

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 5)

SPECIAL USE PERMIT FOR GRADING

(see page 11)

SPECIAL USE PERMIT FOR STABLES

(see page 16)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Madole Construction Civil Improvement Plans			
Project Description: Project includes grading, utility extension, paving, and all other necessary civil improvements to accompany the construction of a proposed office building.			
Project Address: 0 Joy Lake Road			
Project Area (acres or square feet): 5.61 acres			
Project Location (with point of reference to major cross streets AND area locator): Joy Lake Road and ALT 395A			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
046-170-24	5.61		
Section(s)/Township/Range: S23 T17N R19			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). N/A			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Gurnea Family Trust		Name: Robison Engineering Company, Inc	
Address: 3381 Cheechako Drive		Address: 846 Victorian Avenue, Suite 20	
Reno, NV	Zip: 89519	Sparks, NV	Zip: 89431
Phone: 775-690-4788	Fax:	Phone: 775-852-2251	Fax: 852-9736
Email: robert@gurneaconstruction.com		Email: nathan@robisoneng.com	
Cell: 775-690-4788	Other:	Cell: 775-2407652	Other:
Contact Person: Robert Gurnea		Contact Person: Nathan Robison, PE	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Madole Construction		Name:	
Address: 305 US 395		Address:	
Washoe Valley, NV	Zip: 89704		Zip:
Phone: 775-737-4414	Fax: 737-4415	Phone:	Fax:
Email: ray@madoleconstruction.com		Email:	
Cell: 775-843-4548	Other:	Cell:	Other:
Contact Person: Ray Madole		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Madole Construction

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Robert Guenea
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 046-170-24

Printed Name Robert Guenea

Signed [Signature]

Address 3381 Chechako Drive

[Signature]
(Notary Stamp)

Subscribed and sworn to before me this 14th day of June, 2018.

Nevada Washoe County
Notary Public in and for said county and state

My commission expires: 3/17/2020



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

The proposed plan of development includes constructing a proposed office building for Madole Construction with an attached garage/shop. Madole Construction is a building maintenance company that maintains and repairs existing buildings including foundations, correcting crawlspaces and other maintenance work. The shop space shall be used for storage of supplies and tools. The proposed storage area will not be used as a warehouse for receiving and storing goods for resale. A SUP is requested to allow for the use of Construction Sales and Services as well as the Storage of Operable Vehicles onsite.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

There are no existing structures onsite.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

The proposed improvements include constructing a new office building, driveway, parking lot, as well as utilities. Coordination with NV Energy is underway for the extension of overhead electric to the site. Currently the TMWA public water system runs along the property frontage in Joy Lake Road. Applicant proposes to submit for annexation into the TMWA service territory. An engineered septic system is proposed to be constructed onsite. The time frame for the project is TBD. The time frame is dependent on permitting and coordination with the utility providers.

4. What is the intended phasing schedule for the construction and completion of the project?

The proposed construction is not anticipated to be phased. If all permits are received in a timely manner, the project is scheduled to begin construction in 2018.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The site consists of a vacant 5.61 acre parcel located in close proximity to US 395 and I-580 allowing the business to function regionally. Currently, the existing Madole Construction office is located within 0.5 miles of the proposed site. The location the new office will continue to allow Madole Construction to serve its clients in the region. I-580 is located north and west of the site. The site is surrounded by general commercial zoned property to the south and east. A proposed landscaped berm will help screen the commercial property from its surrounding neighbors.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

The extension of utility services along Joy Lake Road will help promote development in the area.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

A detention basin is proposed to mitigate the increase in stormwater runoff from the proposed development. A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors. The berm will help reduce visual impacts as well as noise pollution from the commercial site.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

17 parking spaces are proposed

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Existing vegetation preserved and enhanced in all possible locations. A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors. Internal parking lot landscaping is also proposed in accordance with the Washoe County Development Standards.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	Septic
b. Electrical Service	NV Energy
c. Telephone Service	AT&T
d. LPG or Natural Gas Service	NA
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	NA
g. Water Service	Annexation into the TMWA service territory shall be requested__

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

- l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Currently there are no water rights associated with the parcel. Water Rights are to be purchased from and dedicated to TMWA upon annexation into the TMWA service territory.

14. Community Services (provided and nearest facility):

a. Fire Station	Truckee Meadows FPD - Stations T30 and T16
b. Health Care Facility	
c. Elementary School	Pleasant Valley
d. Middle School	Depoali
e. High School	Damonte Rance
f. Parks	
g. Library	
h. Citifare Bus Stop	

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

It is our understanding that a SUP for grading is not required for this project; however, it is requested that the SUP application be reviewed for grading at the same time it is reviewed for use.

2. How many cubic yards of material are you proposing to excavate on site?

Total: 2,770 CY Cut/ 1,400 CY Fill EW under pavement & bldg: 1,800 CY Cut 900 CY Fill

3. How many square feet of surface of the property are you disturbing?

Total: 1.27 acres Under pavement & Bldg: 0.73 acres

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

1,400 CY of export

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes, it is our understanding the per the earthwork calculations, a SUP for grading is not required; however, it is requested at this time that the grading be reviewed as part of the general SUP application.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

Yes. The disturbed area can be seen from the south and east.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No, the proposed driveway will only serve the project site

10. What is the slope (Horizontal/Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

3:1 maximum slopes are proposed throughout the site. Best Management Practices (BMP's) in accordance with the Truckee Meadows Handbook and the Washoe County Stormwater Protection Ordinances and Standards shall be implemented throughout the site. BMP's will include but are not limited to silt fence, rip-rap and re-vegetation.

11. Are you planning any berms?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, how tall is the berm at its highest? 3'
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Yes, 4' max height block CMU

13. What are you proposing for visual mitigation of the work?

Re-vegetation of similar beneficial species (trees and shrubs) and construction of a landscaped berm near the property line for screening from surrounding properties

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

Grading will not require the removal of any trees

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Chipped fir mulch. Hand-planted native tree species plugs, willow and mountain mahogany shrubs, and broadcast seed and harrow of high-elevation forage grass mix outside of paved areas

16. How are you providing temporary irrigation to the disturbed area?

Water trucks will be used to provide temporary irrigation

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

The revegetation plan has not been reviewed with Washoe Storey Conservation District. The applicant requests that Washoe County coordinate plan review by WSCD and NRCS in the course of SUP consideration; it is our intent to promote conservation of natural resources consistent with the goals of WSCD.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID	Status	Last Update
04617024	Active	6/14/2018 2:06:31 AM
Current Owner: GURNEA FAMILY TRUST 3381 CHEECHAKO DR RENO, NV 89519		SITUS: 0 JOY LAKE RD WCTY NV
Taxing District 4000	Geo CD:	
Legal Description		
SubdivisionName _UNSPECIFIED Lot 1-1 Township 17 Range 19		

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2017	\$634.16	\$634.16	\$0.00	\$0.00	\$0.00
2016	\$618.09	\$714.31	\$0.00	\$0.00	\$0.00
2015	\$618.09	\$618.09	\$0.00	\$0.00	\$0.00
2014	\$686.14	\$686.14	\$0.00	\$0.00	\$0.00
2013	\$1,026.36	\$1,026.36	\$0.00	\$0.00	\$0.00
Total					\$0.00

Important Payment Information

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay Online

\$0.00

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**

Robison Engineering Company, Inc
846 Victorian Avenue, Suite 20, Sparks, NV 89431

775-852-2251 ~ www.robisoneng.com



Madole Construction
Special Use Permit – APN: 046-170-24
-
TRAFFIC STATEMENT

Dear Washoe County

The construction of the Madole Construction office building and shop will not negatively impact traffic in the surrounding area. Madole Construction is a building maintenance company specializing in the repairs and maintenance of structures. The services provided are provided offsite at the location of work. Goods and services are not sold directly from the proposed office and shop; therefore, the increase in traffic along Joy Lake Road will be from the company's employees. Madole Construction employs a total of 20 personnel. Most of the employees work in the field and meet directly at the project site. On average, 6 office staff are onsite daily. Adequate parking has been provided for onsite staff.

Traffic will be limited by the office personnel; therefore, we request that a formal Traffic Study be waived for this Special Use Permit submittal.

Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS
(775) 852-2251 x 700
nathan@robisoneng.com

Robison Engineering Company, Inc
846 Victorian Avenue, Suite 20, Sparks, NV 89431

775-852-2251 ~ www.robisoneng.com



Madole Construction
Special Use Permit – APN: 046-170-24

DIRECTOR'S MODIFICATION REQUEST CLARIFICATION

Dear Washoe County

The subject application for a Special Use Permit is to allow the use of Construction Sales and Services as well as Storage of Operable Vehicles for the proposed Madole Construction office. The parcel abuts the I-580 Right-Of-Way along three property lines (952'). The parcel is approximately 5.61 acres and approximately 1.27 acres of the site will be developed. The proposed development will be located in the southeast corner of the site. Approximately 4.34 acres of the site shall remain undeveloped and the existing vegetation is to be preserved.

