

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

|  |                 |                                       |                 |
|--|-----------------|---------------------------------------|-----------------|
| <b>Project Information</b>   |                 | Staff Assigned Case No.: _____        |                 |
| Project Name: <i>MALCARNY - HOLMES POOLHOUSE</i>   |                 |                                       |                 |
| Project Description: <i>740 SQUARE FOOT POOLHOUSE WITH KITCHEN AND FULL BATHROOM - DETACHED ACCESSORY DWELLING</i>   |                 |                                       |                 |
| Project Address: <i>14800 CHARTREUSE COURT - RENO, NV 89511</i>  |                 |                                       |                 |
| Project Area (acres or square feet): <i>740 SQUARE FEET</i>  |                 |                                       |                 |
| Project Location (with point of reference to major cross streets AND area locator): <i>PROJECT LOCATED AT 14800 CHARTREUSE CT BY WAY OF PARIS AVE, WHICH IS OFF CALAHAN ROAD OFF OF MT. ROSE HIGHWAY</i> |                 |                                       |                 |
| Assessor's Parcel No.(s):  | Parcel Acreage: | Assessor's Parcel No.(s):             | Parcel Acreage: |
| <i>150-482-05</i>  | <i>2.017</i>    |                                       |                 |
| Section(s)/Township/Range:   |                 |                                       |                 |
| Indicate any previous Washoe County approvals associated with this application:  |                 |                                       |                 |
| Case No.(s) <i>WB1017-100565</i>   |                 |                                       |                 |
| <b>Applicant Information (attach additional sheets if necessary)</b>   |                 |                                       |                 |
| <b>Property Owner:</b>   |                 | <b>Professional Consultant:</b>       |                 |
| Name: <i>HILARY MALCARNY</i>   |                 | Name: <i>ERIC JOHNSON, ARCHITECT</i>  |                 |
| Address: <i>14800 CHARTREUSE CT</i>  |                 | Address: <i>PO BOX 34202</i>          |                 |
| <i>RENO, NV</i> Zip: <i>89511</i>  |                 | <i>RENO, NV</i> Zip: <i>89533</i>     |                 |
| Phone: <i>775-225-1553</i> Fax: <i>N/A</i>   |                 | Phone: <i>775-750-1135</i> Fax:       |                 |
| Email: <i>HILARY54321@HMAIL.COM</i>  |                 | Email: <i>ECTARCH@CHARTER.NET</i>     |                 |
| Cell: <i>775-225-1553</i> Other:   |                 | Cell: <i>775-750-1133</i> Other:      |                 |
| Contact Person: <i>HILARY MALCARNY</i>   |                 | Contact Person: <i>ERIC JOHNSON</i>   |                 |
| <b>Applicant/Developer:</b>  |                 | <b>Other Persons to be Contacted:</b> |                 |
| Name: <i>MIKE CLARK</i>  |                 | Name:                                 |                 |
| Address: <i>321 BROADWAY BLVD</i>  |                 | Address:                              |                 |
| <i>RENO, NV</i> Zip: <i>89502</i>  |                 | Zip:                                  |                 |
| Phone: <i>775-690-9100</i> Fax: <i>322-8573</i>  |                 | Phone: Fax:                           |                 |
| Email: <i>MCLARKCONST@401.COM</i>  |                 | Email:                                |                 |
| Cell: <i>775-690-9100</i> Other:   |                 | Cell: Other:                          |                 |
| Contact Person: <i>MIKE CLARK</i>  |                 | Contact Person:                       |                 |
| <b>For Office Use Only</b>   |                 |                                       |                 |
| Date Received:   | Initial:        | Planning Area:                        |                 |
| County Commission District:  |                 | Master Plan Designation(s):           |                 |
| CAB(s):  |                 | Regulatory Zoning(s):                 |                 |

## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

3975 SQUARE FEET

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

740 SQUARE FEET

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

ARCHITECTURAL COMPATIBILITY/INTEGRATION PROVIDED BY MATCHING EXISTING PRIMARY RESIDENCE ARCHITECTURAL FEATURES INCLUDING ROOF LINES/SLOPE, EXTERIOR MATERIALS & FINISHES, TRIM AND COLORS. HOA LETTER OF APPROVAL INCLUDED FOR COMPLIANCE. BUILDING PLACEMENT RELATIVE TO EXISTING PRIMARY RESIDENCE ALSO CREATES APPEARANCE OF UNIFIED/INTEGRATED STRUCTURE FROM STREET VIEW

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

WATER AND WASTEWATER DISPOSAL TO BE PROVIDED BY WAY OF NEW WATER AND WASTE WATER DISPOSAL LINES TIED INTO EXISTING MUNICIPAL UTILITIES SERVING PRIMARY RESIDENCE

5. What additional roadway, driveway, or access improvements are you planning?

NO ADDITIONAL ROADWAYS, DRIVEWAY OR ACCESS IMPROVEMENTS TO BE PROVIDED

6. A parking space is required. How are you providing the additional parking?

EXISTING PARKING, BY WAY OF EXISTING 4 CAR GARAGE AND DRIVEWAY CAPABLE OF PARKING MULTIPLE VEHICLE, SHALL BE UTILIZED. EXISTING PARKING EXCEEDS REQUIREMENTS

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

PROPOSED COMPLETION WITHIN 2017

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

PROPOSED POOLHOUSE HAS BEEN LOCATED WITHIN EXISTING GRADE CHANGE TO MINIMIZE ANY POTENTIAL IMPACT TO NEIGHBORING STRUCTURES. PROPOSED POOLHOUSE IS ESSENTIALLY TUCKED INTO EXISTING GRADE THAT RISES IN ELEVATION, RELATIVE TO FINISH FLOOR, BY APPROXIMATELY 10'-0". PLACEMENT RELATIVE TO GRADE CONCEALS THE MAJORITY OF THE STRUCTURE FROM NEIGHBORING PROPERTIES VIEW

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

YES, THE SUBJECT PROPERTY IS PART OF THE MONTE VISTA AT MIT. ROSE HOMEOWNERS'S ASSOC. THE ASSOCIATION HAS REVIEWED AND APPROVED THE PROPOSED PROJECT. HOME OWNERS'S ASSOCIATION LETTER OF APPROVAL HAS BEEN PROVIDED. PROFESSIONALLY MANAGED BY: ASSOCIA SIERRA NORTH - 10509 PROFESSIONAL CIRCLE SUITE 200 RENO, NV 89521 PHONE: 775-626-7333

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes  No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

NO ACCESSORY DWELLING UNIT CURRENTLY EXISTS FOR THIS PROPERTY

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

NOT APPLICABLE

13. List who the service provider will be for the following utilities:

|                                 |                            |
|---------------------------------|----------------------------|
| a. Sewer Service                | WASHOE COUNTY              |
| b. Electrical Service           | NEVADA ENERGY              |
| c. Solid Waste Disposal Service | WASTE MANAGEMENT OF NEVADA |
| d. Water Service                | TMIWA                      |

Property Owner Affidavit

Applicant Name: Hilary Malcarney

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Hilary Malcarney  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 15048205

State of Nevada

County of Washoe

Signed and sworn to (or affirmed)

before me on June 6<sup>th</sup> 2017  
by Hilary Malcarney

Printed Name Hilary Malcarney

Signed [Signature]

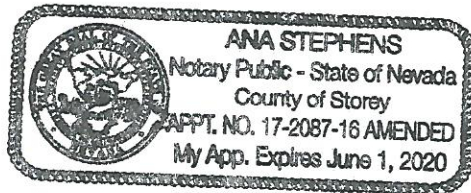
Address 14800 Chartreuse Ct  
Reno, NV 89511

Subscribed and sworn to before me this  
6<sup>th</sup> day of June, 2017.

Ana Stephens  
Notary Public in and for said county and state

My commission expires: June 1<sup>st</sup> 2020

(Notary Stamp)



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Jamie Holmes

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Jamie Holmes  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 15048205

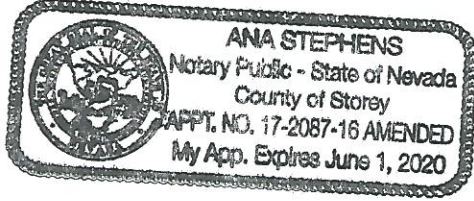
State of Nevada  
County of Washoe  
Signed and sworn to (or affirmed)  
before me on June 6<sup>th</sup> - 2017  
by Jamie Suzanne Holmes

Printed Name Jamie Holmes  
Signed [Signature]  
Address 14800 Chartreuse Ct  
Reno, NV 89511

Subscribed and sworn to before me this  
6<sup>th</sup> day of June, 2017.

Ana Stephens  
Notary Public in and for said county and state

(Notary Stamp)



My commission expires: \_\_\_\_\_

\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**Washoe County Parcel Information**

|   |                |   |
|---|----------------|---|
| Parcel ID   | Status         | Last Update                                     |
| 15048205  | Active         | 6/6/2017 2:09:20 AM                             |
| <b>Current Owner:</b><br>MALCARNEY, HILARY<br><br>14800 CHARTREUSE CT<br>RENO, NV 89511   |                | <b>SITUS:</b><br>14800 CHARTREUSE CT<br>WCTY NV |
| <b>Taxing District</b><br>4000  | <b>Geo CD:</b> |   |
| Legal Description   |                |   |
| Township 18 Section 35 Lot 310 Block Range 19 SubdivisionName ESTATES AT MT ROSE PHASE 3A |                |   |

**Tax Bill (Click on desired tax year for due dates and further details)**

| Tax Year             | Net Tax    | Total Paid | Penalty/Fees | Interest | Balance Due   |
|----------------------|------------|------------|--------------|----------|---------------|
| <a href="#">2016</a> | \$8,146.85 | \$8,146.85 | \$0.00       | \$0.00   | \$0.00        |
| <a href="#">2015</a> | \$8,131.81 | \$8,131.81 | \$0.00       | \$0.00   | \$0.00        |
| <a href="#">2014</a> | \$471.08   | \$471.08   | \$0.00       | \$0.00   | \$0.00        |
| <a href="#">2013</a> | \$457.34   | \$457.34   | \$0.00       | \$0.00   | \$0.00        |
| <a href="#">2012</a> | \$438.86   | \$438.86   | \$0.00       | \$0.00   | \$0.00        |
| <b>Total</b>         |            |            |              |          | <b>\$0.00</b> |

**Important Payment Information**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

**Pay Online**

No payment due for this account.

**\$0.00**

**Pay By Check**

Please make checks payable to:  
**WASHOE COUNTY TREASURER**

**Mailing Address:**  
P.O. Box 30039  
Reno, NV 89520-3039

**Overnight Address:**  
1001 E. Ninth St., Ste D140  
Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**

**Monte Vista at Mt. Rose Homeowners Association**

*Professionally Managed By:*

Associa Sierra North

10509 Professional Circle, Suite 200, Reno, NV 89521

Phone: (775) 626-7333; Fax: (775) 626-7374; Email: mvmservice@associasn.com

**ARCHITECTURAL SUBMITTAL- APPROVED**

April 4, 2017

H. Malcarney & J. Holmes  
14800 Chartreuse Court  
Reno, NV 89511

RE: Architectural Plan Submittal, 14800 Chartreuse Court, Account# 00185-9946

Dear Homeowner:

The Architectural Review Committee has reviewed your architectural request and has decided as follows:

**The Monte Vista Architectural Committee has reviewed and approved your plans as submitted. Thank you.**

Thank you for your participation in the design review process. If you have any questions regarding procedures or need further clarification of the review process please contact this office for assistance.

