

Community Services Department
Planning and Development
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Project Name:
Eisele detached accessory dwelling

Project Description: detached accessory dwelling with first floor garage, 2nd floor living space to include 2 bedrooms, full bath, living room, kitchen and deck

Project Address: 15540 Cherrywood Dr. Reno, Nevada 89511

Project Area (acres or square feet): 0.93 acre

Project Location (with point of reference to major cross streets AND area locator):
corner of Cherrywood and Shawna old Callahan Ranch Development up Mt. Rose hiiway to the south

Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
045-583-01	0.93		

Section(s)/Township/Range:

Indicate any previous Washoe County approvals associated with this application:
Case No.(s).

Applicant Information (attach additional sheets if necessary)

Property Owner:		Professional Consultant:	
Name: Eisele Living Trust, Allen & Linda Eisele		Name:	
Address: 5540 Cherrywood Dr.		Address:	
Reno, Nevada	Zip: 89511		Zip:
Phone: 775-849-1736	Fax:	Phone:	Fax:
Email: lindaeisele@yahoo.com		Email:	
Cell: no	Other:	Cell:	Other:
Contact Person: Allen Eisele		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Carl Perkins		Name:	
Address: 2455 Killington Drive		Address:	
Reno, Nevada	Zip: 89511		Zip:
Phone: 1-530-5638454	Fax:	Phone:	Fax:
Email: carl@builtbygrizzly.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	

For Office Use Only

Date Received:	Initial:	Planning Area:
County Commission District:		Master Plan Designation(s):
CAB(s):		Regulatory Zoning(s):

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

1612 sq. feet

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

806 sq. feet

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

Dwelling will have same outside color same outside color trim. Roof will be of same color

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

septic system
municipal water

5. What additional roadway, driveway, or access improvements are you planning?

Dwelling will have own entrance through a gate off of Shawna to back of lot. Driveway for now will be gravel

6. A parking space is required. How are you providing the additional parking?

Parking will be on property in the two car garage

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

hopefully winter of 2018 or early 2019

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

There will be no increased lighting, no removal of existing vegetation. We may plant a pine tree on the south side between dwelling and Shawna to block vision of dwelling from road. Dwelling does not block any view of property to the south.
Property to the north has thick tree forest between property and ours that blocks any view of building. To the rear of property is a row of pine trees that act as a buffer between our property and empty lot behind us.

Property Owner Affidavit

Applicant Name: Allen and Linda Eisele ALLEN EISELE

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, ALLEN EISELE
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 045-583-01

Printed Name ALLEN EISELE

Signed Allen Eisele

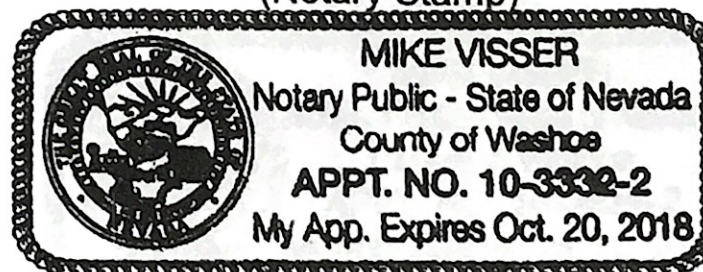
Address 15540 Cherrywood Dr. Reno, Nevada 89511

Subscribed and sworn to before me this
23rd day of August, 2018.

Mike Visser
Notary Public in and for said county and state

My commission expires: 10/20/2018

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: LINDA EISELE

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, LINDA EISELE
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 045-583-01

Printed Name LINDA EISELE

Signed [Signature]

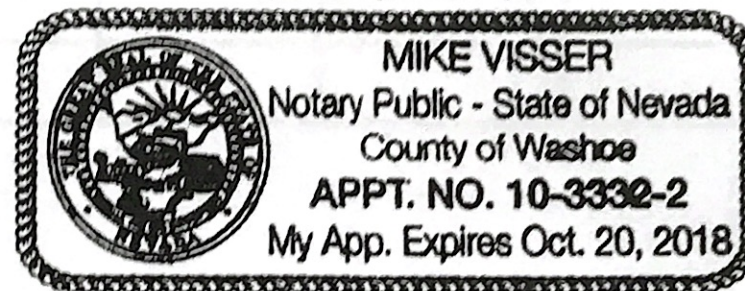
Address 15540 CHERRYWOOD DR.
RENO, NV 89511

Subscribed and sworn to before me this 23rd day of August, 2018.

[Signature]
Notary Public in and for said county and state

My commission expires: 10/20/2018

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Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 04558301
 AIN:

Balance Good Through:	08/22/2018
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO
 :895116:

ALLEN & LINDA EISELE LIVING TRUST
 15540 CHERRYWOOD DR
 RENO NV 89511

Description:

Situs: 15540 CHERRYWOOD DR

 This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
04558301	2018	2018062945	1	08/20/2018	500.28	0.00	0.00	500.28	0.00
04558301	2018		2	10/01/2018	491.16	0.00	0.00	491.16	0.00
04558301	2018		3	01/07/2019	491.16	0.00	0.00	491.16	0.00
04558301	2018		4	03/04/2019	491.16	0.00	0.00	491.16	0.00
Current Year Totals					1,973.76	0.00	0.00	1,973.76	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Eisele Detached Structure

Washoe County, NV



K2 ENGINEERING
AND STRUCTURAL DESIGN
860 Maestro Dr., Ste. A
Reno, NV 89511
P: (775) 355-0505
F: (775) 355-0566
www.K2eng.net

Eisele Residence
15540 Cherrywood Dr.
A.P.N.: 045-583-01
Washoe County, NV
89511

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL JOB SITE REQUIREMENTS AND FOR COORDINATION OF ARCHITECTURAL DRAWINGS.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENTIAL DESIGNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR OTHER QUESTIONS RELATING TO THE CONSTRUCTION DOCUMENTS. DO NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS CLEAR.
 - THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.
 - CONTRACTORS AND SUBCONTRACTORS SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.
 - CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE RESIDENTIAL DESIGNER SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THESE PLANS, SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED - AND SHALL COMPLY WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATIONS' OF THE U.S. DEPARTMENT OF LABOR, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE RESIDENTIAL DESIGNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
 - CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.
 - CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN THE PREMISES, CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, AND FAINT OVERSPRAY.
 - BUILDER'S SET: THIS SET OF DRAWINGS HAS BEEN PREPARED SUFFICIENT TO OBTAIN A BUILDING PERMIT. ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS 'BUILDER'S SET'. THE IMPLEMENTATION OF THE DRAWINGS REQUIRES THE CONTRACTOR TO BE THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT AND TYPE OF CONSTRUCTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE NO STRUCTURAL SUBSTITUTIONS, CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.
- UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
- CODE COMPLIANCE
 - ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL FIRE CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, NATIONAL ELECTRIC CODE AND OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

BASIS OF DESIGN

BUILDING CODE:
2012 INTERNATIONAL RESIDENTIAL CODE - 'IRC' (CHAPTERS 2 THROUGH 44 AND APPENDICES A, B, C, G, H, J, K, 4 L)
2012 INTERNATIONAL ENERGY CONSERVATION CODE - 'IECC'
2012 INTERNATIONAL WILDLAND URBAN INTERFACE CODE - 'IUIIC' (CHAPTER 5)
2012 UNIFORM PLUMBING CODE - 'UPC' (CHAPTERS 2 THROUGH 11 AND APPENDICES A, B, D, E, F, I AND L)
2012 UNIFORM MECHANICAL CODE - 'UMC' (CHAPTERS 2 THROUGH 11 AND APPENDICES A, B AND C)
2011 NORTHERN NEVADA ENERGY CODE AMENDMENTS BY THE NNCC
2012 NORTHERN NEVADA CODE AMENDMENTS BY THE NNCC

ALL OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT

PROJECT INFORMATION

ADDRESS: 15540 CHERRYWOOD DR.
WASHOE COUNTY, NV 89511

A.P.N.: 045-583-01

ZONING: LD9

FLOOD ZONE: X

NUMBER OF STORIES: TWO (EXISTING RESIDENCE ONE)

PARCEL AREA: 0.929 ACRES

SCOPE OF WORK: A NEW 11568 SF. DETACHED STRUCTURE TO INCLUDE 2x6 EXTERIOR WOOD STUD WALLS, FIRE-MANUF. WOOD TRUSSES, 2x FLOOR JOISTS, CONCRETE STEMWALL AND FOOTING, CONCRETE TILE ROOFING TO MATCH (E) AND SIDING TO MATCH (E).

AREA TABULATIONS AT (E) RESIDENCE:

(E) RESIDENCE (w/ 3 BEDROOMS) 1614 SF.

(E) GARAGE 528 SF.

AREA TABULATIONS AT (N) DETACHED STRUCTURE:

(N) DETACHED STRUCTURE - FIRST FLOOR 1214 SF.

(N) DETACHED STRUCTURE - SECOND FLOOR 1126 SF.

TOTAL LIVING: 1950 SF.

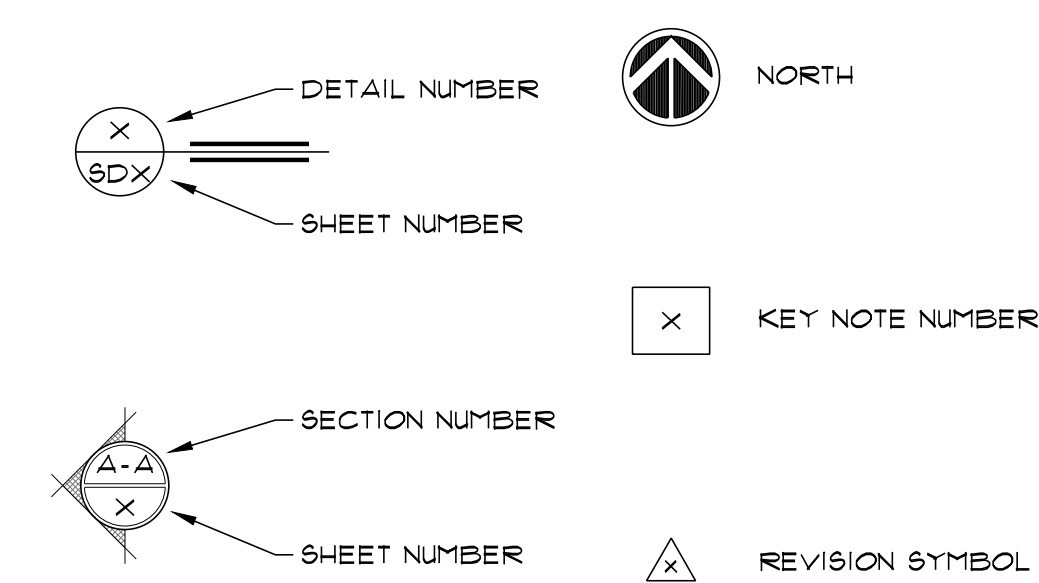
(N) GARAGE 1510 SF.

(N) SECOND STORY COVERED DECK 112 SF.

VICINITY MAP



SYMBOL LEGEND



DRAWING INDEX

ARCHITECTURAL

- A-0 COVER SHEET, PROJECT DATA, BASIS OF DESIGN, VICINITY MAP, SYMBOL LEGEND
- A-1 SITE PLAN
- A-2 FLOOR PLANS
- A-3 ELECTRICAL PLANS
- A-4 ELEVATIONS
- A-5 SECTION 'A-A'

STRUCTURAL

- S-1 FOUNDATION AND FIRST FLOOR SHEARWALL PLAN
- S-2 SECOND FLOOR FRAMING AND SHEARWALL PLAN
- S-3 SECOND FLOOR ROOF FRAMING PLAN
- SD-1 STRUCTURAL NOTES AND SCHEDULES
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS

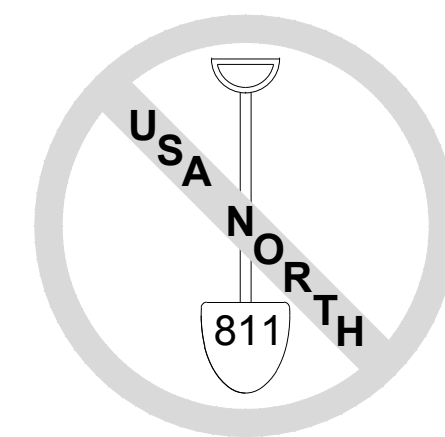
DIRECTORY

OWNER/DEVELOPER

ALLEN AND LINDA EISELE
15540 CHERRYWOOD DRIVE
RENO, NEVADA 89511
TEL: (775) 849-1136

ENGINEER

BRANDT KENNEDY PE
K2 ENGINEERING
860 MAESTRO DR., STE. A
RENO, NV 89511
P: (775) 355-0505
F: (775) 355-0566
WWW.K2ENG.NET



Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.

NOT FOR CONSTRUCTION

Revisions

△ PCC/REV. 11/13/18

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Date 7-10-18

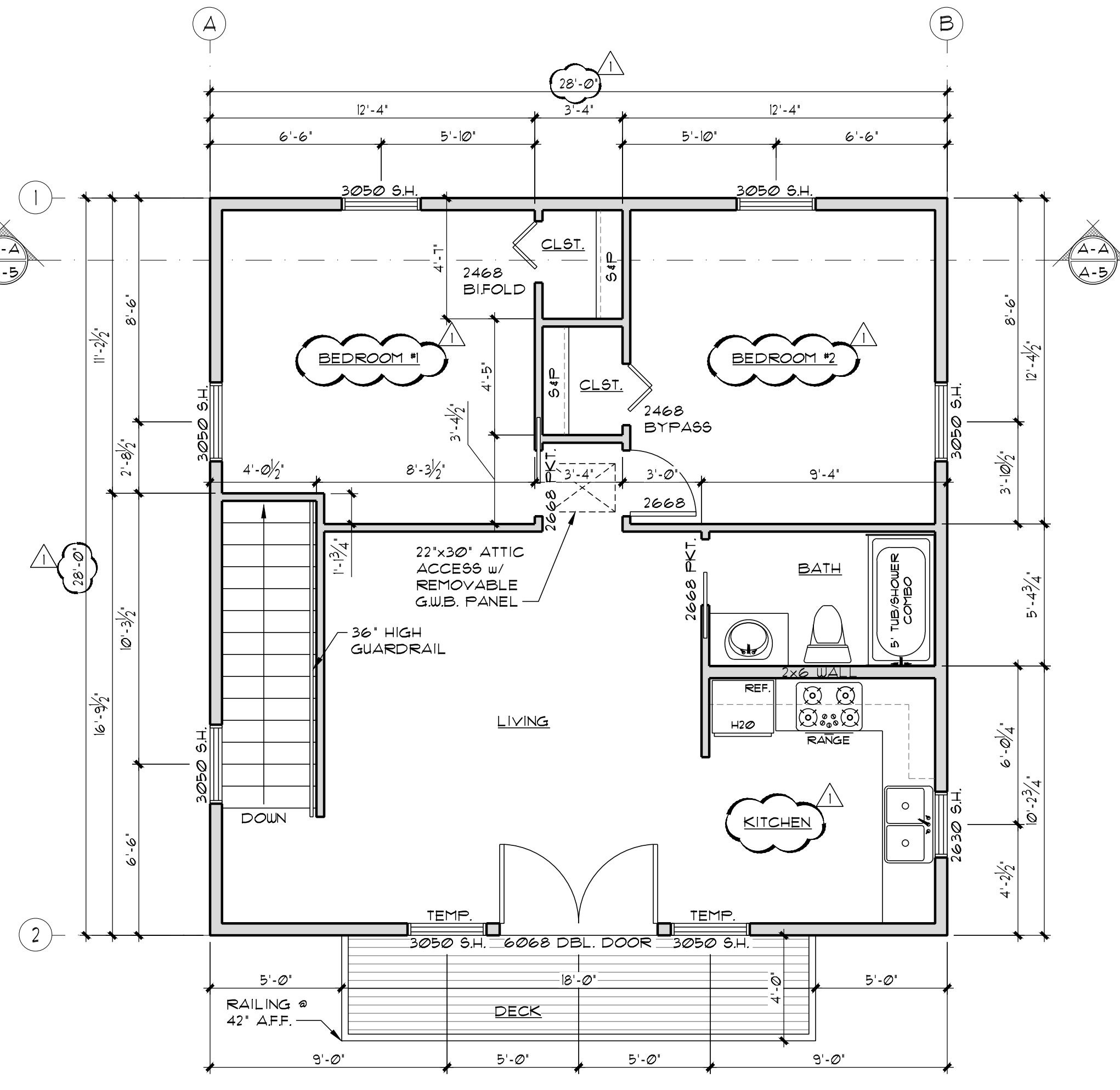
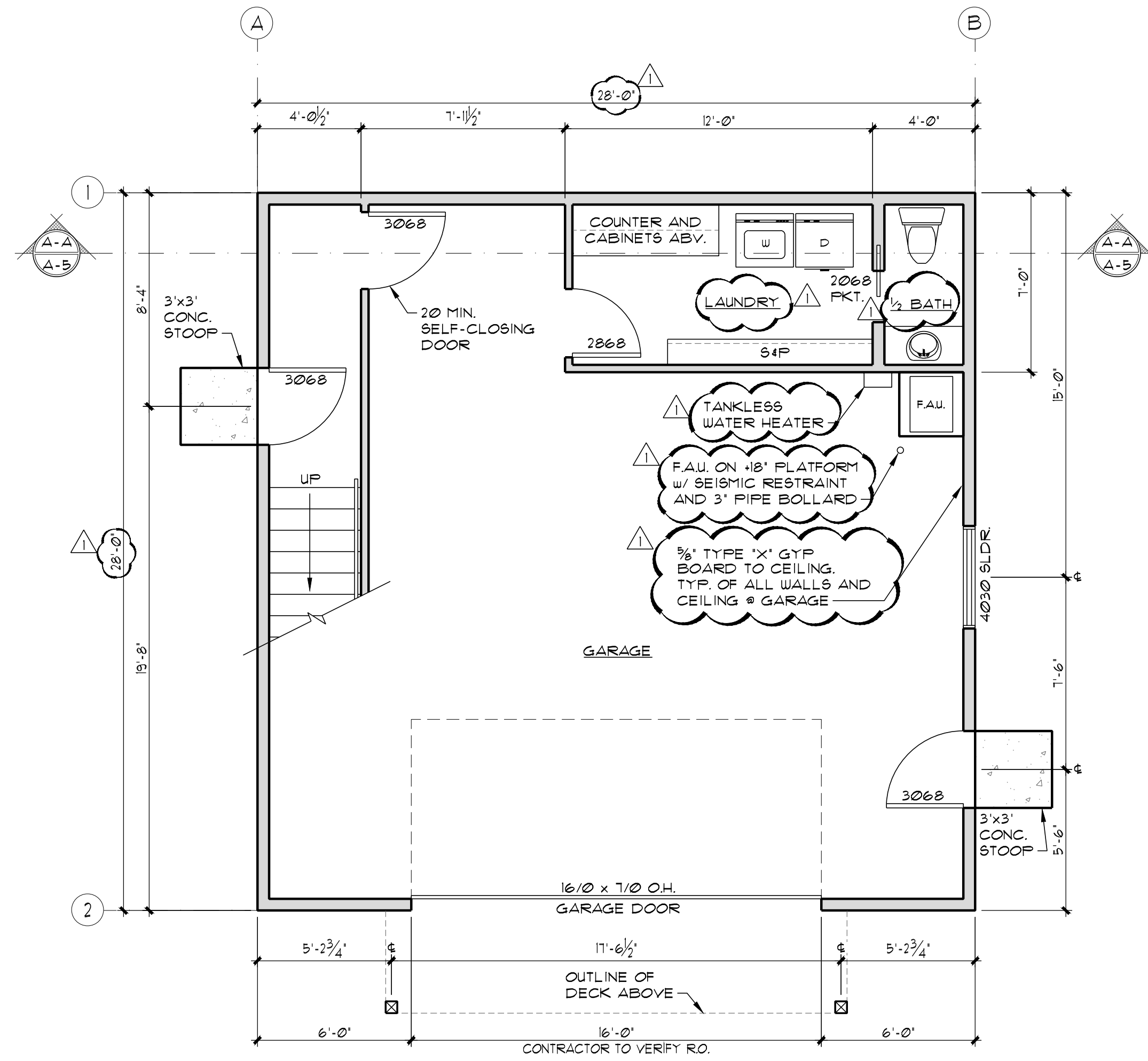
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Checked BTK

Project No. 18-129

Cover Sheet

A-0



GENERAL FLOOR PLAN NOTES

- TYPICAL EXTERIOR WALL - LAP SIDING O/ BLDG. PAPER AND SHEAR PLY. OVER 2x6's @ 16' O.C. WALL FRAMING W/ R-21 BATT INSUL. - SEE PLAN.
- INTERIOR WALLS: 2x4 STUDS @ 16' O.C. UNO.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
- ALL 4x AND LARGER LUMBER TO BE DP#1 OR BETTER ALL SMALLER LUMBER TO BE DP#2 OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R302.4
- SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE.
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.1
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R702.3.2.
- PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.W.T. TO FIXTURE PER IECC R403.4.
- 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY.
- EGRESS WINDOW:
MIN. OPEN AREA = 5.7 SQFT, 5 SQFT. (GRADE FLOOR).
MIN. CLEAR OPENING WIDTH = 20"
MAX. 44" FROM FIN. FLR TO CLR. OPENING
- LANDINGS AT DOORS PER R311.3. AND LANDINGS AT STAIRWAYS PER R311.1.6.
- SIDING SHALL BE INSTALLED PER MFR.'S INSTRUCTIONS AND R103.
- WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R803.2.11.
- CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE-HEATING EQUIPMENT SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3103.1.
- WATER HEATER IGNITION SOURCE SHALL BE 18" ABV. GARAGE FLOOR.
- ALL EXHAUST FANS REQUIRE RIGID, SMOOTH INTERIOR DUCT.
- ALL DUCT WORK TO CONFORM WITH CHAPTER 16.
- CHIMNEYS AND FIREPLACES SHALL COMPLY WITH M1805 AND MFR.'S SPECIFICATIONS.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION PER P2100.3.
- MAXIMUM STATIC WATER PRESSURE SHALL BE 80 PSI. WHEN MAIN PRESSURE EXCEEDS 65 PSI, AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.
- PROVIDE HOUSE STREET NUMBER SO THAT IT IS VISIBLE AND LEGIBLE FROM STREET.
- SHOWER COMPARTMENTS & WALLS ABOVE BATHTUBS ARE TO BE TILED TO THE CEILING OR MIN. 6'-0" ABOVE FF.

Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.

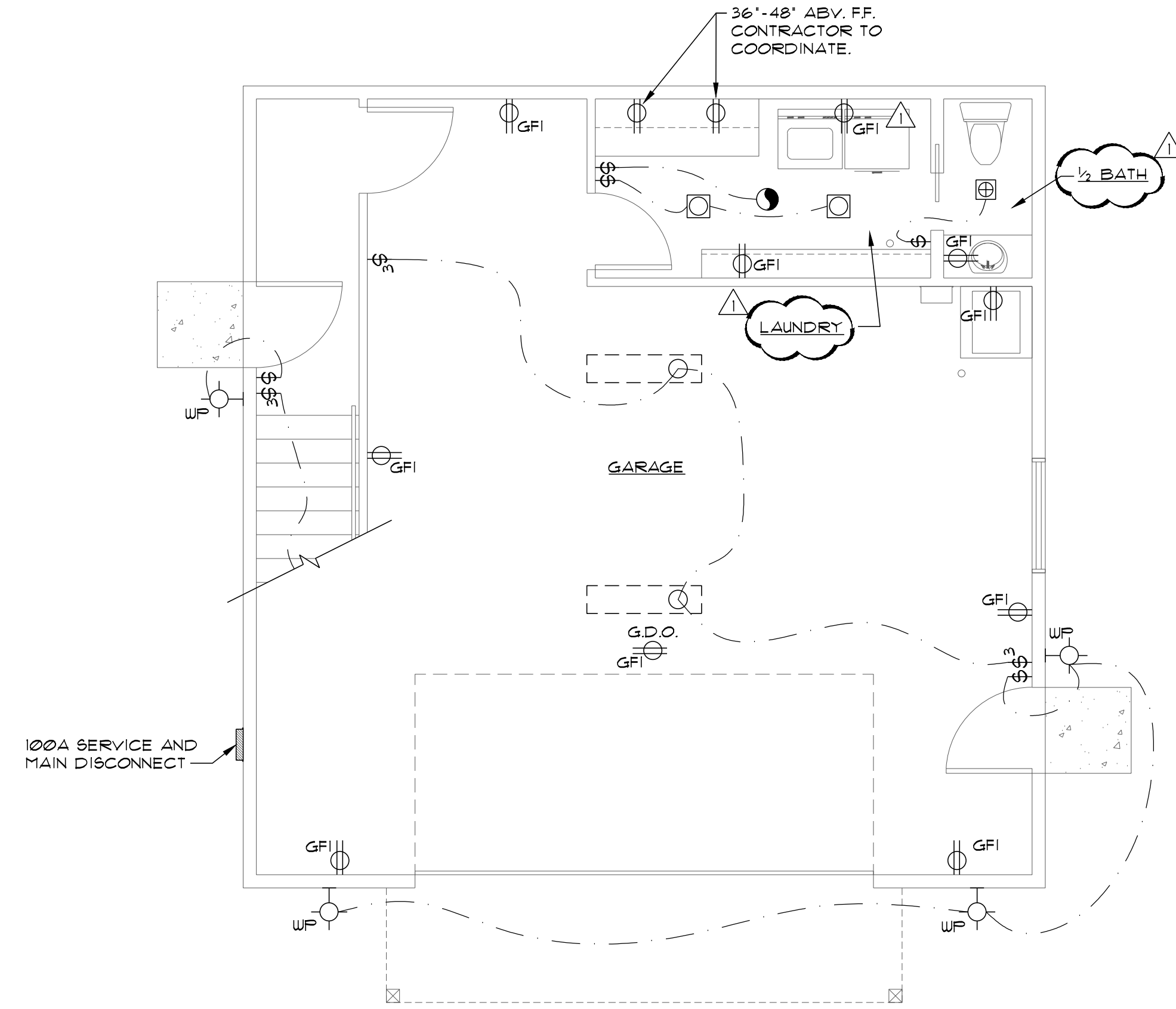
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Revisions

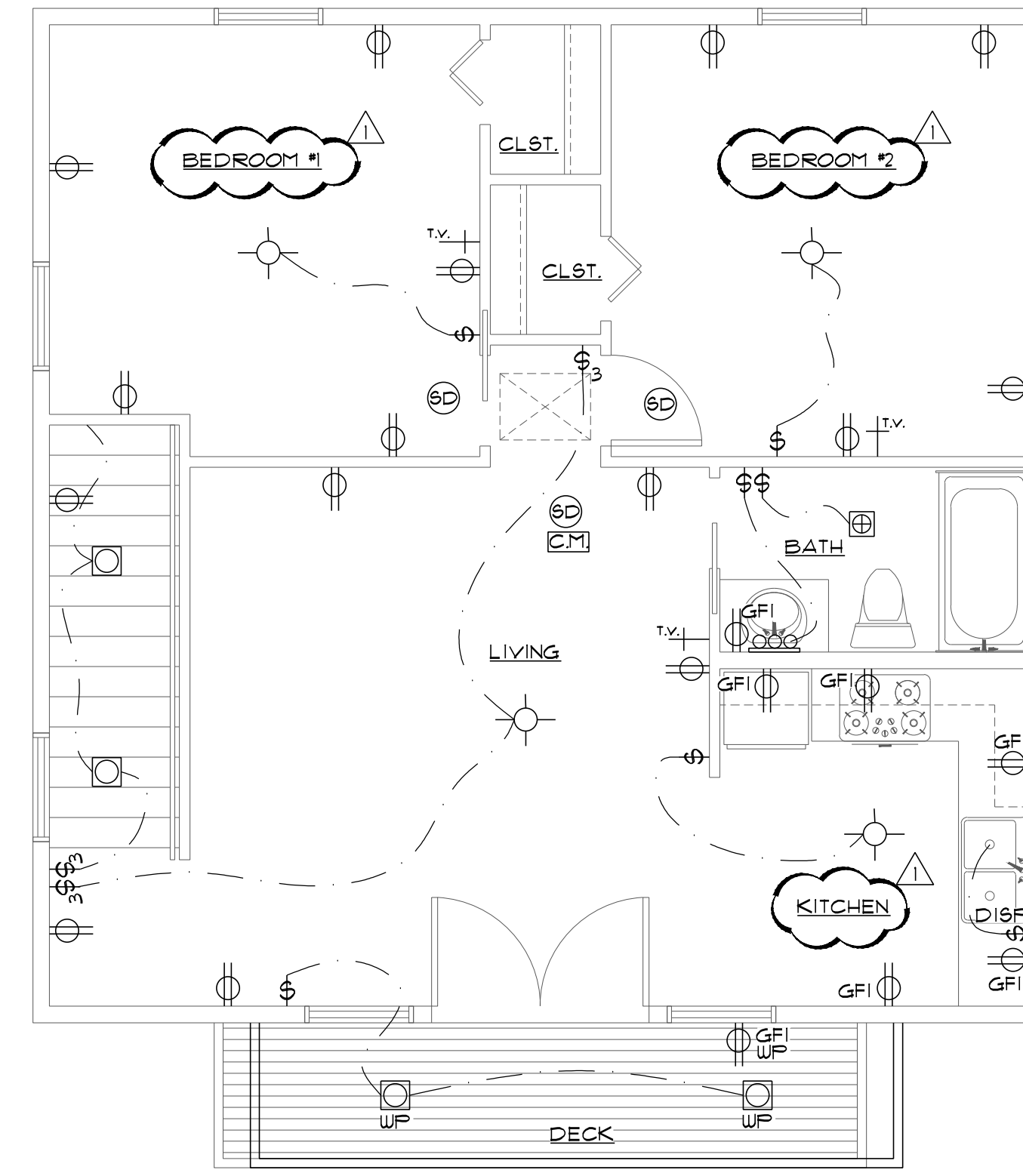
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Date 7-10-18
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First Floor and Second Floor Plans



**FIRST FLOOR
ELECTRICAL PLAN**
SCALE 1/4" = 1'-0"



**SECOND FLOOR
ELECTRICAL PLAN**
SCALE 1/4" = 1'-0"

ELECTRICAL PLAN NOTES

- ALL ELECTRICAL INSTALLATION SHALL COMPLY W/ THE 2012 IRC & LOCAL CODES.
- ALL PLUG SPACING PER 2012 IRC. TYP.
- BACK TO BACK ELEC. PER 2012 IRC. TYP.
- COORDINATE ALL HANGING FIXTURES W/ OWNER.
- SHOULD ANY LIGHTING CONFLICT W/ FRAMING, RELOCATE PER OWNER SPEC'S
- LOCATION(S) OF COLD AIR RETURN TO BE VERIFIED W/ OWNER.
- ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND LABELED FOR MAX. AIR LEAKAGE AND SEALED TO CEILING W/ GASKET OR CAULKING.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE 15 AND 20 AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS ARE REQUIRED TO HAVE A COMBINATION ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER 2012 IRC SECTION E3902.12.
- PROVIDE 30" WIDE X 36" DEEP WORKSPACE IN FRONT OF ELECT. PANEL.
- ELECTRIC OUTLET BOXES LOCATED IN FLOORS SHALL BE LISTED FOR INFLOOR INSTALLATION.
- THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE OR WITHIN 3" OF RECESSED LUMINARIES ENCLOSURE, WIRING COMPARTMENT OR BALLAST EXCEPT WHERE SUCH LUMINARIES IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC, PER I.R.C. E3904.9.
- ISLAND AND PENINSULAR RECEPTACLES TO BE MOUNTED NO MORE THAN 20' ABOVE OR 12' BELOW COUNTERTOP. RECEPTACLES NOT TO BE MOUNTED FACE UP IN COUNTERTOPS.
- CEILING FAN/LIGHT OUTLET BOXES SHALL BE RATED FOR WEIGHT OF FAN / LIGHT.
- INSTALL SMOKE ALARMS AS REQUIRED BY 2012 IRC SECTION R314 AND LOCAL BUILDING CODES.
- PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED BY 2012 IRC SECTION R315 AND LOCAL BUILDING CODES.
- WITH THE EXCEPTION OF SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, AND HOME SECURITY SYSTEMS INSTALLED ON INDIVIDUAL BRANCH CIRCUITS, ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BED ROOMS, SUN ROOMS, RECEPTION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- ELECTRICAL PLAN IS FOR SCHEMATIC PURPOSES ONLY. OWNER TO COORDINATE WITH CONTRACTOR AND FIELD VERIFY LOCATION OF ELECTRICAL FIXTURES.
- 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH EFFICACY.

ELECTRICAL LEGEND

	120 VOLT GFI WALL OUTLET
	WALL SWITCH - .52' UNO.
	CEILING SURFACE MOUNTED LIGHT FIXTURE
	RECESSED LIGHT
	RECESSED LIGHT / FAN COMBO
	EXHAUST FAN
	SMOKE/CARBON MONOXIDE DETECTOR - INTERWIRE & PROVIDE BATTERY BACKUP
	CARBON MONOXIDE DETECTOR
	WALL MOUNTED LIGHT FIXTURE
	HEAT REGISTER
	INCANDESCENT 3-LIGHT BATH BAR LIGHT
	TELEPHONE OUTLET
	T.V. CABLE OUTLET
	2 LAMP FLUORESCENT LIGHT
	ELECTRICAL CIRCUIT

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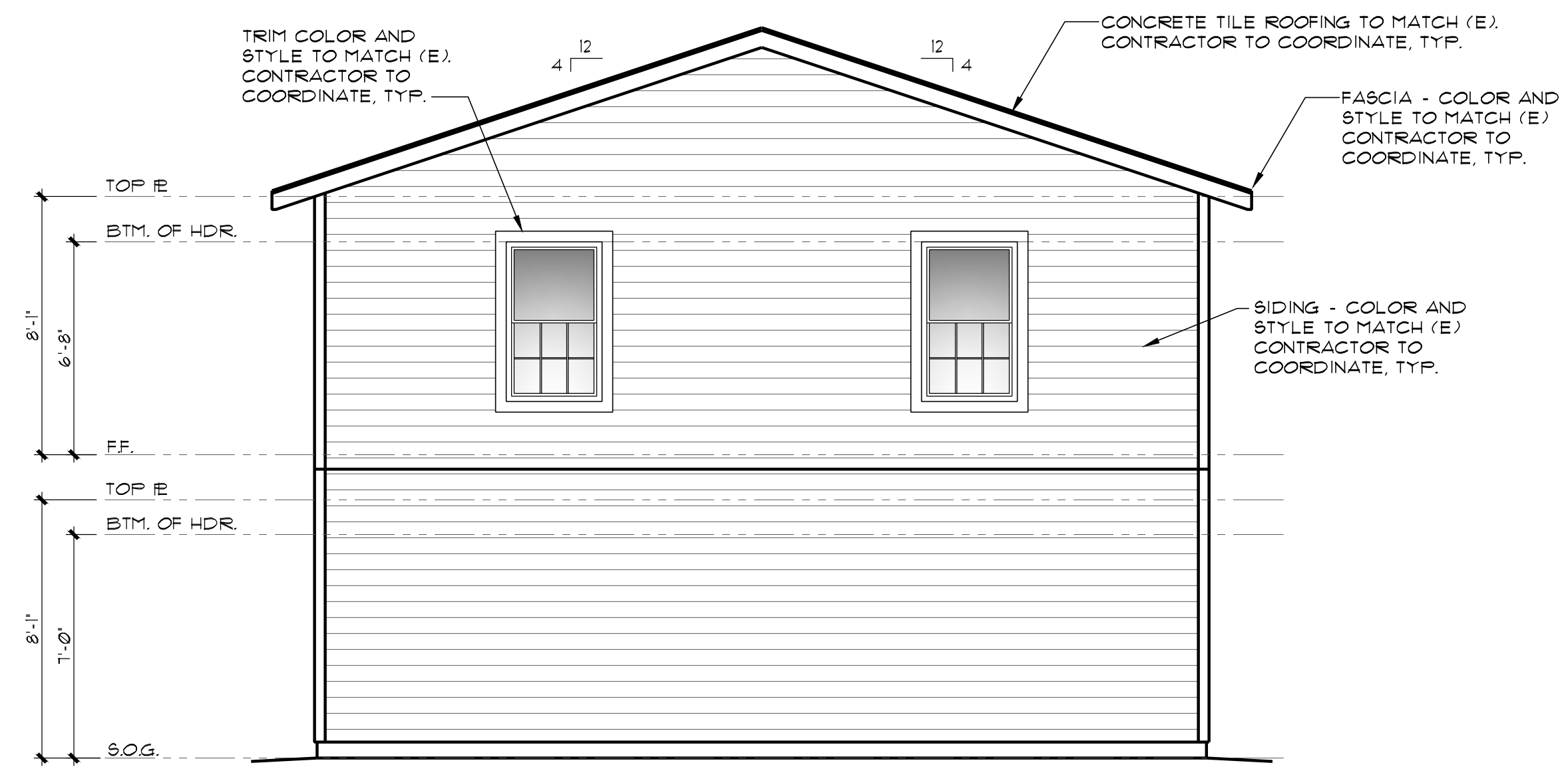
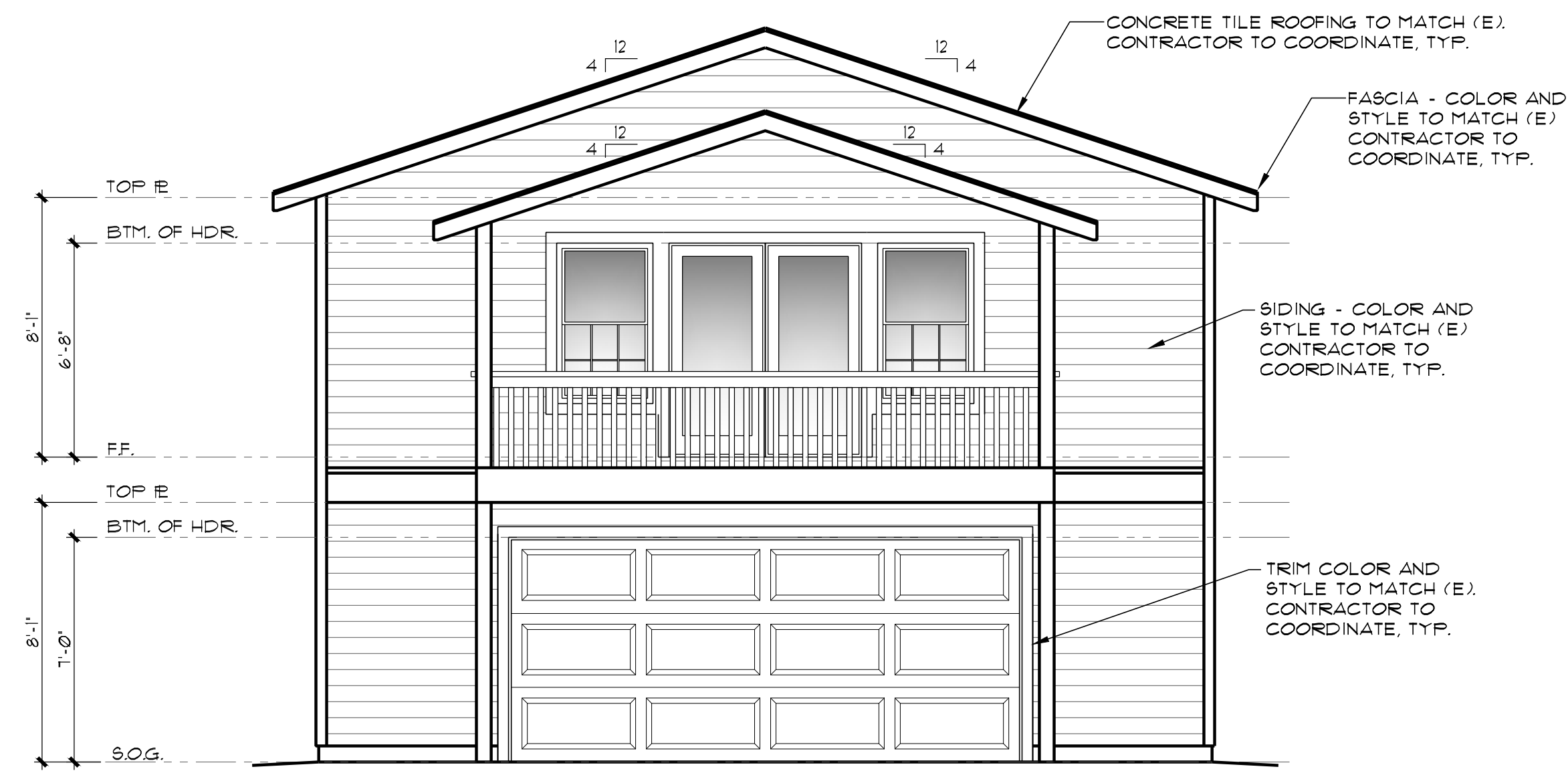
Revisions