We have reviewed Washoe County Development Code Section 110 and request that certain specific conditions be considered for Director's Modification, due to the unique location of the lot, as follows:

Article 412: Landscaping

- 110.412.40 Required Yards Adjoining Streets. All required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof.
 - o Requested: Client proposes to install the number of required street trees as part of the project; however, a waiver is requested to allow street trees be located near the developed area rather than along the property line abutting the ROW that will remain undisturbed and undeveloped.

Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS
(775) 852-2251 x 700
nathan@robisoneng.com

MADOLE CONSTRUCTION SPECIAL USE PERMIT APPLICATION

FOR
MADOLE CONSTRUCTION
305 US HIGHWAY 395
WASHOE VALLEY, NV 89704

PROJECT COORDINATOR: RAY MADOLE
(775) 843-4548

ABBREVIATIONS

AC	ASPHALT CONCRETE
BC/BOC	BACK OF CURB
BFP	BACKFLOW PREVENTER
BLD	BUILDING
BW	BASE OF WALL
CATV	CABLE TELEVISION
CL	CENTERLINE
COTG	CLEAN OUT TO GRADE
DW	DRIVEWAY
E	ELECTRICAL
(E)	EXISTING
EL.ELEV	ELEVATION (ABOVE MEAN SEA LEVEL U.N.O.)
FC	FENCE CORNER
FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FL	DRAINAGE FLOWLINE
FLA	FLANGED (PIPE FITTING)
G	GROUND (ELEV.)
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
I, INV	INVERT (IE=INVERT ELEV.)
IV	IRRIGATION VALVE
LP	LIGHT POLE
MH	MANHOLE
MJ	MECHANICAL JOINT (PIPE FITTING)
(N)	NEW/PROPOSED
PCC	PORTLAND CEMENT CONCRETE
PP	POWERTELEPHONE POLE
PRV	PRESSURE RELIEF VALVE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS OF ARC OR CIRCLE
R/W, ROW	RIGHT-OF-WAY
SFNF	(MONUMENT) SEARCHED FOR, NOT FOUND
SD	STORM DRAIN
SS	SANITARY SEWER
TC/TOC	TOP OF CURB (@ BOC U.N.O.)
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL
U.N.O.	UNLESS NOTED OTHERWISE
WWL	WATER/WATER LINE

0 JOY LAKE RD
Madole Shop

SHEET T1
TITLE SHEET

1/2" = 1' SCALE

PREPARED FOR:
MADOLE CONSTRUCTION
305 US 395
Washoe Valley, NV 89704
(775) 737-4414

Robison Engineering
1000 W. WASHOE BLVD
SUITE 100
WASHOE VALLEY, NV 89704
WWW.ROBISONENG.COM
DRAWN: ESH
DATE: 2018-06-14

NEVADA
WASHOE COUNTY
PROJECT NO. 1-14-06-001

PROJECT SUMMARY

LAND
APN 046-170-24
ASSESSOR'S MAP #046-17
CONTAINING 5.6 ACRES

LAND USE: 140
ZONING: GC

PROJECT
CIVIL IMPROVEMENTS TO ACCOMPANY CONSTRUCTION OF NEW OFFICE.

SHEET LIST

GENERAL	TITLE SHEET
T1	
CIVIL	EXISTING CONDITIONS PLAN
C0	CIVIL SITE PLAN
C1	GRADING AND SEPTIC PLAN
C2	GRADING AND SEPTIC PLAN
C3	UTILITY PLAN
C4	SLOPE ANALYSIS
L1	PRELIMINARY LANDSCAPING PLAN
P1	PHOTOMETRICS PLAN

PROJECT AUTHORITY

OWNER

GURNEA FAMILY TRUST
ROBERT GURNEA
3381 CHEECHAKO DRIVE
RENO, NV 89519
CELL: (775) 690-4788
robert@gurneaconstruction.com

APPLICANT

MADOLE CONSTRUCTION
RAY MADOLE
305 US 395
WASHOE VALLEY, NV 89704
CELL: (775) 843-4548
OFFICE: (775) 737-4414
ray@madoleconstruction.com

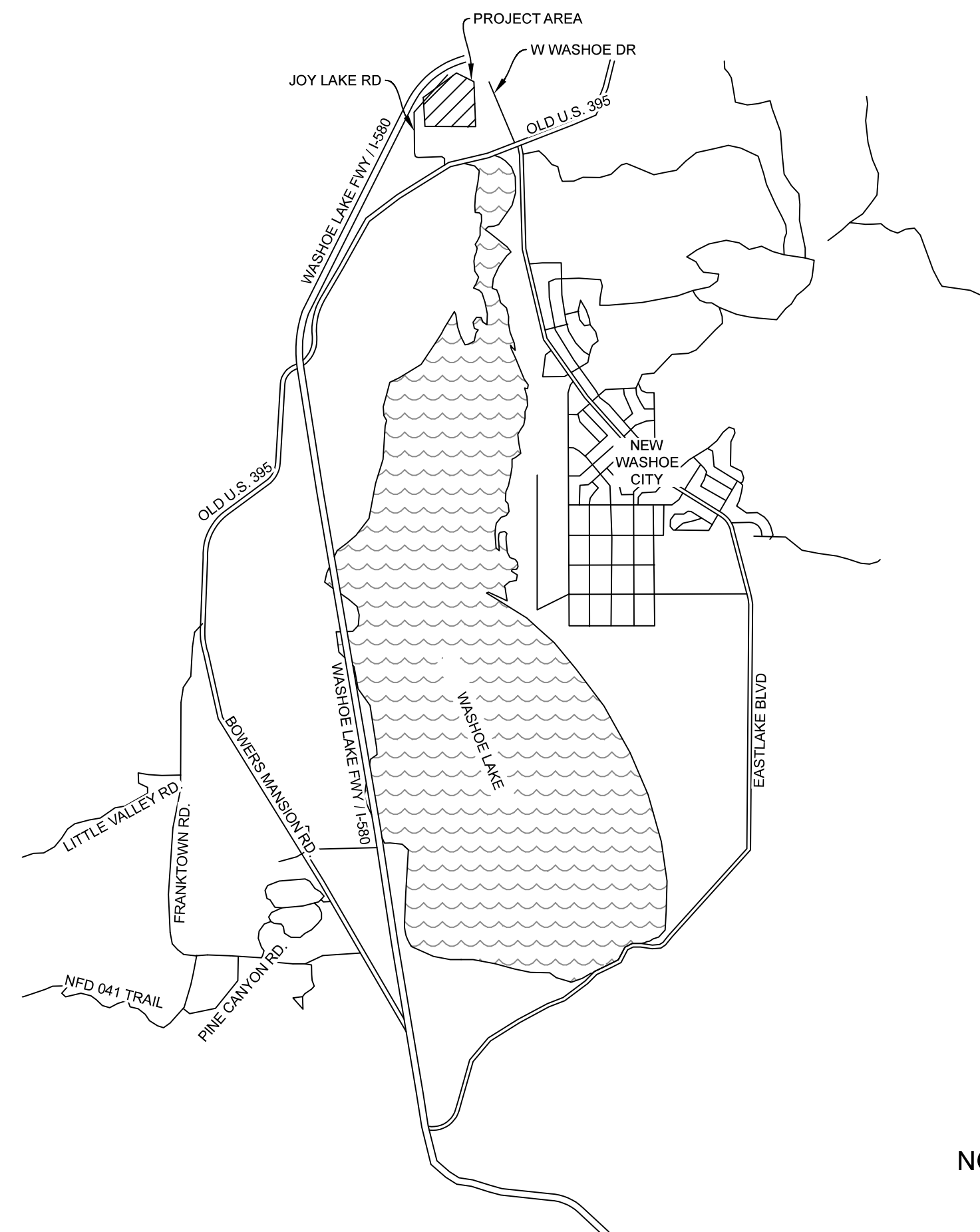
CIVIL ENGINEER

ROBISON ENGINEERING
COMPANY, INC.
DAN KELSEY, PLS
846 VICTORIAN AVE, STE 20
SPARKS, NV 89431
(775) 852-2251 x 700
(775) 852-9736 fax
nathan@robisoneng.com

SURVEYOR

ROBISON ENGINEERING
COMPANY, INC.
DAN KELSEY, PLS
846 VICTORIAN AVE, STE 20
SPARKS, NV 89431
(775) 852-2251 x 703
(775) 852-9736 fax
dan@robisoneng.com

VICINITY MAP



NOTES

GENERAL NOTE:

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, AND/OR COUNTY STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY STANDARDS PROMPTLY NOTIFY ENGINEER. THE COUNTY STANDARDS SHALL APPLY. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBISON ENGINEERING AT 775-852-2251 FOR RESOLUTION.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.

OBTAIN LATEST ELECTRONIC FILE FROM ROBISON ENGINEERING COMPANY PRIOR TO STAKING AND CONSTRUCTION.

EROSION CONTROL NOTES

- TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:
 - THE STATE OF NEVADA GENERAL PERMIT NVR100000
 - THE "TRUCKEE MEADOWS HANDBOOK"
 - WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITES BEST MANAGEMENT PRACTICES HANDBOOK.