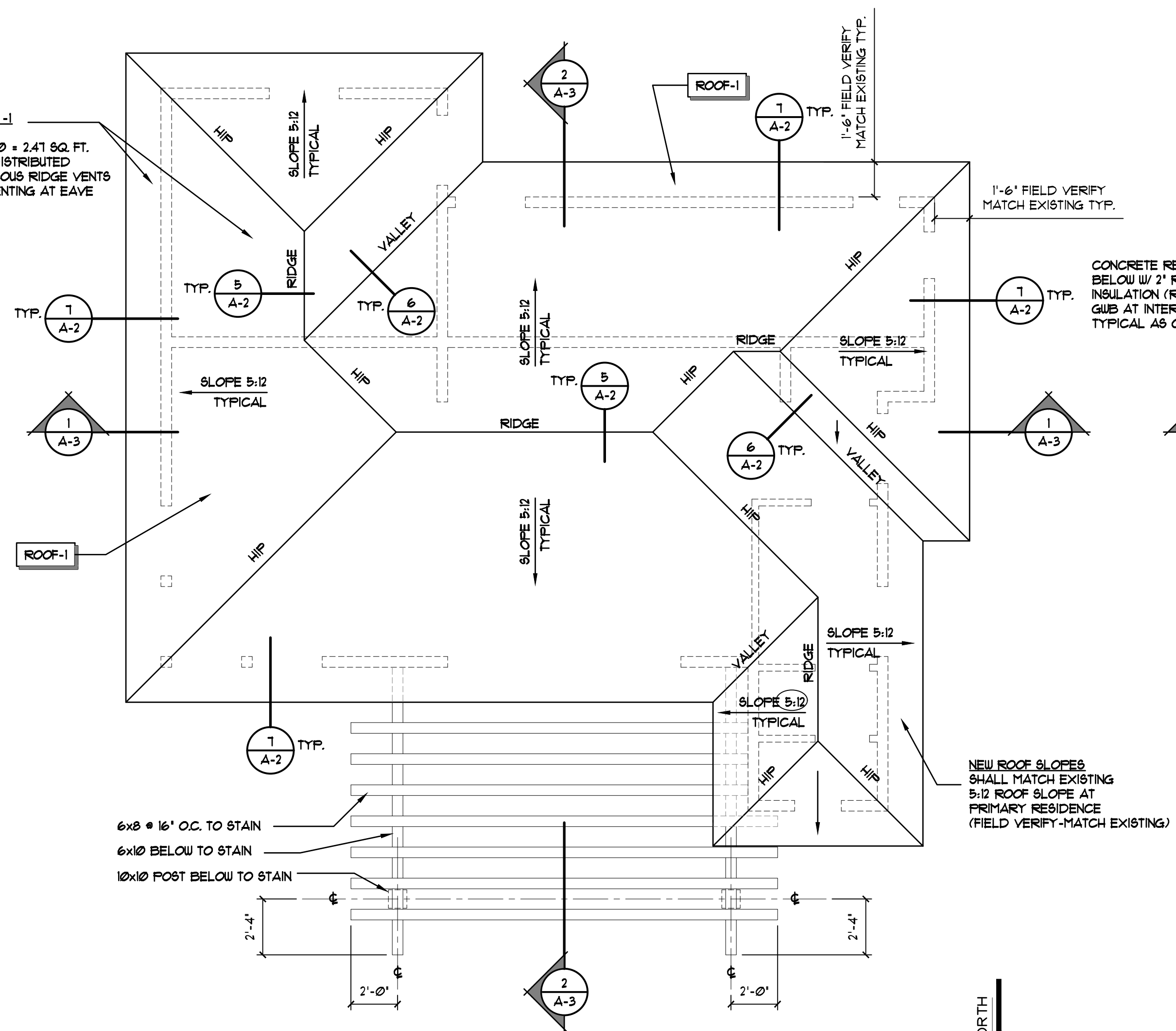
Note: All architectural approvals/denials of plans shall not constitute a representation, warranty, or guarantee that such plans and specifications comply with engineering design practices or zoning and building ordinances, or other governmental agency regulations or restrictions. It is the responsibility of the property owner to obtain any necessary permits. The Architectural Review Committee/board shall not be responsible for reviewing, nor shall its approval of any plan or design, be deemed approval from the standpoint of structural safety or conformance with building or other codes. By approving such plans and specifications, Neither the Architectural Committee nor the Board assumes any liability or responsibility therefore or for any defect in the structure constructed from such plans or specifications. **There shall be no interference with the established drainage pattern over any Lot, or Limited Common Elements so as to affect any other portion of the Project unless an adequate alternative provision, previously approved in writing by the Design Review Committee, is made for proper drainage. For the purpose hereof, "established" drainage is defined as the drainage which exists at the time the Lot, or Limited Common Elements, as the case may be is conveyed to an owner or Sub-Association by Declarant or a Participating Builder or later grading changes which are shown on plans approved by the Design Review Committee, which may include drainage from the common elements over any Lot, or Limited Common Elements in the project. All materials are to be maintained on the owners lot. Storing materials on the streets or common areas is prohibited.**

Sincerely,

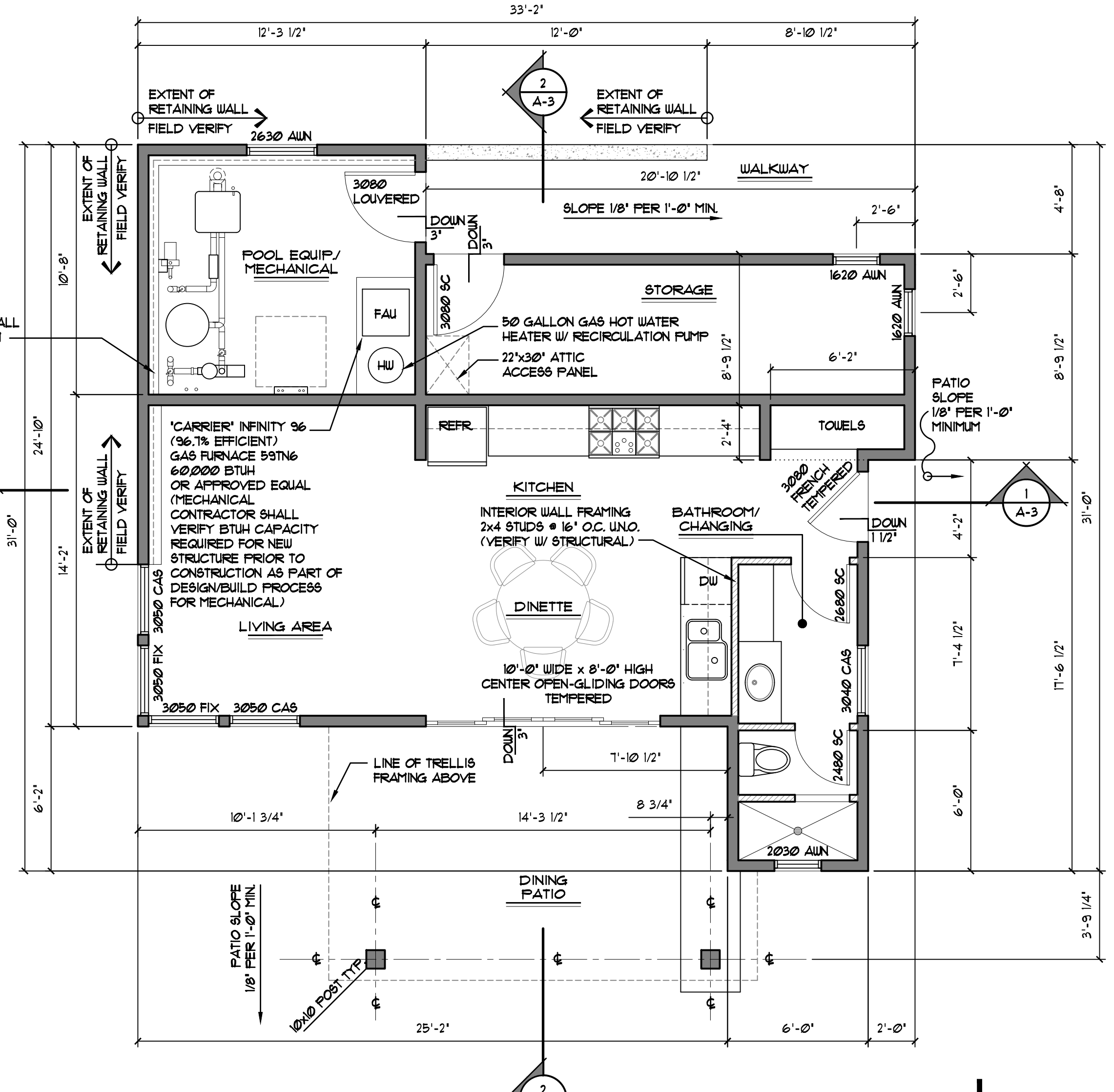
Monte Vista at Mt. Rose Homeowners Association  
Board of Directors



ATTIC VENTING ROOF AREA -1  
AREA = 140 SQUARE FEET  
VENTING REQUIRED 140/3000 = 2.41 SQ. FT.  
VENTING AREA SHALL BE DISTRIBUTED  
EQUALLY BETWEEN CONTINUOUS RIDGE VENTS  
AND CONTINUOUS LOWER VENTING AT EAVE



**2 ROOF PLAN**  
1/4" = 1'-0"



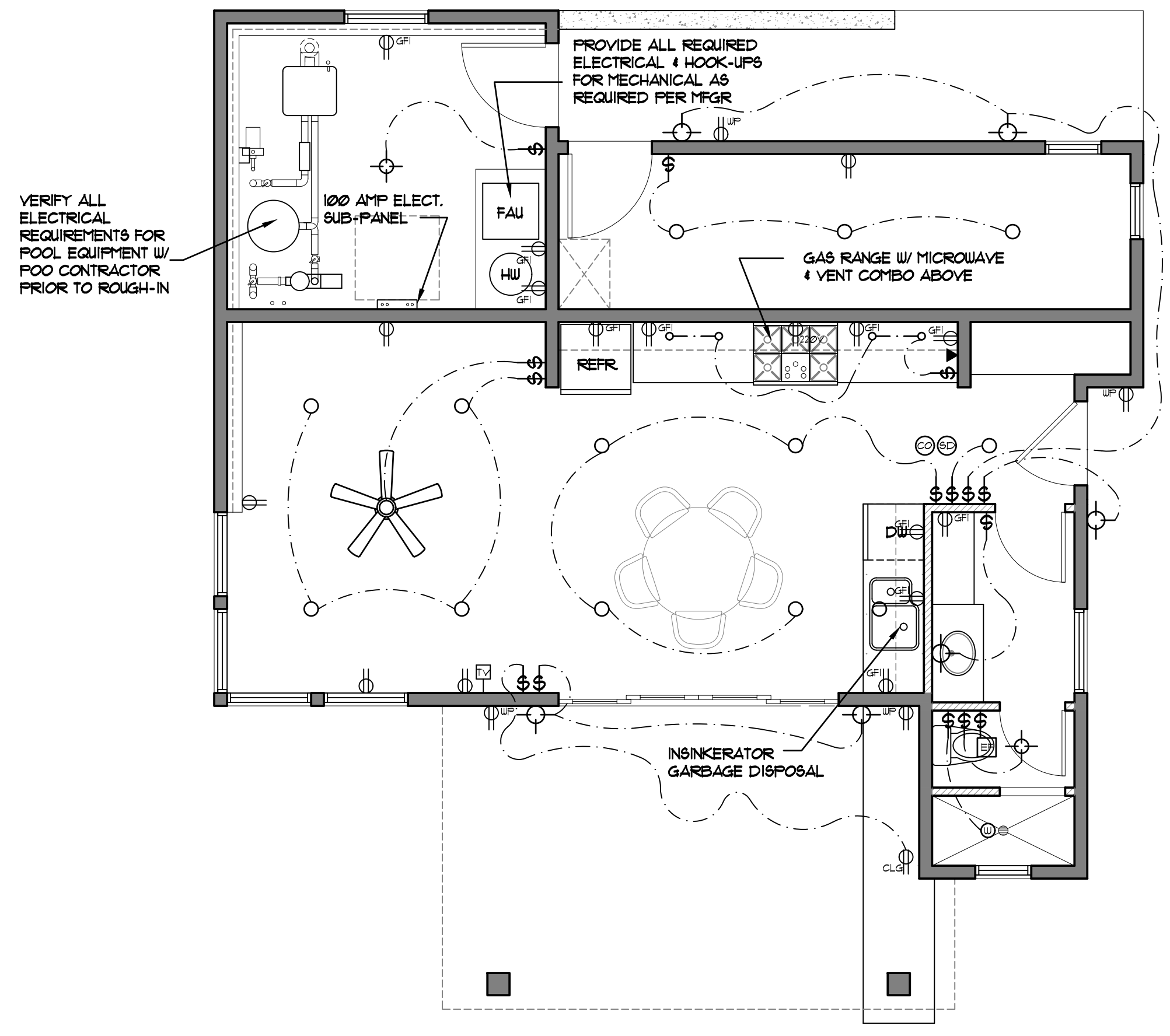
**1 GROUND FLOOR PLAN**  
1/4" = 1'-0"

**GENERAL NOTES**

- ALL NEW EXTERIOR WALLS SHALL BE 2x6 STUDS @ 16" O.C. WITH R-21 BATT INSULATION MINIMUM TYPICAL UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY ALL IE HEIGHTS, TRUSS LOCATIONS & FRAMING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- PROVIDE ATTIC/TRUSS VENTING, ACCESS & INSULATION CLEARANCES PER 2012-IRC & 2012 IECC REQUIREMENTS.
- ALL WALL & CEILING FRAMING AREAS SHALL RECEIVE 5/8" GYPSUM WALL BOARD TYPICAL UNO.
- ALL NEW ATTIC AREAS SHALL RECEIVE R-49 BLOWN INSULATION TYPICAL. SEE BUILDING SECTIONS & DETAILS FOR ADDITIONAL INFORMATION. ALL ATTIC VENTING & BAFFLES SHALL BE MAINTAINED OR PROVIDED PER 2012 IECC REQUIREMENTS.
- ALL BATHROOM SHOWER, TUB ENCLOSURES AND WET AREAS SHALL RECEIVE 5/8" DENSARMOR PLUS MOISTURE AND MOLD RESISTANT GYPSUM WALL BOARD MINIMUM OR APPROVED EQUAL.
- ALL WALL & CEILING SURFACES SHALL RECEIVE FINISHED TAPE, TEXTURE PRIMER AND PAINT UNO. - VERIFY TEXTURE TYPE W/ OWNER PRIOR TO CONSTRUCTION.
- ALL NEW WINDOWS SHALL BE LOW E' VINYL CLAD W/ DUAL PANE INSULATED GLAZING TYPICAL - FIELD VERIFY TO MATCH EXISTING.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED WALL BACKING FOR WALL MOUNTED FIXTURES TYPICAL. CONTRACTOR SHALL VERIFY ADDITIONAL BACKING REQUIREMENTS W/ OWNER, RELATED TRADES AND MANUFACTURER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY & COORDINATE ALL APPLIANCE & CABINET DIMENSIONS W/ MANUFACTURER PRIOR TO CONSTRUCTION TYPICAL.