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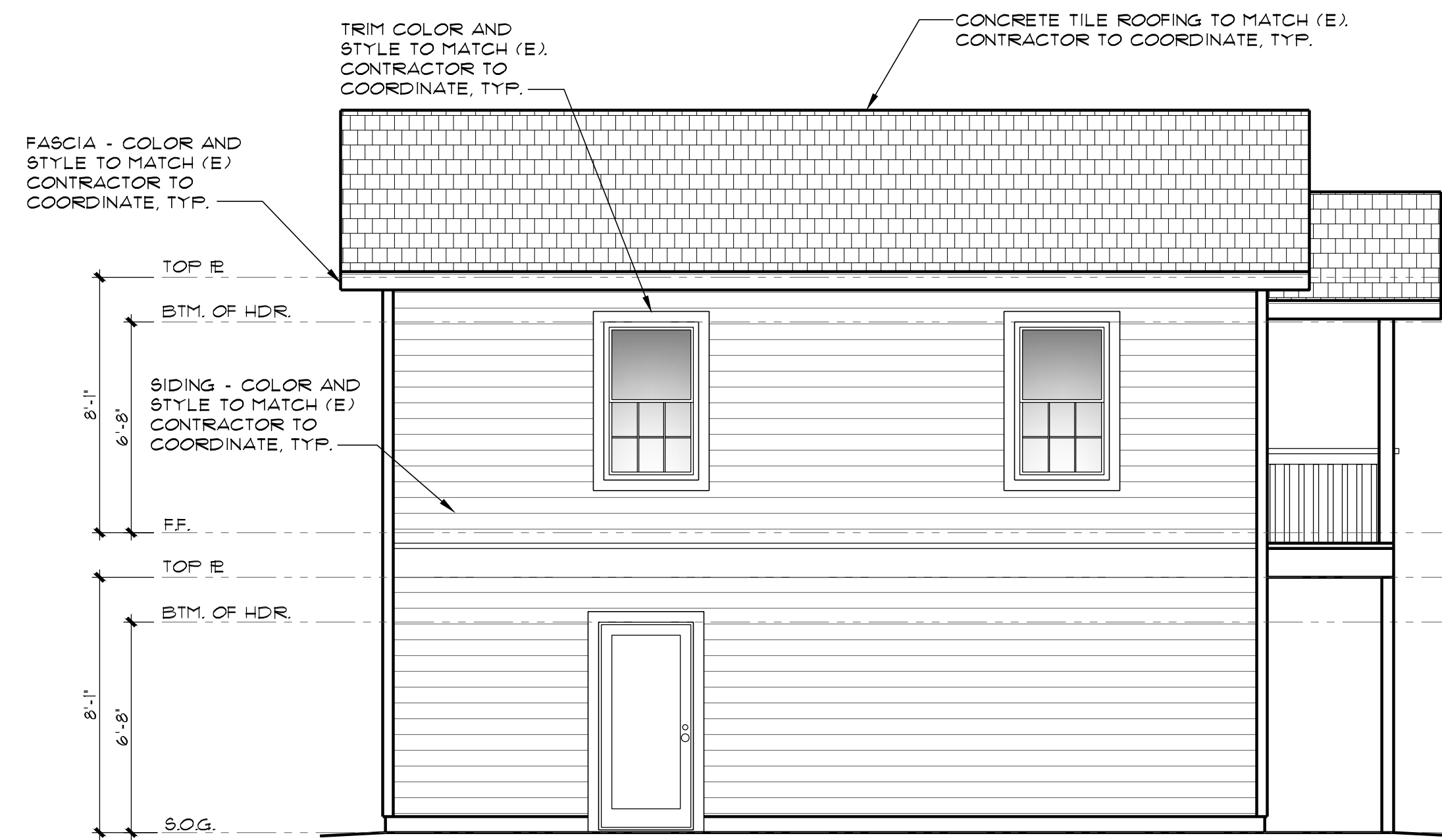
Date	7-10-18
Drawn	JK
Checked	BTK
Project No.	18-129

Electrical
Plan

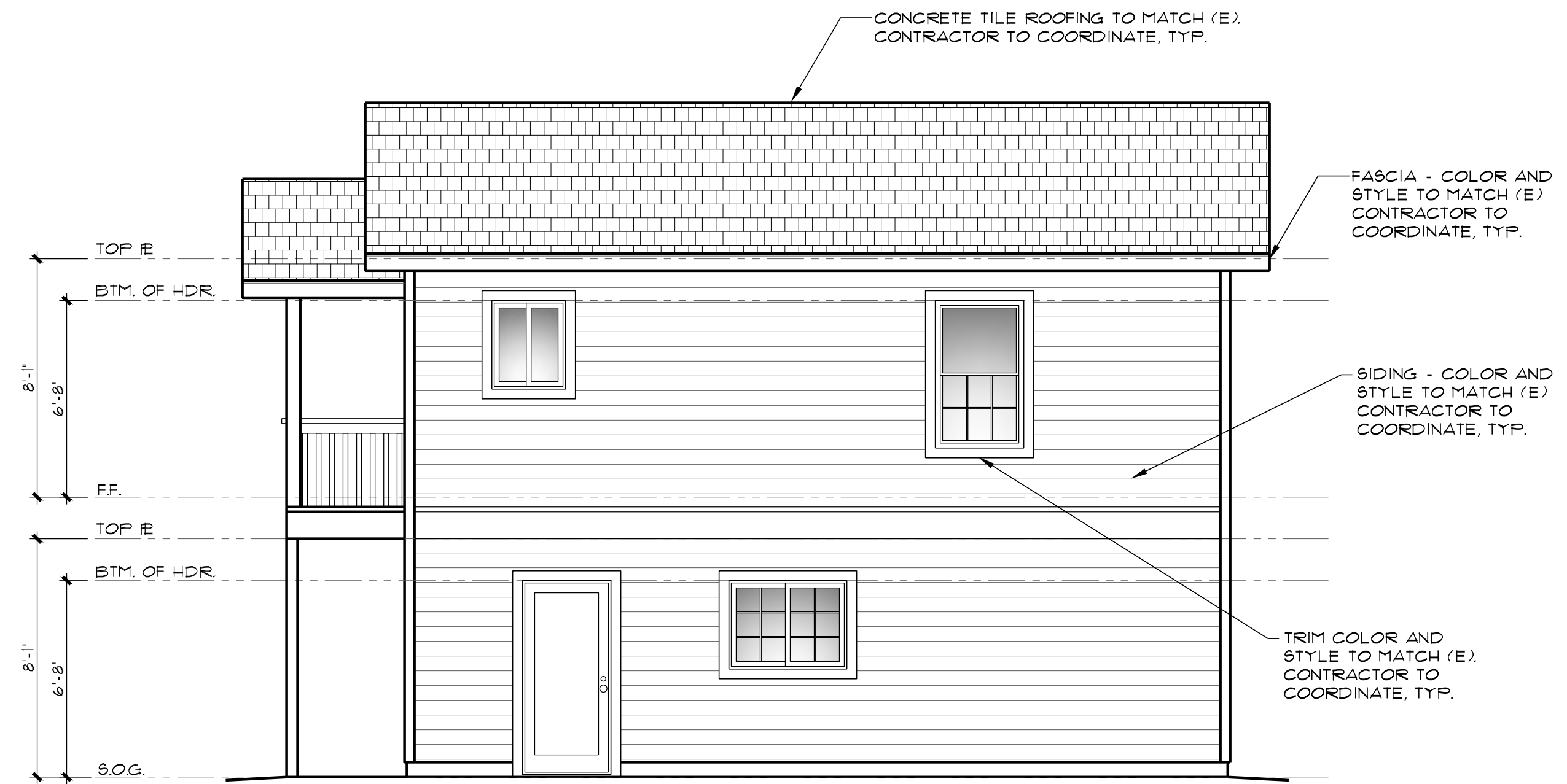
A-3



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

Eisele Residence
15540 Cherrywood Dr.
A.P.N.: 045-583-01
Washoe County, NV
89511

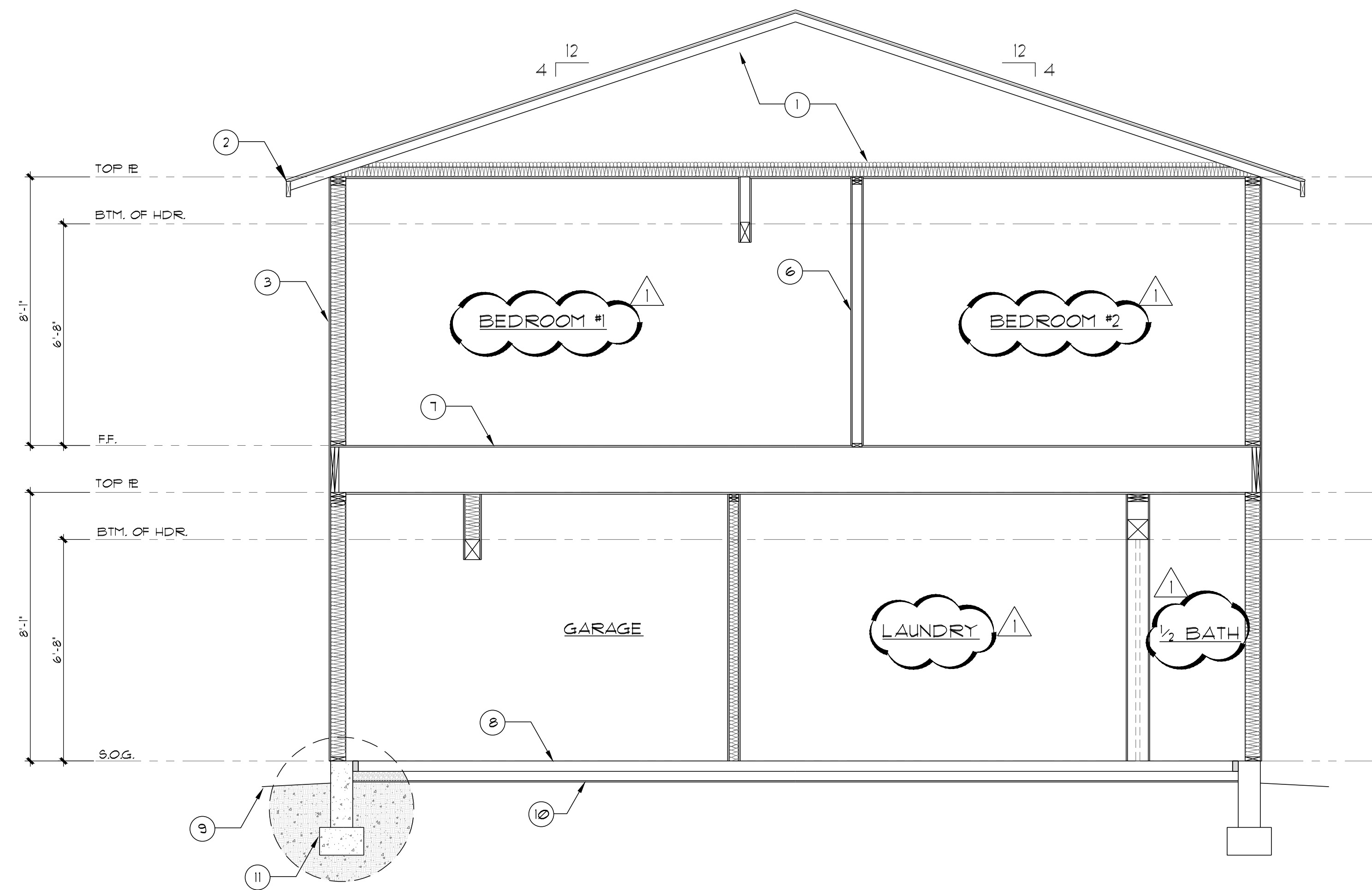
Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.

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Date	7-10-18
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Checked	BTK
Project No.	18-129

Elevations



SECTION A-A
SCALE 3/8" = 1'-0"

SECTION NOTES

- | | |
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| <p>① TYPICAL ROOF / CEILING</p> <ul style="list-style-type: none"> ◦ ROOFING MATERIAL - SEE EXT. ELEV. ◦ 2 LAYERS 15# FELT ◦ SHEATHING - SEE STRUCT. ◦ TRUSSES - SEE ROOF FRAMING PLAN ◦ R-49 INSUL. ◦ 3/8" GYP. BD. <p>NOTES:</p> <ul style="list-style-type: none"> ◦ PROVIDE ATTIC ACCESS AS REQ'D. BY I.R.C. SECTION R802.1 ◦ PROVIDE ATTIC VENTILATION AS REQ'D. BY I.R.C. SECTION R806.1 <p>② TYPICAL FASCIA / BARGE</p> <ul style="list-style-type: none"> ◦ 2x8 FASCIA W/ DRIP EDGE <p>③ TYPICAL EXTERIOR WALL</p> <ul style="list-style-type: none"> ◦ EXT. SHEAR - SEE STRUCT. ◦ 2x6 @ 16" O.C. STUDS ◦ R-21 FIBERGLASS INSUL. ◦ 1/2" GYP. BD. <p>④ WINDOW W/ INSULATED GLAZING (NOT SHOWN)</p> <p>⑤ DOOR W/ INSULATED GLAZING @ EXT. - NOT SHOWN</p> <p>⑥ TYPICAL INTERIOR WALL</p> <ul style="list-style-type: none"> ◦ 1/2" GYP. BD. ◦ 2x4 STUDS @ 16" O.C. | <p>⑦ TYPICAL FLOOR - SECOND FLOOR</p> <ul style="list-style-type: none"> ◦ FLOOR FINISH PER OWNER/CONTRACTOR ◦ FLOOR JOISTS PER STRUCT. ◦ R-30 FIBERGLASS INSUL. - OPT. <p>⑧ GARAGE SLAB - FIRST FLOOR</p> <ul style="list-style-type: none"> ◦ 4" CONC. SLAB W/ 6"x6"-10/10 WJUM OR FIBERMESH OVER 4" COMP. BASE OVER COMP. GRADE. ◦ PROVIDE 10 MIL. MOISTURE BARRIER W/ 1'-0" MIN. OVERLAP BTWN. CONC. AND EARTH, ONLY AS REQ'D. <p>⑨ FINISH GRADE</p> <ul style="list-style-type: none"> ◦ SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS, TYP. <p>⑩ VAPOR BARRIER</p> <ul style="list-style-type: none"> ◦ 6 MIL VAPOR BARRIER UNDER SLAB WITH HABITABLE SPACE ABOVE. TAPE ALL PENETRATIONS THROUGH VAPOR BARRIER W/ STEGO TAPE OR EQUAL. <p>⑪ TYPICAL FOUNDATION</p> <ul style="list-style-type: none"> ◦ CONC. WALL CONT. TO CONC. FOOTING TYP. UNO. BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE. |
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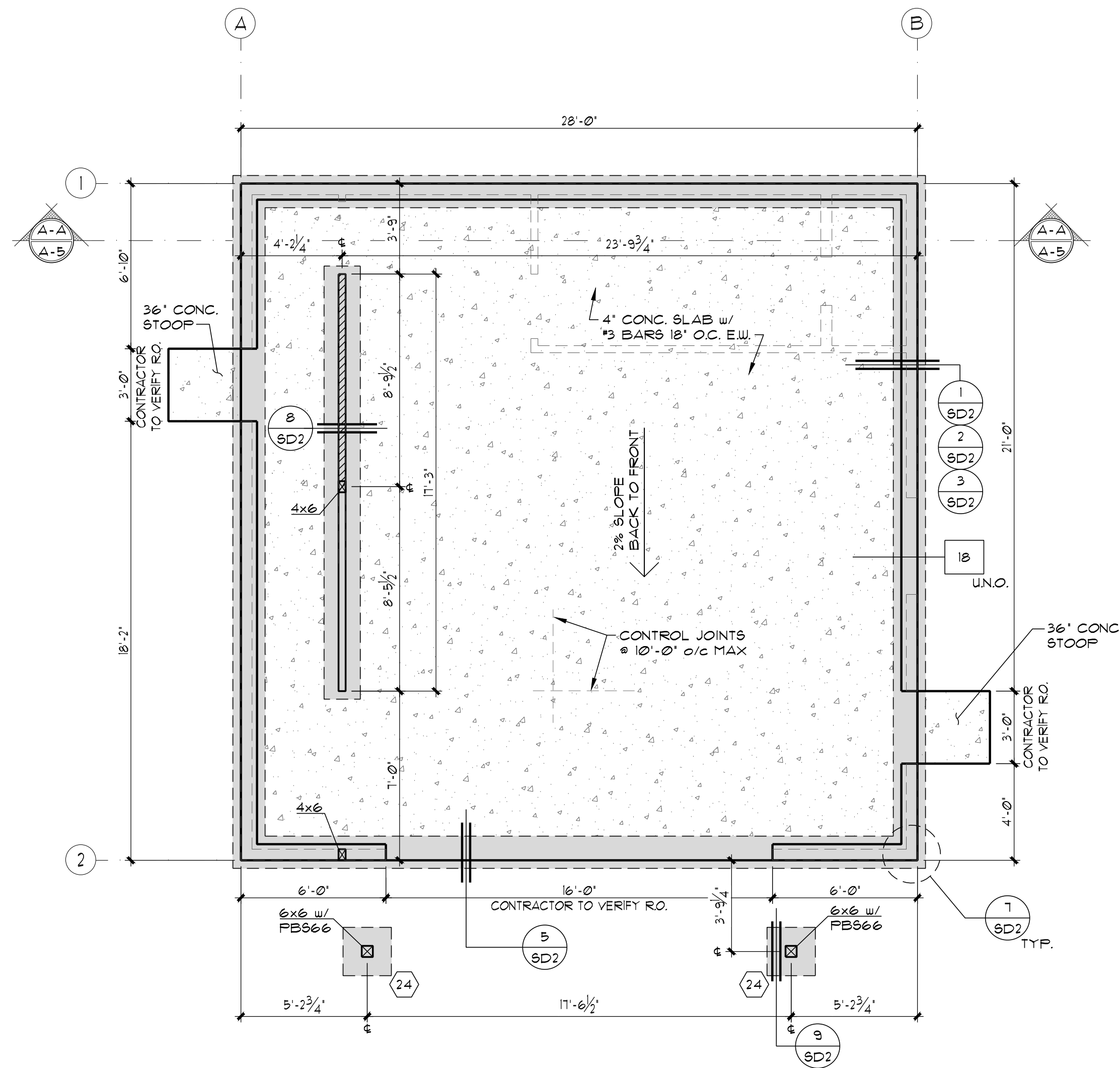
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Section "A-A"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

CONCRETE NOTES

CONC. FOOTINGS 18" x 10" w/ 2-#4 REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. FOOTING SHALL BE A MIN. OF 2'-0" BELOW FINISHED GRADE.

8" CONC. FOUNDATION WALL w/ 1-#4 TOP & #4 VERT. @ 32" O.C. TYP. UNO. PROVIDE 3/8" x 10" ANCHORS @ 48" O.C. TO 2x6 P.T. SILL UNO. IN SHEAR WALL PLAN. PROVIDE 2x6 P.T. SOLE PLATE @ GARAGE.