UTILITY NOTES

- UTILITY INSTALLATION SHALL CONFORM TO STANDARDS ESTABLISHED BY THE UTILITY PROVIDER(S), INCLUDING TRENCHING DEPTH, FILL MATERIAL, LOCATION MARKERS, ETC. ELECTRIC, CABLE TELEVISION, AND TELEPHONE SERVICE MAY SHARE COMMON TRENCH, CABLE AND TELEPHONE MAY SHARE COMMON CONDUIT OR BE DIRECTLY BURIED. ELECTRIC SERVICE SHALL BE VIA A 1" (MINIMUM) CONDUIT PLACED BY ELECTRICIAN, WITH PULL-BOX TO GRADE AT ANGLE POINTS. WATER SERVICE BURIAL SHALL BE NO LESS THAN 3'; AND A WIRE FOR LOCATION SHALL BE PROVIDED. GAS MUST BE AT LEAST 30" FROM ELECTRIC, TELEPHONE, OR CABLE SERVICE. WATER AND GAS MAY SHARE COMMON TRENCH, WITH GAS LINE INSTALLED AT LEAST 12" ABOVE WATER LINE, AND CLEARLY MARKED BY "BURIED UTILITY" TAPE 12" ABOVE TOP OF GAS PIPE.

PROJECT NOTES

- ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY WASHOE COUNTY.
- ALL DIMENSIONS ARE FROM FACE OF CURB OR OTHER FINISHED CONCRETE OR PERMANENT FEATURE FACE IN THE DIRECTION OF THE DIMENSION SHOWN.
- IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.
- SUBMITTALS: SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, MATERIAL AND COLOR SAMPLES, AND DELIVERED MATERIALS OR PRODUCTS (ROOFING, ETC.), WITHOUT EXCEPTION, SHALL BE OFFERED FOR REVIEW AND APPROVAL TO OWNER PRIOR TO THEIR INCORPORATION INTO THE PROJECT, WHERE QUANTITATIVE JUDGEMENT IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIALS' SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, ONSITE AND OFFSITE.
- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE) 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PROVIDE 48 HOURS PRIOR NOTICE FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL NECESSARY TRAFFIC CONTROL, MAINTAIN ACCESS TO ALL PARCELS, PROVIDE ALL TEMPORARY AND/OR PERMANENT PATCHING AS REQUIRED BY GOVERNING AGENCY ALL CONSTRUCTION SIGNING, BARRICADES AND TRAFFIC DELINEATION TO CONFORM TO THE STATE OF NEVADA, DEPARTMENT OF TRANSPORTATION, "NEVADA WORK ZONE TRAFFIC CONTROL MANUAL" (LATEST EDITION).
- THE WORK IN THIS CONTRACT INCLUDES ALL ONSITE AND OFFSITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL AGENCY.
- ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.

GRADING NOTES

- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE WASHOE COUNTY STANDARDS.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION PROVISIONS.
- ELEVATIONS SHOWN ARE TOP OF CURB WHEN LOCATED AT THE CURB LINE, OR FINISH GRADE WHEN LOCATED AT STREET CENTERLINE OR WITHIN A LOT OR NOTED OTHERWISE ON THE PLANS.
- FINISH GRADE REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. IF LOCATED IN A LOT OR COMMON AREA, THE GRADE REPRESENTS THE FINAL SURFACE. IF TOP SOIL IS TO BE PLACED, THE CONTRACTOR SHALL ADJUST THE GRADE SHOWN. IF SHOWN AT CENTERLINE, THE GRADE REPRESENTS THE FINISHED SURFACE GRADE OF THE AC. IF SHOWN AT A BUILDING PAD, THE GRADE REPRESENTS THE FINISHED GRADE AROUND THE EXTERIOR OF THE HOUSE, INCLUDING LANDSCAPING TREATMENTS. COORDINATE WITH ARCHITECT AND STRUCTURAL FOR BUILDING AREA SUBGRADE(S).
- ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED; ADDITIONAL DISTURBANCE NOT PART OF PLANNING LANDSCAPING SHALL BE STABILIZED AND BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDING IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
- USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING ROADS.
- SEE EROSION CONTROL NOTES FOR STORMWATER DISCHARGE PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, MATERIALS TESTING LABORATORY, AND GENERAL CONTRACTOR HAS OCCURRED.
- THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH WASHOE COUNTY ORANGE BOOK STANDARDS AND SITE SPECIFIC SOILS REPORT AS APPLICABLE.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE DETERMINED BY CONSULTATION WITH THE APPROPRIATE JURISDICTION.

TOPOGRAPHIC MAP NOTES:

- THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY. NO INFORMATION SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RENDER ANY OPINION THEREON. PROPERTY BOUNDARIES SHOWN ARE FROM DRAWING PROVIDED BY CLIENT AND HAVE NOT BEEN VERIFIED BY SURVEY.
- BASIS OF BEARINGS: NEVADA STATE PLANE, WEST ZONE, NAD83, GROUND COORDINATES, PER WASHOE COUNTY VRS GPS CONTROL NETWORK, GROUND FACTOR 1.000197939.
- BASIS OF ELEVATIONS: NAVD 88 PER WASHOE COUNTY VRS.

NO	0								
DESCRIPTION	FOR WASHOE COUNTY SPECIAL USE PERMIT								
DATE	2018-06-14								
BY	NER								
CHKD	NER								
REFERENCES	1	2	3	4	5	6			
REVISIONS									
SHEET	T1								



MERGED IMAGERY NOTE:
 BACKGROUND IMAGE FROM PUBLIC SOURCE MAY NOT MEET MAP ACCURACY STANDARDS OUTSIDE OF SURVEY AREA

PROPERTY NOTES:
 THIS MAP SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OR TO RENDER ANY OPINION THEREON.

PHOTO DATE: MAY 11, 2018
 GROUND SAMPLE DISTANCE: 1.01 INCH
 GROUND SURVEY: S31SM01018
 COMPILED BY: R.SIGLER

BASIS OF BEARINGS: NV WEST, NAD83
 VERTICAL DATUM: NAVD 88
 BENCHMARK: FILL IN
 SECTION: 23 TWN: 17 RANG: 19 MDM

846 VICTORIAN AVENUE
 SPARKS, NV 89431
 www.robisoneng.com

CLIENT: MADOLE
 PROJECT NAME: WASHOE SHOP
 RENG PROJECT #: 1-1149-06.001

NOTE: GROUND SAMPLING DISTANCE (GSD) IS AVERAGE PIXEL SIZE OF DATA CAPTURE. HORIZONTAL ACCURACY ±2.93SD AND VERTICAL ACCURACY ±3.06SD. MAP ACCURACY IS 1/2 CONTOUR INTERVAL EXCEPT IN OBSCURED AREAS.

WASHOE COUNTY
 NEVADA

0 JOY LAKE RD
 Madole Shop
 SHEET C0
 EXISTING CONDITIONS PLAN
 WASHOE COUNTY NEVADA
 PROJECT NO. 1-1149-06.001

PREPARED FOR:
MADOLE CONSTRUCTION
 305 US 395
 Washoe Valley, NV 89704
 (775) 737-4414

Robison Engineering
 846 VICTORIAN AVENUE
 SPARKS, NV 89431
 www.robisoneng.com

DRAWN: ESH
 DATE: 2018-06-14

NO	DESCRIPTION	DATE	BY	CHKD	1	2	3	4	5	6
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14								

NO	REVISIONS
0	

SHEET
C0



LEGEND

- PROPERTY BOUNDARY
- - - SETBACK
- EXISTING FENCE
- W - EXISTING WATER LINE
- █ PCC PAVEMENT
- - - SAWCUT
- EDGE OF PAVEMENT

