

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <u>Greenhalgh Residence</u>			
Project Description: <u>Demo of existing 400 sqft Dwelling - Reassign existing 600 sqft Dwelling as an Detached Accessory Dwelling Unit. Construct a main dwelling unit of 3347 Square feet</u>			
Project Address: <u>2600 Holcomb Ranch Lane</u>			
Project Area (acres or square feet): <u>4.386</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>2600 Holcomb Ranch Lane</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>230-060-10</u>	<u>4.386</u>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>Ryan + Ashley Greenhalgh</u>		Name: <u>JLS Design</u>	
Address: <u>2600B Holcomb Ranch Lane</u>		Address: <u>PO Box 9365</u>	
Zip: <u>89511</u>		Truckee CA Zip: <u>96162</u>	
Phone: <u>775-691-3759</u> Fax:		Phone: <u>530-587-5232</u> Fax:	
Email: <u>ryan@titanelectric.biz</u>		Email:	
Cell: <u>691-3759</u> Other:		Cell: Other:	
Contact Person: <u>Ryan Greenhalgh</u>		Contact Person: <u>Joel Sherman</u>	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: <u>J</u>	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Greenhelgl

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Ryan Greenhelgl (please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 230-060-10

Printed Name Ryan Greenhelgl

Signed [Signature]

Address 2600 B Hobbs Ranch

[Signature]

(Notary Stamp)

Subscribed and sworn to before me this 6 day of February, 2019

Washoe County, Nevada
Notary Public in and for said county and state

My commission expires: 7-1-2021



*Owner refers to the following: (Please mark appropriate box.)

- Owner
 Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
 Power of Attorney (Provide copy of Power of Attorney.)
 Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 Property Agent (Provide copy of record document indicating authority to sign.)
 Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Greenhalgh

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Ashley Greenhalgh
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 230-060-10

Printed Name Ashley Greenhalgh

Signed A Greenhalgh

Address 2600 Holcomb Ranch Ln

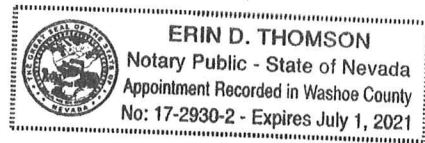
#B Reno, NV 89511

Subscribed and sworn to before me this 8 day of February, 2019

Washoe County, Nevada
Notary Public in and for said county and state

My commission expires: 7-1-2021

(Notary Stamp)



X Erin D Thomson

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

3,347 square foot

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Dwelling 600sq' approved (stud 01-2727) garage 12' ± 1500 sqft

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Existing Structures will be modified to match new dwelling

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

5 car garage to be constructed with new residence

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

Existing structures removed and replaced with Landscaping

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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Trying to redesignate existing NE Dwelling will remain as detached accessory

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	Septic
Electrical Service	NVE	NVE
Solid Waste Disposal Service	Waste Managment	Waste Managment
Water Service	Well	Well

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
23006010	Active	2/8/2019 2:07:01 AM

Current Owner:
GREENHALGH, RYAN H & ASHLEY R

2600 HOLCOMB RANCH LN B
RENO, NV 89511

SITUS:
2600 HOLCOMB RANCH LN
WCTY NV

Taxing District
4000

Geo CD:

Legal Description

Block Range 19 SubdivisionName _UNSPECIFIED Township 18 Section 12 Lot

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2018	\$5,603.77	\$5,603.77	\$0.00	\$0.00	\$0.00
2017	\$5,350.81	\$5,350.81	\$0.00	\$0.00	\$0.00
2016	\$5,357.04	\$5,357.04	\$0.00	\$0.00	\$0.00
2015	\$5,346.97	\$5,346.97	\$0.00	\$0.00	\$0.00
2014	\$5,316.30	\$5,316.30	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

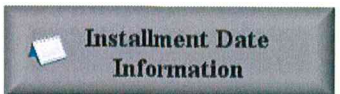
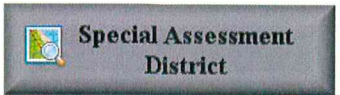
- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

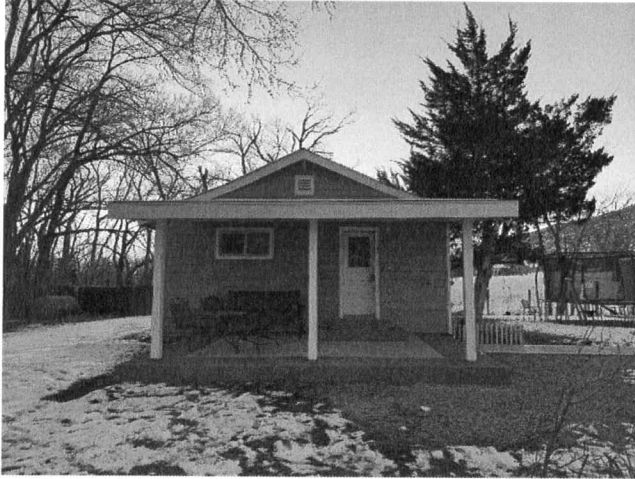
Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845



Dwelling To Remain



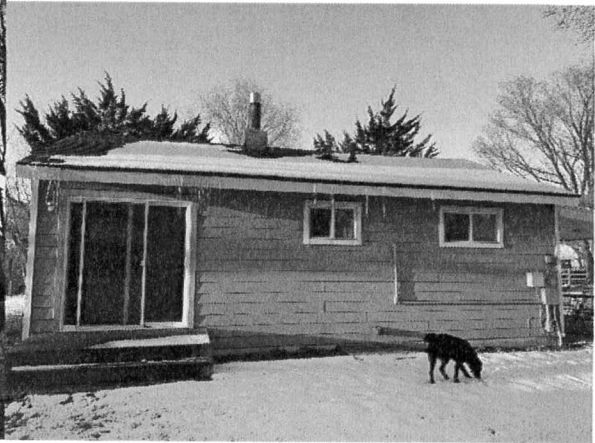
West Elevation



South Elevation



East Elevation



North Elevation

Dwelling To Be Removed



East Elevation

South Elevation



West Elevation

North Elevation



WASHOE COUNTY
Department of Building & Safety
"Dedicated to Excellence in Public Service"
BUILDING PERMIT
INSPECTION LINE (775) 325-8000
www.washoecounty.us/building



(775) 328-2020
 (775) 328-6132 FAX

Address: 2600 HOLCOMB RANCH LN	Permit No: WBLD19-100401	Applied: 02/07/2019
Location:	Permit Type: Special Inspection Permit	Issued: 02/07/2019
Parcel No: 230-060-10	Type: Residential	Status: Issued
Zoning:		Expire: 08/08/2020
Area: SOUTHWEST	Occupancy:	Use Code:

OWNER	GREENHALGH, RYAN H & ASHLEY R 2600 HOLCOMB RANCH LN # B RENO, NV 89511	Phone 1: Phone 2: Email:
CONTRACTOR	TITAN ELECTRICAL CONTRACTING INC 5450 MILL STREET RENO, NV 89502 License: 0069843	Phone 1: Phone 2: Phone 3: Email:
CONTACT	RYAN GREENHALGH TITAN ELECTRICAL CONTRACTING INC 5450 MILL STREET RENO, NV 89502	Phone 1: 775-691-3759 Phone 2: Phone 3: Email: RYAN@TITANELECTRIC.BIZ

Permit Description: **TO DEMO ONE OF TWO EXISTING HOMES (SMALLER 400 SQF HOME) ON PARCEL - SEE NEW SFD PERMIT WBLD19-100365**

Valuation: **\$0.00**

Occupancy	Type	Factor	Sq Feet	Valuation
Totals				

FEES:	Building Fee:	\$0.00	Renewal Fee:	\$0.00	TOTAL FEES:	\$94.00
	Reinspection Fee:	\$0.00	Impact Fee:	\$0.00	PAYMENTS:	\$94.00
	Water Resources Fee:	\$0.00	Violation Fee:	\$0.00	BALANCE DUE:	\$0.00
	Plan Check Fee:	\$0.00	Regional Tech Fee:	\$0.00		
	Move/Alter Fee:	\$0.00	Other Fee:	\$94.00	RRIF & Health Fees to be determined	

Permission is hereby granted to do the work for the building described in this application, in accordance with the Rules, Regulations and Ordinances of the County of Washoe, along with the plans and specifications filed herewith.

