUSSES 4/OR 2x FRAMING - SEE STRUCT. AND TRUSS CALCS.
 - R-44 (15") INSULATION W/ 1 1/2" MIN. VENT SPACE
 - 5/8" GYP. BD.
- NOTES:**
- PROVIDE ATTIC VENTILATION AS REQUIRED BY IRC SECTION R806.
 - PROVIDE ATTIC ACCESS AS REQUIRED BY IRC SECTION R807.
 - PROVIDE UNDERLAYMENT REQUIREMENTS FOR SEVERE CLIMATE AS REQUIRED BY CITY 4/OR COUNTY ORDINANCE, IRC CHAPTER 9, MANUFACTURER REQUIREMENTS 4/OR OWNER'S REQUIREMENTS. SEE ALSO IIA.1.
- CONTINUED ON NEXT COLUMN**

- CONTINUED FROM PREVIOUS COLUMN**
- PROVIDE BITUMENE ROOFING AT TURRET AND GUPOLA ROOFS, AT LOW SLOPE ROOF AREAS (UNDER 4:12 PITCH), CRICKETS, VALLEYS, EAVES, NORTH FACING ROOF AREAS OR AS MAY OTHERWISE BE DEEMED NECESSARY FOR THE PROPER PROTECTION OF THE ENTIRE ROOF AREA.
 - PROVIDE ATTIC/FLOOR DRAFTSTOPS PER IRC R302.12 AND/OR IBC 718.2, WHERE REQUIRED.
- 2) TYPICAL FASCIA / EAVE** (SEE THE IBC CODE, SEE SHT. A0.1)
- WOOD TRIM 0/ 2x FASCIA
- NOTES:**
- PROVIDE RAIN GUTTER AT ALL EXITS AND AS REQUIRED BY OWNER. GUTTERS, WITH DOWNSPOUTS CONNECTED TO SOLID PIPE, SHALL BE USED TO CONTAIN STORM WATER AND DIRECT IT AWAY FROM FOUNDATIONS AND IMPROVEMENTS, SEE GEOTECH REPORT.
- 3) TYPICAL EXTERIOR WALL** (SEE THE IBC CODE, SEE SHT. A0.1)
- ACRYLIC STUCCO FINISH SYSTEM 4/OR ADHERED STONE VENEER- SEE EXTERIOR ELEVATIONS (INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS) SEE SHEET 4/AB.2 FOR WEEP SCREED. SEE SHEETS A0.1 & AB.2 FOR STUCCO AND STONE DETAILS
 - 30# FELT & WIRE MESH - SEE DETAILS AND NOTE BELOW.
 - RIGID INSULATION PANELS, OPT.-COORD. W/ MANUFACTURER OF EXTERIOR FINISH MATERIAL.
 - SHEATHING - SEE STRUCT.
 - 2x6'S @ 16" O.C. WITH 2x FIRE BLK'S. @ 10'-0" HIGH MAX. - SEE STRUCT.
 - R-21 INSULATION
 - 1/2" GYP. BD.
- NOTES:**
- SEE DETAILS FOR REQUIRED WATERPROOFING AT EXPOSED WOOD SURFACES AT BASE OF ALL WALLS 4/OR SIMILAR SURFACES.
 - PROVIDE DRIP EDGE, WEEP SCREED AND EXPANSION JOINTS AS REQUIRED OR SHOWN ON THE DRAWINGS, SEE DET. 4/AB.2 FOR WEEP SCREED.
 - ALL HORIZONTAL STUCCO SURFACES TO BE SLOPED AND TREATED WITH MOISTURE-RESISTIVE MEMBRANE (I.E., BITUMENE OR OTHER APPROVED MATERIAL)
- CONTINUED ON NEXT COLUMN**

- CONTINUED FROM PREVIOUS COLUMN**
- STRUCTURAL SUPPORT - SEE STRUCTURAL DRAWINGS
 - VINYL WINDOWS WITH OPTIONAL LOW-E DUAL GLAZING AND MINTING AS SHOWN - COORD. WITH OWNER. (SEE THE IBC CODE, SEE SHT. A0.1)
 - VINYL DOORS WITH OPTIONAL LOW-E DUAL GLAZING AND MINTING AS SHOWN - COORD. WITH OWNER. (SEE THE IBC CODE, SEE SHT. A0.1)
- 1) TYPICAL EXTERIOR SOFFIT** (SEE THE IBC CODE, SEE SHT. A0.1)
- ACRYLIC STUCCO FINISH SYSTEM - SEE EXTERIOR ELEVATIONS (INSTALL IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS)
 - 30# FELT & WIRE MESH - SEE DETAILS AND NOTE BELOW.
 - RIGID INSULATION PANELS, OPT.-COORD. W/ MANUFACTURER OF EXTERIOR FINISH MATERIAL.
 - SHEATHING - SEE STRUCT.
 - 2x6 4/OR 2x8 CEILING JOISTS @ 16" O.C PER IRC TABLE R802.4(2).
 - R-44 INSULATION
- NOTES:**
- PROVIDE DRIP EDGE AND EXPANSION JOINTS AS REQUIRED OR SHOWN ON THE DRAWINGS.
 - PROVIDE CONTINUOUS SOFFIT VENT PER IRC SECTION R806 AND THE IBC CODE.
 - PROVIDE DECORATIVE FOAM TO MATCH EXTERIOR ELEVATIONS.
- CONTINUED ON NEXT COLUMN**

Grading Note:

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

DADAR NOTE:

IMPORTANT:

SEE SHEET SP-2 FOR DADAR CASE NUMBER WDADAR19-0009, DETACHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW WRITTEN DECISION, WHICH ARE HEREBY MADE A PORTION OF THESE CONTRACT DOCUMENTS AS STIPULATED IN THE WRITTEN DECISION. ALL PORTIONS OF THIS WRITTEN DECISION SHALL BE IMPLEMENTED EXACTLY AS STIPULATED IN THIS WRITTEN DECISION. COORDINATE AS REQUIRED WITH ALL INFORMATION ON THIS PAGE.