**ROOF NOTES**

**ROOF-1** ROOFING ASSEMBLY-1  
5:12 ROOF SLOPES SHALL RECEIVE CONCRETE TILE ROOFING (TO MATCH EXISTING) COMPLYING WITH ASTM C 1492 OVER 30# ROOFING FELT UNDERLAYMENT MINIMUM CONFORMING WITH 2012-IRC SECTION R305.3.3 REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND 2012-IRC SECTION R305.3 REQUIREMENTS



**3 GROUND FLOOR ELECTRICAL PLAN**  
1/4" = 1'-0"

**ELECTRICAL LEGEND**

|   |   |   |  |
|---|---|---|--|
| ○ | - RECESSED LIGHT GFI  | ⊕ | - RECEPTACLE   |
| ⊙ | - RECESSED WATERPROOF LIGHT   | ⊕ | - 1/2 HOT SWITCHED RECEPTACLE  |
| ⊙ | - RECESSED/ ADJUSTABLE MR-16 LOW-VOLT LIGHT                                       | ⊕ | - 4-FLEX RECEPTACLE  |
| ○ | - RECESSED/ ADJUSTABLE LIGHT  | ⊕ | - FLOOR MOUNTED RECEPTACLE W/ COVER  |
| ⊕ | - CEILING MOUNTED FIXTURE   | ⊕ | - CEILING MOUNTED RECEPTACLE   |
| ⊕ | - WALL MOUNTED FIXTURE  | ⊕ | - OUTDOOR WEATHERPROOF RECEPTACLE  |
| ⊕ | - WEATHER PROOF UP-LIGHT FLUSH W/ FINISH CONCRETE                                 | ⊕ | - RECEPTACLE W/ GROUND FAULT INTERRUPT   |
| ⊕ | - DUAL HALOGEN FLOOD LIGHT PROVIDE MOTION DETECTORS PER OWNER'S REQUIREMENTS      | ⊕ | - OUTDOOR WEATHERPROOF RECEPTACLE LOCATED WITHIN UNDERSIDE OF EXTERIOR ROOF EAVE & SWITCHED TO INSIDE RESIDENCE LOCATIONS AS INDICATED ON ELECTRICAL PLANS |
| ⊕ | - 2'-0" x 4'-0" 4-TUBE FLORESCENT LIGHT   | ⊕ | - SWITCH   |
| ⊕ | - LOW-VOLTAGE UNDER CABINET LIGHTING  | ⊕ | - PHONE  |
| ⊕ | - 1'-0" x 4'-0" FLORESCENT LIGHT SIDEWALL MOUNT • CLOSET INTERIOR WALL OVER DOORS | ⊕ | - CEILING FAN - PROVIDE POWER, BLOCK OUT & ALL REQUIRED SWITCHES FOR FAN & LIGHTS AS REQUIRED  |
| ⊕ | - LOW-VOLTAGE TRACK LIGHTING  | ⊕ | - CABLE TELEVISION   |
|   |   | ⊕ | - SMOKE DETECTOR HARD WIRED W/ BATTERY BACK-UP PROVIDE & INSTALL PER 2006 IRC SECTION R313 TYPICAL   |
|   |   | ⊕ | - CARBON MONOXIDE DETECTOR HARD WIRED W/ BATTERY BACK-UP PROVIDE & INSTALL PER 2012 IRC REQUIREMENTS   |

**ELECTRICAL NOTES**

ALL KITCHEN, BATHROOMS, GARAGES, EXTERIOR SPACES AND ALL ADDITIONAL WET AREAS SHALL RECEIVE GFI CIRCUITS TYPICAL.

ALL BEDROOM ELECTRICAL OUTLETS SHALL RECEIVE ARC-FAULT PROTECTION PER 2012 IRC REQUIREMENTS.

ELECTRICAL LOCATIONS SHOWN ARE SCHEMATIC. FINAL LOCATIONS SHALL BE VERIFIED W/ OWNER PRIOR TO ROUGH-IN FOR FINAL LOCATION. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL REQUIRED PER 2012 IRC, LOCAL & NATIONAL CODE REQUIREMENTS AND INDUSTRY STANDARDS.

PHONE & CABLE TV LOCATIONS ARE APPROXIMATE ONLY. VERIFY ALL LOCATIONS W/ OWNER PRIOR TO ROUGH-IN. VERIFY ALL COMPUTER ELECTRICAL, CABLE & W-FI REQUIREMENTS W/ OWNER PRIOR TO ROUGH-IN TYPICAL.

VERIFY ALL TELEVISION LOCATIONS & MOUNTING HEIGHTS W/ OWNER PRIOR TO ROUGH-IN TYPICAL.

PROVIDE ALL REQUIRED POWER & HOOK-UPS FOR ALL APPLIANCES, MECHANICAL EQUIPMENT, PLUMBING EQUIPMENT & FIREPLACES TYPICAL.

ELECTRICAL MOUNTING HEIGHTS SHOWN ARE APPROXIMATE. VERIFY ALL MOUNTING HEIGHTS W/ APPLIANCES, ELECTRONICS, MILLUOR, COUNTER HEIGHTS & OWNER'S REQUIREMENTS TYP.

| REVISIONS | DATE |
|-----------|------|
|           |      |
|           |      |
|           |      |
|           |      |
|           |      |

**ECJ ARCHITECT**

ERIC JOHNSON ARCHITECT

PO BOX 34262  
RENO NEVADA 89533  
775-750-1193  
ECJARCH@CHARTER.NET

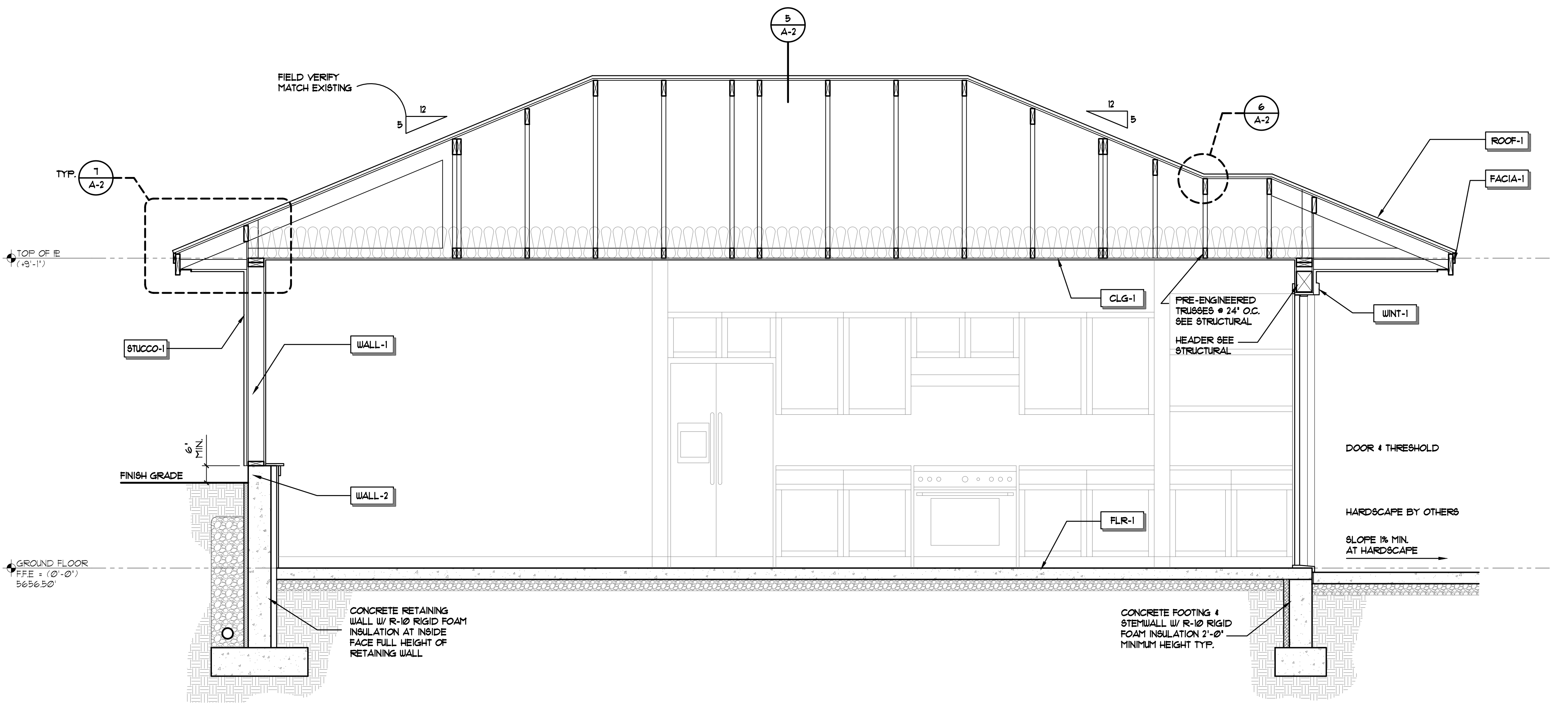


NEW POOLHOUSE/CASITA FOR THE:  
**MALCARNEY/HOLMES RESIDENCE**  
14800 CHARTREUSE COURT - RENO, NEVADA 89511

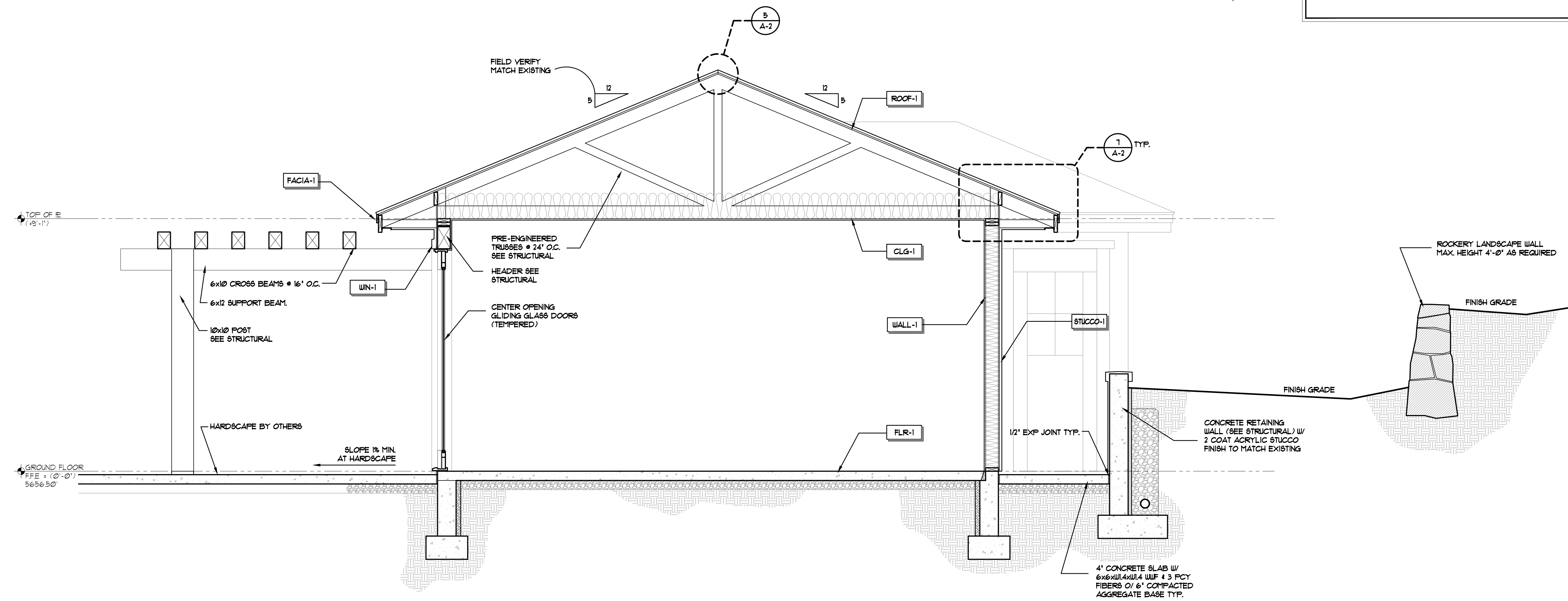
GROUND FLOOR PLAN, ROOF PLAN & ELECTRICAL PLAN - PERMIT ISSUE

|              |          |
|--------------|----------|
| DRAWN BY     | ECJ      |
| CHECKED      | -        |
| DATE         | 6-21-17  |
| SCALE        | AS SHOWN |
| JOB NUMBER   | MALHOLM  |
| SHEET NUMBER | A-1      |