IMPORTANT TIME DEADLINES: ____ (initial)

I UNDERSTAND THAT FINAL INSPECTION OR RENEWAL OF THIS PERMIT MUST BE MADE PRIOR TO THE EXPIRATION DATE OR NEW PLANS MUST BE SUBMITTED AND PERMIT FEES PAID PRIOR TO FINAL INSPECTION. PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE, WITH NO GRACE PERIOD. IF THE DATE OF EXPIRATION FALLS ON A WEEKEND OR HOLIDAY, THE PERMIT MUST BE RENEWED ON THE LAST BUSINESS DAY PRIOR TO THE EXPIRATION. I UNDERSTAND THIS IS THE ONLY NOTICE I WILL RECEIVE FOR RENEWAL OF THE PERMIT AND KEEPING THE PERMIT RENEWED AND IN A VALID STATUS IS MY RESPONSIBILITY.

DISCLAIMERS: INDEMNIFICATION: ACKNOWLEDGMENTS BY PERMITTEE: ____ (initial)

I UNDERSTAND THAT THE INSPECTIONS PROVIDED BY WASHOE COUNTY ARE VERY LIMITED AND DO NOT COVER ALL OF THE WORK PERFORMED UNDER THE AUTHORITY OF THIS PERMIT. THE INSPECTIONS ARE OCCASIONAL SPOT CHECKS, MUCH LIKE AN AUDIT; THEREFORE MANY PARTS OF THE WORK ARE NOT INSPECTED. IF MORE INSPECTION IS DESIRED, A PRIVATE INSPECTOR MUST BE HIRED BY THE PERMITTEE. NEITHER THE INSPECTIONS BY THE COUNTY NOR THE CERTIFICATE OF OCCUPANCY CONSTITUTE A REPRESENTATION BY THE COUNTY THAT THE WORK WAS INSPECTED OR THAT THE WORK COMPLIES WITH COUNTY ORDINANCES.

I HEREBY AGREE TO DEFEND AND TO SAVE, INDEMNIFY AND KEEP HARMLESS THE COUNTY OF WASHOE AND ITS OFFICERS, EMPLOYEES AND AGENTS AGAINST ALL LIABILITIES, JUDGEMENTS, COSTS AND EXPENSES WHICH MAY ACCRUE AGAINST THE COUNTY IN CONSEQUENCE OF GRANTING OF THIS PERMIT OR CERTIFICATE OF OCCUPANCY, IN CONSEQUENCE OF THE COUNTY'S OWN NEGLIGENCE OR ITS OTHERS ACTS OR OMISSIONS WITH RESPECT TO THIS PERMIT OR A CERTIFICATE OF OCCUPANCY, OR IN CONSEQUENCE OF THE USE OR OCCUPANCY OF ANY WORK, SIDEWALK, SUB-SIDEWALK OR STREET, OR OTHERWISE BY VIRTUE THEREOF, AND WILL IN ALL THINGS STRICTLY COMPLY WITH THE CONDITIONS OF THIS PERMIT AND PROVISIONS OF THE RULES, REGULATIONS AND ORDINANCE OF THE COUNTY OF WASHOE.

ROUTE SLIP

Address: 2600 HOLCOMB RANCH LN
 Location:
 Parcel No: 230-060-10

Permit No: **WBLD19-100365**
 Permit Type: Residential New, Addition or Remodel Permit
 Type: New Single Family

Occupancy:	Use Code:	Applied: 02/05/2019
Inspection:		Issued:
Zoning:		Status: In Review
Area: SOUTHWEST		Expire:
Sewer: Septic	Water: Well	
Special Use:	Census: 101 Single Family Dwelling	
Variance No:	# Units: 1	
M.P.R No:	# Bldgs: 1	

OWNER	GREENHALGH, RYAN H & ASHLEY R 2600 HOLCOMB RANCH LN # B RENO, NV 89511	Phone 1: Phone 2: Email:
CONTRACTOR	TITAN ELECTRICAL CONTRACTING INC 5450 MILL STREET RENO, NV 89502 License: 0069843	Phone 1: Phone 2: Phone 3: Email:
CONTACT	RYAN GREENHALGH	Phone 1: 775-691-3759 Phone 2: Phone 3: Email: RYAN@TITANELECTRIC.BIZ

Permit Description: **NEW TWO STORY SINGLE FAMILY DWELLING 3,347 SQ FT / 3 BEDROOMS / 3.5 BATHROOMS / ATTACHED 5 CAR GARAGE 1,879 SQ FT / MECHANICAL AND STORAGE AREAS 870 SQ FT / ONE OF THE EXISTING HOUSES TO BE DEMOED ON SEPERATE PERMIT**

Valuation: **\$428,597.12**

Occupancy	Type	Factor	Sq Feet	Valuation
R-3 Residential, one- and two-family, additions	VB	94.99	3,347	\$317,931.53
U Utility, miscellaneous	VB	36.91	2,749	\$101,465.59
OR Carport, Awning, Patio Cover	-	20.00	460	\$9,200.00
		Totals	6,556	\$428,597.12

FEES:	Building Fee:	\$3,048.59	Renewal Fee:	\$0.00	TOTAL FEES:	\$6,384.89
	Reinspection Fee:	\$0.00	Impact Fee:	\$0.00	PAYMENTS:	\$3,214.30
	Water Resources Fee:	\$0.00	Violation Fee:	\$0.00	BALANCE DUE:	\$0.00
	Plan Check Fee:	\$1,524.30	Regional Tech Fee:	\$0.00		
	Move/Alter Fee:	\$0.00	Other Fee:	\$1,812.00		RRIF & Health Fees to be determined

Applications for which no permit is issued within **180 days** following the date of application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. The building official may extend the time for action by the applicant for a period not exceeding 180 days on a request by the applicant showing that circumstances beyond the control of the applicant have prevented action from being taken. No application shall be extended more than once. In order to renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee.

site plan legend:

- FLOW LINE
- - - PROTECT. FENCE
- - - POWER LINE
- - - TELEPHONE LINE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - DEMOLISHED
- TREE SIZE 4 TYPE
- TREE TO BE REMOVED
- PAVER DRIVEWAY
- COLORED CONC.
- SNOW STORAGE
- DRIFLINE TRENCH
- INFILTRATION TRENCH
- UT - UTILITY TRENCH
- UT - JOINT UTILITY TRENCH
- GLAS - NATURAL GAS LINE
- W - WATER LINE
- SS - SEWER LINE

site plan notes:

1. TOPOGRAPHIC SURVEY PROVIDED BY MEYER SURVEYING. JOB NAME "GREENHALGH FAMILY TRACT," DATED 03/2011.
2. SLOPE ADJACENT GRADE, SLABS, & PATIOS 1/4" / FT. DOWN AWAY FROM THE RESIDENCE (TYP., UNCL.).
3. FUNDATION DRAINS TO BE TIED INTO SITE DRAINAGE DISPERSION SYSTEM.
4. ALL SITE LIGHTING TO BE LOW VOLTAGE AND HAVE PHOTO SENSOR OR TIMER.
5. TERRACE WALKS, PATIOS, CONCRETE PAVES, WALKWAYS, DECKS, ETC. IN A HOLD OR STEL SPACED AT APART 8" BOTH DIRECTIONS. THE RESIDUAL SPACE TO BE PLANTED WITH CREeping VINE. CONCRETE PAVES SHALL BE STAINED WITH A SUELFIELD LITHIUM-BASED "TITANIUM STAIN, COLOR "D041" AUTUMN WINE.
6. NO IRRIGATION PLAN IS PROPOSED AS PART OF THIS PERMIT.
7. ADDRESS SIGNS AND PORTABLE TOILET SHALL BE ON THE JOB SITE AT THE TIME OF FIRST INSPECTION. PERMANENT IDENTIFICATION OF SITE ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, SHALL BE ARABIC OR ALPHABETICAL, A MINIMUM OF 4" HIGH w/ A MINIMUM STROKE WIDTH OF 1/8".
8. CALL UNDERGROUND SERVICE ALERT NORTH 85A NORTH - 8U FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION 8U.
9. CALL UNDERGROUND SERVICE ALERT NORTH 85A NORTH - 8U FOR UTILITY LOCATIONS PRIOR TO ANY DIGGING.
10. CONTRACTOR TO VERIFY SEWER/RAIN UTILITY LOCATIONS & CONNECTIONS WITH PLUD. AND ELEVATIONS SERVICE PROVIDERS. INSTALL ALL UTILITIES IN AN APPROVED TRENCH & IN ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES.

LOZ SIZE: 1/2" DIA. 30 FT. x 48" DEEP
 48" DIA. 30 FT. x 48" DEEP

BRADING: CUT: 6" TO 12"
 FILL: 6" TO 12"

BLDG. CUT: 6" TO 12"
 FILL: 6" TO 12"

DISBURSED AREA: 50 FT. x 50 FT.

* ROUGH GRADING ESTIMATE. ENGINEER TO VERIFY.

survey notes:

NOTES:

1. A FIELD SURVEY CONDUCTED ON NOVEMBER 21, 2017 AT 2600 HOLCOMB RANCH LN., WASHOE COUNTY, NEVADA BY:
- MEYER SURVEYING
 1248 BON RBA WAY
 RENO, NV 89503
 775-768-1868
2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE FROM SURFACE APPARENT MARKINGS AND FEATURES. UTILITY LOCATIONS ARE SHOWN ONLY FOR CONVENIENCE OF THE OWNER. THE OWNER SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF THE UTILITIES AND MEYER SURVEYING BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN HEREON OR NOT IN THE LOCATION SHOWN HEREON. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
3. CALL UNDERGROUND SERVICE ALERT NORTH 85A NORTH - 8U FOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION 8U.

BASE OF BEARINGS:
 NAD 83 (NAD) NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE (7205), BASED ON GPS RTK OBSERVATIONS UTILIZING THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK (NRS).

BASE OF ELEVATIONS:
 NAVD 83 (GEOID), BASED ON GPS RTK OBSERVATIONS UTILIZING THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK (NRS).

THE DISTANCES AND COORDINATES SHOWN HEREON ARE GROUND VALUES. THE COMBINED GRID TO GROUND SCALE FACTOR: 1.00001514

vegetation management compliance:

(A) MAINTAIN AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE A FIREBREAK MADE BY REMOVING AND CLEARING AWAY FOR A DISTANCE OF NOT LESS THAN 30 FEET ON EACH SIDE OF THE BUILDING OR STRUCTURE OR TO THE PROPERTY LINE, WHICHEVER IS GREATER. ALL FLAMMABLE VEGETATION OR OTHER COMBUSTIBLE GROWTH THIS SUBDIVISION DOES NOT APPLY TO SINGLE SPECIES OF TREES, ORNAMENTAL, SHRUBS, OR GRASS PLANTS THAT ARE USED AS BOUND COVER, IF THEY DO NOT FORM A MOUND OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY BUILDING OR STRUCTURE.

(B) MAINTAIN AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE ADDITIONAL FIRE PROTECTION OR FIREBREAK MADE BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH THAT IS LOCATED WITHIN 100 FEET FROM THE BUILDING OR STRUCTURE OR TO THE PROPERTY LINE OR AT A GREATER DISTANCE IF REQUIRED BY STATE LAW OR LOCAL ORDINANCE, RULE, OR REGULATION. THIS SECTION DOES NOT PREVENT AN INSURANCE COMPANY THAT REQUIRES A BUILDING OR STRUCTURE FROM REQUIRING THE OWNER OF THE BUILDING OR STRUCTURE TO MAINTAIN A FIREBREAK OF MORE THAN 100 FEET AROUND THE BUILDING OR STRUCTURE. GRASS AND OTHER VEGETATION LOCATED MORE THAN 50 FEET FROM THE BUILDING OR STRUCTURE AND LESS THAN 10 FEET IN HEIGHT ABOVE THE GROUND MAY BE MAINTAINED HEREIN NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.

(C) REMOVE THAT PORTION OF ANY TREE THAT EXTENDS WITHIN 10 FEET OF THE OUTLET OF A GANNERY OR STOVEPIPE.