SITE PLAN NOTES

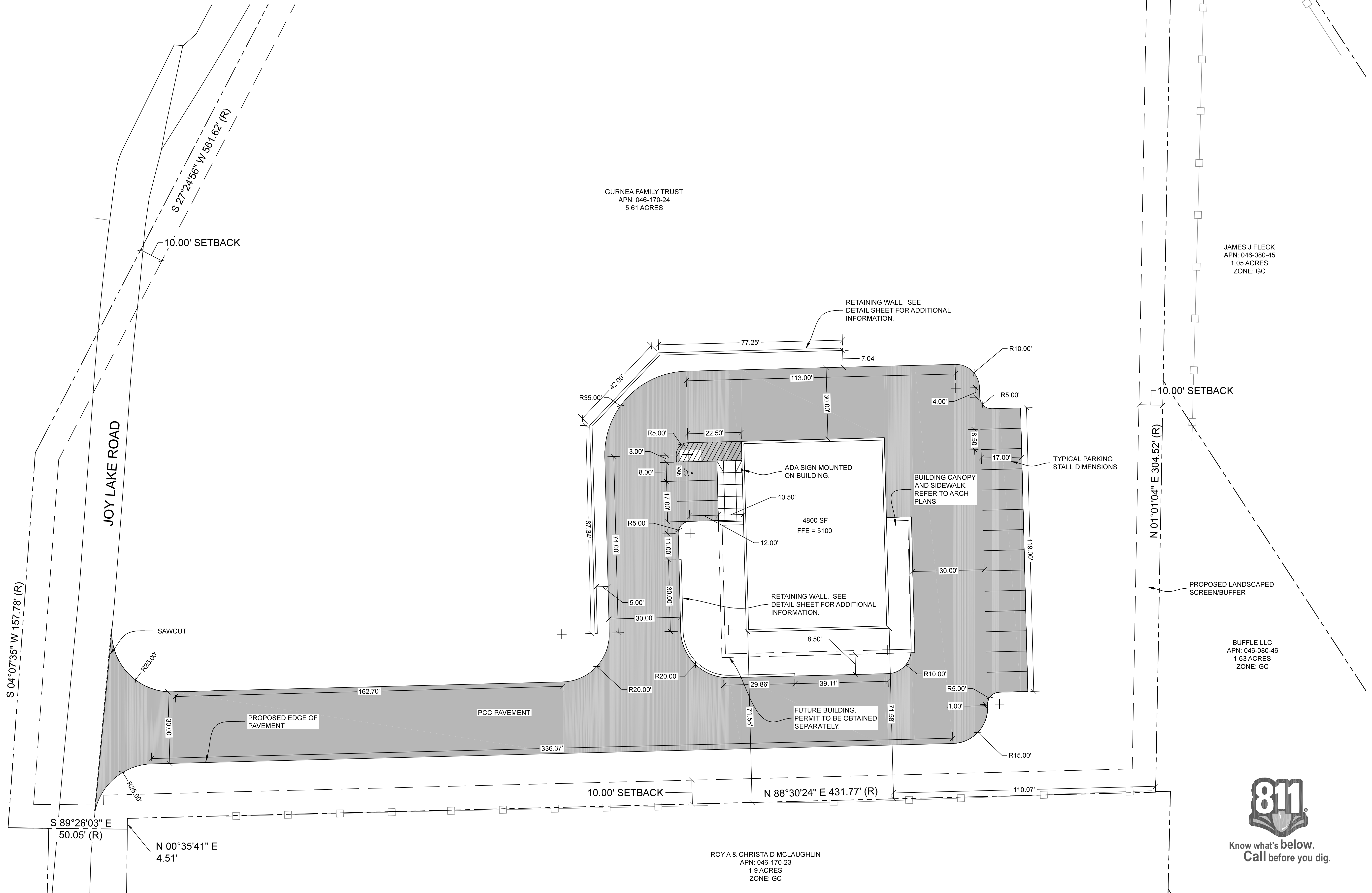
- S1. FOR CONSTRUCTION BEYOND PROPERTY BOUNDARY, OBTAIN WRITTEN PERMISSION FROM CLIENT AND/OR ADJACENT PROPERTY OWNER PRIOR TO WORK.
- S2. MAX CUT OR FILL= 3:1 W/O SLOPE PROTECTION. ALL SLOPES TO BEGIN A MINIMUM OF ONE FOOT BEHIND CURB.
- S3. SEE SHEET C3 FOR EXISTING AND PROPOSED WATER, SEWER, AND ELECTRIC SERVICE LINES.
- S4. EXISTING ESTABLISHED TREES ARE LOCATED ON THE SUBJECT PARCEL AND SHALL BE PROTECTED DURING CONSTRUCTION.

- S5. NO AREAS OF 15% OR MORE SLOPES TO BE LOCATED IN DEVELOPED SITE, EXCEPT DRAINAGE DITCHES.
- S6. ALL PARKING LOT STRIPING SHALL BE WHITE, 4" THICK, 2 COATS MINIMUM, U.N.O.
- S7. ALL RADII ARE 3' U.N.O.
- S8. INSTALL ACCESSIBLE PARKING SIGN & PAINTED HANDICAP SYMBOL PER NRS 484 & ADA STANDARDS. TYPICAL @ ALL SPACES MARKED HANDICAP.
- S9. ALL DIMENSIONS ARE SHOWN TO THE FACE OF CURB U.N.O.
- S10. ALL STANDARD PARKING SPACES SHALL BE 8.5' WIDE X 17' DEEP MINIMUM. SEE TYPICAL PARKING STALL DIMENSIONS THIS SHEET FOR ADDITIONAL INFORMATION.
- S11. REFER TO GENERAL NOTES & EROSION CONTROL PLAN FOR BMP IMPLEMENTATION.

- S12. FLOOD HAZARD
- FIRM PANEL: 32031C33350G
- FLOOD ZONE: UNSHADED ZONE "X"
- S13. FAULT LOCATIONS TO BE DETERMINED UNDER FINAL GEOTECHNICAL EVALUATION
- S14. AREAS DESIGNATED AS FIRE LANES SHALL BE MARKED WITH A RED CURB AND WHITE, STENCILED LETTERING READING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- S15. ALL DIMENSIONS SHOWN TO THE BUILDING CORNERS ARE PERPENDICULAR TO THE PROPERTY LINE.
- S16. REFER TO PHOTOMETRICS PLAN FOR SITE LIGHTING LAYOUT.

PARKING ANALYSIS	SQUARE FEET	# OF EMPLOYEES	SPACES REQUIRED	SPACES PROVIDED
A ADMINISTRATIVE OFFICES	1590		7	7
B EQUIP. REPAIR/STORAGE OF OPERABLE VEHICLES			10	10
TOTAL		10*	17	17
ADA			1	1

*NUMBER OF EMPLOYEES DURING PEAK EMPLOYMENT SHIFT



0 JOY LAKE RD
Madole Shop

PREPARED FOR:
MADOLE CONSTRUCTION
305 US 395
Washoe Valley, NV 89704
(775) 737-4414

DATE: 2018-06-14

NO	DESCRIPTION	DATE	BY	CHK'D	REVISIONS
1	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			

811
Know what's below.
Call before you dig.

ROY A & CHRISTA D MCLAUGHLIN
APN: 046-170-23
1.9 ACRES
ZONE: GC

WASHOE COUNTY
CIVIL SITE PLAN
PROJECT NO. 1-14-149-06-001

SHEET C1

GRADING NOTES

1. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH LOCAL AIR POLLUTION PROVISIONS.
2. MINIMUM FINISHED GRADING REQUIREMENTS: GRADING SHALL NOT DIVERT RUNOFF TOWARDS OR OTHERWISE IMPACT ADJACENT PARCELS. GRADING SHALL NOT CONCENTRATE SURFACE RUNOFF LEADING TO EROSION FLOW.
3. ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED. ADDITIONAL DISTURBANCE NOT PART OF PLANNING LANDSCAPING SHALL BE STABILIZED AND BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDING IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
4. USE EXTREME CARE IN WORKING IN AREAS OUTSIDE THE PROJECT BOUNDARY SO AS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FINAL SURFACES ARE FIRM AND EXHIBIT NO SIGNS OF DEFLECTION.
6. GROUNDWATER IS NOT EXPECTED TO BE ENCOUNTERED DURING GRADING ACTIVITIES. IN THE EVENT THAT GROUNDWATER IS ENCOUNTERED, CONTRACTOR SHALL DEWATER AND DISCHARGE ONSITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

LABEL NOTES

1. CONSTRUCT RC PAVEMENT DETAIL C1.1, SHT D1
2. CONSTRUCT 12" DIAMETER HDPE CULVERT PER DETAIL C1.2, SHT D1
3. CONSTRUCT DRAINAGE INLET PER DETAIL C1.4, SHT D1
4. CONSTRUCT HEADWALL PER DETAIL C1.6, SHT D2
5. CONSTRUCT MASONRY RETAINING WALL PER DETAIL C1.7, SHT D2

LEGEND

- PROPERTY BOUNDARY
- SETBACK
- 5100 PROPOSED CONTOURS
- 5100 EXISTING CONTOURS

APPROXIMATE EARTHWORK BANK QUANTITIES:

TOTAL:
 FILL: 1,370 CY
 CUT: 2,770 CY
 EXPORT: 1,400 CY
 AREA DISTURBED: 1.27 ACRES
 UNDER PAVEMENT AND BLDG
 FILL: 900 CY
 CUT: 1,800 CY
 AREA: 0.73 ACRES



USE EXTREME CAUTION
 WHEN PERFORMING CONSTRUCTION
 ACTIVITIES IN THE PRESENCE OF (E) UTILITIES (TYP)



0 JOY LAKE RD
 Madole Shop

PREPARED FOR:
MADOLE CONSTRUCTION
 305 US 395
 Washoe Valley, NV 89704
 (775) 737-4414

DATE: 2018-06-14

PROJECT NO: 1-14-06-001

SHEET C2
 GRADING AND SEPTIC PLAN
 WASHOE COUNTY
 NEVADA

NO	DATE	BY	CHKD	DESCRIPTION
0	2018-06-14	EHRS	NER	FOR WASHOE COUNTY SPECIAL USE PERMIT

REFERENCES

NO	DATE	BY	CHKD	DESCRIPTION
1				
2				
3				
4				
5				
6				

REVISIONS

SHEET
C2

LEGEND

- PROPERTY BOUNDARY
- - - - - SETBACK
- +—+—+— PROPOSED SANITARY SEWER
- +—+—+— PROPOSED WATER
- E—E—E—E— PROPOSED OVERHEAD ELECTRIC