**1 BUILDING SECTION**  
1/2" = 1'-0"



**2 BUILDING SECTION**  
1/2" = 1'-0"

**CONSTRUCTION ASSEMBLIES**

- FLR-1** FLOOR ASSEMBLY-1  
4" CONCRETE SLAB PER STRUCTURAL (SEE STRUCTURAL CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION). PROVIDE ALL SITE, SOIL AND FOUNDATION PREPARATION/COMPACTION. PROVIDE 'STEGO' VAPOR BARRIER SUBSTRATE. FINISHED CONCRETE SLAB SHALL BE STAINED AND SEALED (COLOR BY ARCHITECT)
- WALL-1** WALL ASSEMBLY-1  
EXTERIOR WALL 2x6 STUDS @ 16" O.C. W/ R-21 BATT INSULATION - EXTERIOR WALL FACE W/ PL WOOD SHEATHING PER STRUCTURAL, 15# BUILDING FELT (OR APPROVED EQUAL) AND SIDING PER EXTERIOR ELEVATIONS - INTERIOR WALL FACE W/ 5/8" GYPSUM WALL BOARD (GWB)
- WALL-2** WALL ASSEMBLY-2  
CONCRETE RETAINING WALL PER STRUCTURAL W/ DRAINBOARD AND WATERPROOFING AT EXTERIOR WALL FACE (BELOW GRADE). PROVIDE CONTINUOUS PERFORATED DRAINLINE AT STEM TO FOOTING (SEE STRUCTURAL RETAINING WALL DETAILS) AND DRAIN TO DAYLIGHT. INTERIOR WALL FACE SHALL RECEIVE 2" RIGID FOAM W/ R-10 INSULATION VALUE AND 5/8" GYPSUM WALL BOARD (2" RIGID FOAM INSULATION SHALL EXTEND THE FULL LENGTH OF RELATED STEM WALL TERMINATING AT FOOTING BELOW)
- WIN-1** WINDOW ASSEMBLY-1  
DUAL PANE, INSULATED, LOW 'E' VINYL CLAD WINDOWS W/ MINIMUM U-FACTOR OF 0.31 UNLESS NOTED OTHERWISE. SEE FLOOR PLANS AND ELEVATIONS FOR SIZE, OPERATION AND TEMPERING - MATCH EXISTING.
- WINT-1** WINDOW TRIM-1  
WINDOW HEAD FOAM/STUCCO TRIM - SEE DETAIL 0/A-2 FOR DIMENSIONS
- STUCCO-1** STUCCO ASSEMBLY-1  
EXTERIOR WALLS SHALL RECEIVE 2 COAT ACRYLIC STUCCO OVER 1" RIGID FOAM BACKER OVER PL WOOD SHEATHING (SEE STRUCTURAL) AND 15# BUILDING FELT W/ METAL LATH MIN. (COLOR AND TEXTURE TO MATCH EXISTING)
- CLG-1** CEILING ASSEMBLY-1  
PRE-MANUFACTURED TRUSSES W/ ATTIC SPACE SHALL RECEIVE R-49 BLOWN INSULATION TYPICAL. SEE BUILDING SECTIONS & DETAILS FOR ADDITIONAL INFORMATION. ALL ATTIC VENTING & Baffles SHALL BE MAINTAINED OR PROVIDED PER 2012 IECC REQUIREMENTS. ATTIC VENTING SHALL BE DISTRIBUTED EQUALLY BETWEEN UPPER & LOWER ATTIC/ROOF AREAS. LOWER ATTIC SPACE SHALL BE VENTED BY WAY OF ROOF OVERHANG SOFFIT VENTING. UPPER ATTIC SPACE SHALL BE VENTED BY WAY OF CONTINUOUS RIDGE VENT OR ROOF MOUNTED VENTS LOCATED ON WESTERN ROOFS.
- ROOF-1** ROOFING ASSEMBLY-1  
5/12 ROOF SLOPES SHALL RECEIVE CONCRETE TILE ROOFING (TO MATCH EXISTING) COMPLYING WITH ASTM C 1482 OVER 30# ROOFING FELT UNDERLAMENT MINIMUM CONFORMING WITH 2012-IRC SECTION R505.3.3 REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND 2012-IRC SECTION R505.3 REQUIREMENTS
- FACIA-1** FACIA ASSEMBLY-1  
2x8 WOOD FACIA W/ 1x4 SHINGLE MOULD TO MATCH EXISTING TO PAINT TYPICAL AS OCCURS. SEE ELEVATIONS FOR LOCATIONS. COLOR TO MATCH EXISTING

| REVISIONS | DATE |
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**ECJ ARCHITECT**  
ERIC JOHNSON ARCHITECT  
PO BOX 34262  
RENO NEVADA 89533  
775-750-1133  
ECJARCH@GMAIL.COM



NEW POOLHOUSE/CASITA FOR THE:  
**MALCARNEY/HOLMES RESIDENCE**  
14800 CHARTREUSE COURT - RENO, NEVADA 89511

|              |          |
|--------------|----------|
| DRAWN BY     | ECJ      |
| CHECKED      | -        |
| DATE         | 6-21-17  |
| SCALE        | AS SHOWN |
| JOB NUMBER   | MALHOLM  |
| SHEET NUMBER | A-3      |

EXTERIOR ELEVATIONS - PERMIT ISSUE



# Monte Vista at Mount Rose

## Silver Crest Homes, Inc.

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TS TITLE SHEET  
GN GENERAL NOTES  
DELTA SHEET

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- S4.6R Roof Framing Plan Options Reversed
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- SN.2 Standard Details
- SD.1 Structural Details
- SD.2 Structural Details

2009 IECC 404.1  
LIGHTING EQUIPMENT (PRESCRIPTIVE):  
A MINIMUM OF 50 PERCENT OF THE LAMPS  
IN PERMANENTLY INSTALLED LIGHTING  
FIXTURES SHALL BE HIGH-EFFICACY LAMPS

2009 IECC 402.4.2: Building envelope air  
tightness shall be tested by an approved  
agency. Blower door test (402.4.2.1) or  
visual inspection (402.4.2.2) are acceptable.  
Per IECC 403.2.2(1) or (2): Duct sealing  
must be tested by an approved agency.

E3902.12 Arc-fault circuit-interrupter protection.  
All branch circuits that supply 120-volt, single-phase,  
15- and 20-ampere outlets installed in family rooms,  
dining rooms, living rooms, parlors, libraries, dens,  
bedrooms, sunrooms, recreation rooms, closets,  
hallways and similar rooms or areas shall be protected  
by a combination type arc-fault circuit interrupter  
installed to provide protection of the branch circuit.

### CONSULTANTS

#### ARCHITECT:

CALIFORNIA OFFICE  
WOODLEY ARCHITECTURAL GROUP  
2943 PULLMAN, SUITE A  
SANTA ANA, CA. 92705  
TEL: 949-553-8919  
FAX: 949-553-8909

COLORADO OFFICE  
WOODLEY ARCHITECTURAL GROUP  
731 SOUTHPARK DRIVE, SUITE 'B'  
LITTLETON, CO. 80120  
TEL: 303-683-7231  
FAX: 303-683-2922

#### STRUCTURAL ENGINEER:

HARRIS & SLOAN CONSULTING GROUP, INC.  
2295 GATEWAY OAKS DRIVE, STE. 165  
SACRAMENTO, CA. 95833  
PHONE: 916-921-2800  
FAX: 916-921-2878  
WWW.HSCGI.COM

### CODE INFORMATION

#### HOME BUILDER - OWNER:

SILVER CREST HOMES, INC.  
3300 DOUGLAS BLVD. SUITE 450  
ROSEVILLE, CA. 95661  
(916) 783-2300

#### CODE COMPLIANCE:

THIS PROJECT SHALL COMPLY  
WITH THE FOLLOWING CODES:

- 2012 INTERNATIONAL BUILDING CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE

#### BUILDING TYPE:

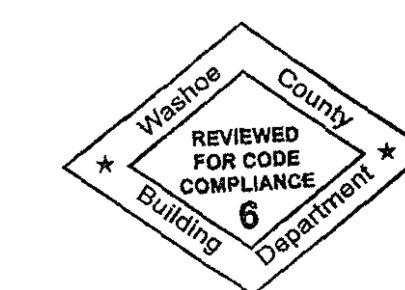
OCCUPANCY, R-3 & U  
CONSTRUCTION TYPE V-B

### AREA TABULATIONS

#### SQUARE FOOTAGE PLAN 4 - ELEV. 'A'

|                        |     |              |
|------------------------|-----|--------------|
| FLOOR PLAN             | *** | 3911 SQ. FT. |
| 3-BAY GARAGE           | *** | 981 SQ. FT.  |
| OPT. 4-BAY GARAGE      | *** | 1264 SQ. FT. |
| OUTDOOR ROOM           | *** | 323 SQ. FT.  |
| PORCH / TOWER AREA 'A' | *** | 149 SQ. FT.  |
| PORCH / TOWER AREA 'B' | *** | 149 SQ. FT.  |
| PORCH / TOWER AREA 'C' | *** | 149 SQ. FT.  |

MJM3971-12



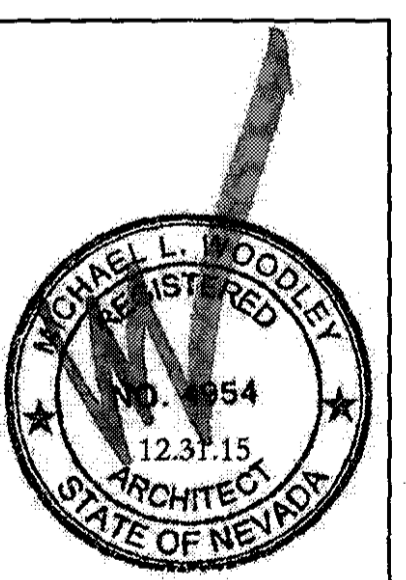
WASHOE COUNTY BUILDING DEPT.  
OFFICE COPY



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california  
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Santa Ana, California 92705  
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Silver Crest Homes, Inc.  
Monte Vista at Mount Rose



project no: \_\_\_\_\_  
date: 02-17-14  
first issue: 01-09-11

|          |                |
|----------|----------------|
| 03-02-1  | CLIENT CHANGES |
| 03-02-1  | BUILD DEPT.    |
| 04-11-1  | CLIENT CHANGES |
| 03-29-1  | CLIENT         |
| 06-14-2  | 2009 IECC      |
| 08-07-2  | FRAMING WALK   |
| 08-21-2  | 2012 CODE      |
| 02-11-14 | PLAN CHECK     |

Plan Number  
**FOUR**  
Sheet Number  
**1 TS**

**GENERAL NOTES**

**GENERAL REQUIREMENTS - DIVISION 1**

WORK PERFORMANCE SHALL COMPLY WITH THE FOLLOWING:

1. THESE GENERAL NOTES, UNLESS NOTED OTHERWISE (U.NO.) ON THE PLANS OR SPECIFICATIONS.
2. INTERNATIONAL BUILDING CODE (I.B.C.), INTERNATIONAL RESIDENTIAL CODE (I.R.C.), AS RELATED TO ALL FEDERAL AND STATE GOVERNMENTS, APPLICABLE AND/OR CURRENT EDITION, AND ALL LOCAL CODES AND REGULATIONS GOVERNING THE SITE OF THE WORK.
3. INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.)
4. NATIONAL ELECTRICAL CODE (N.E.C.), APPLICABLE AND/OR CURRENT EDITION.
5. AMERICAN CONCRETE INSTITUTE (A.C.I.) AND A.C.I. STANDARDS.
6. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS, AND PROTECTIVE CONDITIONS, COVENANTS, RESTRICTIONS GOVERNING THE SITE OF THE WORK.
7. STANDARD SPECIFICATIONS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.).
8. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (I.C.B.O) AND UNDERWRITER'S LABORATORY (U.L.) APPROVED ITEMS AS REQUIRED.
9. IN CASES OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
10. QUESTION OR CONFLICT RELATED TO THE DESIGN INTENT SHALL BE DECIDED BY THE ARCHITECT, OR ARCHITECT'S AGENT, AND SUCH DECISION SHALL BE FINAL AND CONCLUSIVE.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER, CONTRACTOR AND SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE. EACH CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY REPORT TO THE PROJECT SUPERINTENDENT, ARCHITECT AND THE OWNER/BUILDER ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK.

PROJECT SUPERINTENDENT AND OWNER'S ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR OR SUBCONTRACTORS SHOULD ANY DISCREPANCY, ERROR, AND/OR OMISSIONS, OR OTHER QUESTION ARISE PERTAINING TO THE CONSTRUCTION DOCUMENTS AN/OR SPECIFICATIONS. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTORS FROM THE PROPER PERFORMANCE OF THE INTENT OF THE WORK.