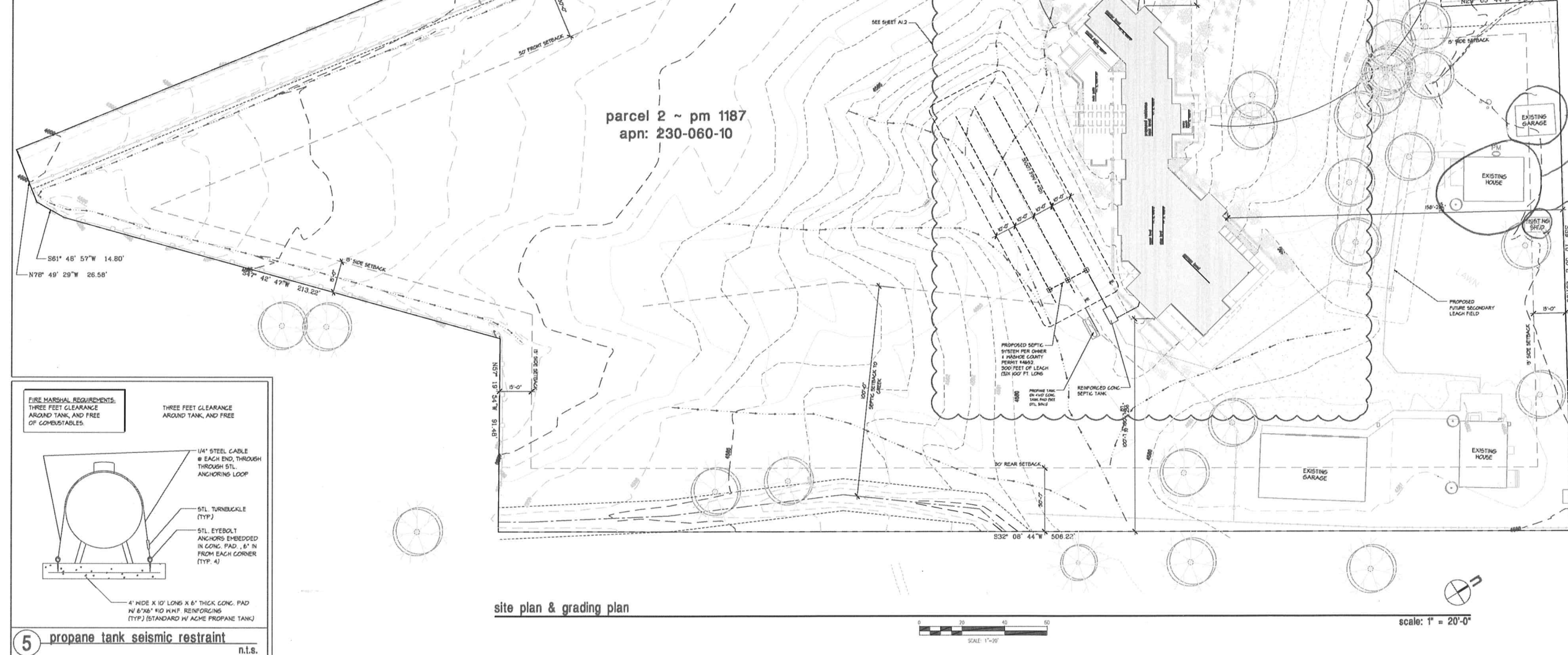
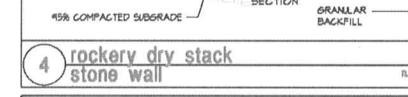
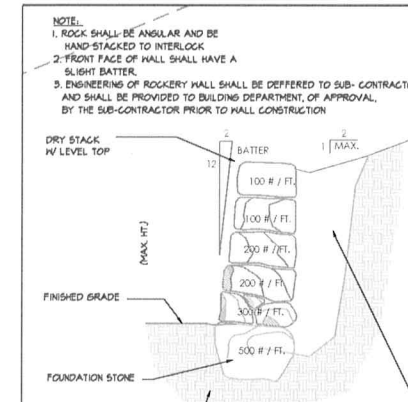
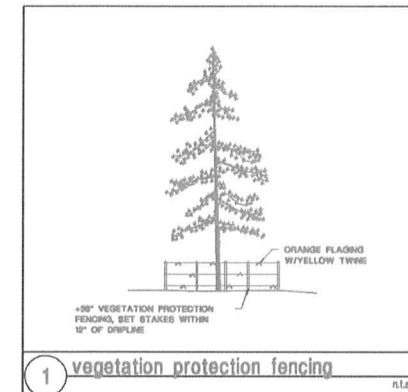
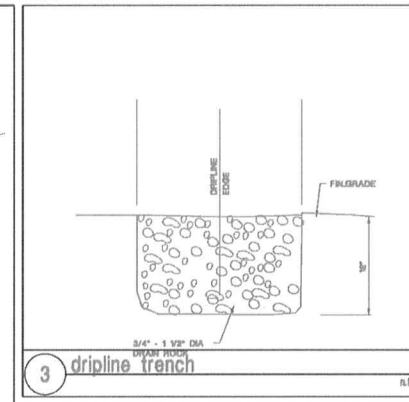
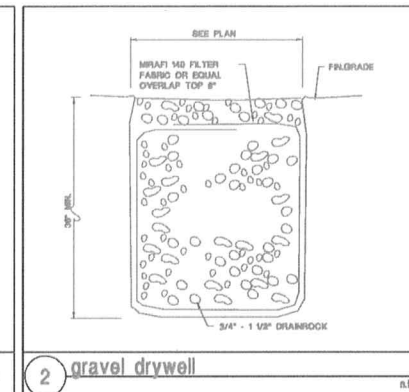
(D) MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

(E) MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD VEGETATIVE GROWTH.

(F) PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY GANNERY OR STOVEPIPE THAT IS ATTACHED TO A FIREPLACE, STOVE, OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL WITH OPENINGS OF NOT MORE THAN ONE-HALF INCH IN SIZE.

(G) PRIOR TO CONSTRUCTING A NEW BUILDING OR STRUCTURE OR REBUILDING A BUILDING OR STRUCTURE DAMAGED BY A FIRE IN SUCH AN AREA, THE CONSTRUCTION OR REBUILDING OF WHICH REQUIRES A BUILDING PERMIT, THE OWNER SHALL OBTAIN A CERTIFICATION FROM THE LOCAL BUILDING OFFICIAL THAT THE DWELLING OR STRUCTURE AS PROPOSED TO BE BUILT, COMPLIES WITH ALL APPLICABLE STATE AND LOCAL BUILDING STANDARDS, INCLUDING THOSE DESCRIBED IN SUBDIVISION (B) OF SECTION 2108 OF THE GOVERNMENT CODE, AND SHALL PROVIDE A COPY OF THE CERTIFICATION UPON REQUEST, TO THE INSURER PROVIDING COVERAGE OF CONSTRUCTION INSURANCE COVERAGE FOR THE BUILDING OR STRUCTURE. UPON COMPLETION OF THE CONSTRUCTION OR REBUILDING, THE OWNER SHALL OBTAIN FROM THE LOCAL BUILDING OFFICIAL, A COPY OF THE FINAL INSPECTION REPORT THAT DEMONSTRATES THAT THE DWELLING OR STRUCTURE WAS CONSTRUCTED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING STANDARDS, INCLUDING THOSE DESCRIBED IN SUBDIVISION (B) OF SECTION 2108 OF THE GOVERNMENT CODE, AND SHALL PROVIDE A COPY OF THE REPORT, UPON REQUEST, TO THE PROPERTY INSURANCE CARRIER THAT INSURES THE DWELLING OR STRUCTURE.

(H) INSPECTION AND WRITTEN APPROVAL BY THE FIRE MARSHALL SHALL BE OBTAINED PRIOR TO FINAL OF THE BUILDING PERMIT.



To Be 225' stiff Structure
 Removed
 400 square foot house
 4x10 structure
 to be removed

Consultants:

Owner:
 ryan & ashley
 greenhalgh
 2600 holcomb ranch
 reno, nevada 89511
 Legal Description:
 parcel 2, pm 1187
 washoe county, state of nevada
 ssn: 230-060-10