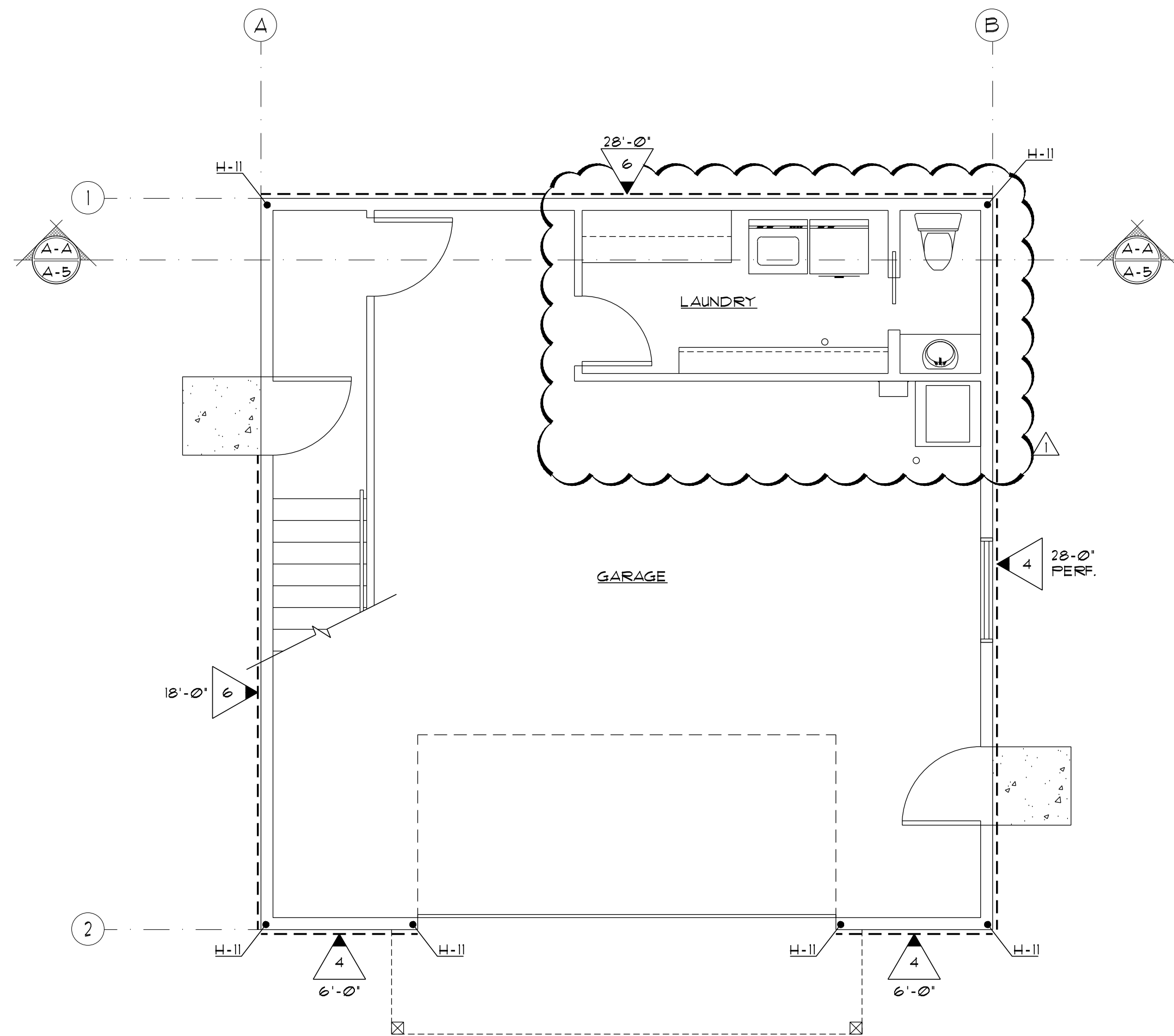
ALL SLABS TO BE 4" THICK CONCRETE w/ #3 BARS @ 18" O/C E.W. OR 6x6 10/10 WELDED WIRE FABRIC REINFORCING AND SHALL BE PLACED OVER 4" TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.

FOR 2x SILL PLATE, USE 3/8" x 10" AB. FOR 3x OR DOUBLE SILL PLATE, USE 3/8" x 12" AB. EXTEND SILL BOLTS 1" INTO FOUNDATION MINIMUM. MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (1) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"x3"x1/4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT.

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED w/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDBILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE '6' & '4', REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT & SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

FOUNDATION PLAN LEGEND

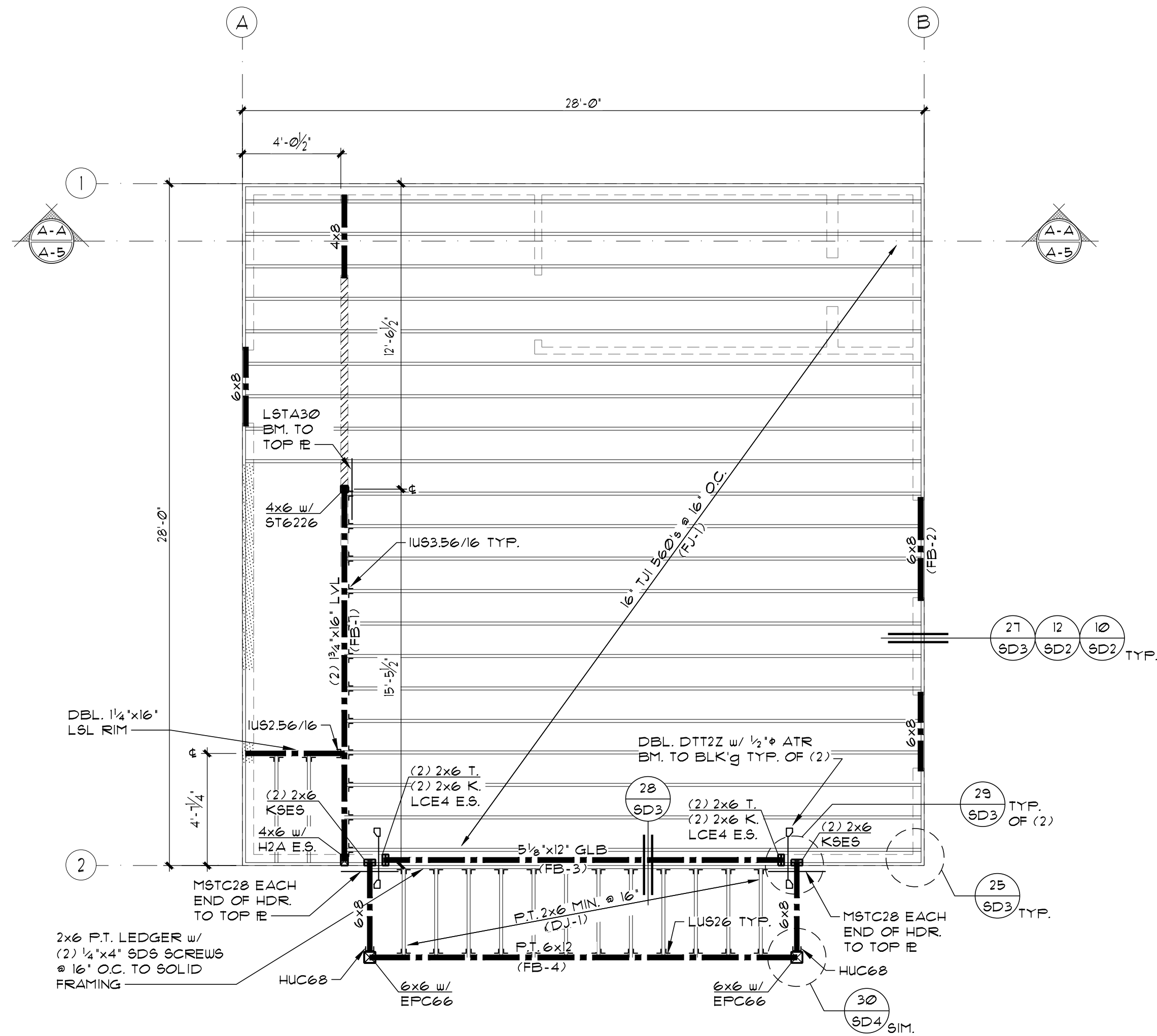
- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- FLOOR JOIST
- TYPICAL WALL w/ SHEARPLY AND HOLD-DOWNS.
- 3/8" ANCHOR BOLT SPACING, 48" O/C TYP. UNO.
- INDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1



FIRST FLOOR SHEARWALL PLAN
SCALE 1/4" = 1'-0"

SHEARWALL PLAN LEGEND

- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- SHEARWALL TYPE - SEE SHEET SD1 FOR ADDITIONAL INFORMATION
- TYPICAL WALL w/ SHEARPLY AND HOLD-DOWNS.



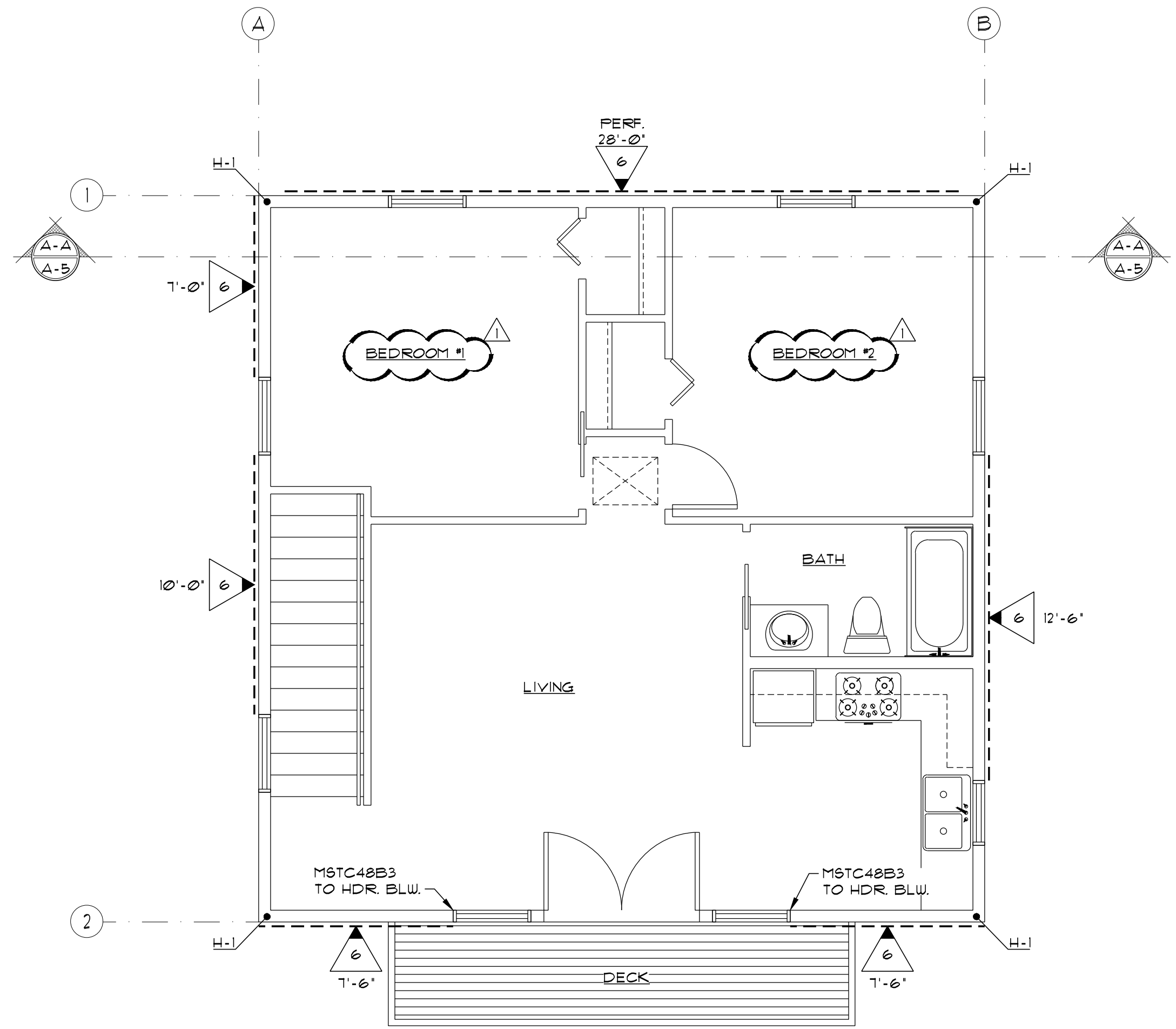
SECOND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

FLOOR FRAMING NOTES

- 3/4" T&G FLYWOOD APA RATED STURD-I-FLOOR - 48/24 w/ 10d @ 6" O.C. BOUNDARY, EDGES, 4 DRAG STRUTS w/ 10d @ 10' O.C. FIELD - GLUE & NAIL THROUGHOUT, TYP.
- 16" TJI 360 FLOOR JOISTS @ 16" O.C. TYP. BLK. SOLID @ ALL SUPPORT LINES. PROVIDE 1/4" LSL RIM BOARD THROUGHOUT. TYP. BLOCK SOLID UNDER ALL HOLDOWNS. PROVIDE CRUSH BLOCK, WEB STIFFENERS, ETC. PER MFR.
- PROVIDE INSULATION @ RIM JOISTS & FLOOR.
- INSULATE ALL PIPES & DUCTWORK.
- PROVIDE SOLID BLKG. UP TO SUB-FLOOR, AS REQUIRED, TO SUPPORT POSTS ABOVE.
- ALL FRAMING HARDWARE SHALL BE 'SIMPSON'. INSTALL PER MANUF. REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE '6" WALLS UNO. (SEE SHEARWALL SCHEDULE).

FLOOR FRAMING PLAN LEGEND

- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- FLOOR JOIST
- WOOD HEADER/BEAM
- TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.
- ANCHOR BOLT SPACING, 48" o/c TYP. UNO.
- INDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1
- BALLOON FRAMED WALL w/ (2) 2x6 DF #2 STUDS @ 16" O.C.



SECOND FLOOR SHEARWALL PLAN
SCALE 1/4" = 1'-0"

SHEARWALL PLAN LEGEND

- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- SHEARWALL TYPE - SEE SHEET SD-1 FOR ADDITIONAL INFORMATION
- TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.

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Roof Framing Plan

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▲
▲

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Roof Framing
Plan

ROOF FRAMING PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
— — — WOOD HEADER/BEAM
— — — PRE MANUFACTURED TRUSSES
— — — ROOF RAFTERS
////// INTERIOR BEARING WALL
■■■■ BALLOON FRAMED WALL w/ (2) 2x6 DF #2 STUDS @ 16" O.C.
3x FRAMING AT ADJOINING PANEL EDGES # FT. 3x SILL IE w/ 3/8" x 12" AB'S, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL IE MAY BE USED w/ 3/8" x 10" AB'S @ HALF THE SPECIFIED SPACING.

ROOF FRAMING NOTES

ROOF LOADS: SNOW 55' SQ. FT. : DEAD 30' SQ. FT.

USE (1)-LAYER 3/8" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT. APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & NAIL w/ 10d'S @ 6" O.C. EDGES & BOUNDARIES & 10d'S @ 12" O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. w/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.

ALL FRAMING HARDWARE NOTED SHALL BE 'SIMPSON' INSTALL PER MANUFACTURER'S REQUIREMENTS.

PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) PLY GIRDER TRUSSES w/ SIMPSON H6. USE (3) STUDS @ 3-PLY TRUSSES & (4) STUDS @ 4-PLY TRUSSES, UNO. CONNECT GIRDER TRUSS TO POST w/ SIMPSON H6 UNO.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 UNO.

TYP HEADER UNO. USE 6x8 D.F. #

USE 12-16d BETWEEN TOP PLATE SPLICES, TYP UNO.

USE 2x6 FLAT w/ 2x6 STRONGBACK @ 24' O.C. @ GABLE END FRAMING

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS. TYP PROVIDE BITUTHANE MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF PLAN

USE BOUNDARY NAILING @ ALL DRAG TRUSSES UNO.

A35 @ 48" O.C. TRUSS BLK'G TO TOP PLATE TYP UNO.

PROVIDE ICE & WATER DAM MEMBRANE @ HIPS, EAVES, VALLEYS & RIDGES AS PER LOCAL BLDG DEPT STANDARDS

PROVIDE SNOW DIVERSERS @ ALL ROOF PENETRATIONS

PROVIDE ATTIC ACCESS (22"x30") PER I.R.C. SECTION R807.1

PROVIDE ROOF VENTILATION PER I.R.C. SECTION R806.1

PROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP

PROVIDE CONT ROOF PLY UNDER ALL ROOF OVER FRAMING

PRE-MANUFACTURED WOOD ROOF TRUSSES

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS CONNECTIONS, BRACING, BRACING, & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING & THE ARCHITECT.

DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240.

GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG & TO ALLOW A TOP CHORD NOTCH OF ONE & A HALF INCHES

ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW w/ SIMPSON STC CLIPS.

USE PRE-ENGINEERED MANUFACTURED TRUSSES. SOLID BLOCK @ ALL SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON H1 @ EACH SUPPORT WALL/BEAM TO EACH TRUSS & H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.

HANG TRUSSES & GIRDER TRUSSES w/ SIMPSON HJ526 OR AS SPECIFIED ON PLAN. TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN @ ALL TRUSS-TO-TRUSS CONNECTIONS.

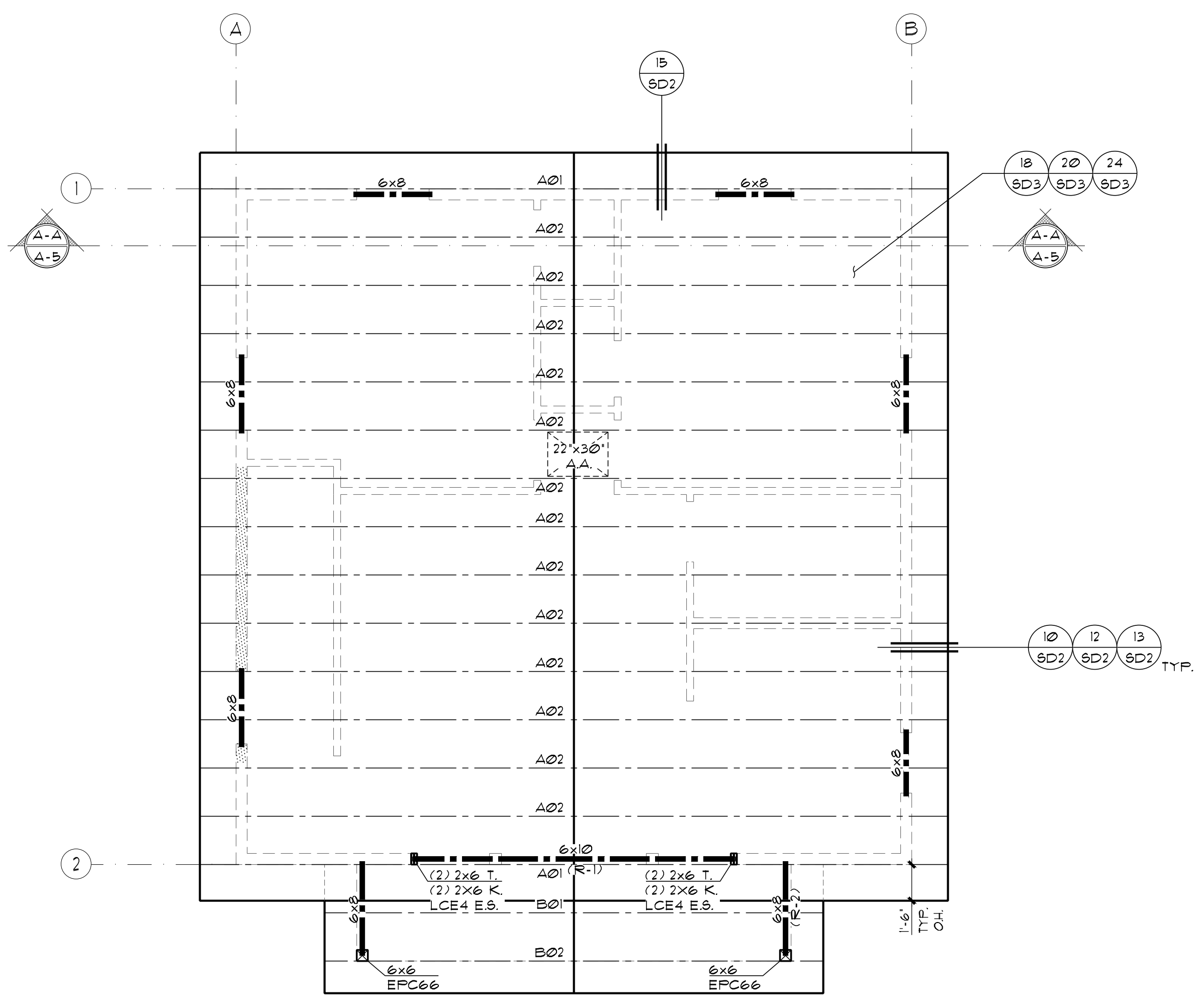
TRUSSES ARE TO BE HANDLED, INSTALLED, & BRACED IN ACCORDANCE w/ HIB-41 OF THE TRUSS PLATE INSTITUTE (TPI).