CONTRACTOR AND SUBCONTRACTOR SHALL BE LICENSED IN THE STATE OF THE PROJECT SITE AND SHALL BE KNOWLEDGEABLE, SKILLED AND COMPETENT TO PERFORM THE INTENDED WORK.

CONTRACTOR AND SUBCONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE AND SHALL REPLACE ANY ITEMS DAMAGED BY THE CONTRACTOR OR SUBCONTRACTORS PERFORMANCE AT NO ADDITIONAL COST TO THE OWNER. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHERS WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.

CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN, COORDINATE AND PAY FOR ANY OR ALL PERMIT FEES AND AGENCY INSPECTIONS REQUIRED, OR AS DETERMINED IN WRITING BY THE OWNER, DEVELOPER AND/OR BUILDER.

CONTRACTOR AND SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE SEQUENCES AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FIELD OBSERVATIONS BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT BE CONSTRUED AS REVIEWED AND/OR APPROVED.

CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS, FIELD OBSERVATIONS BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT INCLUDE ITEMS STATED HEREIN.

CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN THE PREMISES, CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS FINISH SURFACES, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT. NO STORAGE OR PLACEMENT OF HAZARDOUS, TOXIC, CARCINOGENIC, OR FLAMMABLE MATERIALS SHALL BE PERMITTED ON THE SITE; DISPOSAL OF SAID MATERIALS SHALL BE IN A SAFE MANNER AND SHALL COMPLY WITH CURRENT LAWS AND REGULATIONS.

CONTRACTOR AND SUBCONTRACTOR SHALL AT THEIR OWN EXPENSE, PROVIDE INSURANCE COVERING FULL LIABILITY AS REQUIRED UNDER WORKMAN'S COMPENSATION LAWS OF THE STATE WHERE THE WORK OCCURS AS WELL AS, COMPREHENSIVE BODILY INJURY AND PUBLIC LIABILITY INSURANCE AND ALSO PROPERTY DAMAGE INSURANCE WITH A MINIMUM COVERAGE OF 1,000,000.00 (ONE MILLION) DOLLARS AND HAVE AUTOMOBILE/VEHICLE INSURANCE; IN FORCE. ALL SUCH INSURANCE SHALL BE FOR THE PROTECTION OF THE OWNER/BUILDER. SUBCONTRACTORS SHALL FURNISH OWNER WITH CERTIFICATES OF EACH INSURANCE CONTAINING A THAT COVERAGE CANNOT BE CANCELED WITHOUT GIVING THIRTY (30) DAYS PRIOR NOTICE TO THE OWNER. ADEQUACY, TERMS AND COVERAGE OF ALL INSURANCE SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE FAILURE OF THE OWNER TO REQUEST OR RECEIVE SATISFACTORY EVIDENCE OF SUCH INSURANCE SHALL NOT BE DEEMED A WAIVER OF THIS PARAGRAPH OR THE OWNER'S AGREEMENT HEREIN.

CONTRACTOR AND SUBCONTRACTORS SHALL AT ALL TIMES INDEMNIFY THE OWNER, OWNER'S AGENTS AND THE ARCHITECT HARMLESS AGAINST ALL LIABILITY FOR CLAIMS AND LIENS FOR LABOR PERFORMED OR MATERIALS USED OR FURNISHED TO BE USED ON THE JOB, INCLUDING ANY COSTS AND EXPENSES FOR ATTORNEY FEES AND ALL INCIDENTAL OR CONSEQUENTIAL DAMAGES RESULTING TO THE OWNER, OWNER'S AGENTS, AND ARCHITECT ARISING FROM SUCH CLAIMS. FURTHER, IN CASE SUIT

ON SUCH CLAIM IS BROUGHT, THE CONTRACTOR OR SUBCONTRACTOR SHALL DEFEND SAID SUIT AT THEIR OWN COST AND EXPENSE, AND WILL PAY AND SATISFY ANY SUCH LIEN OR JUDGEMENT AS DIRECTED BY A COURT OF LAW. CONTRACTOR AND SUBCONTRACTORS SHALL PAY ROYALTIES AND ASSUME COST ARISING FROM THE USE OF ANY INVENTION, DESIGN PROCESS, MATERIALS, EQUIPMENT, PRODUCT OR DEVICE WHICH IS SUBJECT TO PATENT RIGHTS OR COPYRIGHTS.

CONTRACTOR AND SUBCONTRACTORS SHALL HOLD HARMLESS, INDEMNIFY, AND DEFEND THE OWNER, THE ARCHITECT AND THEIR CONSULTANTS AND EACH OF THEIR DIRECTORS, OFFICERS, EMPLOYEES AND AGENTS TO THE FULLEST EXTENT ALLOWED BY THE LAW, FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, EXPENSES, AND OTHER COST, INCLUDING COST OF DEFENSE AND ATTORNEYS FEES, ARISING OUT OF THE INFRINGEMENT OF PATENT RIGHTS OR COPYRIGHTS INCIDENT TO THE USE IN THE PERFORMANCE OF THE WORK OR RESULTING FROM THE INCORPORATION OF THE WORK OF ANY INVENTION, DESIGN, PROCESS, MATERIALS, EQUIPMENT, PRODUCT, AND/OR DEVICE, AND SHALL DEFEND ALL SUCH CLAIMS IN CONNECTION WITH ANY ALLEGED INFRINGEMENT OF SUCH RIGHTS.

THE ARCHITECT HAS PROVIDED PROFESSIONAL ARCHITECTURAL DESIGN SERVICES AND COORDINATION OF SUCH WITH THE OWNERS CONSULTANTS FOR THE PROJECT. THE ARCHITECT NEITHER WARRANTS NOR GUARANTEES ANY CONSTRUCTION MATERIAL, EQUIPMENT, APPLIANCE, FIXTURE, HARDWARE, FINISH, OR MEAN OR METHOD OF CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY PROJECT SITE GRADING OR DRAINAGE; NOR ANY TOXIC AND HAZARDOUS MATERIAL, GROUND EROSION, CORROSION, SUBSOIL, OR AIR AND WATER CONDITIONS, OR SIMILAR SUCH CONDITIONS OF THE PROJECT.

**OVERVIEW:**

1. THIS IS A BUILDER'S SET OF CONSTRUCTION DRAWINGS. THE NOTES PROVIDED WITHIN ARE TO PROVIDE GENERAL INFORMATION ONLY. SPECIFICATIONS ARE TO BE PROVIDED BY THE OWNER/BUILDER PRIOR TO CONSTRUCTION TO CONTRACTORS.
2. FOR CONVENIENCE OF REFERENCE AND TO FACILITATE THE LETTING OF CONTRACTS AND SUBCONTRACTS, THE NOTES ARE SEPARATE, NOT TILED SECTIONS. SUCH SEPARATIONS SHALL NOT OPERATE TO MAKE THE ARCHITECT OR ARBITER TO ESTABLISH LIMITS BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.
3. THE OWNER RESERVES THE RIGHT TO, AT ANY TIME, MAKE CHANGES TO THESE CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THESE PLANS SHALL BE APPROVED BY THE BUILDING DEPARTMENT.
4. THESE CONSTRUCTION DOCUMENTS ARE INTENDED SOLELY FOR THE USE OF THE OWNER IN CONSTRUCTION OF HOUSES, AND ARE NOT INTENDED FOR USE IN MARKETING OF HOUSES. EXTERIOR ELEVATIONS AND OTHER DETAILS WITHIN THESE CONSTRUCTION DOCUMENTS ARE ONLY AN ARTISTIC REPRESENTATION AND MAY CHANGE DURING THE CONSTRUCTION PROCESS. ANYONE INTERESTED IN PURCHASING A HOUSE FROM THE OWNER IS HEREBY ADVISED TO DO SO ONLY ON THE BASIS OF THE HOUSE ACTUALLY CONSTRUCTED, AS IT MAY HAVE CHANGED FROM THE INITIAL DESIGN OF THE HOME OR ANY ARTISTIC RENDERINGS.

**CODES:**

1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE FEDERAL, STATE, COUNTY, CITY OR GOVERNING AGENCIES, ZONING CODE, PLANNING CODE, BUILDING CODE, MECHANICAL CODE, PLUMBING CODE, ELECTRICAL CODE, FIRE CODE OR ANY OTHER CODES, RULES, REGULATIONS OR AMENDMENTS. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

**STRUCTURAL ENGINEERING:**

1. REFER TO CURRENT CALCULATIONS, DRAWINGS AND DETAILS, BY THE OWNER'S STRUCTURAL ENGINEER FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTING, FOUNDATION AND SHEAR REQUIREMENTS.
2. NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY THE STATE, COUNTY OR CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
3. REFER TO THE CURRENT APPROVED CALCULATIONS AND DRAWINGS FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM OR HEADER SIZES, FOUNDATION, FOOTINGS AND SHEAR REQUIREMENTS. IN CASES OF CONFLICT, THE MORE STRINGENT SHALL APPLY.
4. REFER TO THE CURRENT APPROVED SOILS REPORT FOR ANY QUESTION REGARDING SOIL AND THE CONSTRUCTION REQUIREMENTS AND SPECIFICATIONS. IN CASES OF CONFLICT, THE MORE STRINGENT SHALL APPLY.

**SHOP DRAWING:**

1. SHOP DRAWINGS, AS REQUESTED, SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER/BUILDER BY THE FOLLOWING TRADES (OR WHEN REQUIRED). DRAWINGS SHALL BE TO SCALE AND COMPLETELY DIMENSIONED AND NOTED TO REFLECT THE REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ALL CODES AND REGULATIONS

**ADDITIONAL NOTES**

IF, FOR ANY REASON, THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND CONSTRUCTION DOCUMENTS AND THE BUILDER'S SPECIFICATIONS, USE THE MORE RESTRICTIVE DIRECTION.

1. THE ARCHITECT DOES NOT GUARANTEE THE GENERAL CONTRACTORS AND/OR SUBCONTRACTORS PERFORMANCE, AND NO PROVISIONS OF THE CONTRACT DOCUMENTS SHALL GUARANTY PERFORMANCE, INCOMPETENCE, ERRORS OR OMISSIONS OR COMMISSION OF THE SUBCONTRACTOR.

**ERRORS AND OMISSIONS:**

1. ERRORS AND OMISSIONS WHICH MAY OCCUR WITHIN THE CONSTRUCTION DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, OMISSIONS OR DISCREPANCIES WHICH THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHOULD HAVE FOUND AND FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

DRAWINGS BY THE ARCHITECT SHALL BE FOR CONFORMANCE TO THE DESIGN INTENT OF THE WORK AND SHALL NOT CONSTRUE APPROVAL OF THE COMPONENTS ASSEMBLY, NOR MEANS OR METHODS OF INSTALLATION.

HVAC LAYOUT AND GRILLE MANUFACTURERS TRUSS LAYOUTS WITH CALCULATIONS CABINETS, BUILT-INS OR OTHER ITEMS REQUIRED COUNTERTOPS WROUGHT IRON/DECORATIVE STEEL MIRRORS DECORATIVE FLOORING/WALL TREATMENT SPECIALTY ITEMS DECORATIVE STONE

**JOB CONDITIONS:**

1. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ASSURING THAT EACH SUBCONTRACTOR PERFORMS THE WORK IN ACCORDANCE WITH ALL CURRENT CODES IN A TIMELY MANNER TO ASSURE COORDINATION WITH SUBCONTRACTOR TRADES.

**CLEAN UPS AND PROTECTION:**

1. PROTECTION: ADEQUATELY PROTECT ALL WORK FROM DAMAGE BY SUBSEQUENT CONSTRUCTION OPERATIONS. DAMAGED WORK SHALL BE REFINISHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
2. GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE FROM ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVER-SPRAY, ETC. AND PREMISES SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

**SUBSTITUTIONS:**

1. CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL AND THE ARCHITECT FOR REVIEW, ANY INFORMATION ON MATERIAL OR EQUIPMENT DESIGNATED OR APPROVED EQUAL WHICH THE CONTRACTOR CONSIDERS EQUIVALENT TO ITEMS SPECIFIED TO CONFORM TO THE INTENT OF THE WORK AND CODE COMPLIANCE.