**greenhalgh
 residence
 unit #1**
 2600 holcomb ranch ln.
 reno, nevada 89511

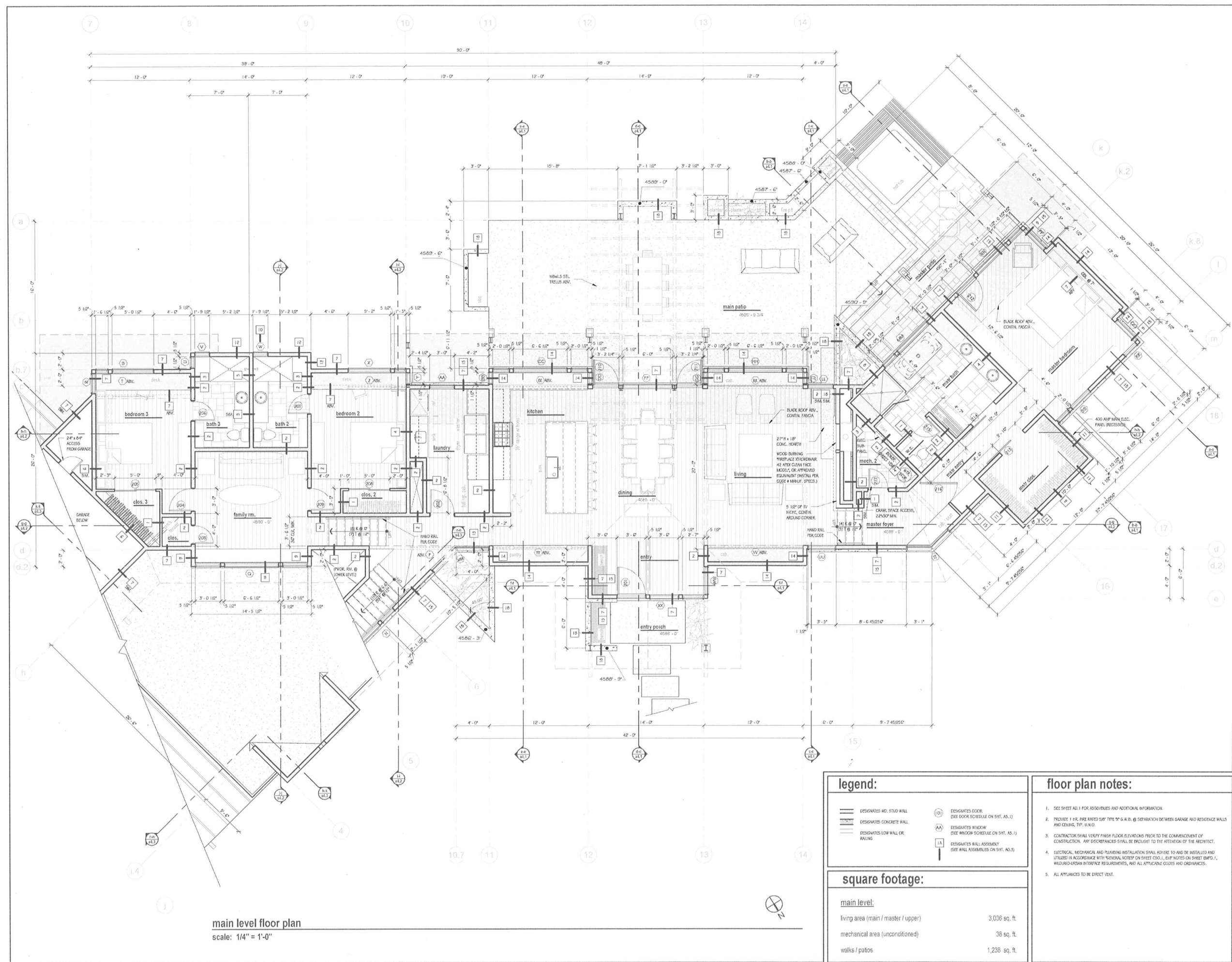


building dept.
 submittal

Project No.	17071
Drawn	rh
Checked	js
Date	4 february 2019
Scale	1/4" = 1'-0"

main level
 floor plan

a2.2



main level floor plan
 scale: 1/4" = 1'-0"

legend:

— (dashed line)	DESIGNATES W.D. STUD WALL	⊙ (circle with dot)	DESIGNATES DOOR (SEE DOOR SCHEDULE ON SHIT. AS.1)
— (solid line)	DESIGNATES CONCRETE WALL	⊞ (square with dot)	DESIGNATES WINDOW (SEE WINDOW SCHEDULE ON SHIT. AS.1)
— (dotted line)	DESIGNATES LOW WALL OR RAILING	⊞ (square with dot)	DESIGNATES WALL ASSEMBLY (SEE WALL ASSEMBLY ON SHIT. AS.3)

square footage:

main level:	
living area (main / master / upper)	3,036 sq. ft.
mechanical area (unconditioned)	38 sq. ft.
walks / patios	1,238 sq. ft.

- floor plan notes:**
- SEE SHEET AD.1 FOR ASSEMBLIES AND ADDITIONAL INFORMATION.
 - PROVIDE 1 HR. FIRE RATED 5/8" TYPE 'G' W.B. @ SEPARATION BETWEEN GARAGE AND RESIDENCE WALLS AND CEILING, TYP. W.A.D.
 - CONTRACTOR SHALL VERIFY FINISH FLOOR ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - ELECTRICAL, MECHANICAL AND PLUMBING INSTALLATION SHALL ADHERE TO AND BE INSTALLED AND UTILIZED IN ACCORDANCE WITH GENERAL NOTES ON SHEET CSO.1, EXP. NOTES ON SHEET BMD.1, MECHANICAL INTERFERENCE REQUIREMENTS, AND ALL APPLICABLE CODES AND ORDINANCES.
 - ALL APPLIANCES TO BE DIRECT VENT.

This drawing and specific details herein are the property of J.L.S. Design, Inc. All drawings and other information on these drawings are for use on the specified project and shall not be used elsewhere without the written permission of J.L.S. Design, Inc. Copies of this drawing and specifications retained by the client may be used only for their use and for occupying the project for which they were prepared, and not for the completion of any other project. Written dimensions on these drawings shall prevail over any similar dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the effect shall be held by the contractor from the dimensions and conditions shown by these drawings.

Consultants:

Owner:
 ryan & ashley
 greenhalgh
 2600 holcomb ranch
 reno, nevada 89511
 Legal Description:
 parcel 2, pps 1187
 washoe county, state of nevada
 apr 230-000-10

**greenhalgh
 residence
 unit #1**

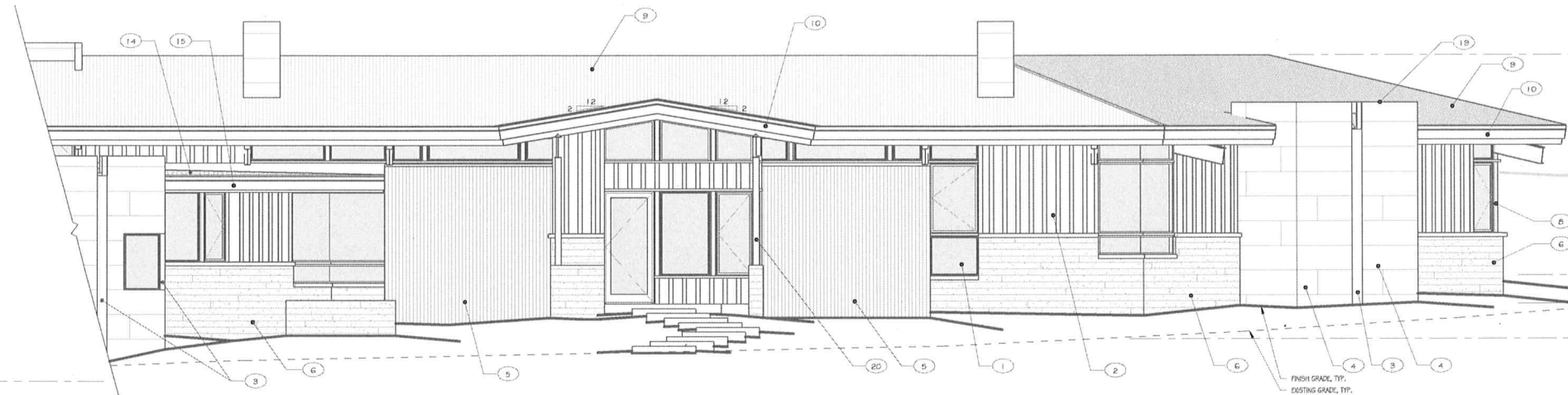
2600 holcomb ranch in.
 reno, nevada 89511