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FIELD CONDITIONS, PLATE HEIGHTS, TRUSS DIMENSIONS, ROOF PITCHES AND OVERHANGS PRIOR TO TRUSS FABRICATION.

NO TRUSSES SHALL BE DELIVERED TO THIS RESIDENCE THAT ARE NOT FROM RENO TRUSS, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED.

ATTIC VENTILATION

ATTIC SPACE	
EAVE VENTS	(3) 2' @ 15 BAYS = 0.98 SF.
11" ATTIC VENTS - LOW	(2) @ 0.50 SF EA. = 1.00 SF.
11" ATTIC VENTS - HIGH	(3) @ 0.50 SF EA. = 1.50 SF.
TOTAL VENT AREA PROVIDED	3.48 SF.
REQUIRED @ 856 SF/ 3000	= 2.85 SF.



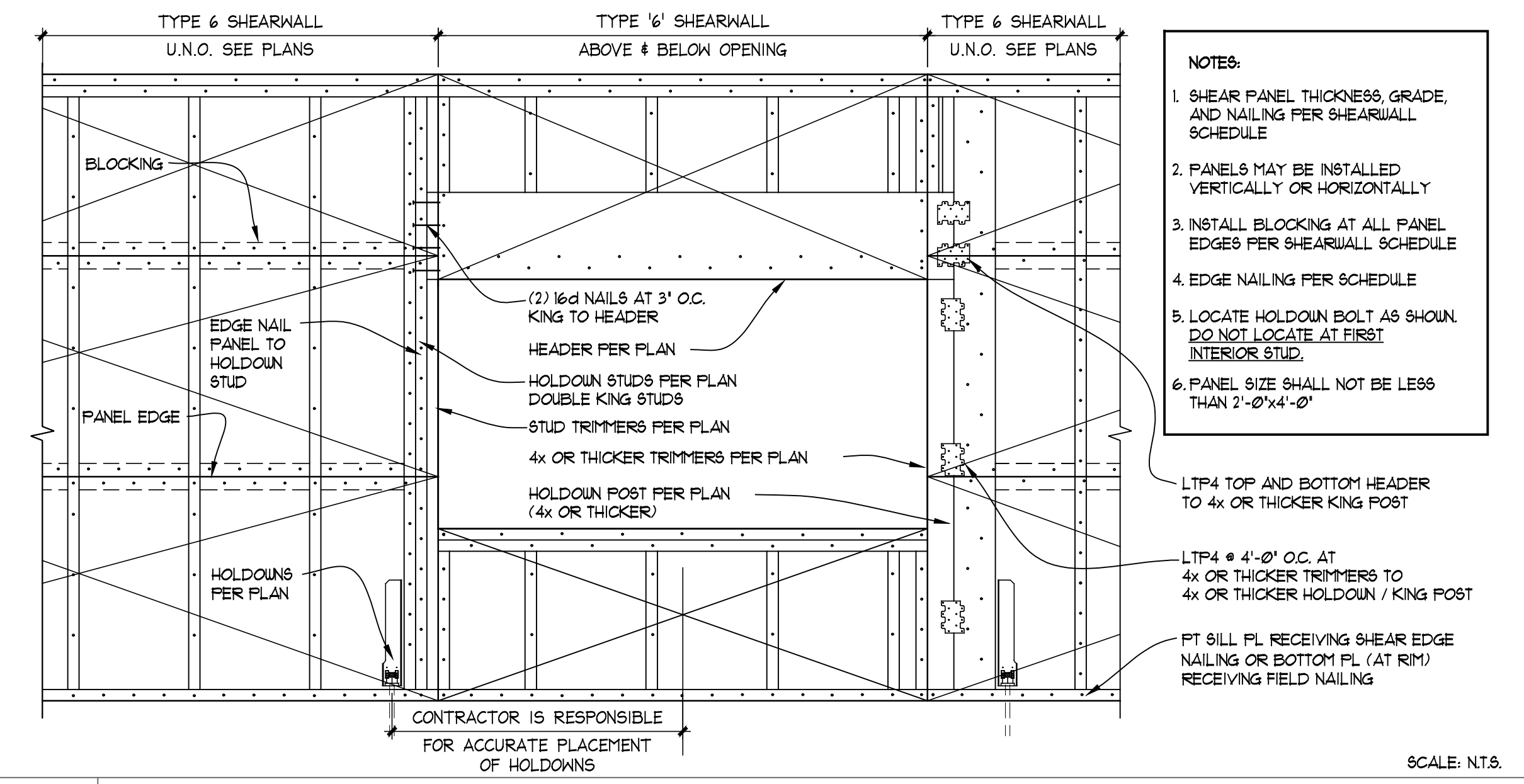
ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

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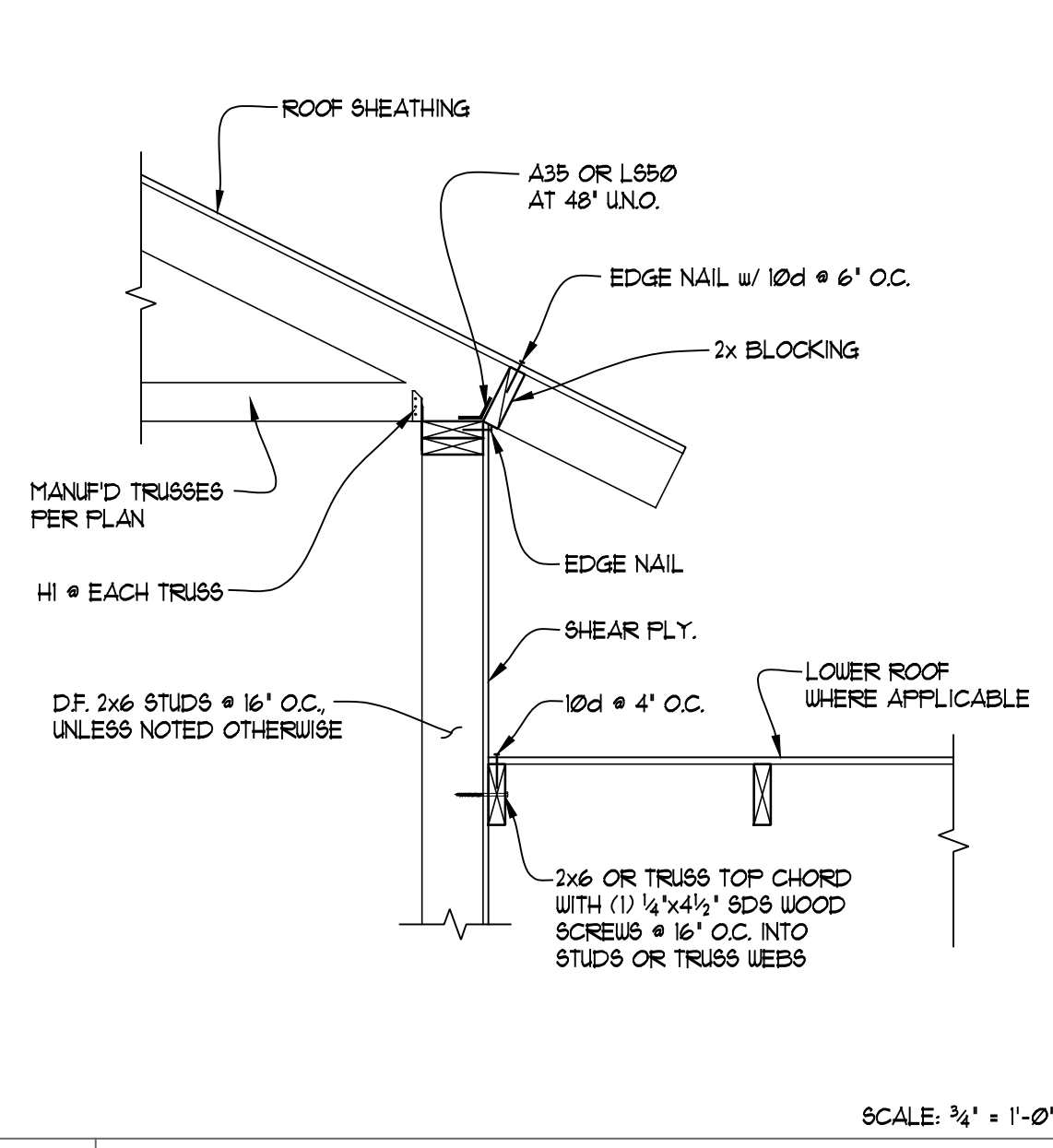
Revisions
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 Date 7-10-18
 Drawn JK
 Checked BTK
 Project No. 18-129