- 8) FOUNDATION DRAINAGE** (SEE SHT. A1.2 FOR FOUNDATION DRAINAGE) (SEE GEOTECHNICAL REPORT)
- 6" MIN. IMPERVIOUS EARTH AT SURFACE
 - FILTER FABRIC, TOP TO BOTTOM, BETWEEN EARTH AND GRAVEL
 - 12" MINIMUM WIDTH DRAINAGE GRAVEL
 - PROTECTIVE MATERIAL
 - WATERPROOF MEMBRANE
- NOTES:**
- PROVIDE 4" PERF. PIPE TO DAYLIGHT, WITH FILTER FABRIC COVER AT ENTIRE LENGTH.
 - PROVIDE PROTECTIVE SHALE / POSITIVE DRAINAGE FROM TOP OF RETAINING WALL AWAY FROM STRUCTURE AT ENTIRE LENGTH. SEE FINISH GRADE BELOW.
 - PROVIDE TAPERED INSULATION AT BACK SIDE OF FOOTING FOR DRAINAGE TO PERF PIPE.
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
- 9) TYPICAL INTERIOR SOFFIT**
- 5/8" GYP. BD.
 - 2x6 4/OR 2x8 CEILING JOISTS @ 16" O.C PER IRC TABLE R802.4(2) AND AS REQD.
- NOTES:**
- AT LOCATIONS WITH TOP HORIZONTAL SURFACE PROVIDE 5/8" GYP. BD. OVER 1/2" PLYWOOD.
 - PROVIDE SOUND INSULATION AS REQUIRED BY OWNER.
 - PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER IRC SECTIONS R102.3 & R102.4. PROVIDE DensSHIELD TILE BACKER BOARD BY GEORGIA-PACIFIC (OR EQUAL), AT ALL WALL TILE ASSEMBLIES IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE CORROSION RESISTANT ATTACHMENT PER MANUFACTURER'S RECOMMENDATIONS FOR THESE WET LOCATIONS. SEE IRC SECTIONS R102.3 AND R102.4. NOTE: 'GREEN BOARD' CANNOT BE USED AS A TILE BACKER BOARD !!
- 10) TYPICAL FLOOR** (SEE FEMA REGULATIONS)
- FLOOR FINISH - SEE OWNER (INSTALL PER MANUFACTURER'S RECOMMENDATIONS)
 - SHEATHING - SEE STRUCT.
 - FLOOR JOISTS, BEAMS, TJI'S 4/OR TRUSSES - SEE STRUCT.
 - R-30 (12") INSULATION OVER UNHEATED SPACE, R-30 MIN. OVER HEATED SPACE
 - 5/8" GYP. BD. @ CEILING CONDITION ONLY.
- NOTES:**
- PROVIDE R-30 (12") INSULATION AT UNCONDITIONED SPACES.
 - PROVIDE SOUND ATTENUATION BLANKETS AS REQD. BY OWNER.
 - PROVIDE CRAWL SPACE ACCESS TO ENTIRE UNDER-FLOOR AREA AS REQD. BY IRC SECTION R408.3.
 - PROVIDE CRAWL SPACE VENTILATION TO ENTIRE UNDER-FLOOR AREA AS REQD. BY IRC SECTION R408.1 & R408.2. SEE FEMA REGULATIONS.
 - PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER IRC SECTIONS R102.3 & R102.4.
 - PROVIDE INSULATION AS REQUIRED FOR PIPES AND DUCTWORK PER LOCAL ORDINANCES.
 - PROVIDE RADIANT FLOOR HEATING SYSTEM WITH 1 1/2" LIGHTWEIGHT CONCRETE TOPPING SLAB AS REQUIRED BY OWNER.
- 11) CONCRETE SLAB** (SEE SHEET A1.2 FOR FOUNDATION DRAINAGE) (SEE GEOTECHNICAL REPORT)
- 4" CONCRETE SLAB (6" OPTIONAL) OVER COMPACTED BASE OVER COMPACTED GRADE. SEE STRUCT.
 - PROVIDE 10 MIL VAPOR BARRIER W/ 1'-0" MIN. OVERLAP, LOCATED BETWEEN CONCRETE AND EARTH.
 - PROVIDE INSULATION PER DETAILS AND WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
 - PROVIDE RADIANT FLOOR HEATING SYSTEM WITH 1 1/2" LIGHTWEIGHT CONCRETE TOPPING SLAB AS REQUIRED BY OWNER.
- 12) TYPICAL FOUNDATION** (SEE SHEET A1.2 FOR FOUNDATION DRAINAGE) (SEE GEOTECHNICAL REPORT)
- CONCRETE STEMWALL ON A CONCRETE FOOTING - SEE STRUCT., BOTTOM OF FOOTING TO BE A MINIMUM OF 2'-0" BELOW FINISH GRADE, TO FROST LINE, OR AS REQUIRED BY STRUCTURAL ENGINEERING AND/OR THE 2012 IRC. PAINT EXPOSED STEMWALL TO MATCH EXTERIOR.
 - PROVIDE PERIMETER INSULATION PER DETAILS AND WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
- NOTES:** (SEE THE IBC CODE, SEE SHT. A0.1)
- CONTRACTOR TO STEP FOOTINGS AND FOUNDATION WALLS PER STRUCTURAL DETAILS AND AS REQD. PER FIELD CONDITIONS.

- 13) FOUNDATION DRAINAGE** (SEE SHT. A1.2 FOR FOUNDATION DRAINAGE) (SEE GEOTECHNICAL REPORT)
- 6" MIN. IMPERVIOUS EARTH AT SURFACE
 - FILTER FABRIC, TOP TO BOTTOM, BETWEEN EARTH AND GRAVEL
 - 12" MINIMUM WIDTH DRAINAGE GRAVEL
 - PROTECTIVE MATERIAL
 - WATERPROOF MEMBRANE
- NOTES:**
- PROVIDE 4" PERF. PIPE TO DAYLIGHT, WITH FILTER FABRIC COVER AT ENTIRE LENGTH.
 - PROVIDE PROTECTIVE SHALE / POSITIVE DRAINAGE FROM TOP OF RETAINING WALL AWAY FROM STRUCTURE AT ENTIRE LENGTH. SEE FINISH GRADE BELOW.
 - PROVIDE TAPERED INSULATION AT BACK SIDE OF FOOTING FOR DRAINAGE TO PERF PIPE.
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
- 14) INTERIOR FOOTING / PONY WALL** (SEE GEOTECHNICAL REPORT)
- 2x STUDS @ JOIST SPACING - SEE STRUCT.
 - PLYWOOD SHEATHING, WHERE OCCURS-SEE STRUCT.
 - 2x P.T. PLATE, POWDER DRIVEN-SEE STRUCT.
 - CONCRETE FOOTING-SEE STRUCT.
- NOTES:**
- PROVIDE CRAWL SPACE ACCESS TO ENTIRE UNDER-FLOOR AREA AS REQD. BY IRC SECTION R408.3.
 - PROVIDE MECHANICAL DUCT ACCESS TO ENTIRE UNDER FLOOR AREA AS REQUIRED.
 - PROVIDE 6 MIL VAPOR BARRIER WITH 12" MIN. OVERLAP
 - PROVIDE POST & BEAM FLOOR SUPPORT PER STRUCT., WHERE SHOWN
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
- 15) TYPICAL INTERIOR FOUNDATION** (SEE GEOTECHNICAL REPORT)
- CONCRETE STEMWALL ON A CONCRETE FOOTING - SEE STRUCT., BOTTOM OF FOOTING TO BE A MINIMUM OF 2'-0" BELOW FINISH GRADE, TO FROST LINE, OR AS REQUIRED BY STRUCTURAL ENGINEERING AND/OR THE 2012 IRC
- NOTES:**
- PROVIDE CRAWL SPACE ACCESS TO ENTIRE UNDER-FLOOR AREA AS REQD. BY IRC SECTION R408.3.
 - PROVIDE MECHANICAL DUCT ACCESS TO ENTIRE UNDER FLOOR AREA AS REQUIRED.
 - PROVIDE 6 MIL VAPOR BARRIER WITH 12" MIN. OVERLAP
 - SEE GEOTECHNICAL REPORT FOR EXISTING SOILS AND/OR ENGINEERED FILL REQUIREMENTS FOR ENTIRE SITE AREA, WHERE REQD.
 - SEE GEOTECHNICAL REPORT FOR COMPACTION TESTS AND RESULTS FOR ENTIRE SITE AREA, WHERE REQD.
- 16) FINISH GRADE** (SEE GEOTECHNICAL REPORT)
- THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'-0" PER IRC R401.3, SEE ALSO EXCEPTION WHERE CONDITIONS PROHIBIT FULL COMPLIANCE.
 - FIELD VERIFY ALL EXISTING AND PROPOSED CONDITIONS, AND COORDINATE WITH SITE PLAN, FOUNDATION PLAN (STAKEED OR HUNG JOISTS) AND CODE REQUIRED SITE DRAINAGE, ALL DRAINAGE SWALES TO SLOPE 1% MIN. TO EROSION CONTROL BASIN OR STREET AS SHOWN.
- NOTES:**
- ALL PROPOSED YARD DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN AS REQD. COORD. WITH GEOTECH REPORT.
 - PROVIDE PERIMETER FOUNDATION DRAINS TO DAYLIGHT AT DRY WELL OR EROSION CONTROL BASIN. COORD. WITH GEOTECH REPORT AND AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS.
 - PROVIDE POSITIVE DRAINAGE TO SUMP PUMPS) IN CRAWL SPACE AREA TO PROPERLY DRAIN ENTIRE AREA AS REQUIRED BY GEOTECH REPORT AND/OR AS MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. COORDINATE WITH FOUNDATION DRAINAGE WHERE REQD.

NOTE:

SEE SHEET A0.1 FOR THE WILDLAND URBAN INTERFACE CODE (WUI) PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION, I.E., ROOFS, EAVES, FASCIA, VENTS, EXTERIORS AND WALLS, WINDOWS, DOORS, APPENDAGES, I.E., DECKS, ENCLOSED UNDERFLOOR, AND GUTTERS AND DOWNSPOUTS SHALL STRICTLY COMPLY WITH ALL REQUIREMENTS OF THIS CODE.

NOTE:

SEE GEOTECHNICAL REPORT AS MAY BE REQUIRED FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR AND EXCAVATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH GEOTECH REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:

PROVIDE RADON TESTING AS MAY BE REQUIRED FOR THIS AREA. EXCESSIVE RADON GASES SHALL BE MITIGATED USING A PASSIVE OR ACTIVE RADON REDUCTION SYSTEM AS MAY BE RECOMMENDED IN RADON REPORT AND/OR COUNTY ORDINANCES. CONTRACTOR, FOUNDATION AND EXCAVATION CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE RADON REPORT PRIOR TO CONSTRUCTION AND CONSULT WITH ENGINEER REGARDING ANY AND ALL CONCERNS OR COMMENTS.