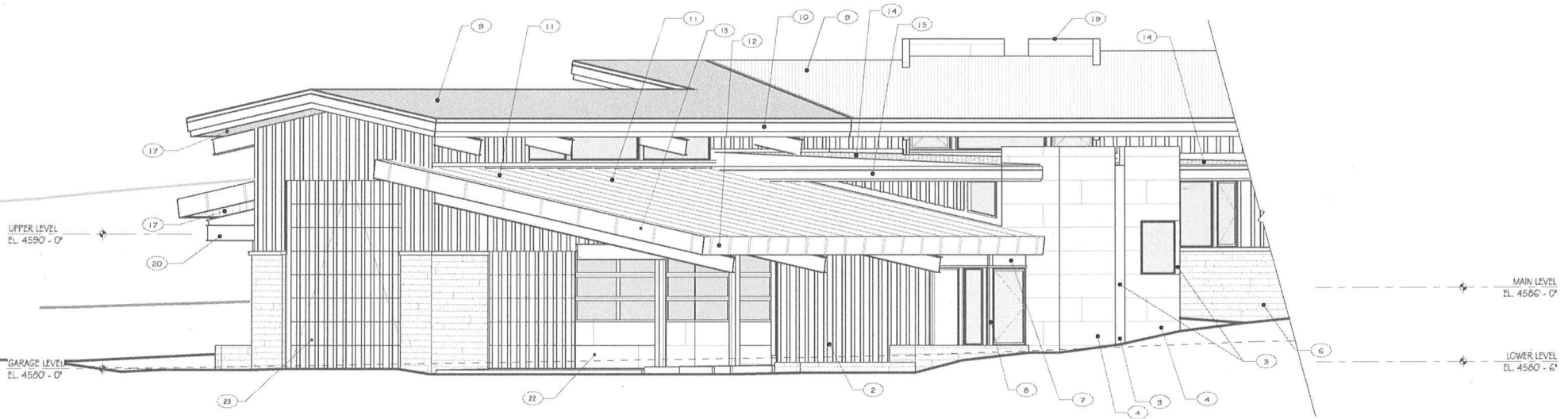
building dept.
 submittal

Project: 17071
 Date: 08/18/19
 Issue: 4 February 2019
 Scale: 1/4" = 1'-0"

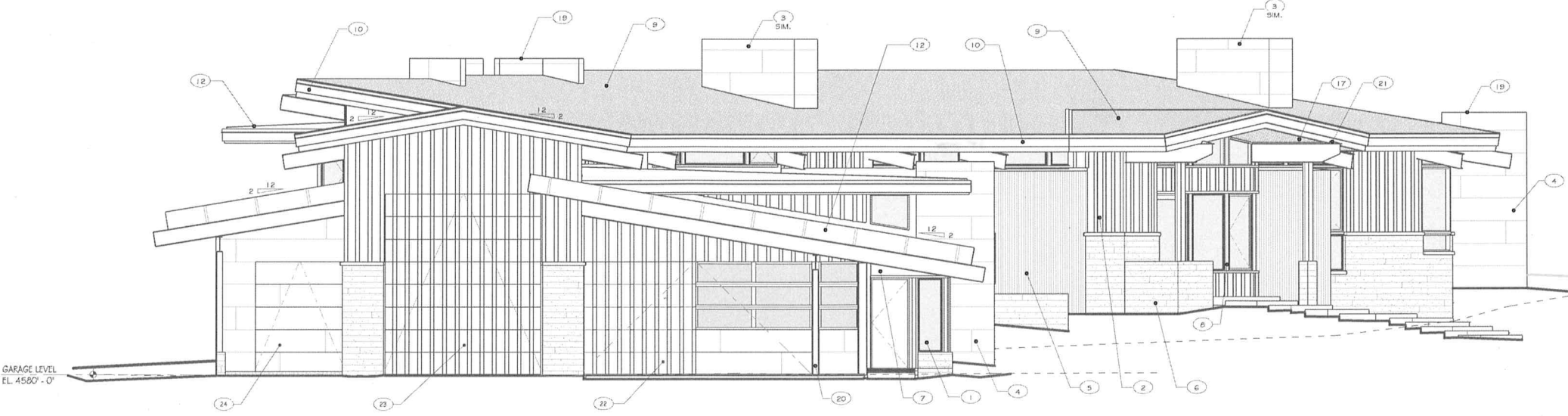
northeast &
 east exterior
 elevations
 Sheet No. a3.1



northeast elevation 1
 scale: 1/4" = 1'-0"



northeast elevation 2
 scale: 1/4" = 1'-0"



east elevation
 scale: 1/4" = 1'-0"

exterior finish materials:

1. ROOFING: ...
2. EXTERIOR WALLS: ...
3. INTERIORS: ...
4. FLOORING: ...
5. CEILING: ...
6. ...
7. ...
8. ...
9. ...
10. ...
11. ...
12. ...
13. ...
14. ...
15. ...
16. ...
17. ...
18. ...
19. ...
20. ...
21. ...
22. ...
23. ...
24. ...

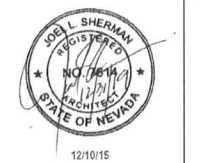
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Consultants:

Owner:
 ryan & ashley
 greenhalgh
 2600 holcomb ranch
 reno, nevada 89511
 Legal Description:
 parcel 2, pin 1187
 washoe county, state of nevada
 apr. 230-000-10