Structural
Details

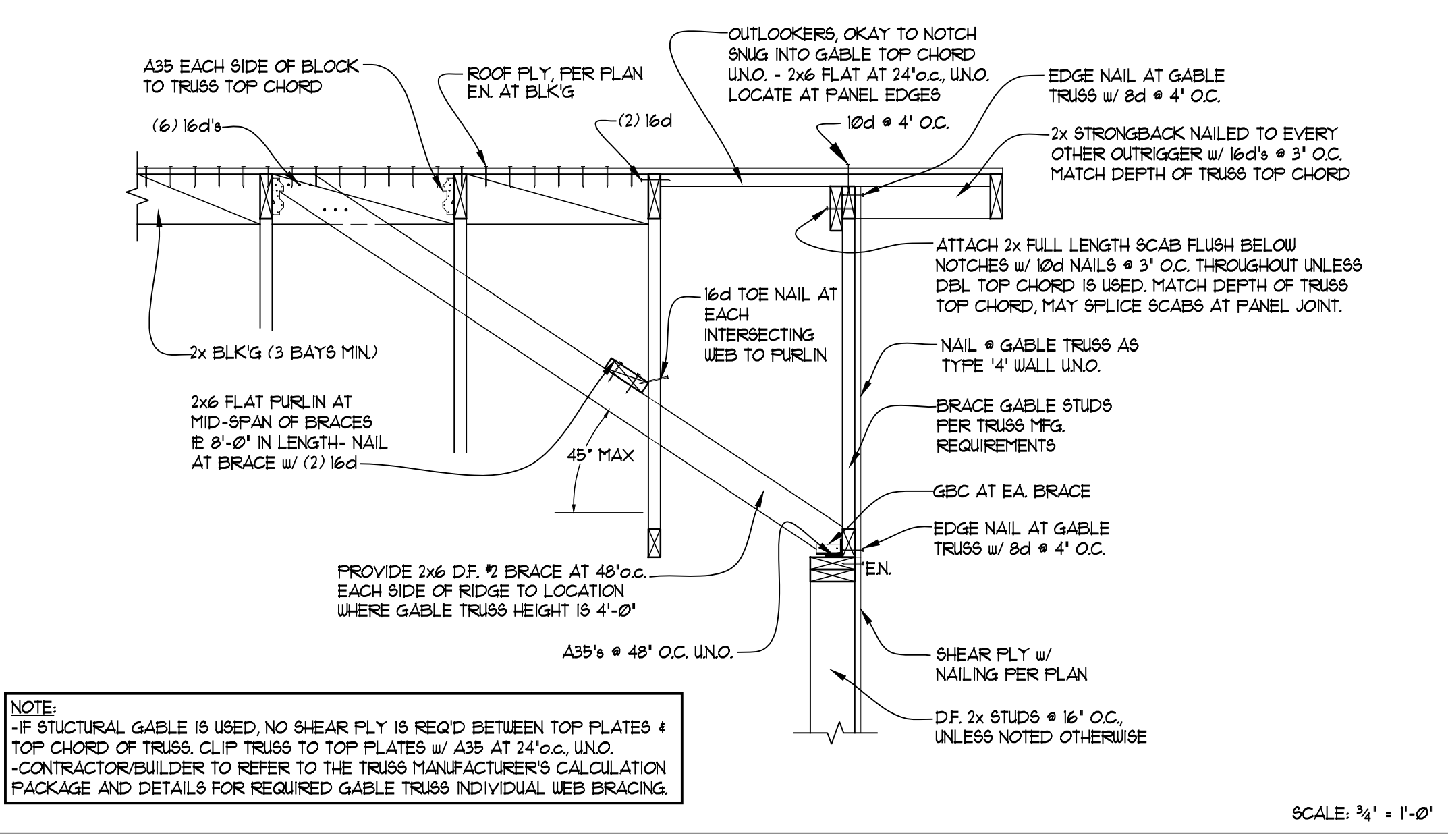
SD-2



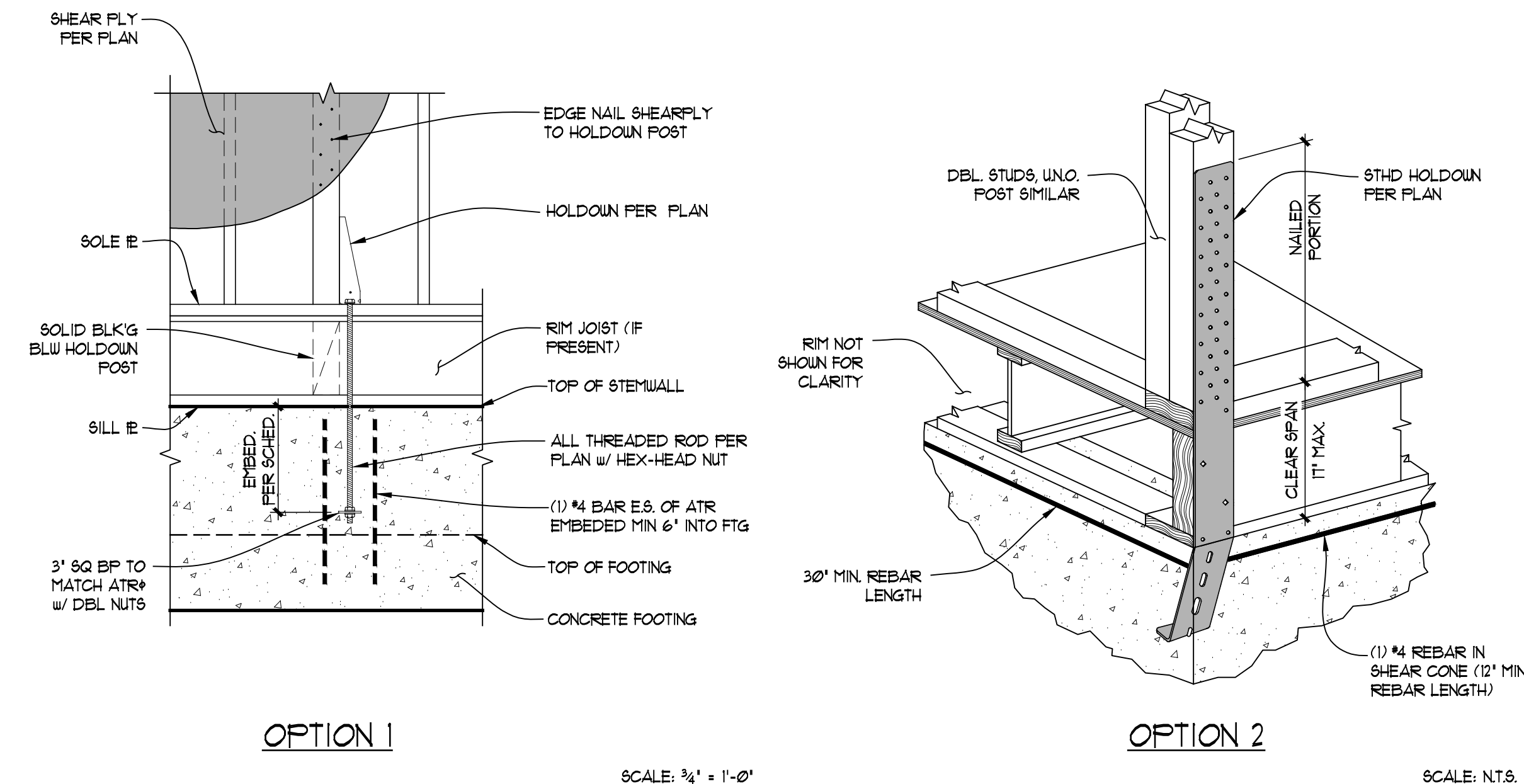
12 Typical Shearwall / Header



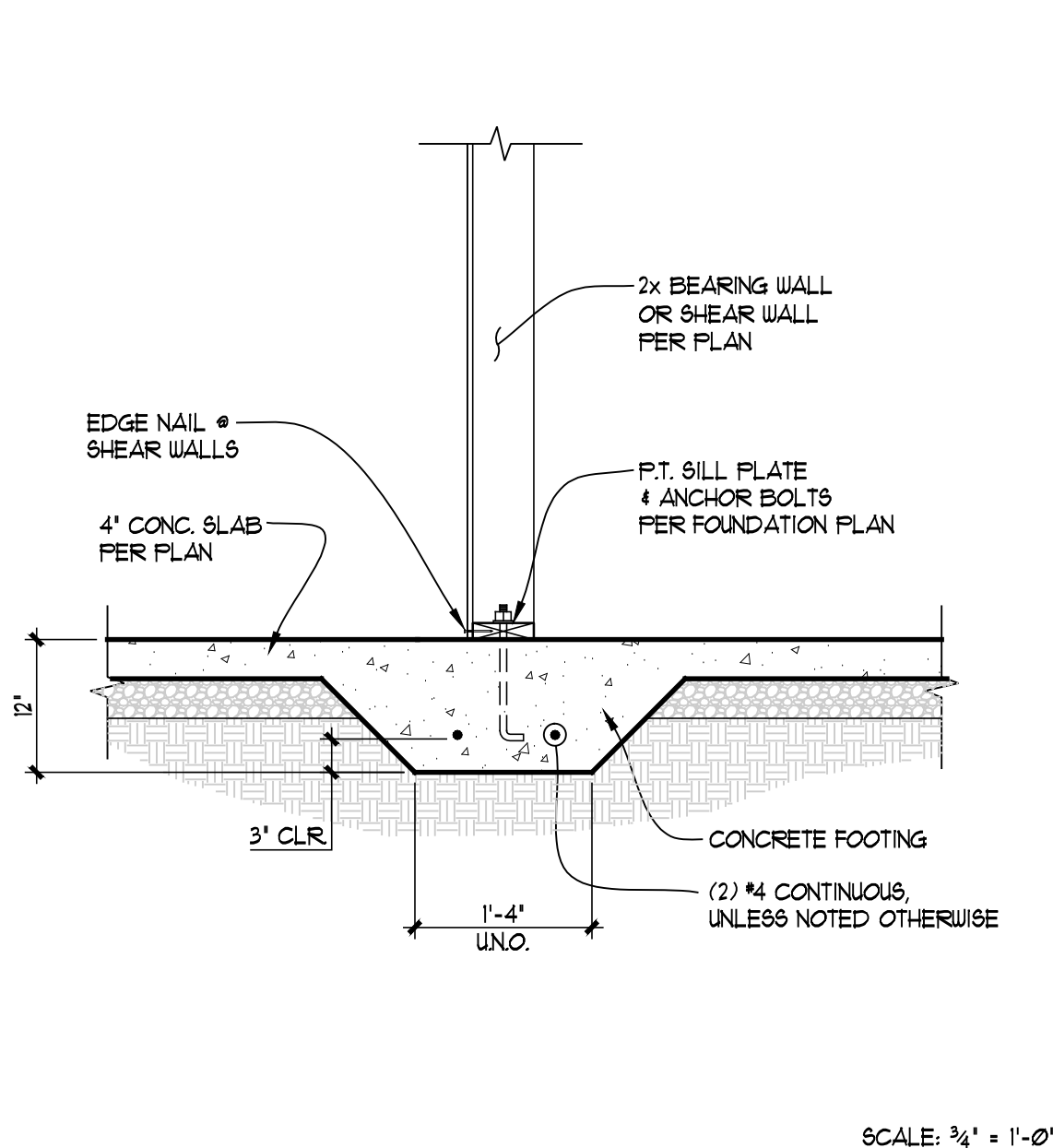
13 Typical Truss @ Eave



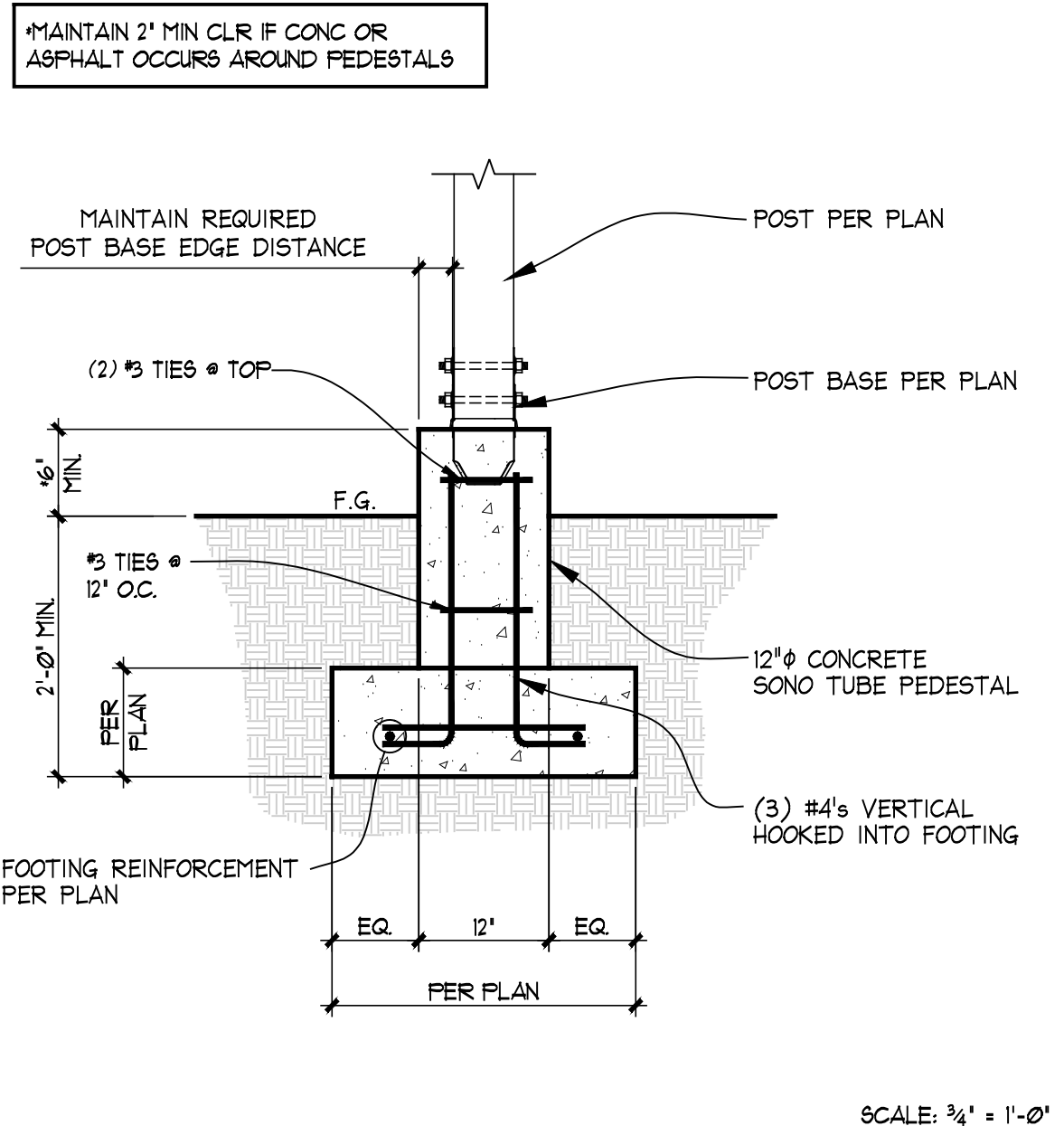
15 Gable Wall Bracing Detail



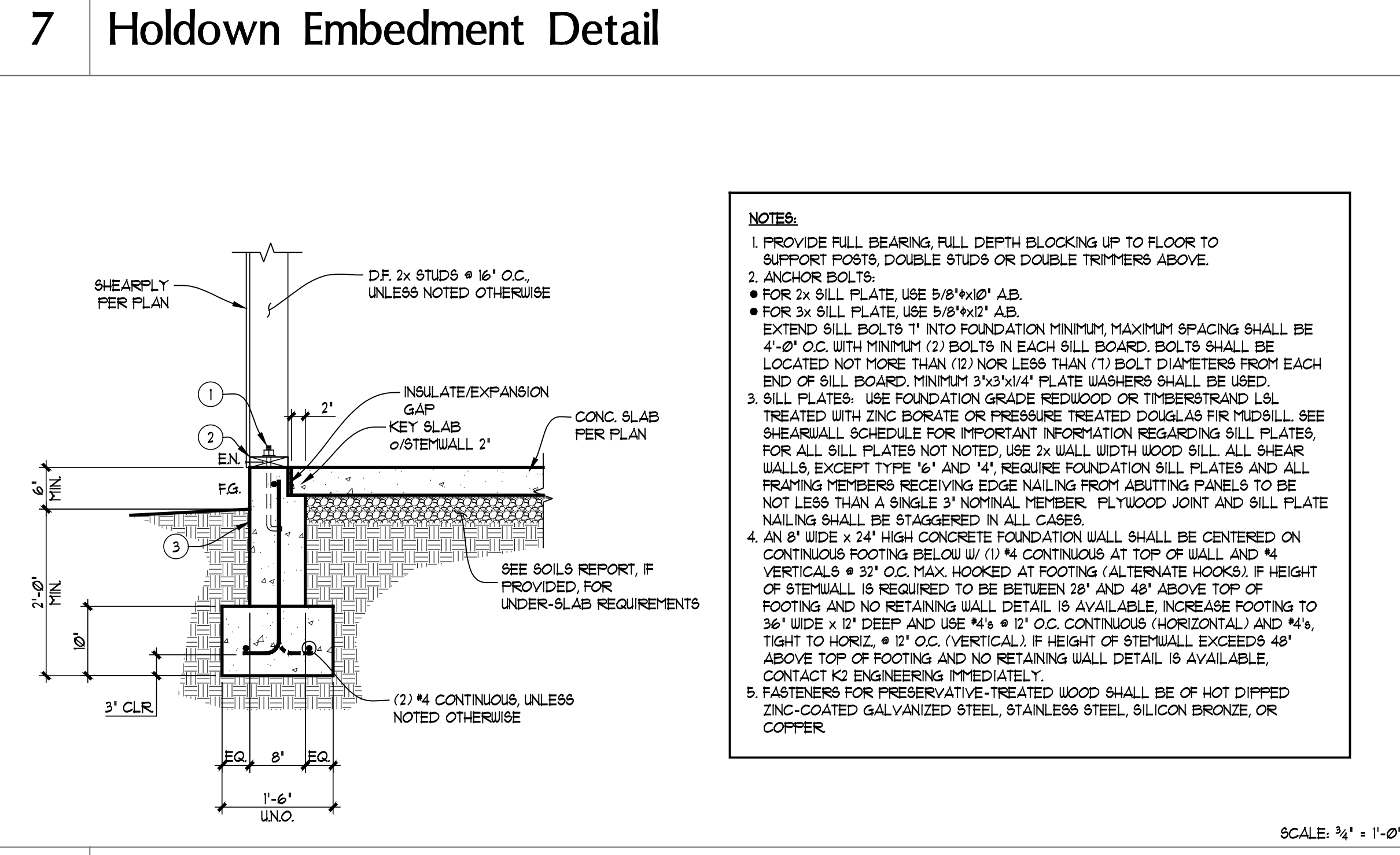
7 Holdown Embedment Detail



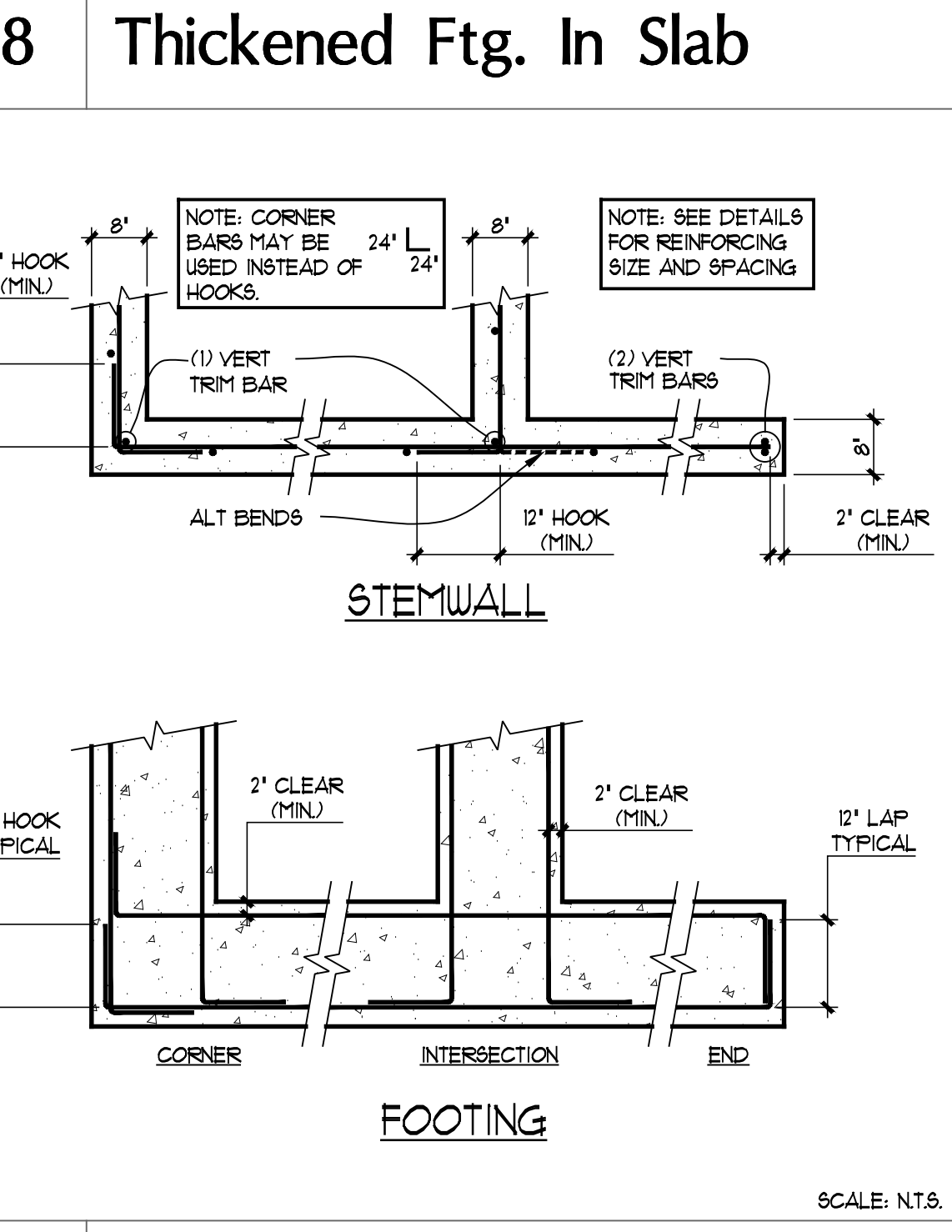
8 Thickened Ftg. In Slab



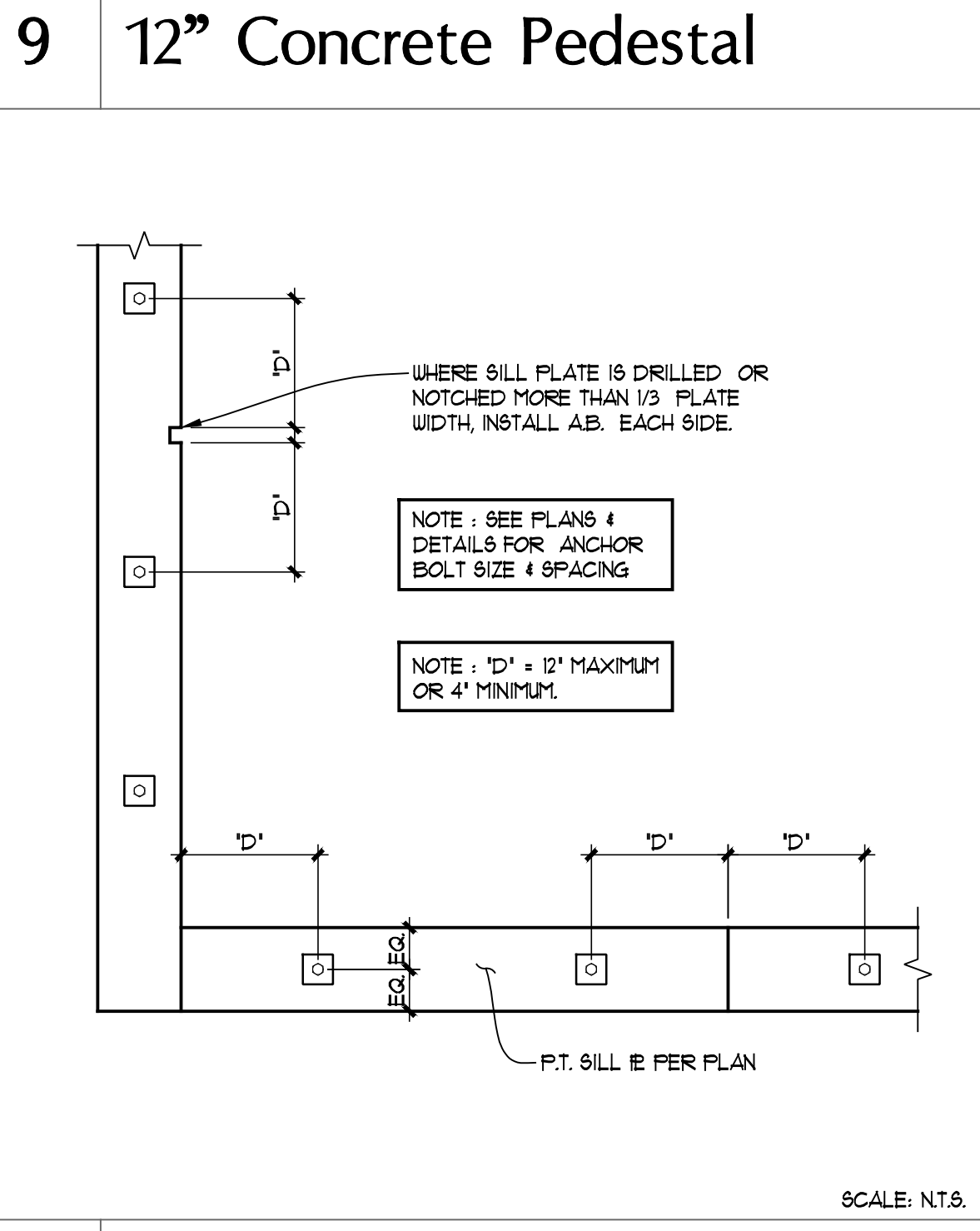
9 12" Concrete Pedestal