NOTE:

SEE PROJECT SPECIFICATIONS, SHEET SP-1, FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

NOTE:

DESIGN-BUILD EXCAVATION CONTRACTOR TO PROVIDE EROSION CONTROL PER A1.1 AND THE WASHOE COUNTY MUNICIPAL CODE, SEE EROSION CONTROL NOTES, SHEET A1.2.

NOTE:

SEE DETAILS ON SHEET A1.2 FOR FOOTING AND UNDER SLAB DRAINAGE AND OTHER PERTINENT SITE INFORMATION.

NOTE:

PROVIDE DEFENSIBLE SPACE AS REQUIRED BY THE IBC CODE, LOCAL FIRE AGENCIES, WASHOE COUNTY ORDINANCES AND OWNERS RECOMMENDATIONS.

NOTE:

PROVIDE FOR DISASTER RELIEF SUPPLIES' STORAGE AREA AS REQD. BY OWNER.

Revisions

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ARCHITECTURAL COMMITTEE STAMP

A Detached Accessory Dwelling Unit
Shelly Webb
 Only For The Property Located At:
 7420 Franklown Road
 Washoe Valley, Nevada 89710
 APN: 055-28T-09

BUILDING SECTIONS

Drawn & Checked by: DB

Date: July 23, 2020

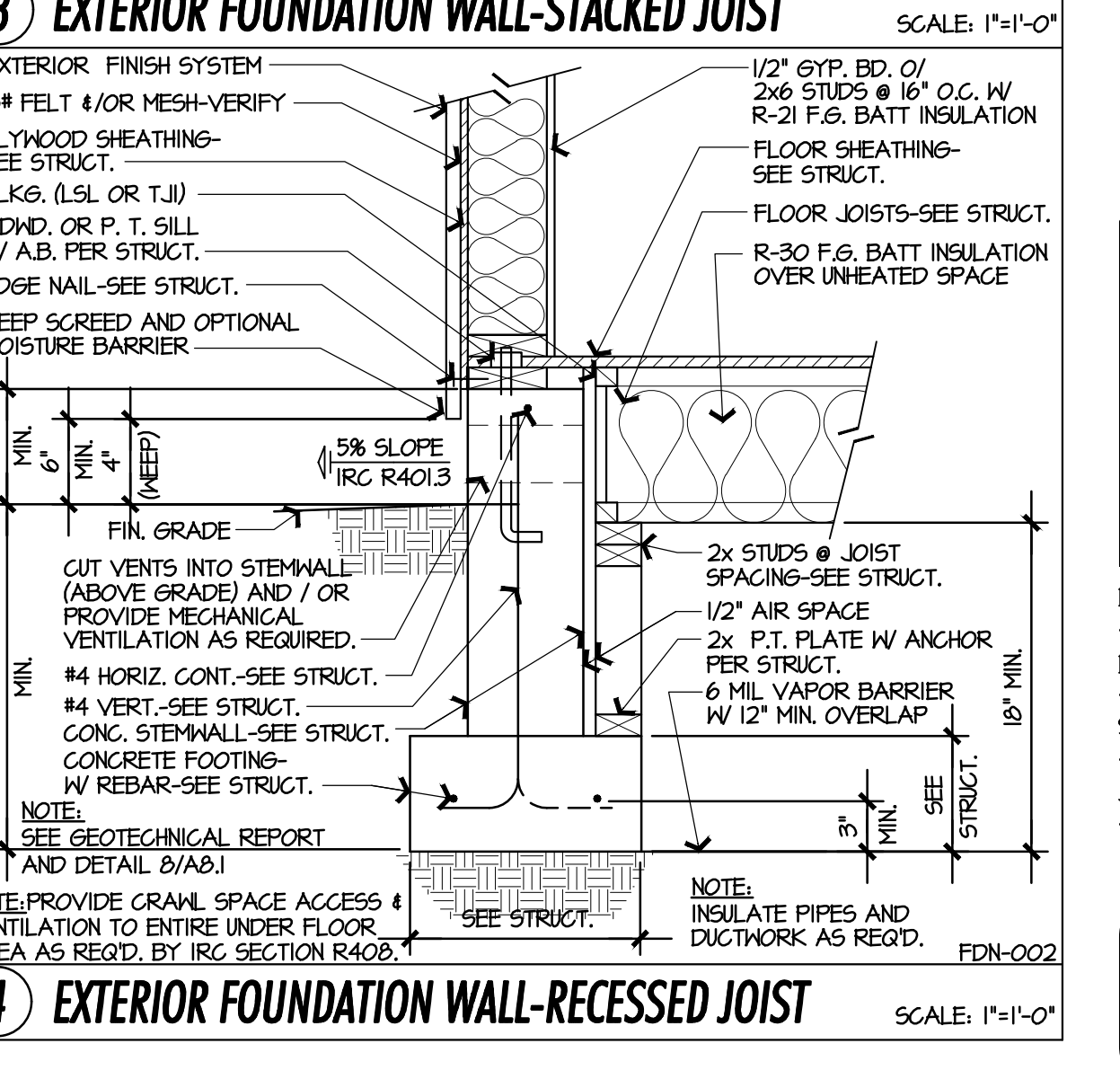
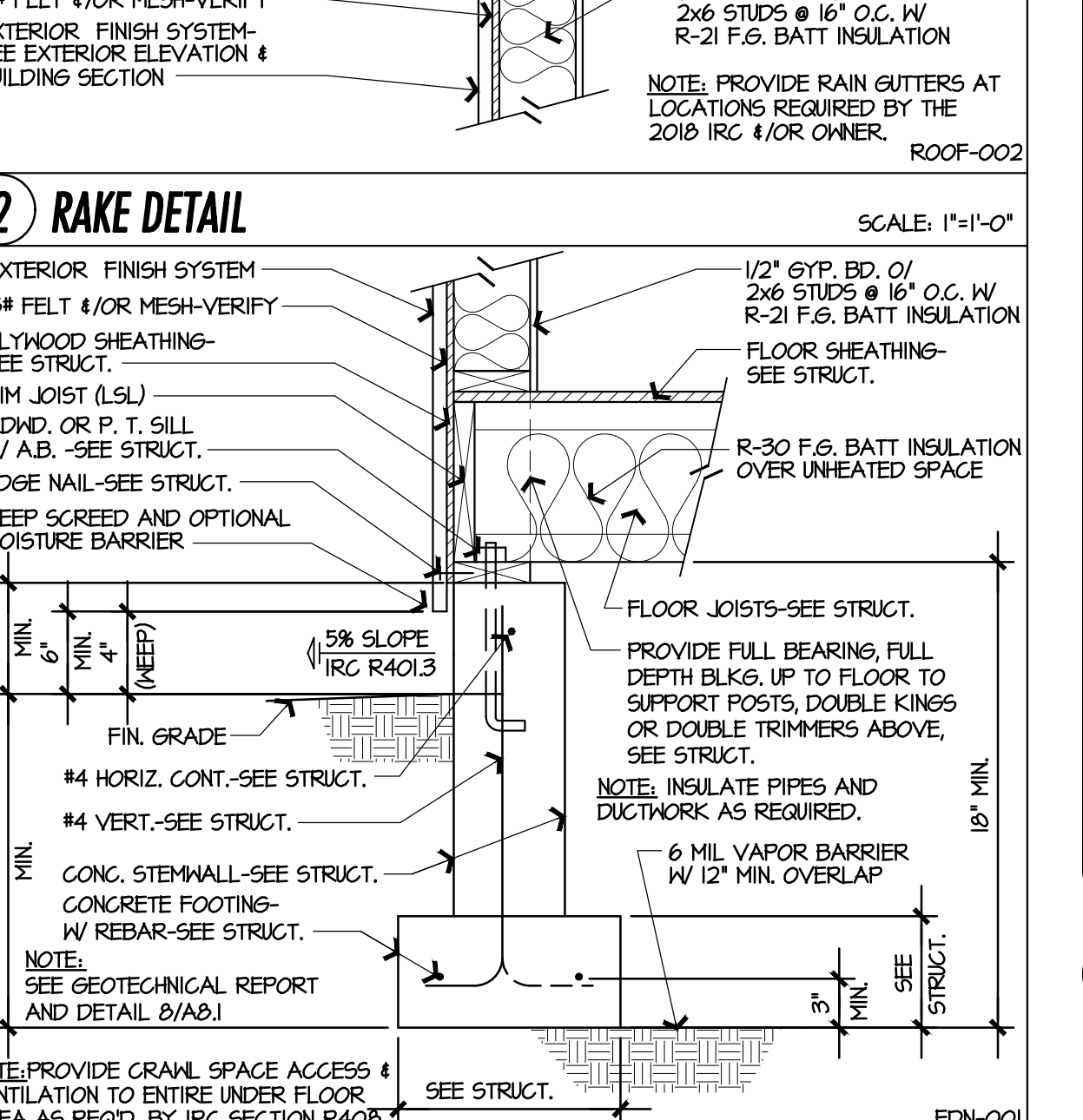
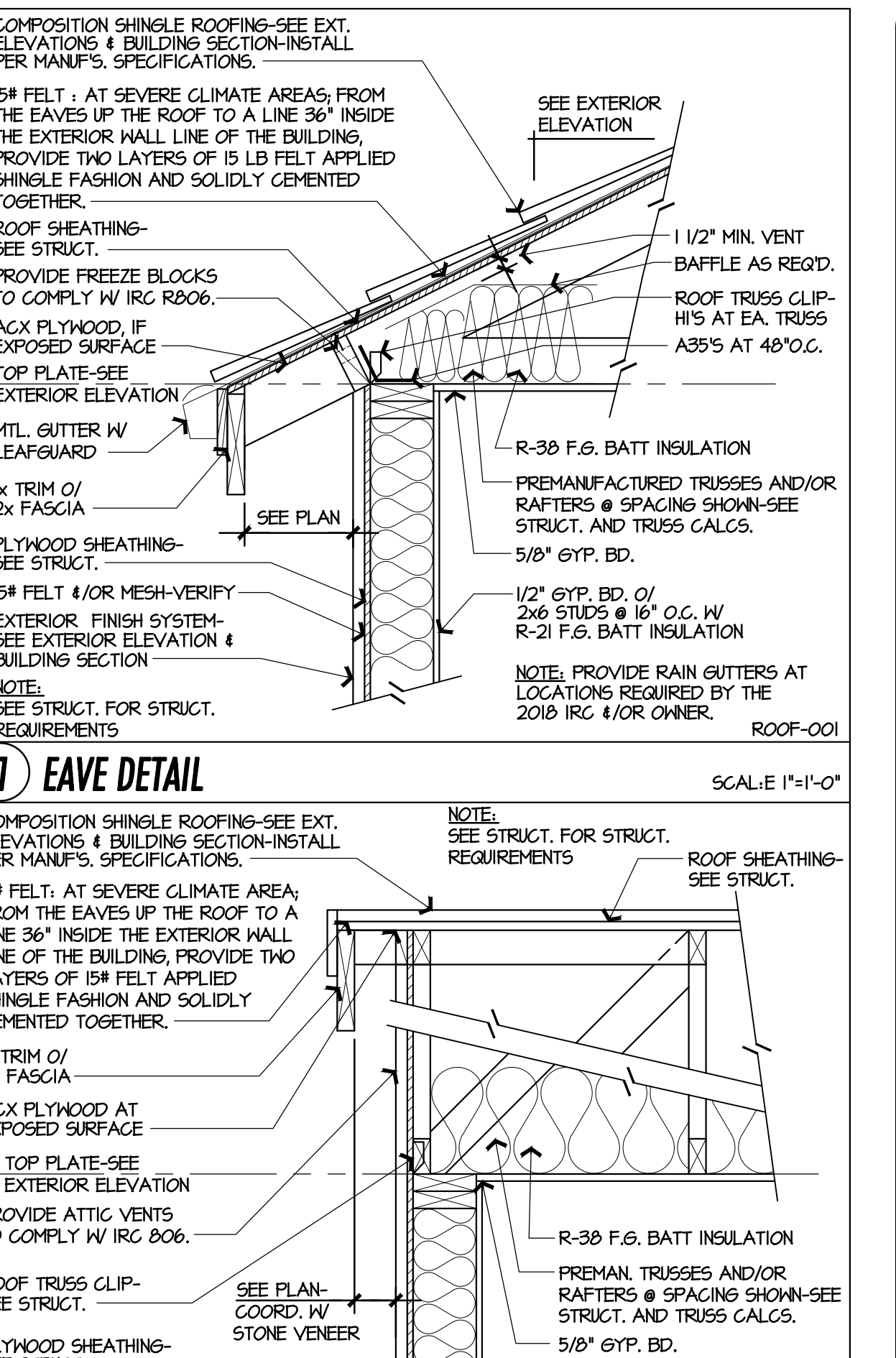
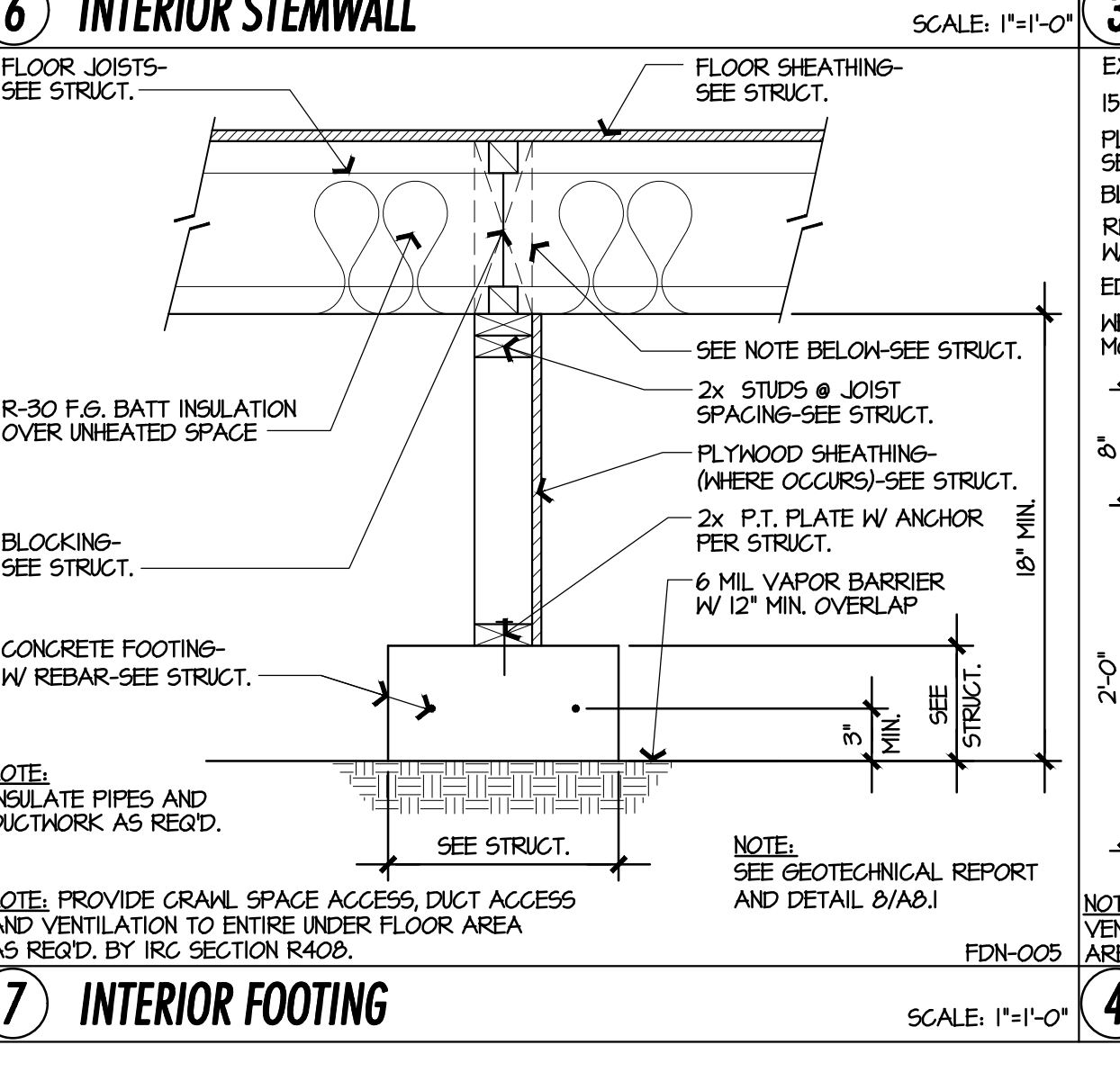
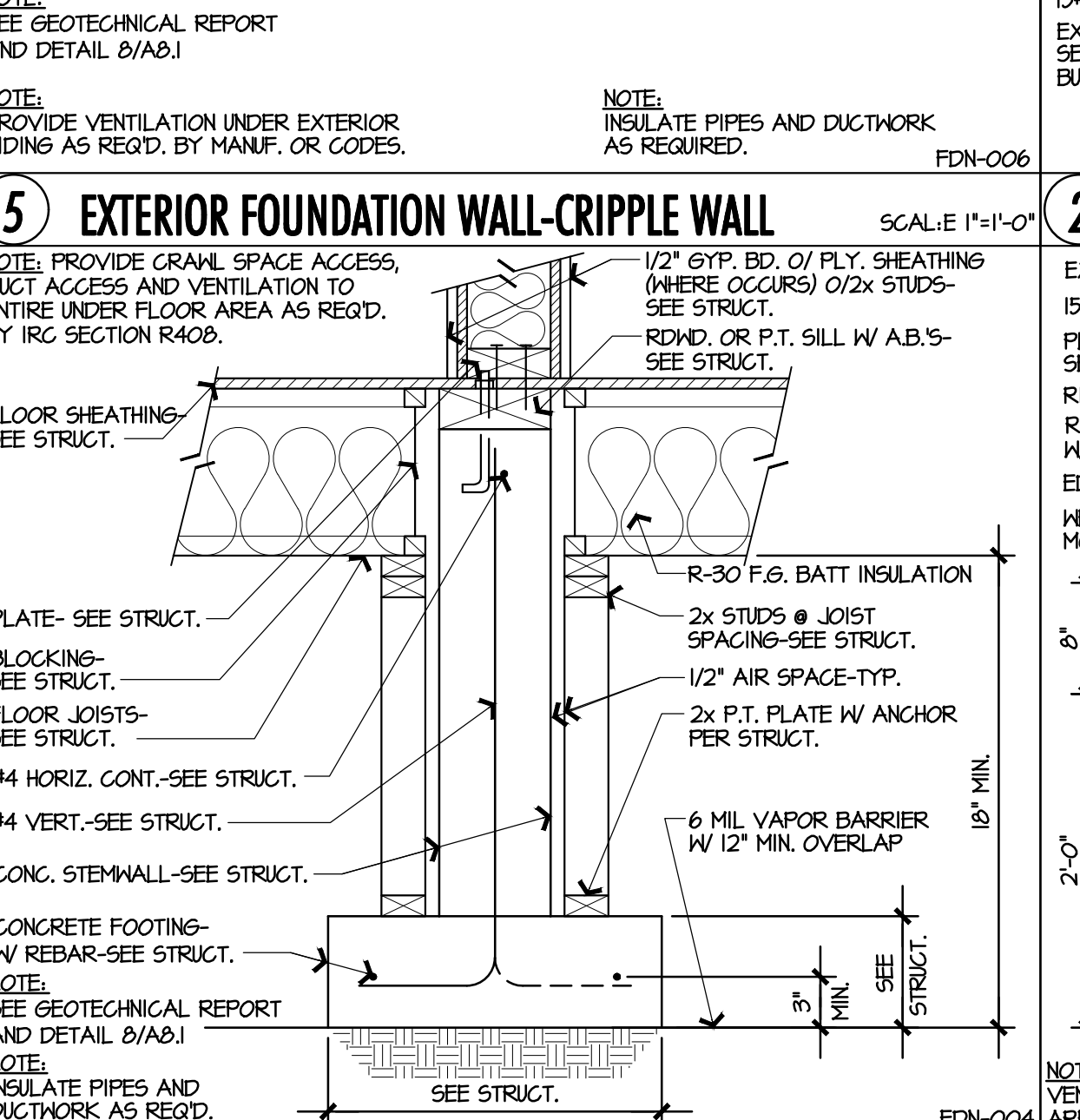
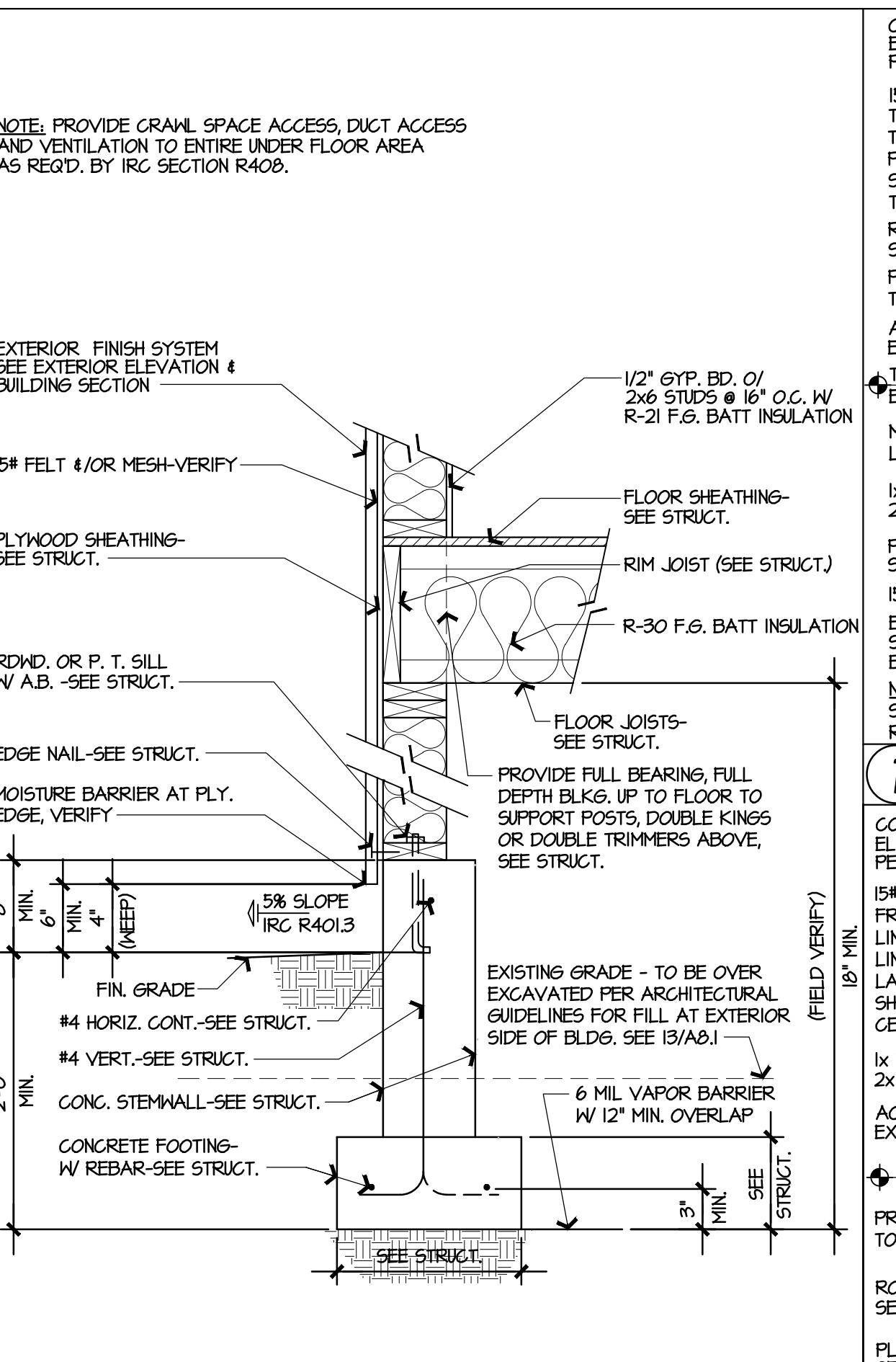