**greenhalgh
 residence
 unit #1**

2600 holcomb ranch ln.
 reno, nevada 89511

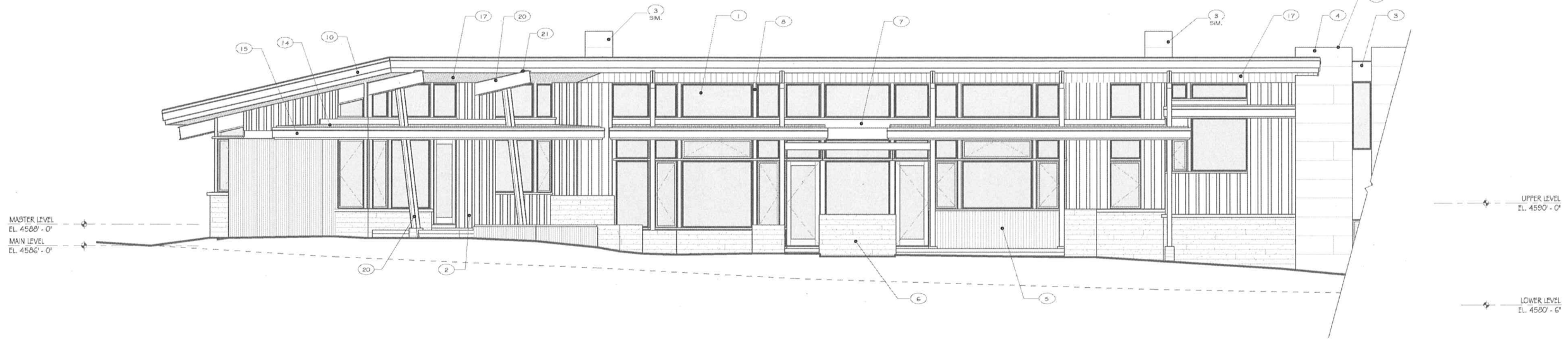


building dept.
 submittal

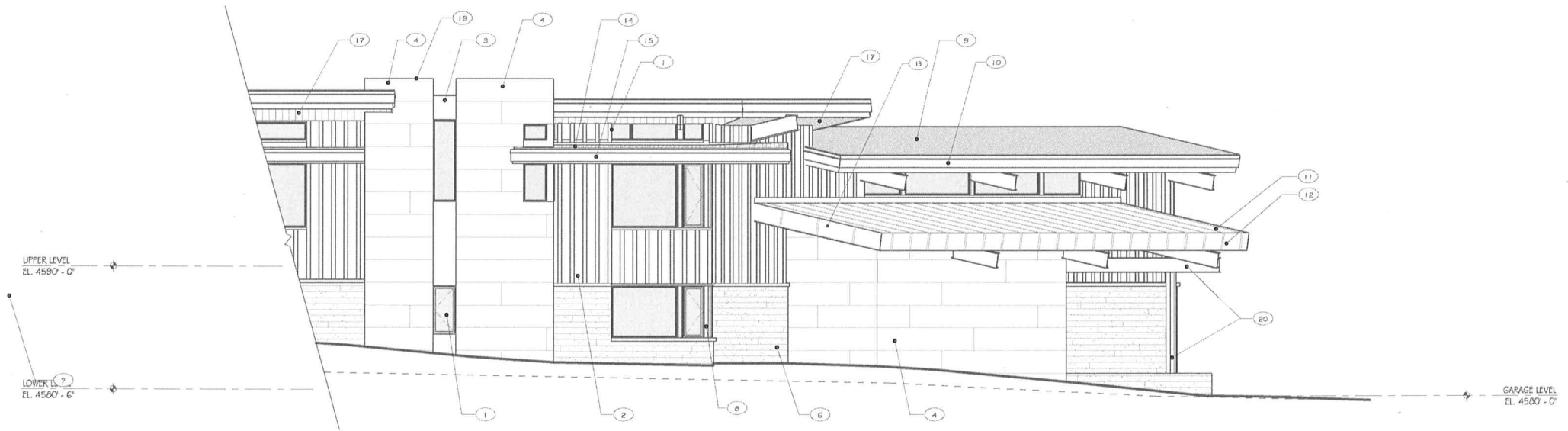
Project No.	11971	Checked	jls
Drawn	rjh	Date	4 february 2019
Scale	1/4" = 1'-0"		

southwest &
 west exterior
 elevations

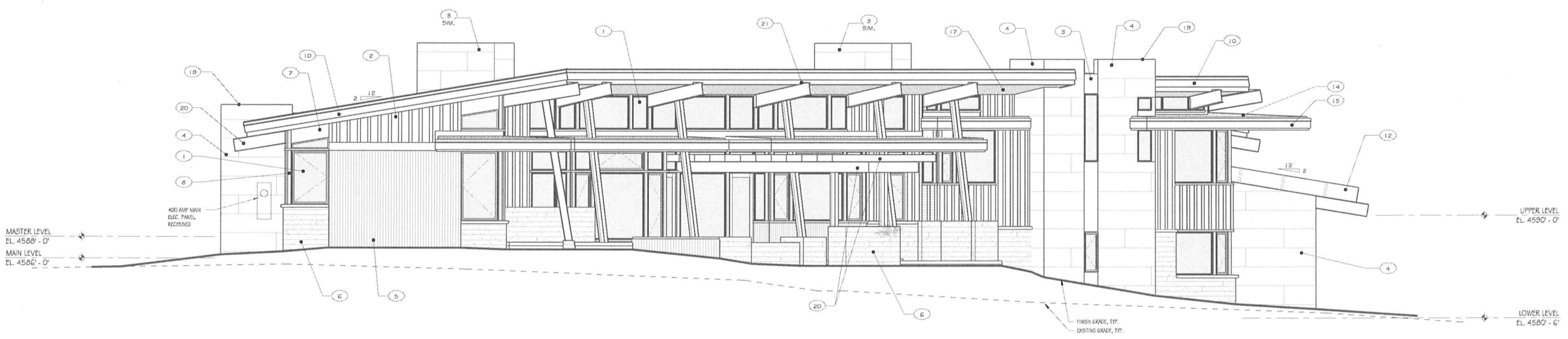
a3.2.



southwest elevation 1
 scale: 1/4" = 1'-0"



southwest elevation 2
 scale: 1/4" = 1'-0"



west elevation
 scale: 1/4" = 1'-0"

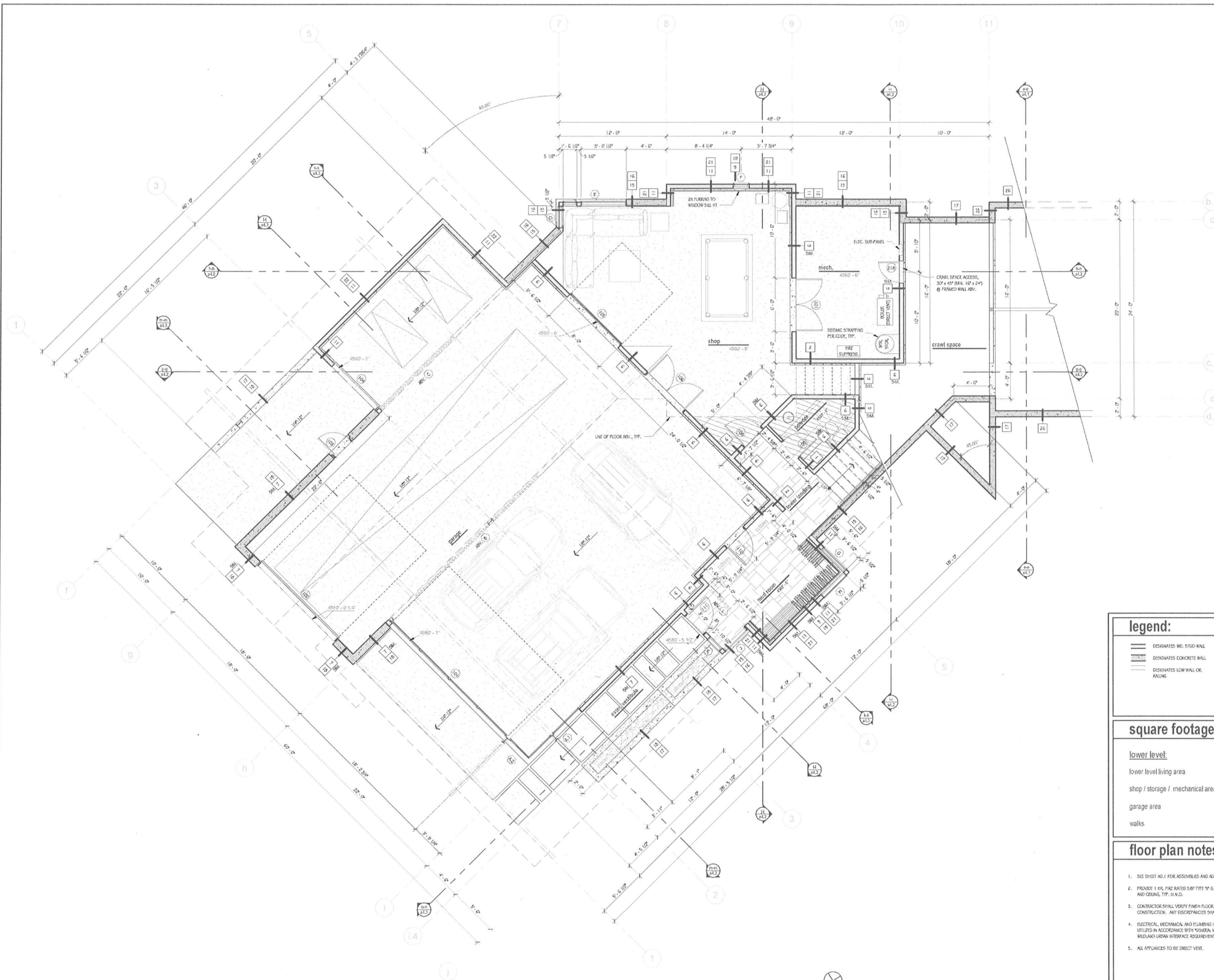
These drawings and all other information on them are for use on the specified project and shall not be used elsewhere without the written permission of J.L.S. Design, Inc. Copies of the drawings or specific dimensions may be made for personal use only, and the user shall assume all responsibility for all dimensions and conditions on the job, and the user shall be held liable for any deviation from the drawings and conditions shown by these drawings.