UTILITY NOTES

1. UTILITY INSTALLATION SHALL CONFORM TO STANDARDS ESTABLISHED BY THE UTILITY PROVIDER(S), INCLUDING TRENCHING DEPTH, FILL MATERIAL, LOCATION MARKERS, ETC.
2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE OR FROM INFORMATION OBTAINED FROM THE UTILITY COMPANIES. THE ENGINEER ACCEPTS NO LIABILITY FOR THE EXISTENCE OR NON-EXISTENCE OF UTILITY LINES. CONTRACTORS AND OTHERS USING THIS MAP MUST CONFIRM THE LOCATION OF UNDERGROUND LINES OR STRUCTURES FROM THE UTILITY COMPANIES PRIOR TO COMMENCING ANY EXCAVATION OR ORDERING OF MATERIALS.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. CONTACT "USA NORTH 811" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.
5. COORDINATE WITH OWNER, ENGINEERS, CONSULTANTS, UTILITY COMPANIES PRIOR TO, DURING & AFTER CONSTRUCTION FOR ACTUAL CONSTRUCTION / INSTALLATION STANDARDS & CLARIFICATION.
6. CONTRACTOR SHALL MAINTAIN 18" VERTICAL AND 10' HORIZONTAL MINIMUM SEPARATION BETWEEN ALL WATER AND SEWER LINES.
7. CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS WITH AUTHORITY HAVING JURISDICTION.
8. CONTRACTOR SHALL NOT CONNECT TO AN EXISTING SERVICE OR DISRUPT ANY EXISTING SERVICE WITHOUT THE PERMISSION OF THE AUTHORITY HAVING JURISDICTION.
9. ALL ELECTRIC LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE NV ENERGY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH NV ENERGY PRIOR TO INSTALLATION.
10. ALL WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH TMWA STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH TMWA PRIOR TO INSTALLATION.



Know what's below.
Call before you dig.

		0 30' 60' INCHES/FULL SCALE
PREPARED FOR: MADDOLE CONSTRUCTION <small>305 US 305 WASHINGTON, NV 89704 (775) 737-4414</small>		
PROJECT NO. 1-14-06-001 0 JOY LAKE RD Madole Shop SHEET C3 UTILITY PLAN WASHOE COUNTY NEVADA		
NO	REVISIONS	
0		
1	CHKD	
2	NER	
3	NER	
4	NER	
5	NER	
6	NER	
REFERENCES		
NO	DESCRIPTION	
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	
DATE	BY	
2018-06-14	CHKD	
DATE	BY	
2018-06-14	NER	
DATE	BY	
2018-06-14	NER	

SLOPE ANALYSIS

Slope Report Thu May 24 10:51:40 2018

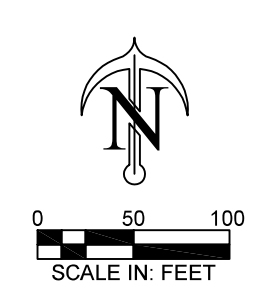
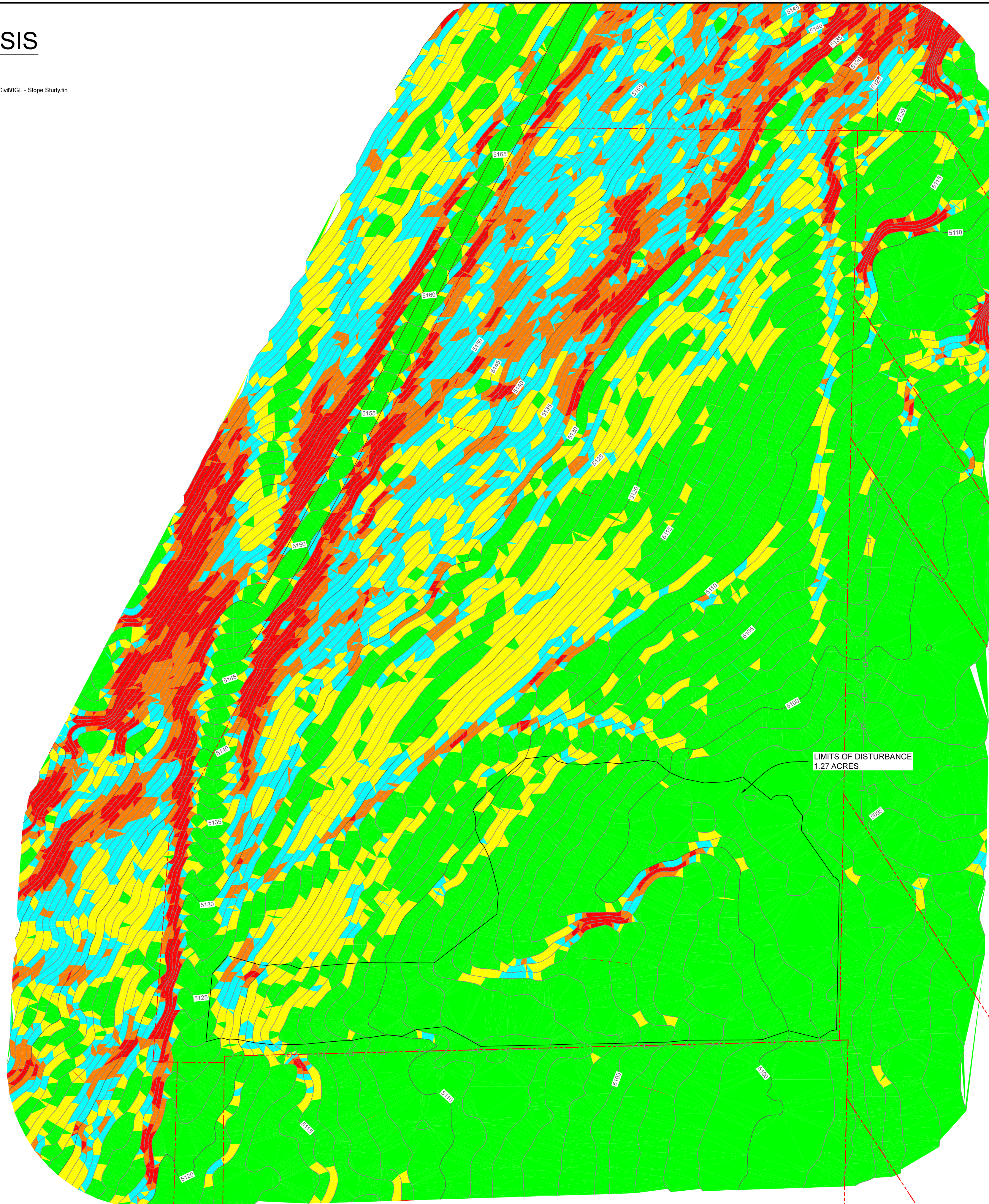
Surface File: P:\Madole Construction_114906.001_Washoe Valley Shop8_DWG\Civ\N0GL - Slope Study.tin

Average Slope: 14.6%

Minimum Slope: 0.0%



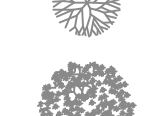




Maximum Slope: 20942.4%

Zone	Range	Area S.F.	Acres	Slope Surface Area S.F.	Acres	% of Average	Total Slope %
1	15.00%	269,542.0	6.188	270,587.7	6.212	55.5	7.8
2	20.00%	83,996.2	1.928	85,270.2	1.958	17.3	17.4
3	25.00%	65,210.7	1.497	66,827.8	1.534	13.4	22.4
4	30.00%	37,142.8	0.853	38,499.2	0.884	7.6	27.2
5	30.00%	30,036.4	0.690	32,017.6	0.735	6.2	36.0
Total		485,928.1	11.155	493,202.5	11.322		