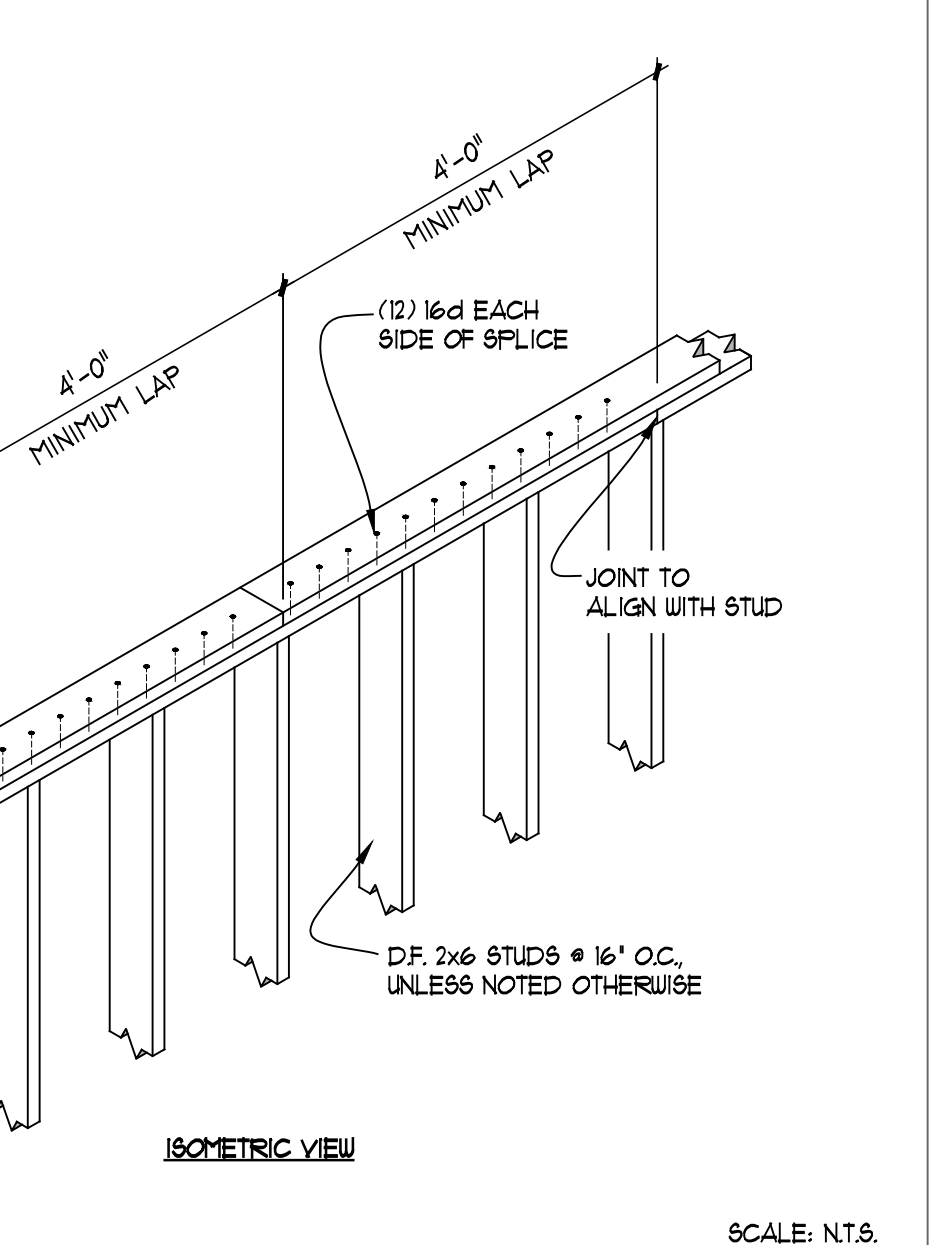
2 Typ Garage Footing



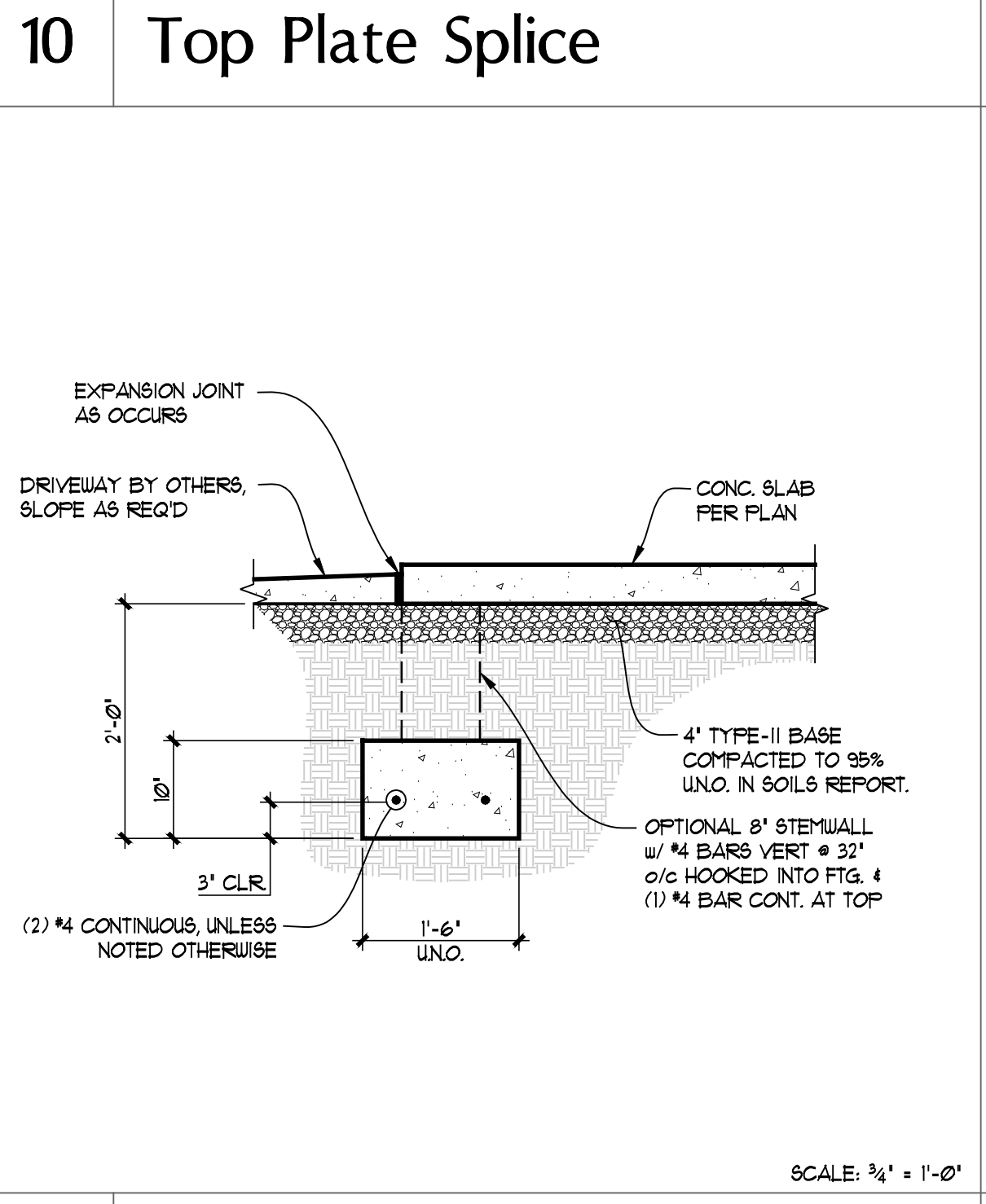
3 Rebar Reinf. Placement



4 Sill Plate Bolting



10 Top Plate Splice



5 Slab @ Garage Door

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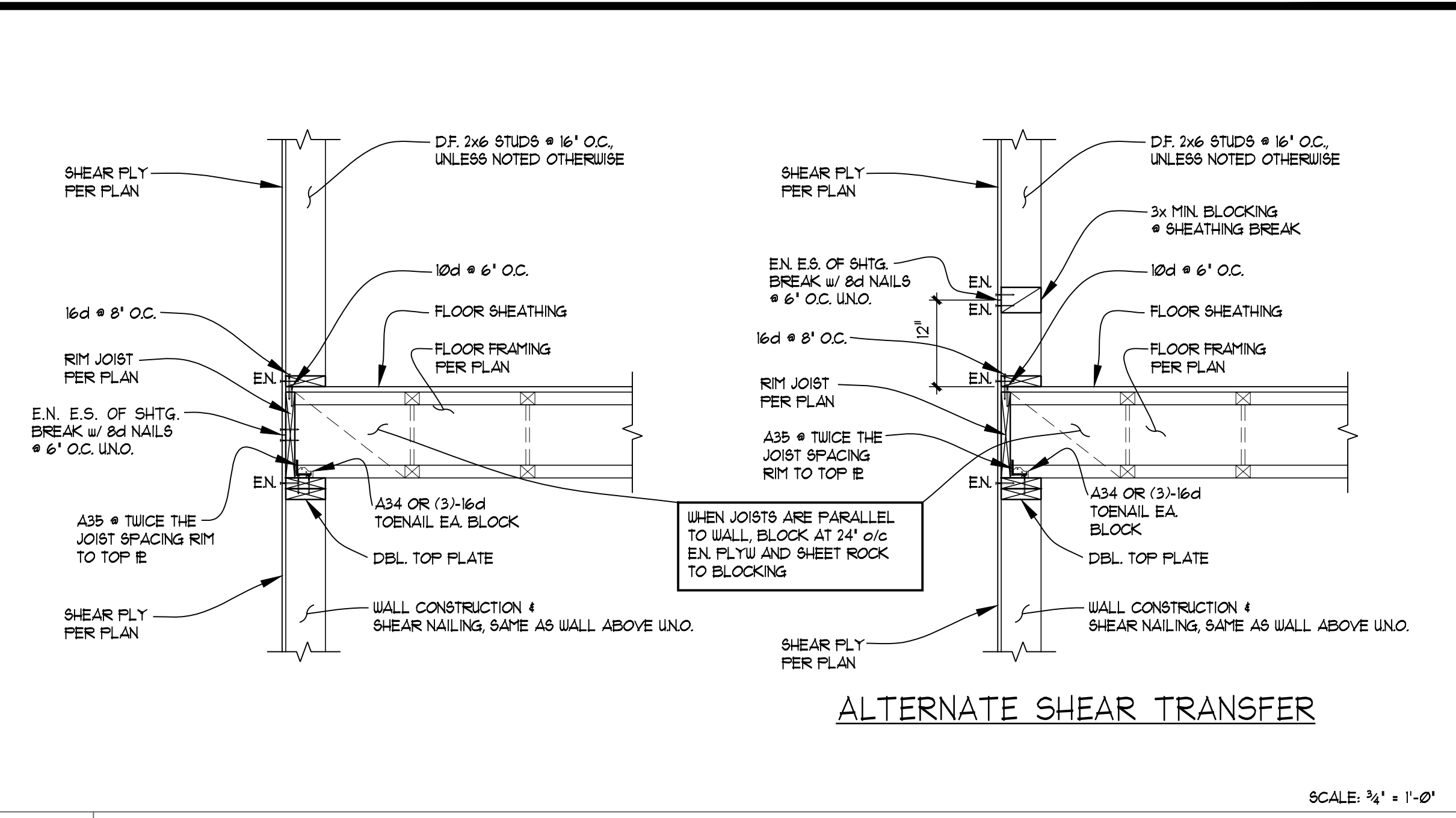
Revisions

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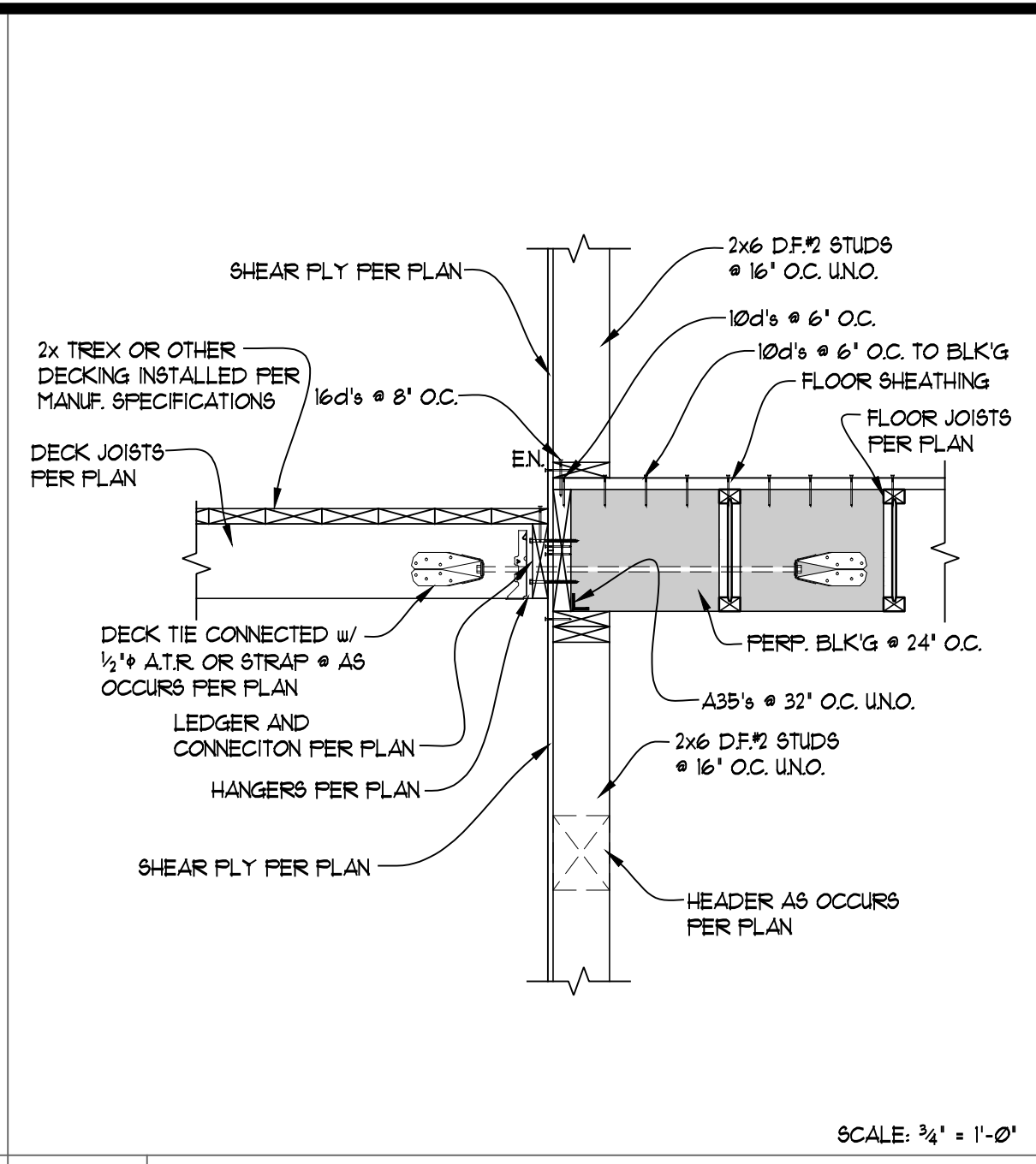
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Structural
Details