Consultants:

Owner:
 ryan & ashley
 greenhalgh
 2600 holcomb ranch
 reno, nevada 89511
 Legal Description:
 parcel 2, pm 1187
 washoe county, state of nevada
 apr 230-000-10

**greenhalgh
 residence
 unit #1**

2600 holcomb ranch ln.
 reno, nevada 89511



lower level floor plan
 scale: 1/4" = 1'-0"

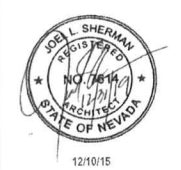
legend:

	DESIGNATES 2x4 STUD WALL		DESIGNATES DOOR (SEE DOOR SCHEDULE ON SHT. A5.1)
	DESIGNATES CONCRETE WALL		DESIGNATES WINDOW (SEE WINDOW SCHEDULE ON SHT. A5.1)
	DESIGNATES LOW WALL OR RAILING		DESIGNATES WALL ASSEMBLY (SEE WALL ASSEMBLIES ON SHT. A0.3)

square footage:

lower level:	
lower level living area	311 sq. ft.
shop / storage / mechanical area (unconditioned)	832 sq. ft.
garage area	1,879 sq. ft.
walks	100 sq. ft.

- floor plan notes:**
- SEE SHEET A0.1 FOR ASSEMBLIES AND ADDITIONAL INFORMATION.
 - PROVIDE 1 1/2" FIRE RATED 5/8" TYPE 'X' G.W.B. @ SEPARATION BETWEEN GARAGE AND RESIDENCE WALLS AND CEILING, TYP. U.A.D.
 - CONTRACTOR SHALL VERIFY FINISH FLOOR ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - ELECTRICAL, MECHANICAL AND PLUMBING INSTALLATION SHALL ADHERE TO AND BE INSTALLED AND UTILIZED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES, ALL APPLICABLE CODES AND ORDINANCES, WILDLAND-URBAN INTERFACE REQUIREMENTS, AND ALL APPLICABLE CODES AND ORDINANCES.
 - ALL APPLIANCES TO BE DIRECT VENT.



**building dept.
 submittal**

Project No:
 11021
 Drawn by:
 rjh
 Checked by:
 jls
 Date:
 4 february 2019
 Scale:
 1/4" = 1'-0"

**lower level
 floor plan**

a2.1

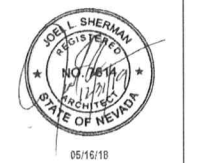
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Consultants:

Owner:
ryan & ashley
greenhalgh
2600 holcomb ranch
reno, nevada 89511
Legal Description:
parcel 2, pm 1167
washoe county, state of nevada
apn: 230-090-10

**greenhalgh
residence
unit #1**

2600 holcomb ranch ln.
reno, nevada 89511

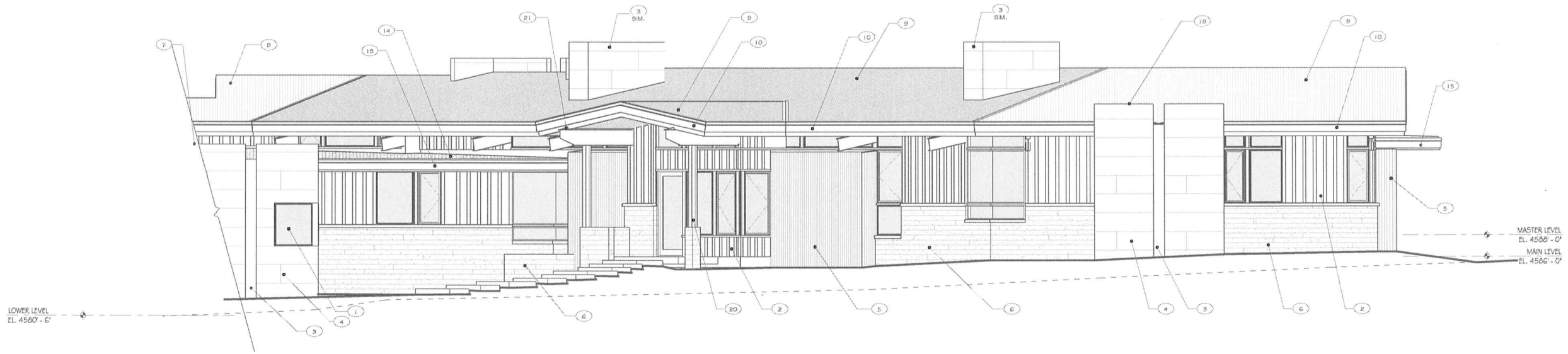


building dept.
submittal

Project No.	17071
Author	4 february 2019
Scale	1/4" = 1'-0"

Sheet Title
**north & south
elevations**

Sheet No.
a3.3

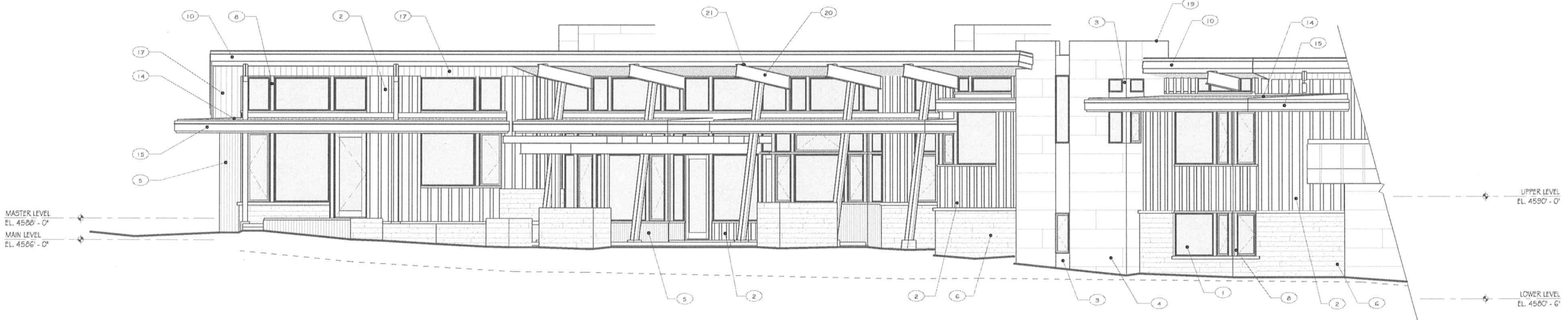


north 1 elevation
scale: 1/4" = 1'-0"



north 2 elevation
scale: 1/4" = 1'-0"

south 1 elevation
scale: 1/4" = 1'-0"



south 2 elevation
scale: 1/4" = 1'-0"

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