ALL WORK SHALL COMPLY WITH CURRENT EDITION OF LOCAL BUILDING CODES AND REGULATIONS GOVERNING SITE OF WORK AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT APPROVED PUBLISHED MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS:

**SITE WORK AND FOUNDATION - DIVISION 2**

**CONCRETE - DIVISION 3**

INCLUDING, BUT NOT LIMITED TO: CEMENT, CONCRETE SLABS, CONCRETE FOOTINGS AND FOUNDATIONS POST-TENSION SLABS

**MASONRY - DIVISION 4**

INCLUDING, BUT NOT LIMITED TO: MORTAR AND GROUT, CMU, BRICK, STONE VENEER

**METALS - DIVISION 5**

INCLUDING, BUT NOT LIMITED TO: STEEL FRAMING, ANCHORAGE HARDWARE, DRYER VENTS, EXHAUST VENTS

**WOOD AND PLASTICS - DIVISION 6**

INCLUDING, BUT NOT LIMITED TO: FASTENERS AND ADHESIVES, ROUGH CARPENTRY, PREFABRICATED STRUCTURAL WOOD, FIRE BLOCKS/DRAFT STOPS, FRAMING DEVICES, ATTIC ACCESS

**THERMAL AND MOISTURE PROTECTION - DIVISION 7**

INCLUDING, BUT NOT LIMITED TO: ATTIC VENTILATION, WATER RESISTANT MEMBRANE FLASHING, SHEET METAL FLASHING, WEATHERPROOFING, EXTERIOR WALL COVERINGS, SHEET METAL ROOFING, CONCRETE/CLAY ROOF TILES, ASPHALT COMPOSITION ROOF SHINGLES, INSULATION, DECK AND BALCONY COATINGS

**DOORS AND WINDOWS - DIVISION 8**

INCLUDING, BUT NOT LIMITED TO: EXITS AND EMERGENCY EGRESS, WINDOWS AND DOORS, GLAZING, TEMPERED GLASS, SECURITY, GARAGE DOORS, SAFETY GLASS AND GLAZING, GLASS-BLOCK PANELS, WEATHER STRIPPING, EXTERIOR DOORS

**FINISHES - DIVISION 9**

INCLUDING, BUT NOT LIMITED TO: LATH AND PLASTER, GYPSUM WALLBOARD, FLOORING, COUNTERTOPS, PAINTING, CERAMIC TILE AND PAVERS

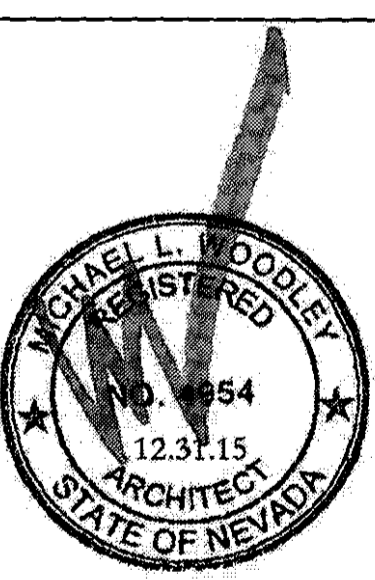
WASHOE COUNTY BUILDING DEPT.  
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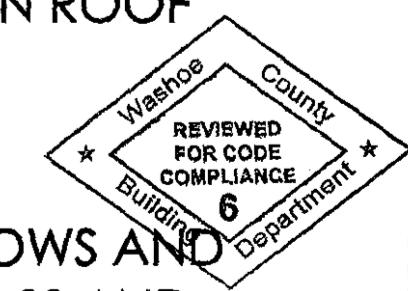
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woodleyarchitectural group  
Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**



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| 07-29-11     | CLIENT         |
| 08-14-12     | 2009 IECC      |
| 10-02-12     | PRELIM WALK    |
| 10-21-13     | 2012 CODE      |
| 02-17-14     | PLAN CHECK     |



Plan Number

**ALL**

Sheet Number

**GN 8**

**CLIENT CHANGES - DELTA 4 1-9-12**

1. MOVED FIREPLACE AT THE GREAT ROOM TO THE SIDE WALL.
2. ADDED 3060 SH WINDOW TO THE RIGHT OF THE NEW FIREPLACE LOCATION.
3. INCREASED THE 10060 XOX WINDOW TO A 12060 XOX WINDOW AT REAR OF GREAT ROOM.
4. ADDED TRANSOM WINDOW ABOVE REAR WINDOW AT GREAT ROOM. WINDOW HAS SLOPING TOP THAT MIRRORS THE SLOPING CEILING HEIGHT PER ELEVATION.
5. RELOCATED A/C PADS TO OUTSIDE OF KITCHEN AREA.
6. REVISED LAUNDRY LAYOUT TO ADD A BROOM CLOSET, SLID THE WASHER/DRYER NEXT TO THE BROOM CLOSET, RETURNED CABINETS ACROSS THE EXTERIOR WALL AND MOVED THE SINK TO UNDER THE WINDOW.
7. REMOVED THE OPTIONAL DOOR AT THE LAUNDRY.
8. CHANGED THE WINDOW AT THE LAUNDRY FROM A 3060 SH TO A 3050 SH.
9. MOVED THE WALL BETWEEN THE WINE ROOM AND PANTRY 5' TO THE LEFT TO CREATE 23' DEEP CABINETS AT THE WINE ROOM AND REMOVED THE RETURN CABINETS.
10. MOVED THE 36" FIREPLACE AT THE RETREAT TO THE WALL BETWEEN THE RETREAT AND THE POWDER.
11. REPLACED THE TWO 4060 SH WINDOWS AT THE REAR OF THE MASTER BEDROOM WITH A 10060 XOX.
12. REDUCED THE LENGTH OF THE TUB DECK AT MASTER BEDROOM BY 1 1/2'.
13. REMOVED (1) PENDANT LIGHT AT KITCHEN ISLAND.
14. CENTERED THE CAN LIGHTS AT THE KITCHEN ON THE SINK.
15. CHANGED THE FIREPLACE OPENING SIZE FROM 42" TO 45" AT GREAT ROOM
16. REMOVED THE WINDOW GRIDS AT ALL WINDOWS EXCEPT AT FRONT FACING WINDOWS AND COURTYARD WINDOWS AND SIDE WINDOWS THAT ARE IN ROOMS THAT ARE FRONT FACING.
17. ADDED MANDOOR AT THE 1- BAY GARAGE.
18. CHANGED FIREPLACE AT OUTDOOR ROOM TO 36" WIDE BOX AND ADDED STONE VENEER

**2009 IECC - DELTA 5 8-14-12**

1. CHANGED CEILING LIGHTS IN SELECTED ROOMS FROM INCANDESCENT TO FLUORESCENT LIGHTS AND REMOVED DIMMER.
2. ADDED PERCENTAGE OF HIGH EFFICACY LIGHTS VS. INCANDESCENT LIGHTS.

**FRAMING WALK - DELTA 6 10-2-12**

1. ADDED OPT. CABS AND SINGLE DOOR AT MULTI GEN SUITE OPT.
2. REMOVED WINDOW BREAKUPS AT SIDE AND REAR ELEVATIONS.

**2012 CODE - DELTA 7 10-21-13**

1. UPDATED TO 2012 CODE
2. ADDED ENERGY DETAILS
3. REVISED ROOF VENTING

**PLAN CHECK - DELTA 8 02-17-14**

- RE: Plan 4 - MVM3971-12
1. Structural to provide reversed plans
  2. Plans to be provided by structural engineer
  3. Revised note to clarify intent
  4. Revised note to clarify intent
  5. Revised note to clarify intent
  6. Delta sheet is included as a reference as to what has changed at each previous delta as a record keeping tool. Clouds will only be present for changes made under this delta.
  7. Updated note 9 on sheet 4.5 to reflect the current edition of the IRC.
  8. Added tamper resistant note as note 13 to electrical plans
  9. Updated symbol to indicate the recessed fixture is also be rated for wet or damp locations.
  10. Updated electrical plan to indicate GFI at garage door receptacle
  11. Outlet added as required
  12. Outlet added as required
  13. Outlet added as required
  14. Outlet added as required
  15. Revised shower glass notes to indicate tempered glass
  16. Outlet added as required
  17. Revised insulation notes to refer to the RES-check Compliance Certificates for insulation values.
  18. The note is just referring to the code section. This is not used on this project
  19. Plyco notes removed. Refer to wildland-urban interface notes on elevation sheets. Ohagin vents to be installed with IWUIC approved Fire and Ice inserts
  20. Gable end vents removed. Refer to wildland-urban interface notes on elevation sheets
  21. Refer to wildland-urban interface notes on elevation sheets
  22. Detail reference updated to the correct detail
  23. The siding material is a fiber cement (ignition resistant) siding product from James Hardie.
  24. All code sections and codes revised to codes applicable for this project
  25. Revised insulation notes to refer to the RES-check Compliance Certificates for insulation values.
  26. Removed rafter tails. Refer to details for protection of eaves
  27. Removed rafter tails. Refer to details for protection of eaves
  28. Referenced to t-24 removed from the details
  29. Details revised to show stucco system continuing to foundation insulation
  30. Revise details to show weep at details as required

**CLIENT CHANGES - DELTA 1 3-2-11**

1. ALL BATHS CHANGED TO HAVE TILE FLOORS
2. ADDED COACH LIGHTS TO THE FRONTS OF THE HOMES.
3. ADDED LIGHTED ADDRESS SIGNS.
4. MADE THE BBQ FG OPTIONAL.
5. MADE THE REFER. SPACE 42".
6. ADDED SECOND DISHWASHER OPTION.
7. ADDED SEPARATE MICRO WAVE CABINET.
8. ADDED OPTIONAL FIREPLACES TO THE MASTERS.
9. MADE THE INTERIOR FIREPLACES 42" WIDE.
10. MADE THE LIGHTS AT THE ENTRY AND NOOKS A HANGING FIXTURES.
11. SEPARATED THE FAN LIGHT COMBOS IN THE BATHROOMS.
12. ADDED SWITCH FOR FUTURE FANS AT BEDROOMS.
13. ADDED DATA TO THE PHONES AT OFFICES AND LIBRARY.
14. MADE THE LAUNDRY SINKS STANDARD.
15. ADDED SWITCHES TO ALL FIREPLACES.
16. ADDED PHONE/ DATA TO THE MASTERS AND FAMILY ROOMS.
17. ADDED OPTIONAL PENDANTS AT THE ISLANDS.

**PLAN 4 SPECIFIC.**

1. ADDED HANGING LIGHT IN FRONT OF MASTER.
3. ADDED TRAY CLG. AT RETREAT.

**BUILDING DEPARTMENT CHANGES - DELTA 2 3-2-11**

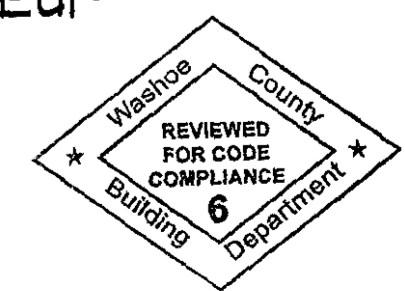
- COMMENT 3. ADDED AD-6 AND AD-7 TO COVER SHEET.  
 COMMENT 4. ADDED STRUCTURAL SHEETS TO COVER SHEET.  
 COMMENT 6. - REMOVED THE UNIFORM PLUMBING AND MECHANICAL CODE OFF THE COVER SHEET.  
 COMMENT 8. - REVISED ALL CODE REFERENCES TO COMPLY WITH THE IRC  
 COMMENT 9. CHANGED NOTE FOR ATTIC MOUNTED EQUIPMENT TO REFERENCE THE IRC CODE SHEET 4-3  
 COMMENTS 10-14- CHANGED NOTES TO REFER TO THE PROPER IRC CODE. SHEET 4-5  
 COMMENTS 15-17- CHANGED VERTICAL AND HORIZONTAL SEPARATIONS TO REFLECT THE IRC CODE- SHEET 4-8  
 COMMENTS 18-20- CHANGED NOTES TO REFLECT THE IRC CODE. -SHEETS 4-9,4-13 AND 4-17.  
 COMMENT 21- REVISED NOTE ON THE GENERAL NOTE SHEET.  
 COMMENT 24- CHANGED INSULATION CALL OUT AT WALLS TO BE R-19.- SHEET 4-8.  
 COMMENT 27. SEE ATTACHED INSULATION SPECIFICATIONS.  
 COMMENT 29. REVISED DETAIL AD1 AND AD2 TO 5300 FOOT ICE DAM PROTECTION.  
 COMMENT 47. ADDED OUTLET AT BACK OF GREAT ROOM- SHEET 4-5  
 COMMENT 48. ADDED GFCI TO OUTLET AT GARAGE -SHEET 4-5.  
 COMMENT 49. ADDED GFCI TO KITCHEN COUNTER OUTLETS. SHEET 4-5  
 COMMENT 50. ADDED OUTLET FOR ISLAND. SHEET 4-5  
 COMMENT 51. ADDED GFCI OUTLET BETWEEN SINK AND RANGE. SHEET 4-5  
 COMMENT 52. ADDED OUTLET AT BATH 3. SHEET 4-5  
 COMMENT 53. ADDED ADDITIONAL OUTLETS TO COMPLY WITH THE CODE. SHEET 4-5.  
 COMMENT 54. ADDED OUTLETS AT THE WALLS OUTSIDE OF THE BUTLER PANTRY ENTRANCE. SHEET 4-5  
 COMMENT 55. ADDED OUTLET AT GALLERY. SHEET 4-5  
 COMMENT 56. ADDED OUTLET AT RETREAT. SHEET 4-5  
 COMMENT 57. REVISED DETAIL 14/AD1 TO REFLECT IRC CODE  
 COMMENT 58. REVISED DETAIL 14/AD1 TO REFLECT CLEAN-OUT.