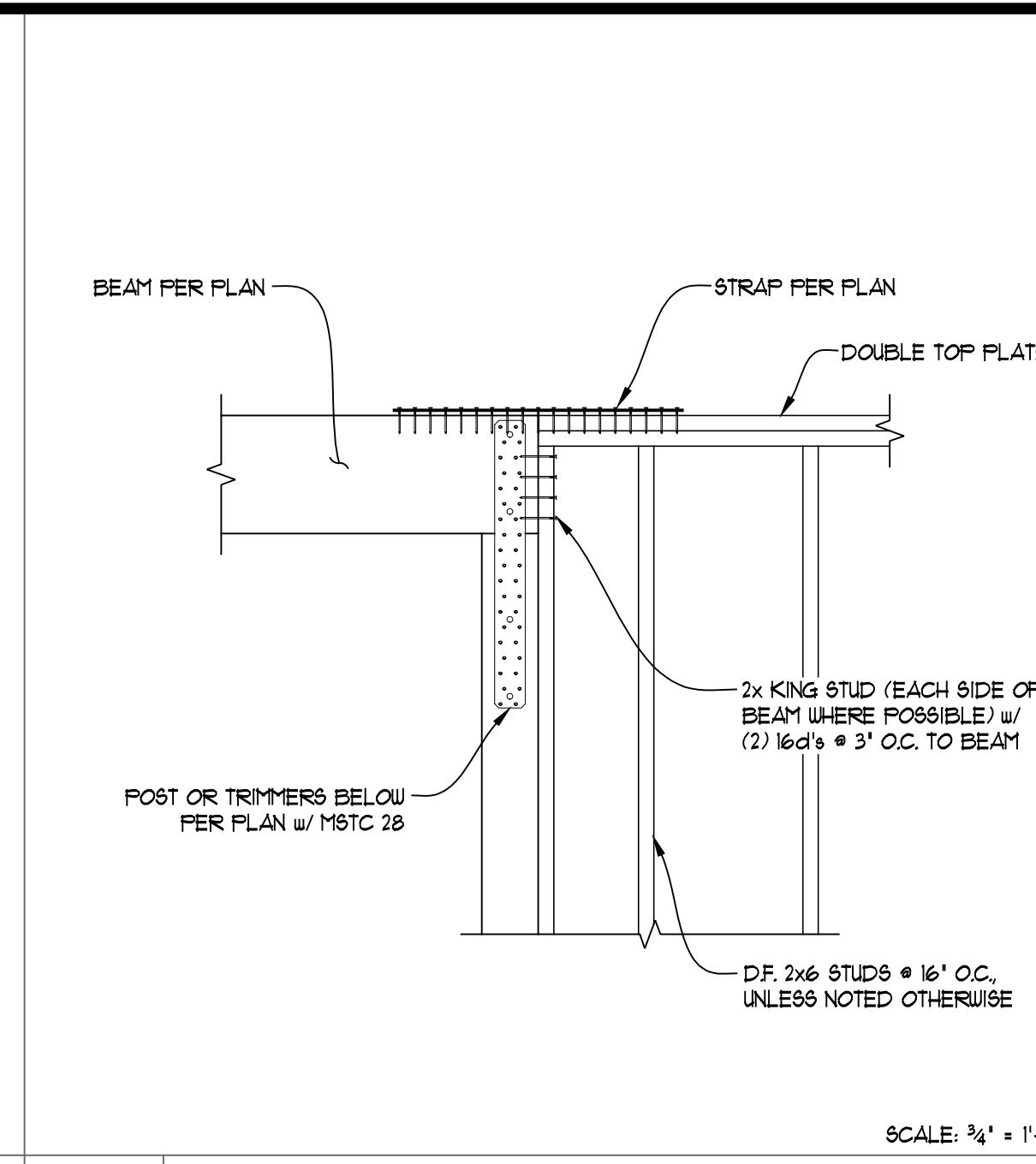
SD-3



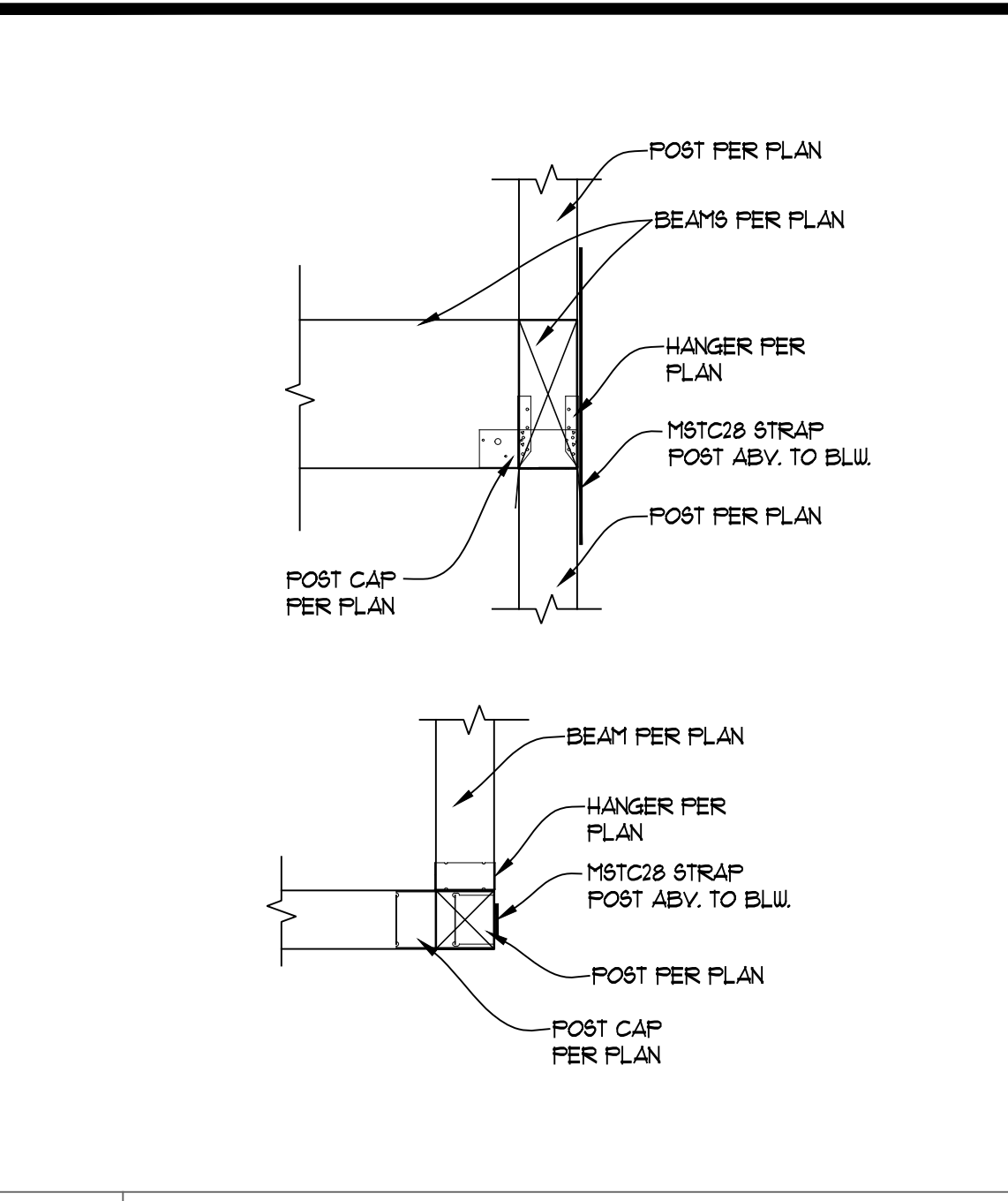
27 Floor to Floor Shear Transfer



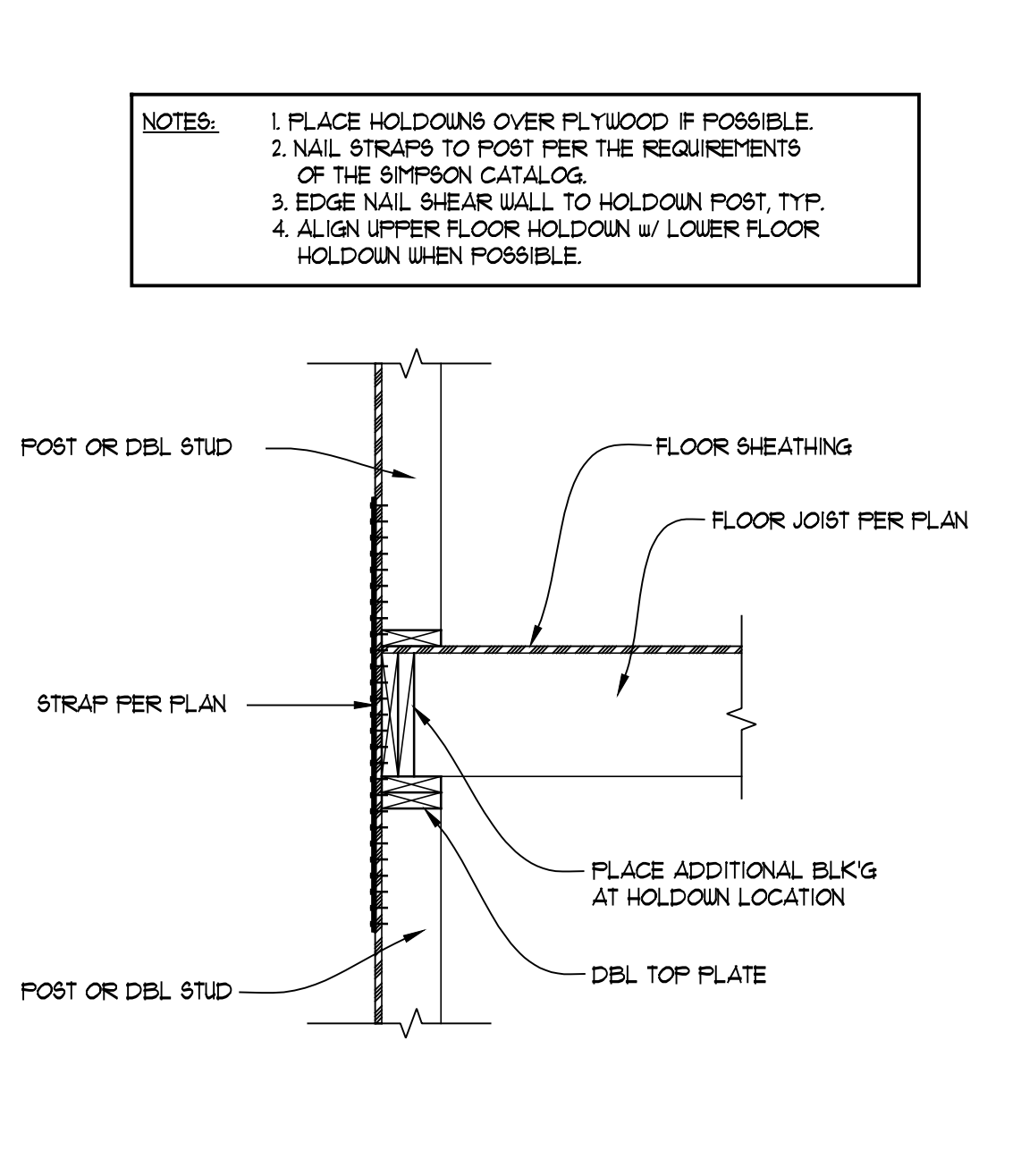
28 Typ. Deck Connection



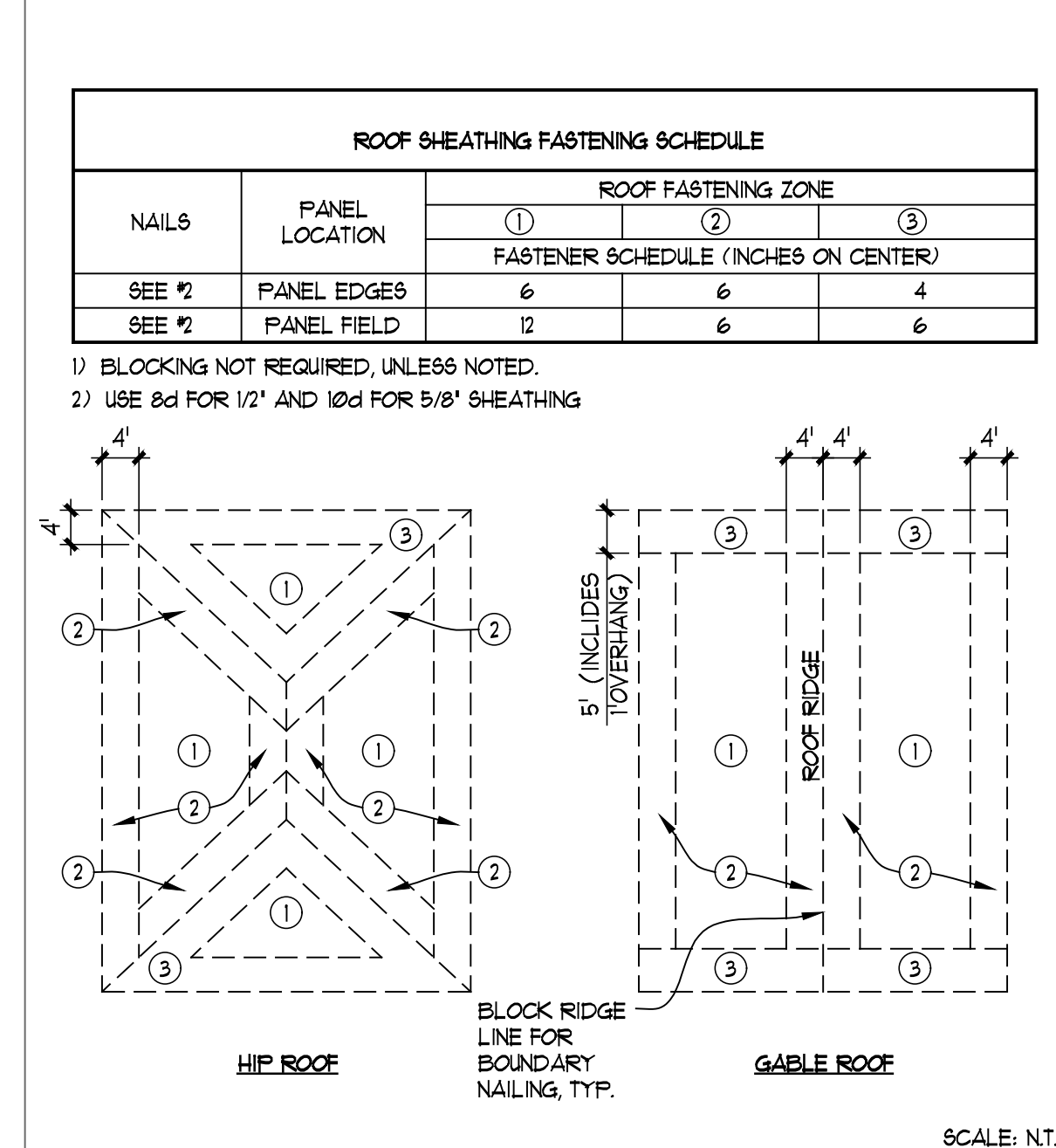
29 Beam to Top Plate



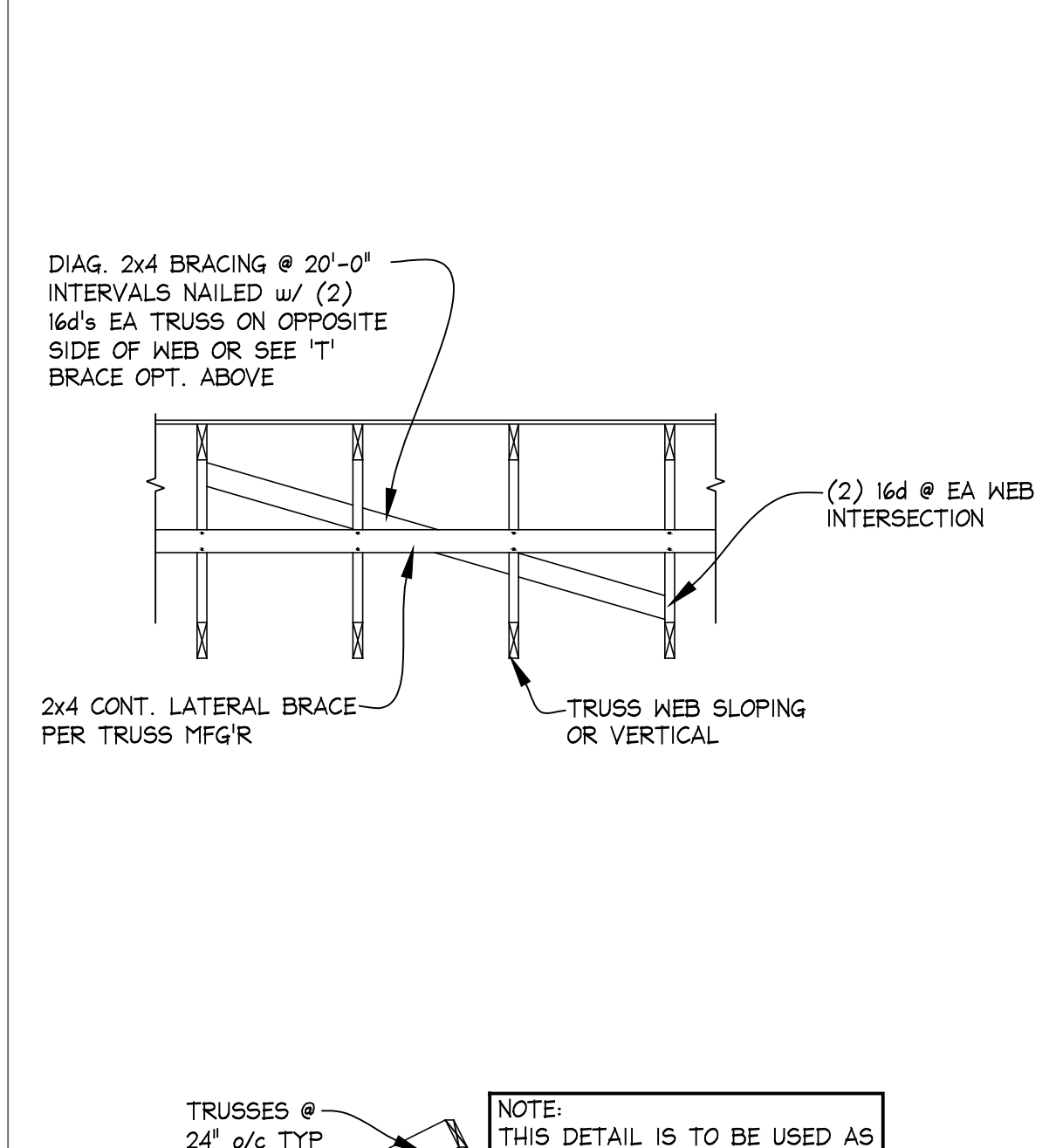
30 Post Cap Detail



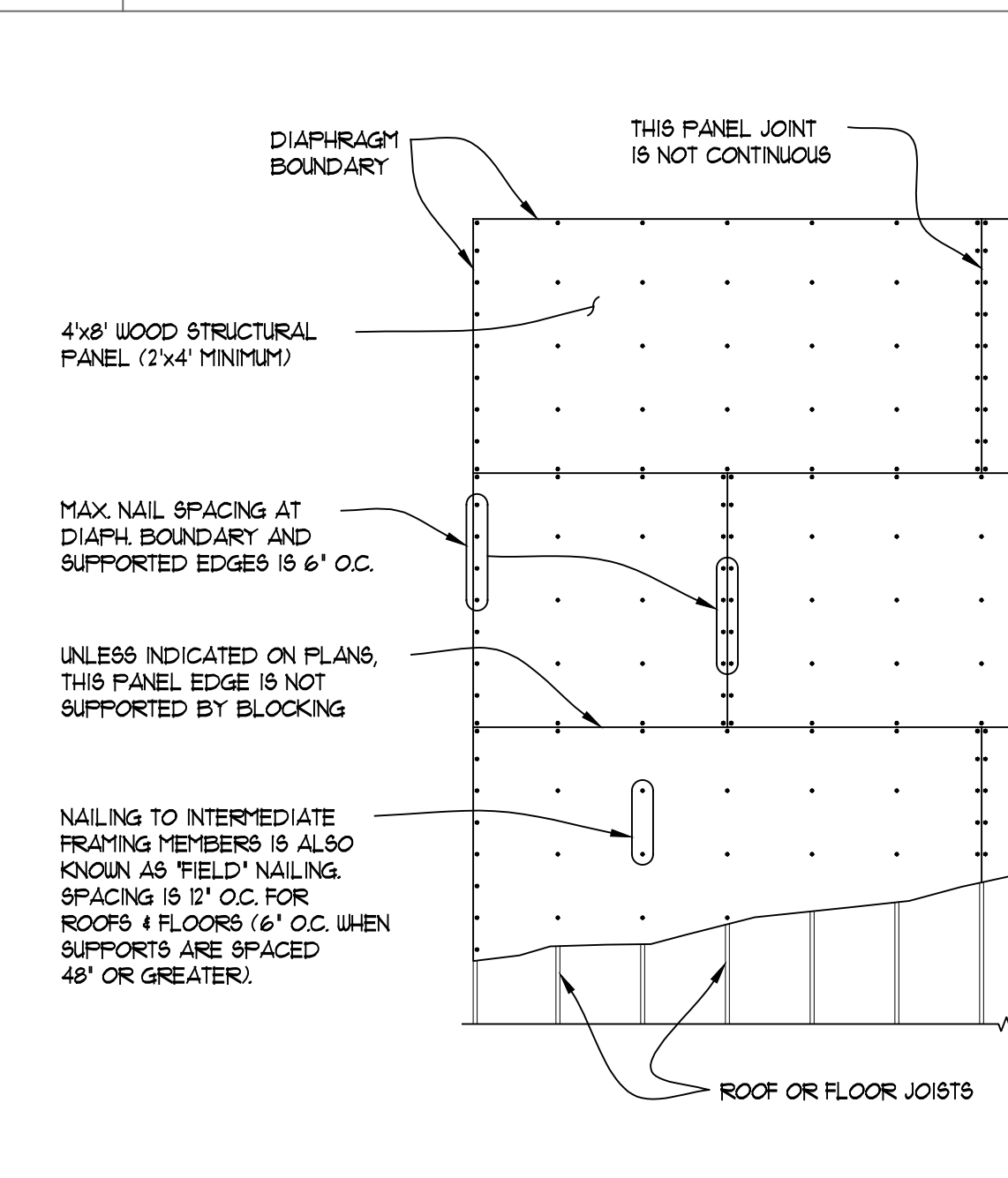
25 Holdown Strap Between Flrs.



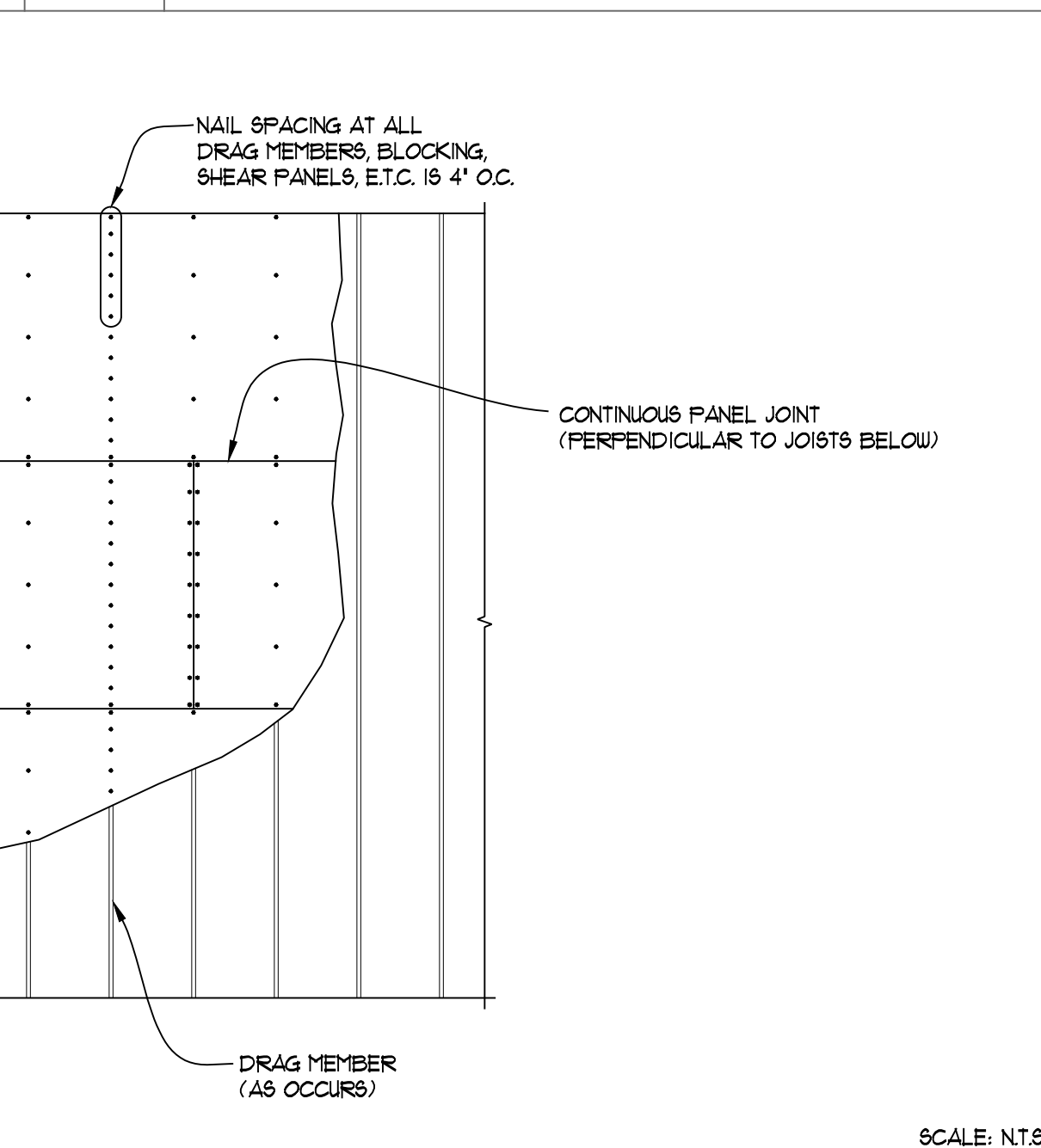
24 Roof Fastening Zones



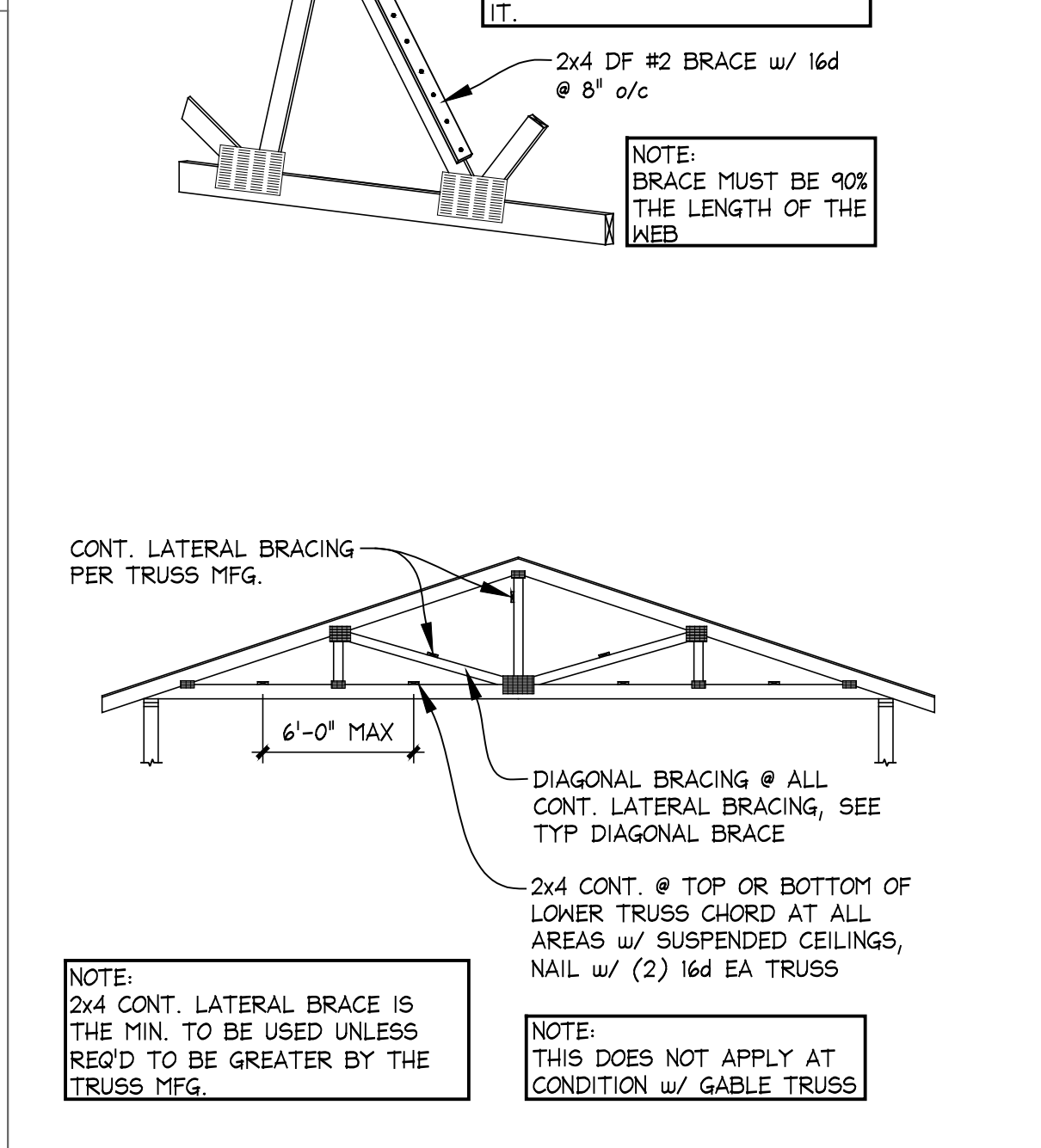
18 Truss Bracing & Truss Web Bracing



20 Unblocked Diaphragm Nailing



24 Roof Fastening Zones



18 Truss Bracing & Truss Web Bracing



15540







15540







The building is a single-story structure with brown vertical siding and a dark metal roof. It features a large glass door, several windows, and a small porch area with metal chairs. A concrete patio and lawn are in the foreground, with a stone pedestal in the yard. The sky is blue with scattered clouds.

A small window with white trim and a dark frame, located on the left side of the house.

A small window with white trim and a dark frame, located on the left side of the house.

A small window with white trim and a dark frame, located on the left side of the house.

A medium-sized window with white trim and a dark frame, located in the center of the house.

A medium-sized window with white trim and a dark frame, located on the right side of the house.

A large glass door with white trim and a dark frame, located in the center of the house.

A dark door with a small window, located on the right side of the house.

Two metal chairs and a small table, located on the porch area.

A stone pedestal with a spherical top, located in the yard.

A black bucket, located near the glass door.

A black bucket, located near the glass door.

A green bucket, located near the right side of the house.

A decorative windmill structure, located near the right side of the house.