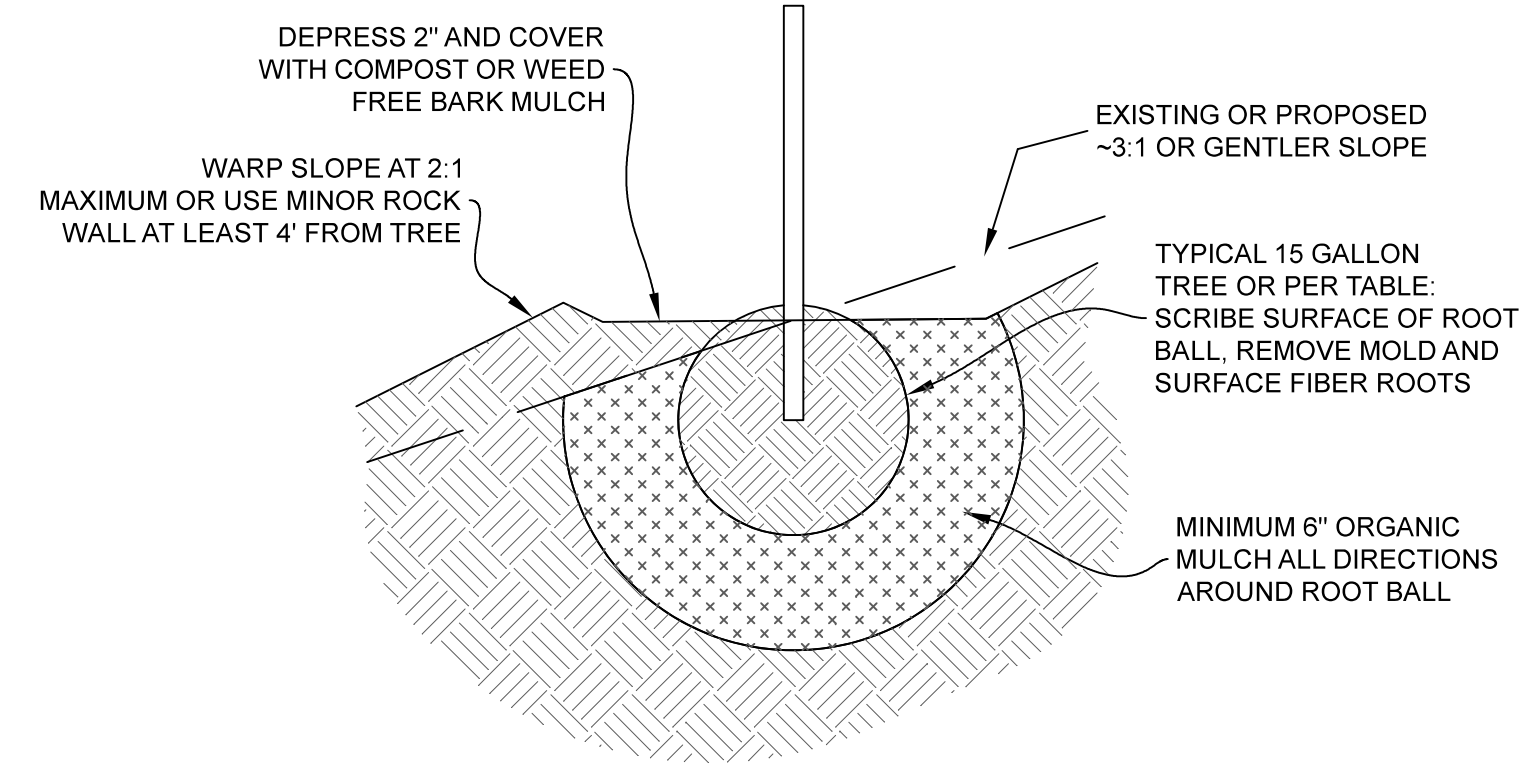
		PREPARED FOR: MADOLE CONSTRUCTION 305 US 395 Washoe Valley, NV 89704 (775) 737-4414		PROJECT NO: 114906.001 NEVADA	
DATE: 2018-06-14		DRAWN: ESH		SHEET C3 SLOPE ANALYSIS WASHOE COUNTY	
FOR WASHOE COUNTY SPECIAL USE PERMIT		DATE: 2018-06-14		REVISIONS	
NO	DESCRIPTION	DATE	BY	CHKD	NER
0					
REFERENCES		DATE		BY	
1		2		3	
4		5		6	
SHEET		C3			

LANDSCAPING LEGEND

-  COLUMNAR SHADE TREE (COL. NORWAY MAPLE, GREEN PILLAR OAK, CORINTHIAN LINDEN, OR SIM. TO COMPLEMENT ADJACENT RESIDENCES)
2 ea
-  EVERGREEN (INCENSE CEDAR SPECIMEN, JACK PINE, PINION, OR SIM.)
6 ea
-  SMALL MAPLE (AMUR, SHANTUNG), SMOKE TREE, OR SIM.
3 ea
-  FLOWERING TREE (PEAR, MIN. 2x CRABAPPLE, TULIP TREE, OR SIM.)
4 ea
-  VAR. SHRUBS: MINIMUM TREE/SHRUB RATIO PER WASHOE COUNTY REQ. ± 21 ea
-  DRYLAND GRASS & WILDFLOWER STABILIZING GROUNDCOVER
8300 SF
-  IRRIGATION PIPING AND MAJOR CONTROL VALVES

LANDSCAPE SUMMARY	REQUIRED	PROVIDED	UNITS
A TOTAL NUMBER OF INTERNAL TREES	2	2	TREES
TOTAL NUMBER OF STREET TREES	19	19*	TREES
TOTAL NUMBER OF SHRUBS	4	21	SHRUBS
B TOTAL OPEN SPACE	-	80	%
C TOTAL OPEN SPACE	-	4.47	ACRES
D TOTAL GREEN SPACE	20 (OF DEV.)	27	%
E TOTAL GREEN SPACE	0.23	0.40	ACRES

*1 STREET TREE IS REQUIRED PER 50' OF STREET FRONTAGE (952/50' = 19 TREES). DUE TO THE LOCATION OF THE SITE AND THE PROPOSED DEVELOPMENT, A DIRECTOR'S MODIFICATION IS REQUESTED TO ALLOW THE STREET TREES BE PLANTED WITHIN CLOSE PROXIMITY TO THE DEVELOPMENT.