**CLIENT CHANGES - DELTA 3 4-11-11**

1. INCREASED DEPTH OF CABINETS 2" AT SINKS AND COOKTOPS AND ADDED FURNITURE LEGS AT ALL KITCHENS.
2. MADE THE UPPER CABINETS STANDARD AT ALL BUTLER PANTRIES.
3. ADDED OPTIONS FOR WINE RACKS AND WINE REFRIGERATORS AT BUTLER PANTRIES.
4. REVISED MICROWAVE CABINET LAYOUTS. PUT MICROWAVE IN AN UPPER CABINET.
5. RAISED THE UPPER CABINETS AT THE COOKTOPS BY 18"
6. ADDED GLASS DOORS AT (1) SET OF UPPEERS AT KITCHENS.
7. INVERTED THE BASE CABINET AND ADDED A VOID IN THE LOWER PORTION OF THE SINK CABINETS AND ADDED FURNITURE LEGS AT THE POWDER ROOM CABINETS.

**PLAN 4 SPECIFIC.**

1. KITCHEN- ADDED A DECORATIVE VALANCE OVER THE SINK.
2. MASTER BATH- ADDED A VOID IN THE BOTTOM OF THE SINK CABINETS. RAISED THE MAKEUP VANITY SPACE AND ADDED CUBE STORAGE AREAS BELOW.
3. OPT. BATH 4- INVERTED THE CABINET AND ADDED A FUNCTIONAL DRAWER BELOW.
4. ADDED VIEW OF ISLAND WITH OPTIONAL COOKTOP.
5. ADDED WINE ROOM ELEVATIONS.
6. ADDED ELEVATIONS FOR FIREPLACES AT OUTDOOR ROOM AND MASTER BEDROOM.



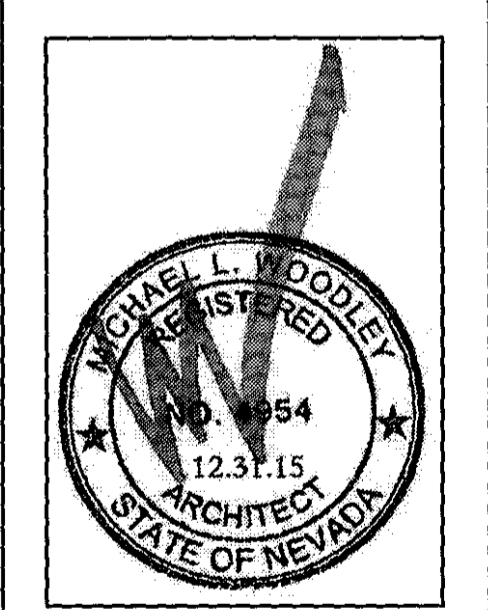
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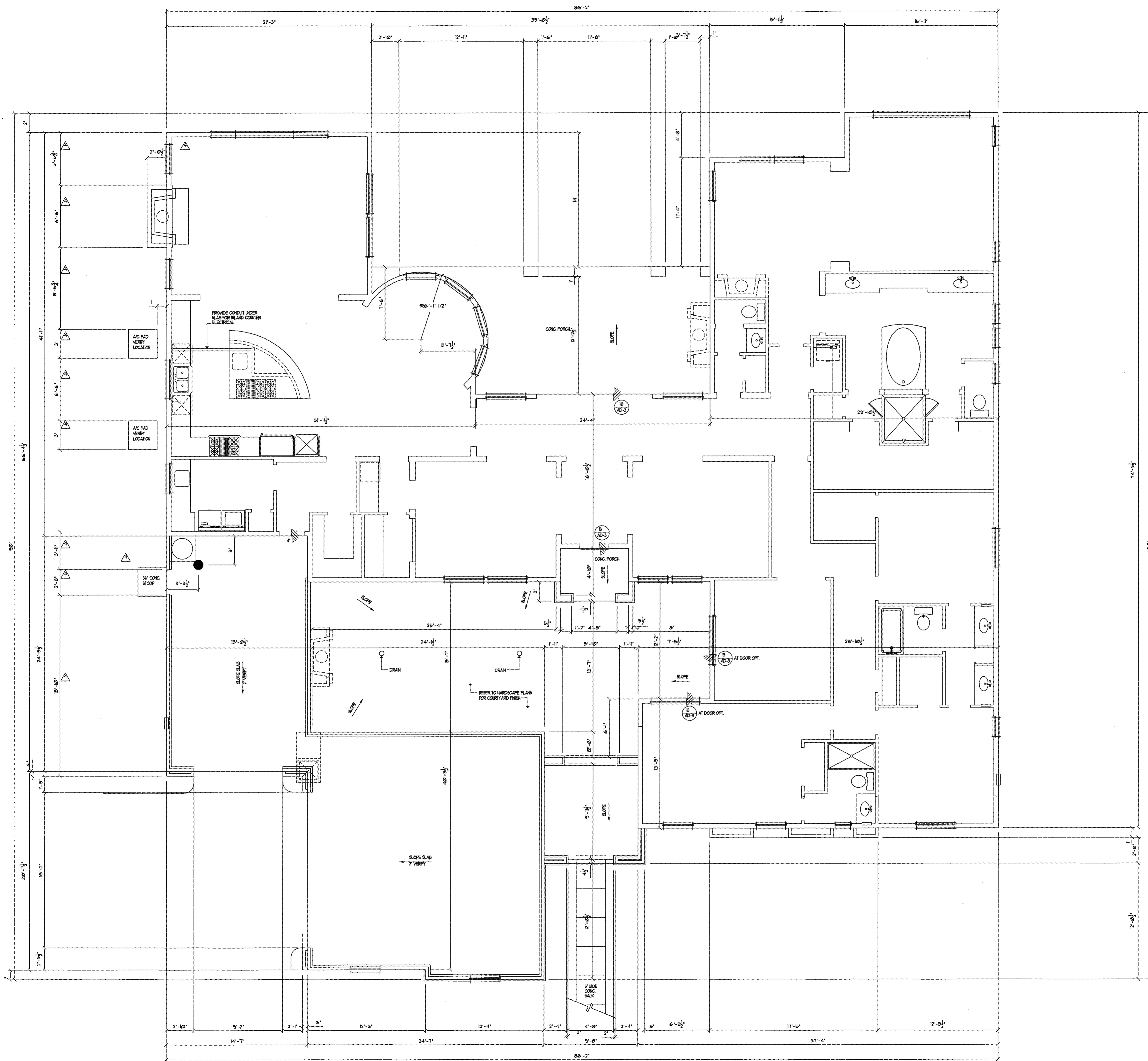


project no:  
date: 02-17-14  
first issue: 01-09-11

|          |                |
|----------|----------------|
| 03-02-11 | CLIENT CHANGES |
| 03-02-11 | BUILD DEPT.    |
| 04-11-11 | CLIENT CHANGES |
| 07-29-11 | CLIENT         |
| 08-14-12 | 2009 IECC      |
| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2012 CODE      |
| 02-17-14 | PLAN CHECK     |

Plan Number  
**FOUR**

Sheet Number  
**DELTA**



SLAB INTERFACE PLAN - ELEVATION '4A'

EUROPEAN COUNTRY

SEE ADDENDA FOR PLAN CHANGE PER ELEVATION.

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SLAB PLAN NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO BEGINNING WORK. NOTIFY THE ENGINEER IMMEDIATELY IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN OR NOTED.
2. REFER TO STRUCTURAL DRAWINGS FOR HOLDINGS, FOOTINGS AND STRUCTURAL DETAILS.
3. FOR LOCATION OF DRIVEWAYS AND WALKWAYS REFER TO CIVIL ENGINEER AND LANDSCAPE PLANS.
4. REFER TO CIVIL DRAWINGS FOR LOT LOCATIONS WITH OPTIONAL GARAGE AND BONUS SPACE CONDITIONS.
5. THE YARD DRAINAGE IMPROVEMENTS SHALL BE INSPECTED AND CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO FINAL APPROVAL.
6. FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY BOTH THE GEOLOGICAL AND GEOTECHNICAL CONSULTANTS PRIOR TO PLACEMENT OF STEEL OR CONCRETE. A MEMORANDUM SIGNED BY BOTH CONSULTANTS INDICATING THAT THIS INSPECTION AND APPROVAL HAS BEEN COMPLETED SHALL BE PROVIDED AT THE JOB SITE FOR BUILDING INSPECTOR AT FOUNDATION INSPECTION.
7. RUN PLUMBING LINES THROUGH WALLS WHERE POSSIBLE. AVOID RUNNING PLUMBING LINES THROUGH FOUNDATION WHERE POSSIBLE.

2009 IECC 402.4.2. Building envelope air tightness shall be tested by an approved agency. Blower door test (402.4.2.1) or visual inspection (402.4.2.2) are acceptable. Per IECC 403.2.2(1) or (2): Duct sealing must be tested by an approved agency.

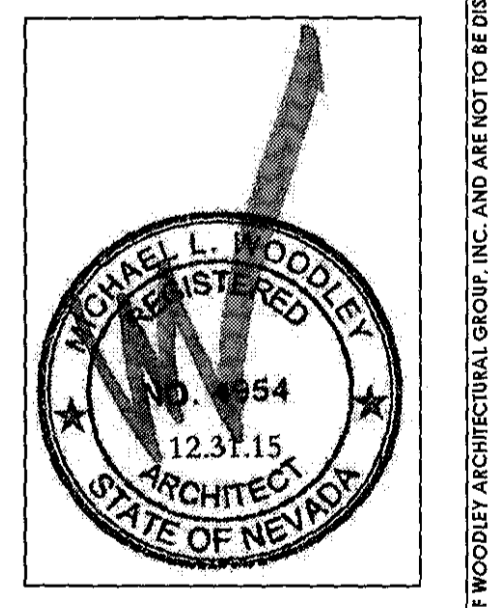
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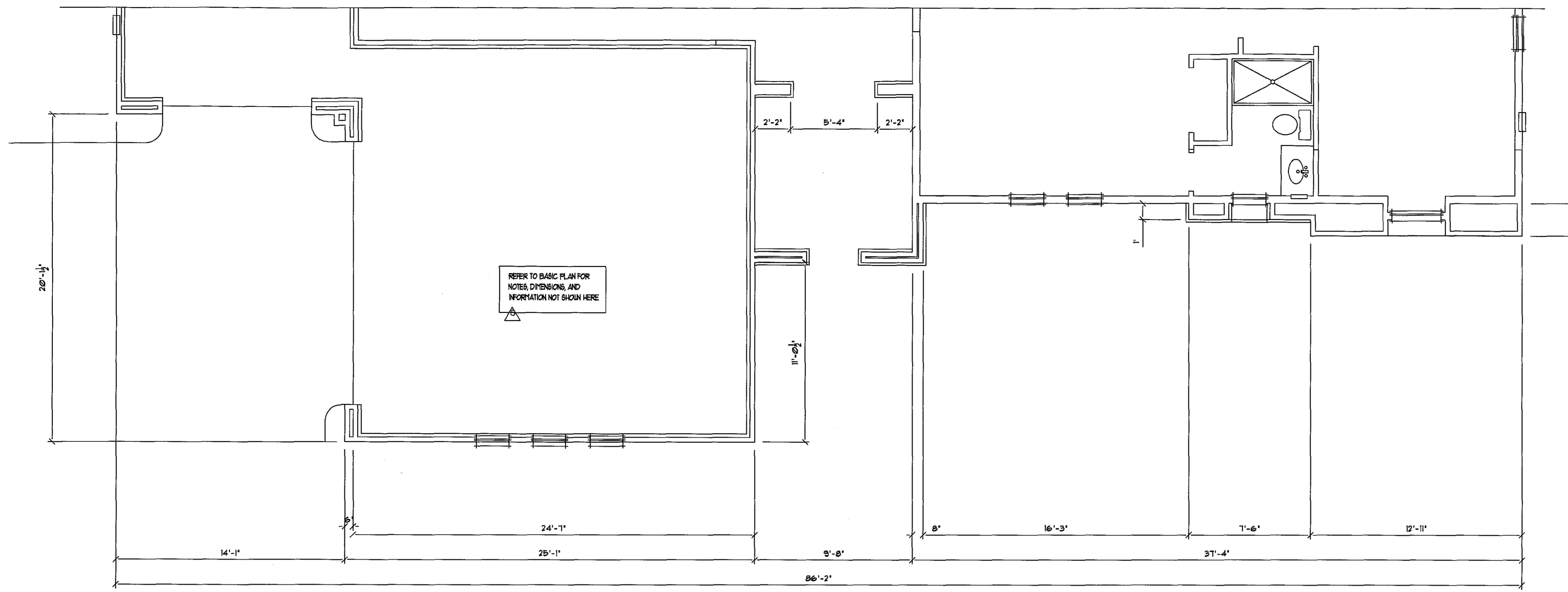
project no:  
date: 02-17-14  
first issue: 01-09-11

|          |               |
|----------|---------------|
| 03-02-1  | CLIENT CHANGE |
| 03-02-1  | BUILD. DEPT.  |
| 04-1-1   | CLIENT CHANGE |
| 2-29-1   | CLIENT        |
| 08-14-12 | 2009 IECC     |
| 10-02-2  | FRAMING WALK  |
| 10-21-13 | 2012 CODE     |
| 02-11-14 | PLAN CHECK    |