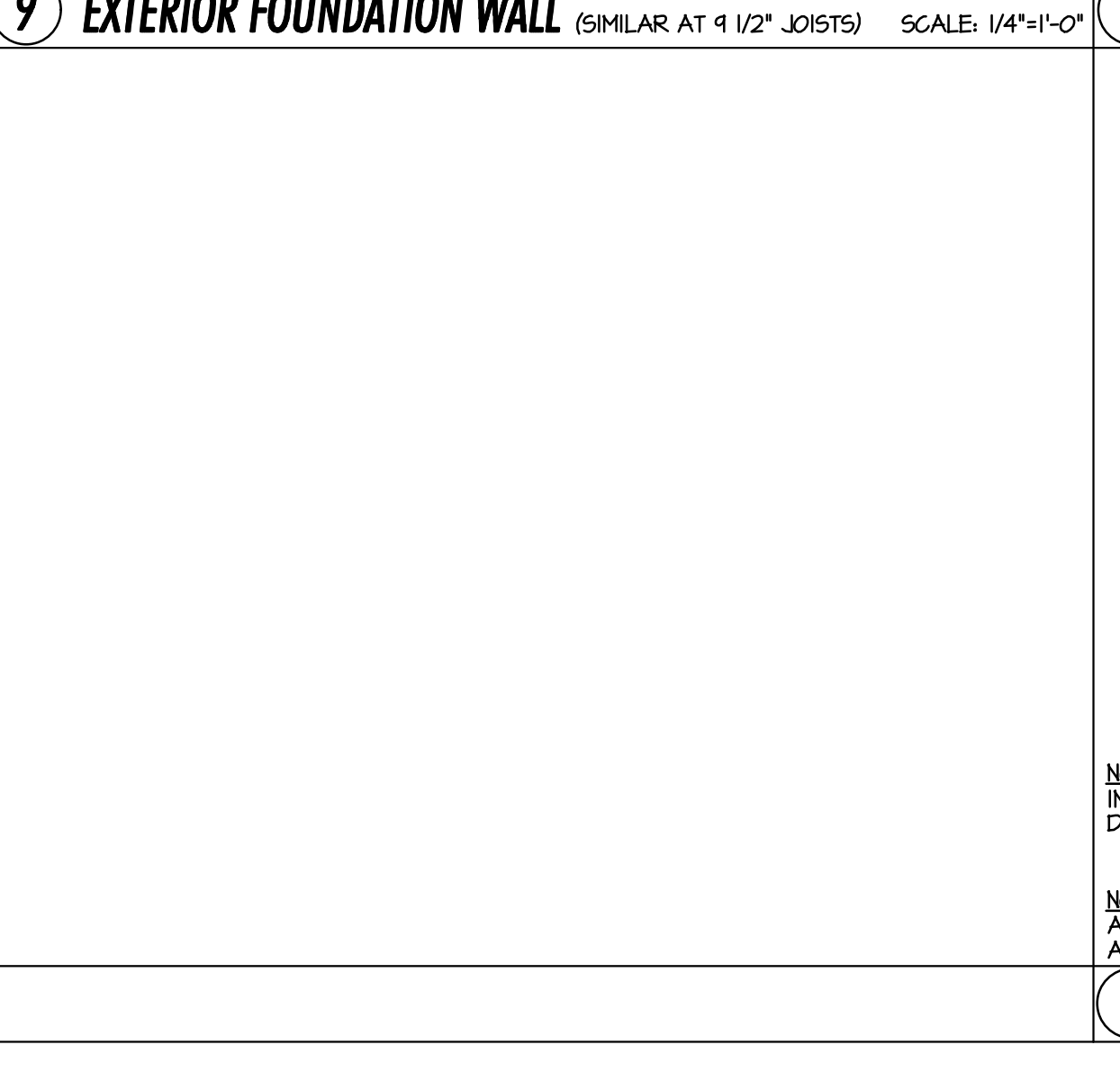
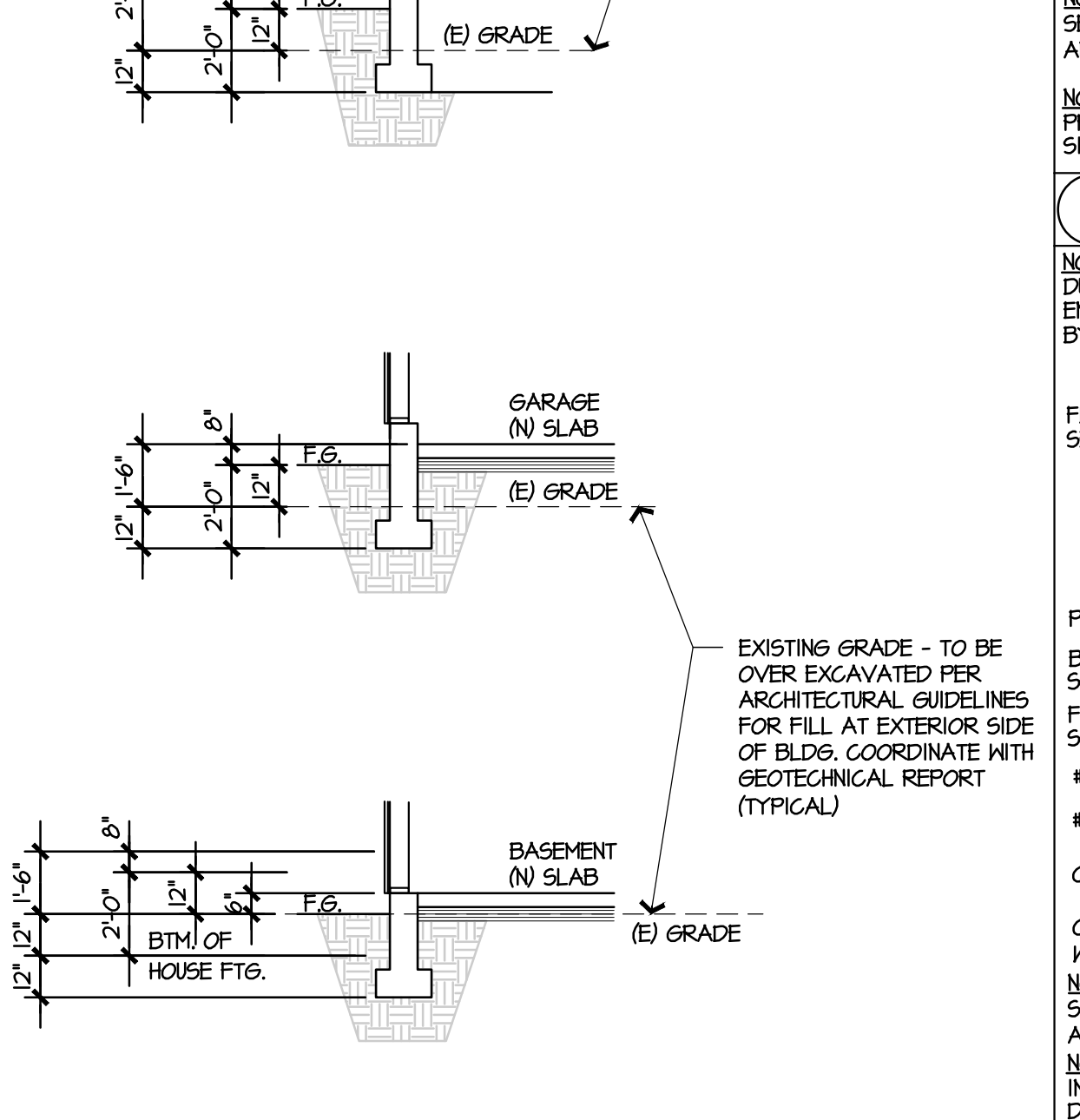
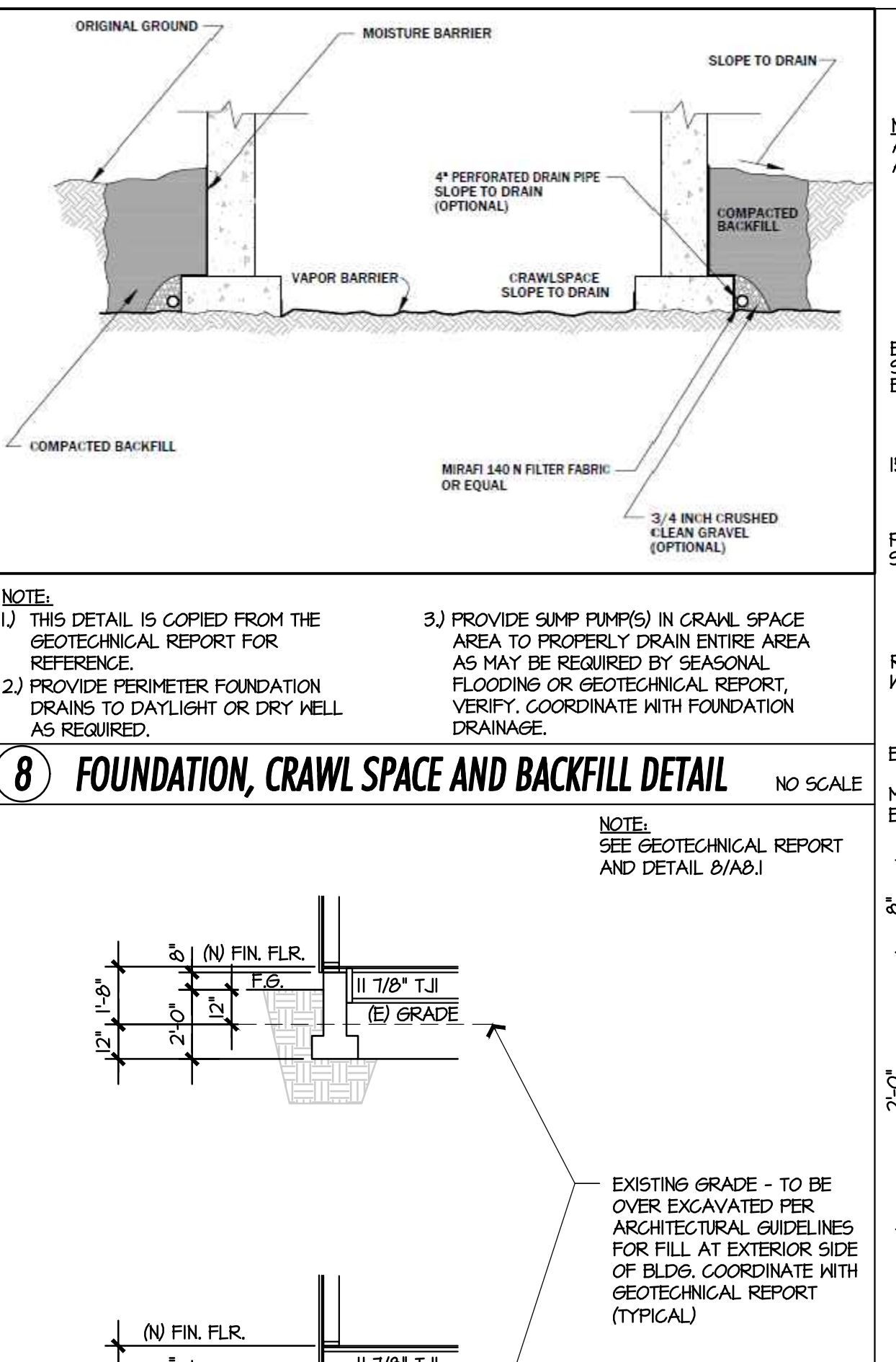
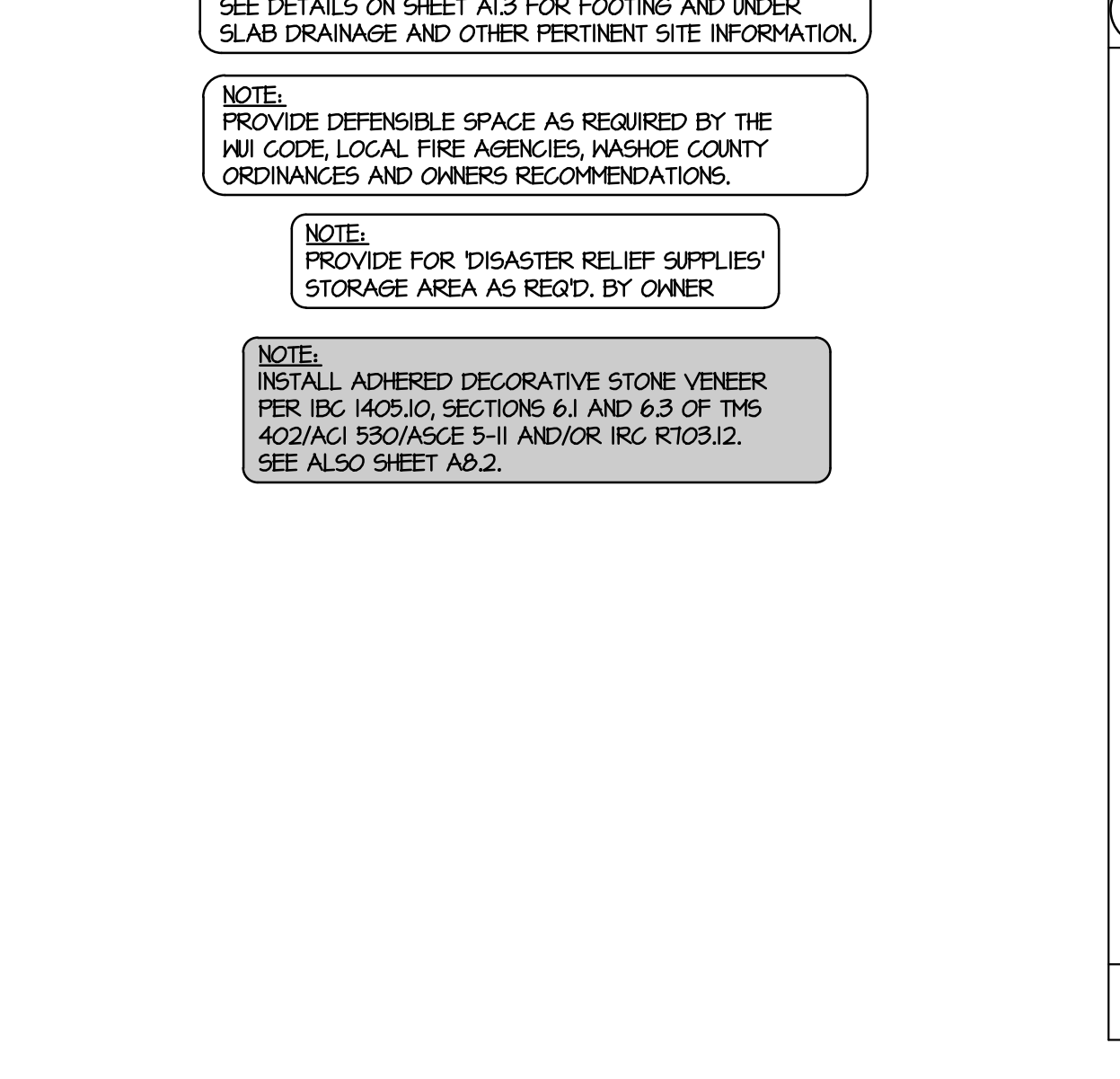
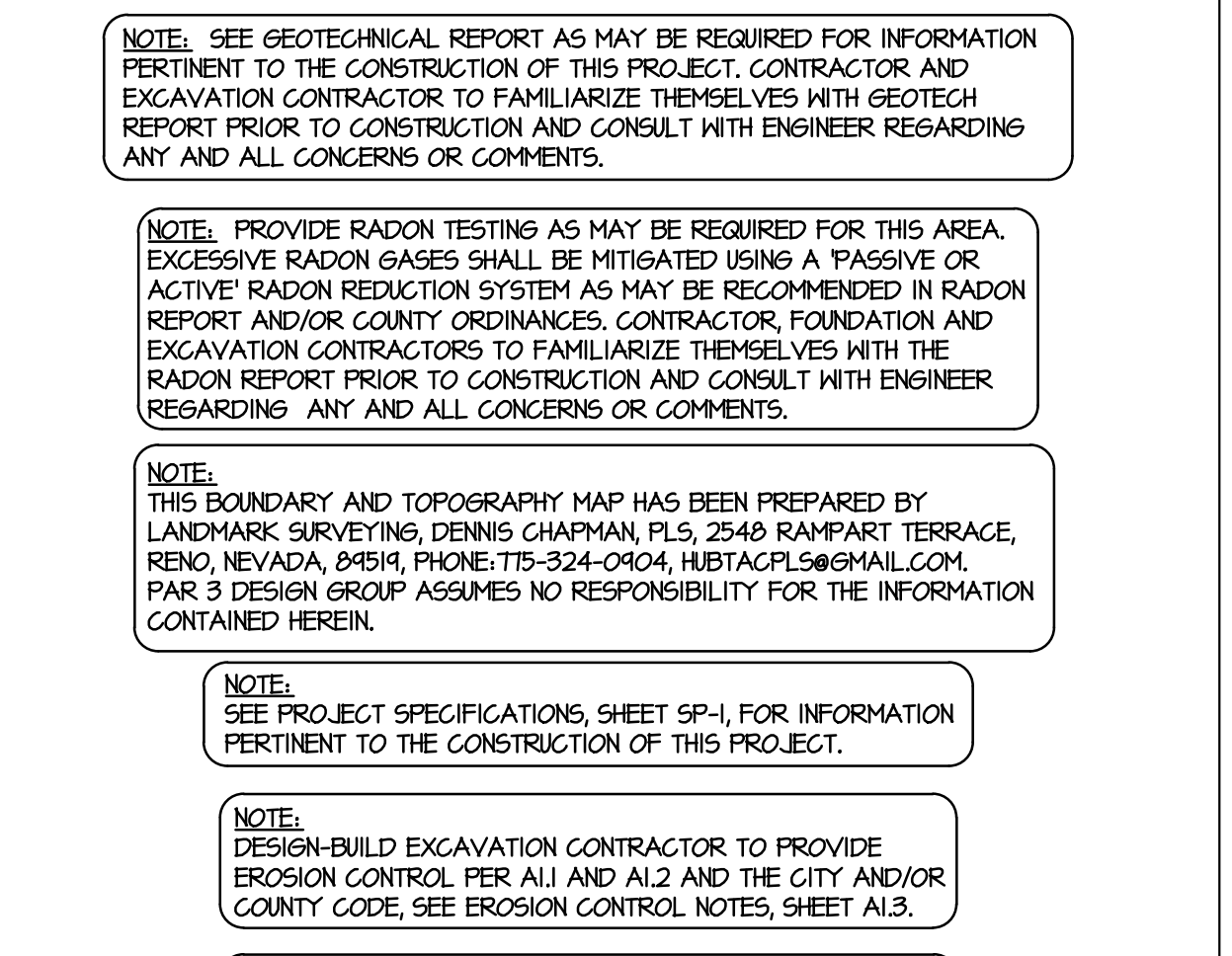
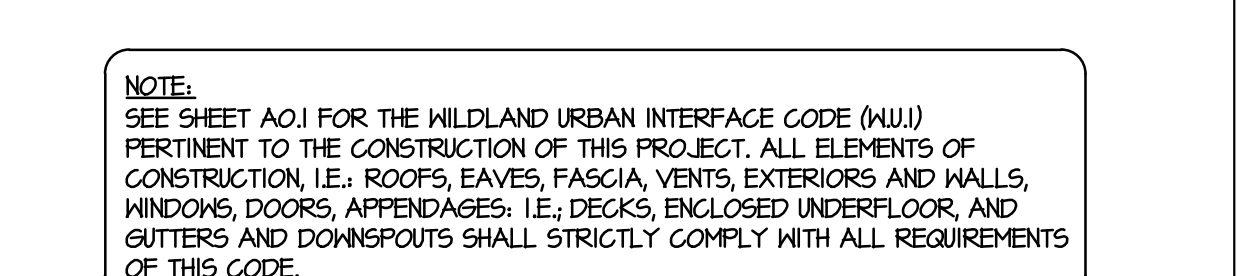
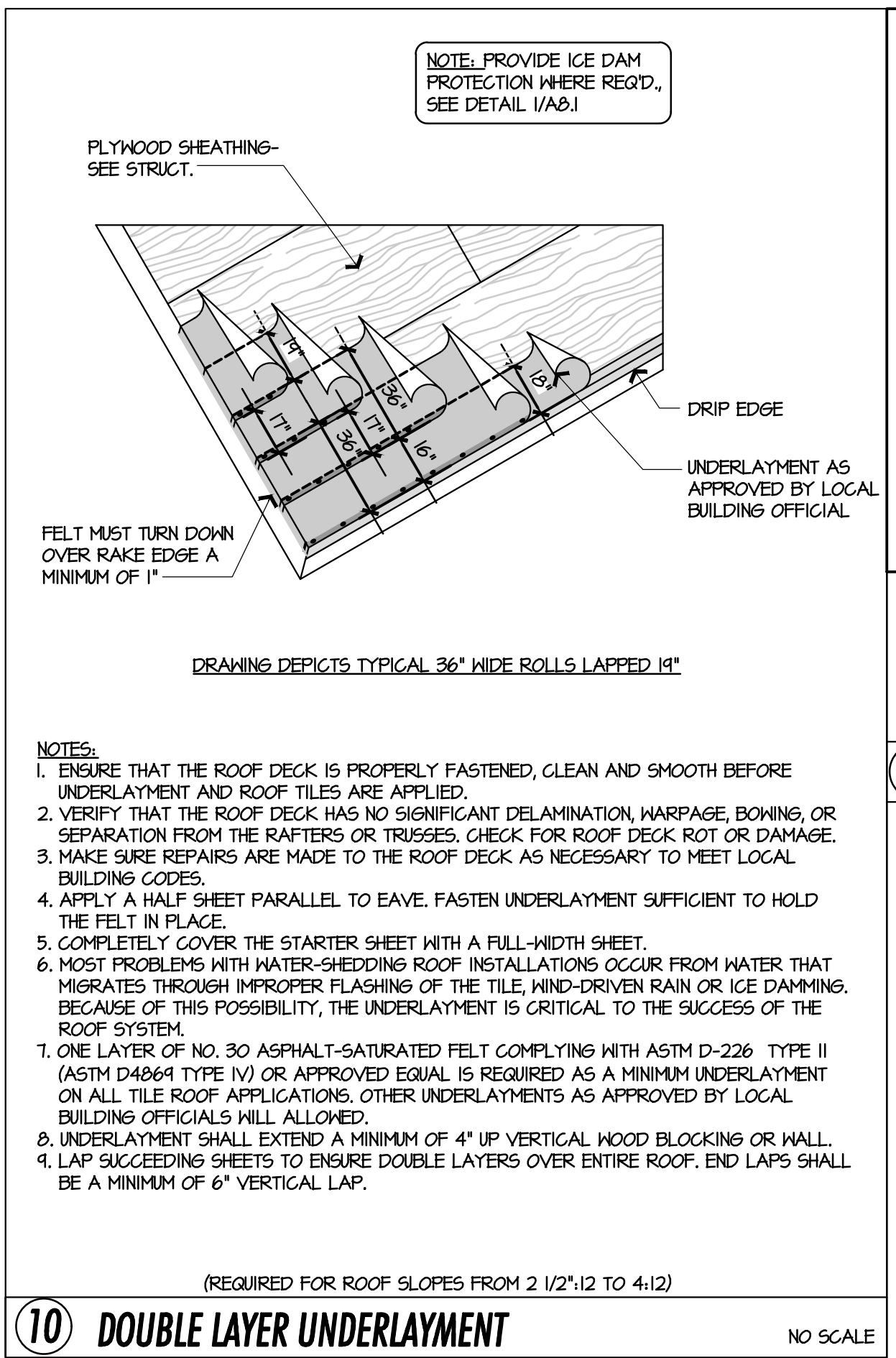
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Job No.: 20001

DADAR

SHEET
A4.1
 9 OF 10 SHEETS

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Revisions

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A Detached Accessory Dwelling Unit
Shelly Webb
 Only For The Property Located At:
 7420 Franktown Road
 Washoe Valley, Nevada 89104
 APN: 055-287-01

ARCHITECTURAL DETAILS

ARCHITECTURAL COMMITTEE STAMP:

David D. Blay
 CERTIFICATION NO. 28-108
 TM

Drawn & Checked by: DB
 Date: July 23, 2020
 Scale: 1/4" = 1'-0"
 Job No.: 20001

D.A.D.A.R.
 SHEET
A8.1
 10 OF 10 SHEETS

Search...



Click on a contour line to identify its elevation





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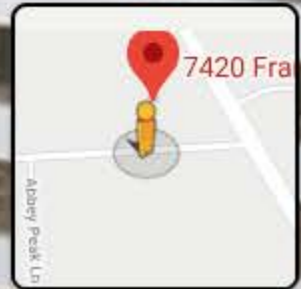




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