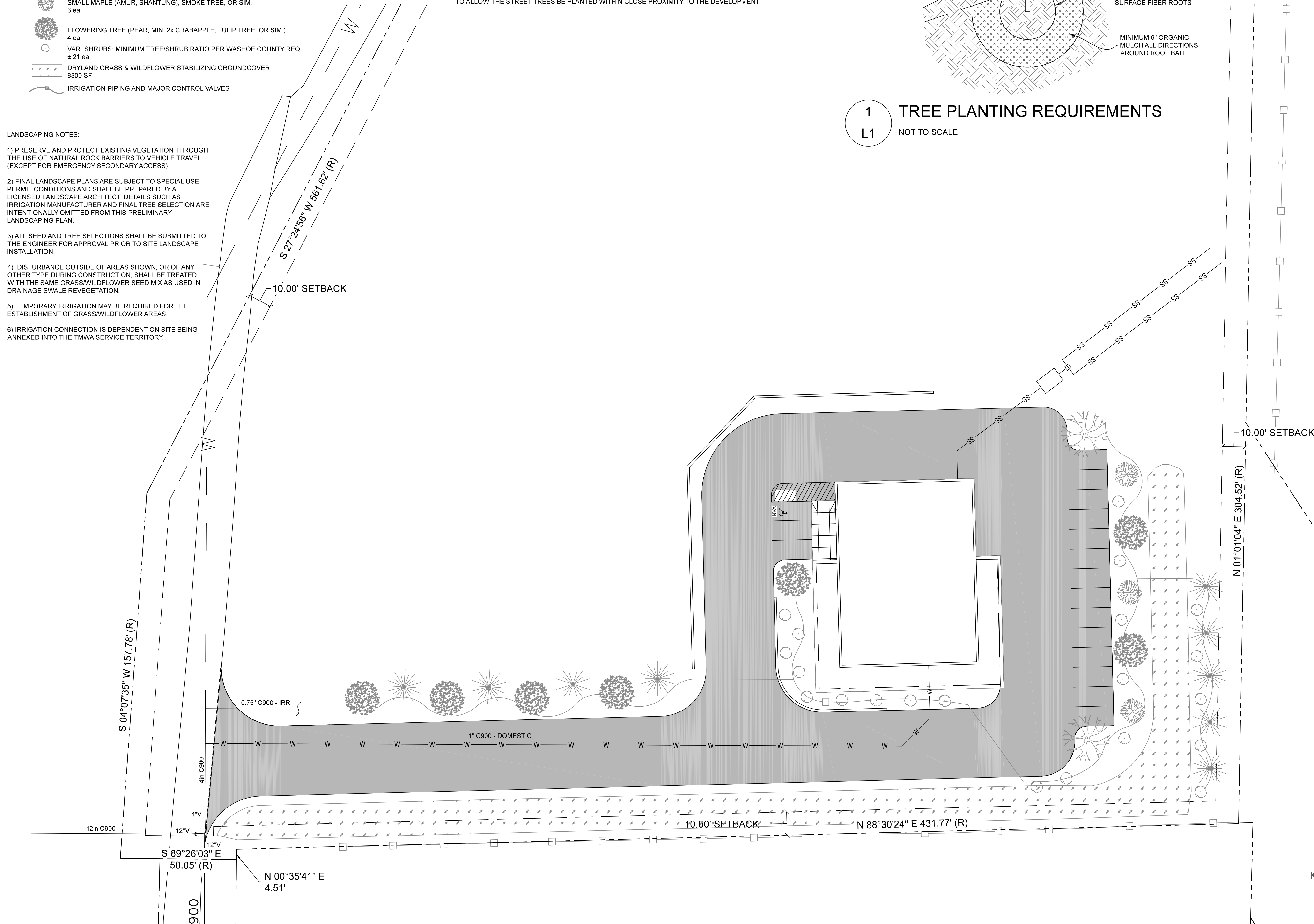


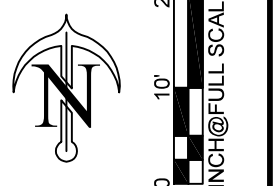
1 TREE PLANTING REQUIREMENTS

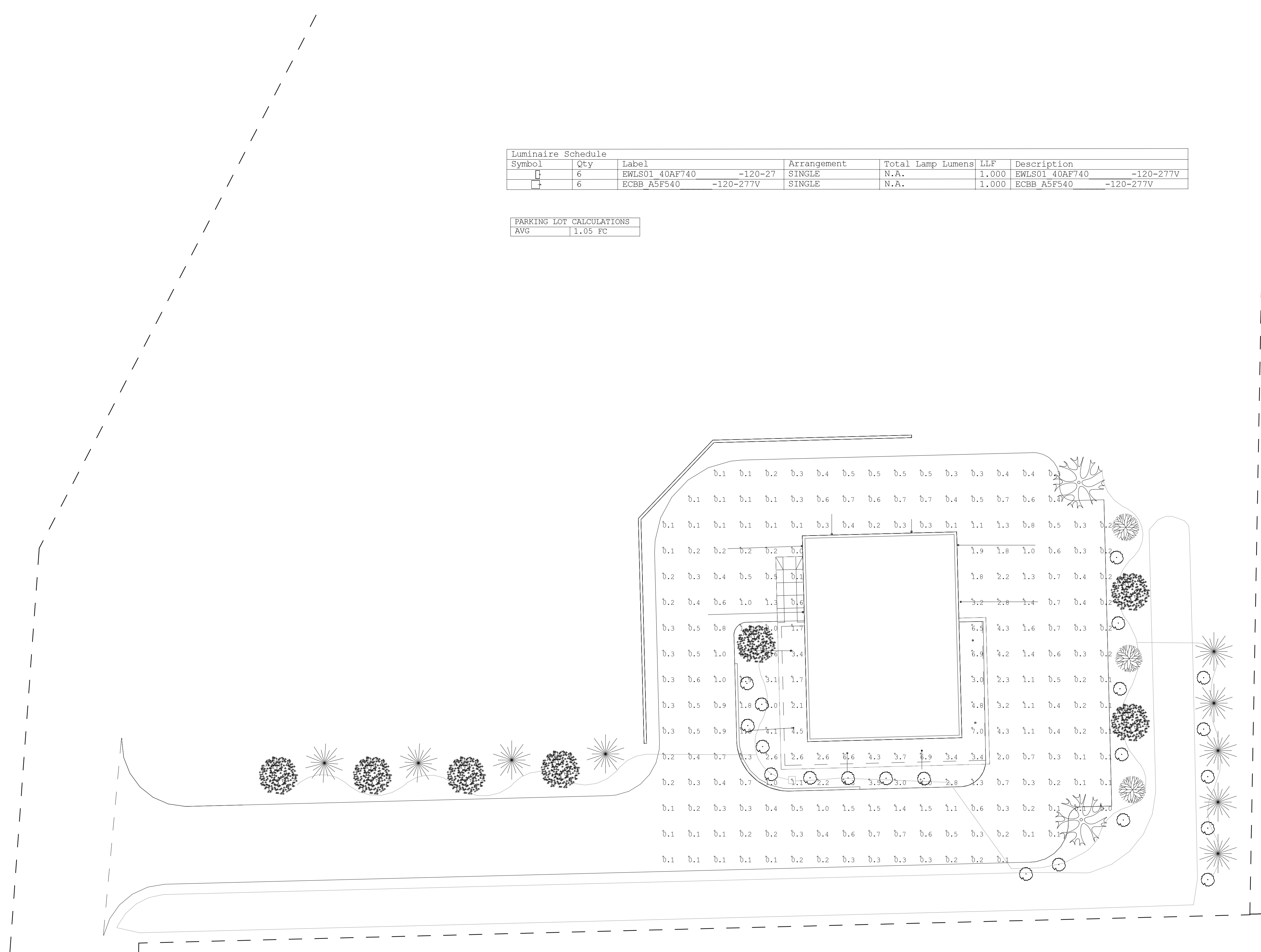
L1 NOT TO SCALE

LANDSCAPING NOTES:

- 1) PRESERVE AND PROTECT EXISTING VEGETATION THROUGH THE USE OF NATURAL ROCK BARRIERS TO VEHICLE TRAVEL (EXCEPT FOR EMERGENCY SECONDARY ACCESS)
- 2) FINAL LANDSCAPE PLANS ARE SUBJECT TO SPECIAL USE PERMIT CONDITIONS AND SHALL BE PREPARED BY A LICENSED LANDSCAPE ARCHITECT. DETAILS SUCH AS IRRIGATION MANUFACTURER AND FINAL TREE SELECTION ARE INTENTIONALLY OMITTED FROM THIS PRELIMINARY LANDSCAPING PLAN.
- 3) ALL SEED AND TREE SELECTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO SITE LANDSCAPE INSTALLATION.
- 4) DISTURBANCE OUTSIDE OF AREAS SHOWN, OR OF ANY OTHER TYPE DURING CONSTRUCTION, SHALL BE TREATED WITH THE SAME GRASS/WILDFLOWER SEED MIX AS USED IN DRAINAGE SWALE REVEGETATION.
- 5) TEMPORARY IRRIGATION MAY BE REQUIRED FOR THE ESTABLISHMENT OF GRASS/WILDFLOWER AREAS.
- 6) IRRIGATION CONNECTION IS DEPENDENT ON SITE BEING ANNEXED INTO THE TMWA SERVICE TERRITORY.



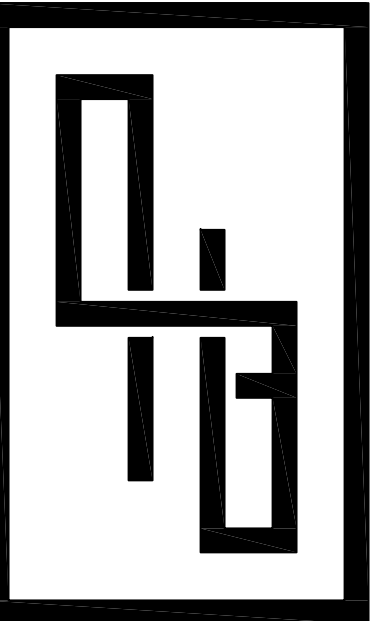
0 JOY LAKE RD Madole Shop		SHEET L1 PRELIMINARY LANDSCAPING PLAN WASHOE COUNTY NEVADA PROJECT NO. 1-14-06-001
 PREPARED FOR: MADOLE CONSTRUCTION 305 US 395 Washoe Valley, NV 89704 (775) 737-4414 DRAWN: ESH DATE: 2018-06-14		1 2 3 4 5 6 REFERENCES NO. 0 REVISIONS SHEET L1



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	6	EWS01 40AF740	-120-27	SINGLE	N.A.	EWS01 40AF740 -120-277V
□	6	ECBB A5F540	-120-277V	SINGLE	N.A.	ECBB A5F540 -120-277V

PARKING LOT CALCULATIONS	
AVG	1.05 FC

NO	0	DESCRIPTION	FOR WASHOE COUNTY SPECIAL USE PERMIT	DATE	2018-06-14	BY	NER	CHKD	NER	NO	1	2	3	4	5	6
											REFERENCES					
											REVISIONS					
											SHEET					
											P1					
											PREPARED FOR: MADOLE CONSTRUCTION 305 US 895 Washoe Valley, NV 89704 (775) 571-4414 DRAWN: ESH DATE: 2018-06-14 PROJECT NO: 11148-06-001 WASHOE COUNTY PHOTOMETRICS PLAN SHEET P1 MADOLE Shop 0 JOY LAKE RD NEVADA					



NEW CONSTRUCTION OFFICE & SHOP
MADOLE CONSTRUCTION COMPANY, INC.
JOY LAKE ROAD, WASHOE VALLEY NV 89704

Derwin H. Bass, AIA - Architect
1220 Walker Dr. Reno NV 89511
T/F: (775) 376-8636 madoleconstruction.com

EXTERIOR
ELEVATIONS

DATE: 06/14/2018

DRAWN BY: DHBAS6

SCALE: NOTED

JOB # 2018-0010

ELEVATIONS

SHEET #

ELEV-1

PRE-FINISHED STEEL RIBBED
ROOFING - COLOR: WHITE

PRE-FINISHED STEEL RIBBED
SIDING - COLOR: LIGHT SANDY
BROWN

PRE-FINISHED ALUMINUM SIGN
LETTERS - COLOR: BRONZE

COMPOSITION ASPHALT SHINGLE
ROOF - COLOR: CHOCOLATE
BROWN

PAINTED WOOD FASCIAS -
COLOR: CHOCOLATE BROWN

PAINTED WOOD FRAMING FOR
PORCH - COLOR: CHOCOLATE
BROWN

PRE-FINISHED ALUMINUM DOOR &
WINDOW FRAMES - COLOR:
BRONZE

FINISHED GRADE AT BUILDING

Madole Construction Company

FRONT ELEVATION

SCALE - 1/4" = 1'

PRE-FINISHED STEEL RIBBED
ROOFING - COLOR: WHITE

PRE-FINISHED STEEL RIBBED
SIDING - COLOR: LIGHT SANDY
BROWN

PRE-FINISHED ALUMINUM DOOR &
WINDOW FRAMES - COLOR:
BRONZE

COMPOSITION ASPHALT SHINGLE
ROOF - COLOR: CHOCOLATE
BROWN

PRE-FINISHED 14' OVERHEAD
COILING DOOR - COLOR: BROWN

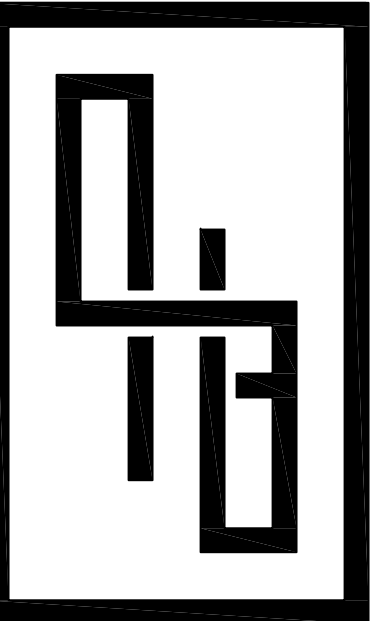
PAINTED WOOD FASCIAS -
COLOR: CHOCOLATE BROWN

PAINTED WOOD FRAMING FOR
PORCH - COLOR: CHOCOLATE
BROWN

FINISHED GRADE AT BUILDING

LEFT SIDE ELEVATION

SCALE - 1/4" = 1'



NEW CONSTRUCTION OFFICE & SHOP
MADOLE CONSTRUCTION COMPANY, INC.
JOY LAKE ROAD, WASHOE VALLEY NV 89704

Derwin H. Bass, AIA - Architect
1220 Waterloo Dr. Reno NV 89511
T/F: (775) 376-8636 madoleconstruction.com

EXTERIOR
ELEVATIONS

DATE: 06/14/2018

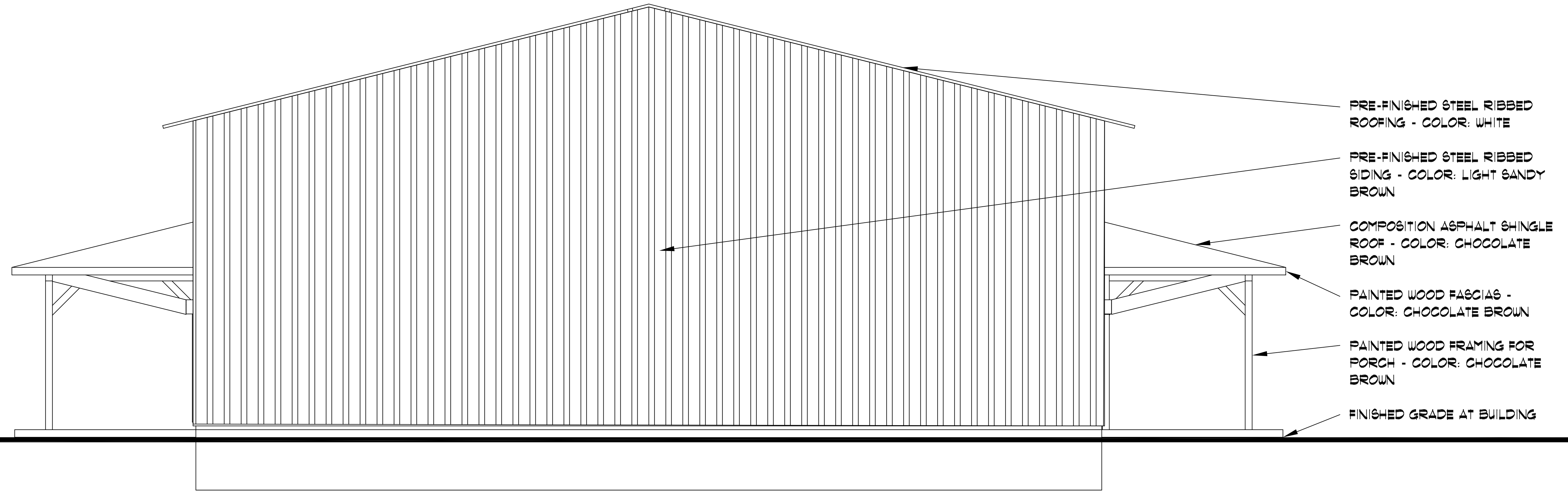
DRAWN BY: DHBAS6

SCALE: NOTED

JOB # 2018-0010

ELEVATIONS

SHEET #



PRE-FINISHED STEEL RIBBED
ROOFING - COLOR: WHITE

PRE-FINISHED STEEL RIBBED
SIDING - COLOR: LIGHT SANDY
BROWN

COMPOSITION ASPHALT SHINGLE
ROOF - COLOR: CHOCOLATE
BROWN

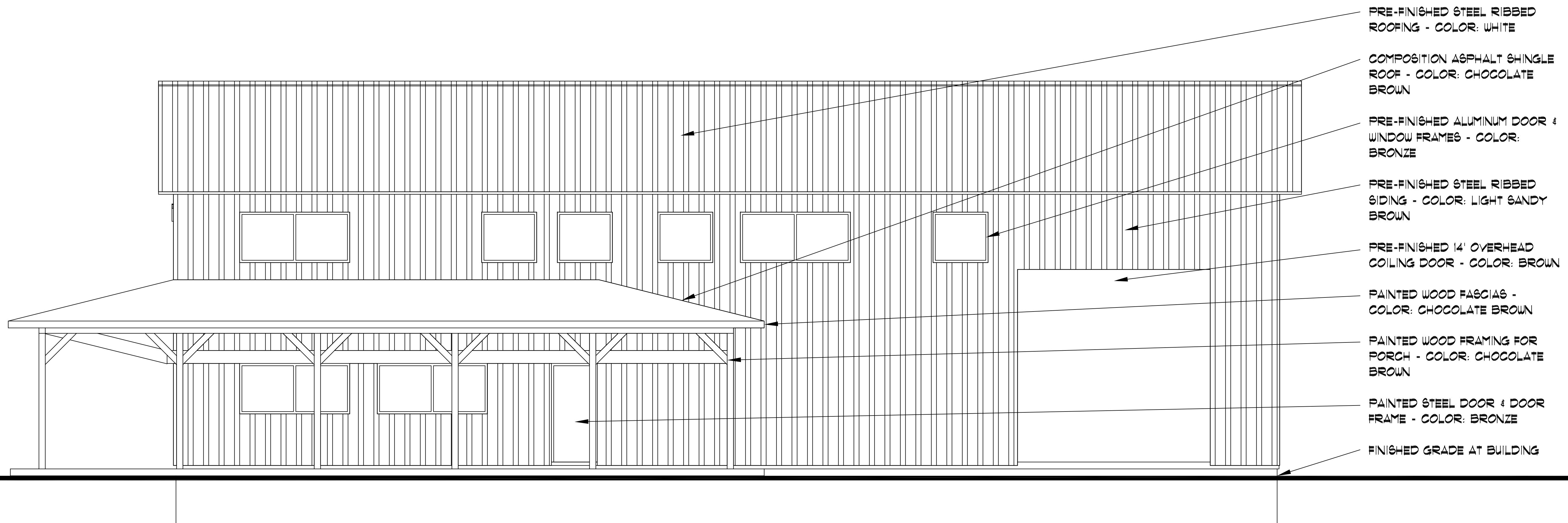
PAINTED WOOD FASCIAS -
COLOR: CHOCOLATE BROWN

PAINTED WOOD FRAMING FOR
PORCH - COLOR: CHOCOLATE
BROWN

FINISHED GRADE AT BUILDING

BACK ELEVATION

SCALE - 1/4" = 1'



PRE-FINISHED STEEL RIBBED
ROOFING - COLOR: WHITE

COMPOSITION ASPHALT SHINGLE
ROOF - COLOR: CHOCOLATE
BROWN

PRE-FINISHED ALUMINUM DOOR &
WINDOW FRAMES - COLOR:
BRONZE

PRE-FINISHED STEEL RIBBED
SIDING - COLOR: LIGHT SANDY
BROWN

PRE-FINISHED 14' OVERHEAD
COLING DOOR - COLOR: BROWN

PAINTED WOOD FASCIAS -
COLOR: CHOCOLATE BROWN

PAINTED WOOD FRAMING FOR
PORCH - COLOR: CHOCOLATE
BROWN

PAINTED STEEL DOOR & DOOR
FRAME - COLOR: BRONZE

FINISHED GRADE AT BUILDING

RIGHT SIDE ELEVATION

SCALE - 1/4" = 1'