Plan Number  
**FOUR**

Sheet Number  
**4.1**

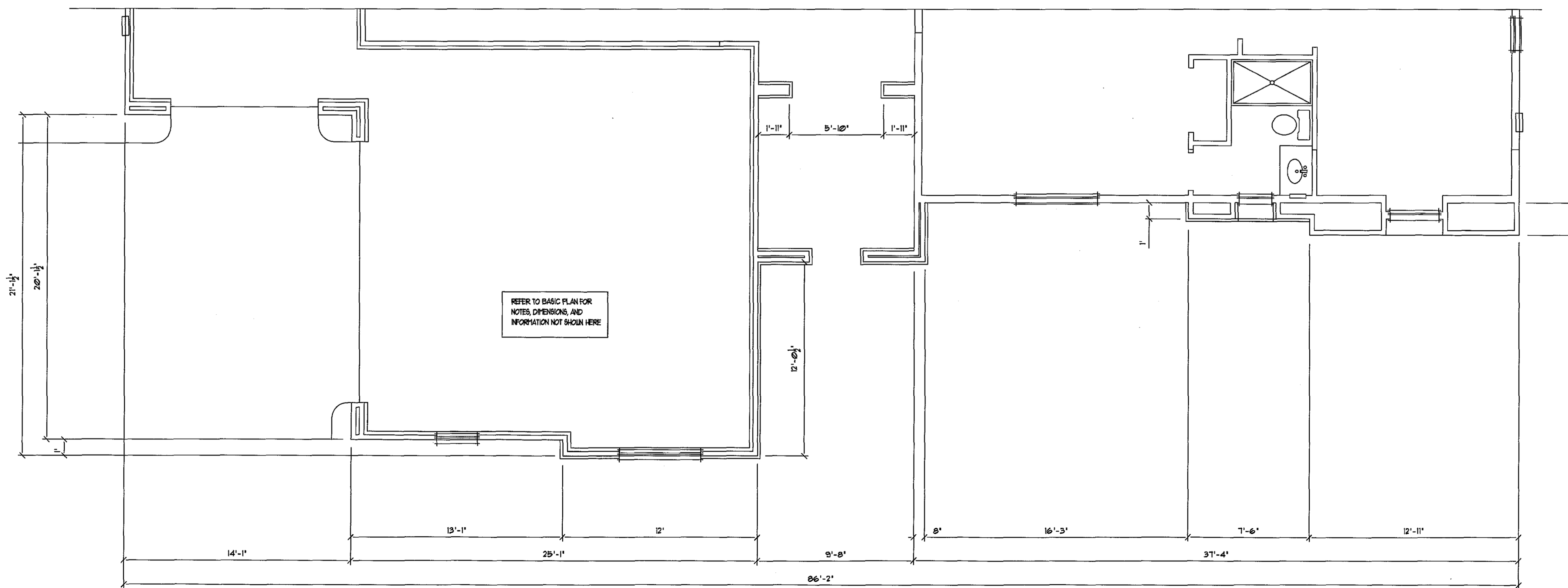




SLAB INTERFACE PLAN - ELEVATION '4B'

ITALIAN COUNTRY

SCALE: 1/4" = 1'-0"



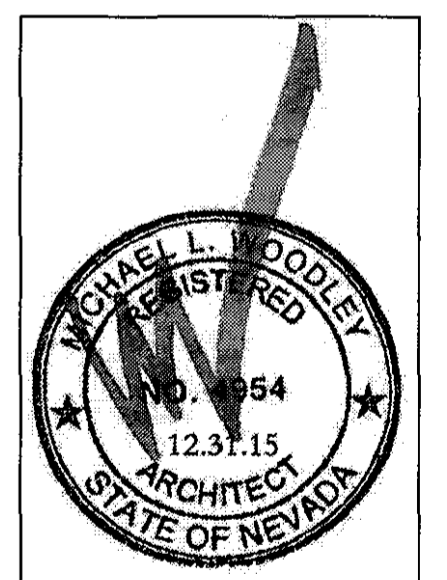
SLAB INTERFACE PLAN - ELEVATION '4C'

HIGH COUNTRY RANCH

SCALE: 1/4" = 1'-0"



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 first issue: 01-09-11

|          |                |
|----------|----------------|
| 03-02-1  | CLIENT CHANGES |
| 03-02-1  | BUILD. DEPT.   |
| 04-1-1   | CLIENT CHANGES |
| 12-28-11 | CLIENT         |
| 08-14-12 | 2009 BECC      |
| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2010 CODE      |
| 02-11-14 | PLAN CHECK     |

Plan Number  
**FOUR**

Sheet Number  
**4.2**

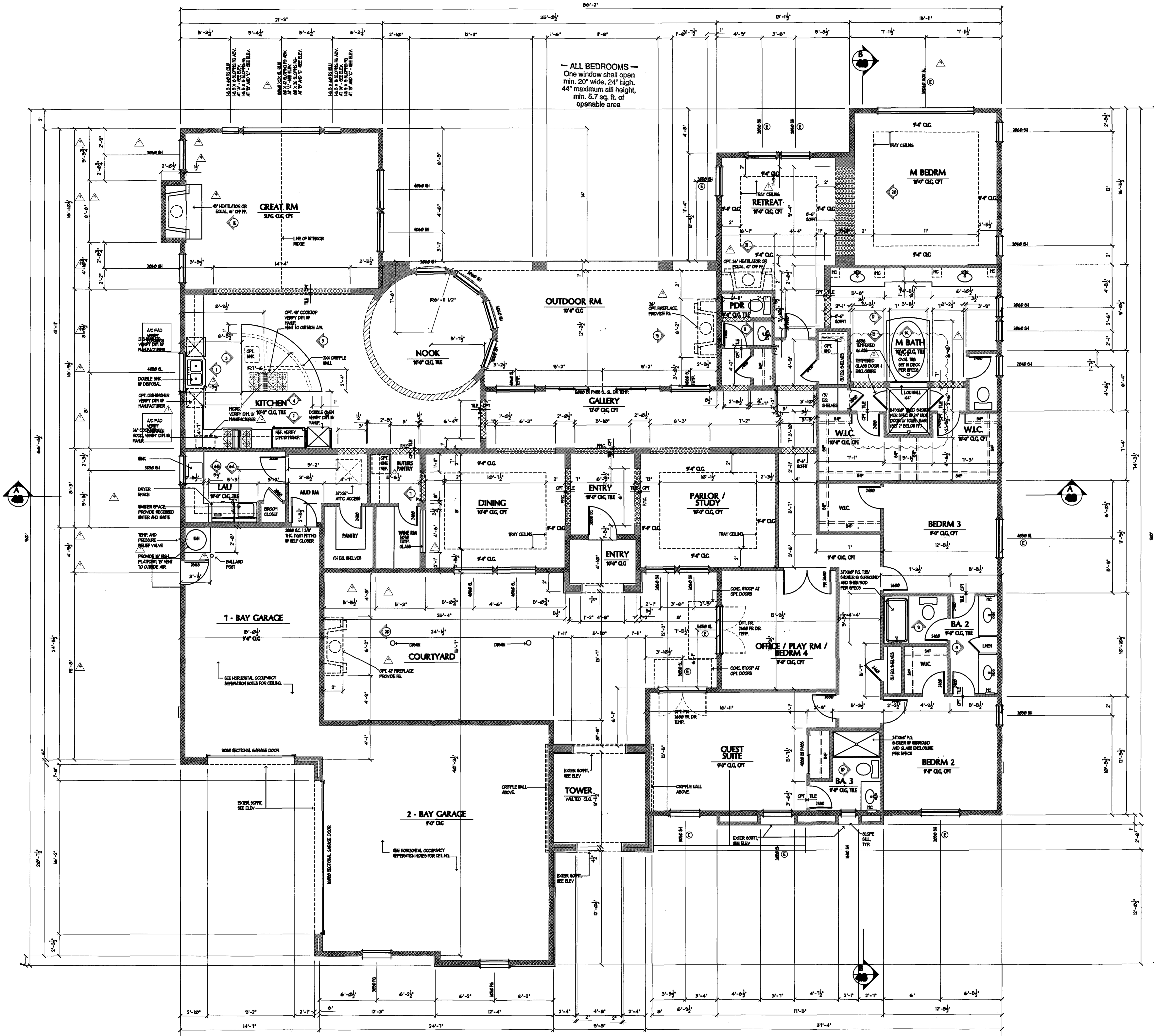


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— ALL BEDROOMS —  
One window shall open  
min. 20" wide, 24" high,  
44" maximum sill height,  
min. 5.7 sq. ft. of  
openable area

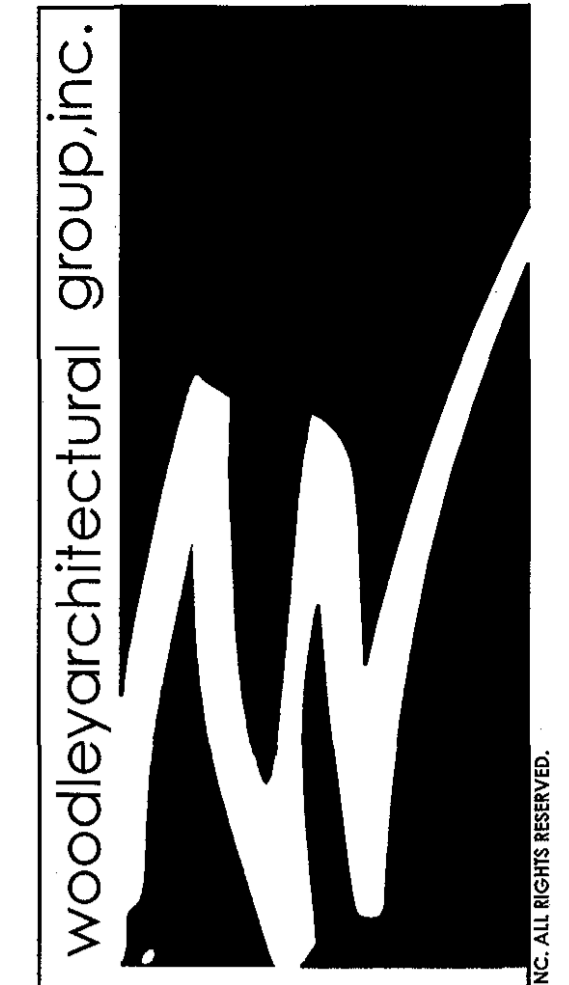
FLOOR PLAN - ELEVATION '4A'

EUROPEAN COUNTRY

SEE APPENDIX FOR PLAN  
CHANGE PER ELEVATION.

|   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
|---|------------|--------------|--------------|--------------|-----|-------------|-------------------|-----|--------------|--------------|-----|-------------|------------------------|-----|-------------|------------------------|-----|-------------|------------------------|-----|-------------|
| <p><b>IRC EMERGENCY BEDROOM EGRESS</b></p> <p>NOTE: BEDROOM WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW DESIGNATED FOR EGRESS. EGRESS WINDOWS SHALL BE PROVIDED AS A MEANS OF ESCAPE AND RESCUE. THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" AFF. ALL EMERGENCY ESCAPE AND RESCUE WINDOWS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FEET. GROUND FLOOR OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FEET. THE WINDOW OPENING HEIGHT SHALL BE THE WINDOW OPENING HEIGHT SHALL BE 20". THESE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS.</p>   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>IRC GLAZING &amp; WINDOW NOTES</b></p> <ol style="list-style-type: none"> <li>1. ALL GLAZING SHALL COMPLY WITH IRC.</li> <li>2. GLAZING SUBJECT TO IMPACT SHALL COMPLY WITH IRC.</li> <li>3. GLAZED AREAS REQUIRING SAFETY GLAZING SHALL BE IDENTIFIED ON THE DRAWINGS WITH THE WORD "REQUIRE" OR "TYPE".</li> <li>4. ALL GLAZING SHALL BE DUAL PANE INSULATING GLASS UNITS.</li> </ol>   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>IRC OCCUPANCY SEPARATION NOTES</b></p> <p>OPENING PROTECTION:<br/>GARAGES MAY NOT HAVE AN OPENING DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK OR 3/4" THICK FIRE DOORS EACH EQUIPPED WITH A SELF-CLOSING MECHANISM FROM A PRIVATE GARAGE.</p> <p>VERTICAL SEPARATION:<br/>VERTICAL OCCUPANCY SEPARATION BETWEEN GARAGE AND HOME SHALL BE PROVIDED BY MEANS OF A PARTIAL 1/2" GYP BOARD APPLIED TO GARAGE SIDE OF WALLS.</p> <p>HORIZONTAL SEPARATION:<br/>HORIZONTAL OCCUPANCY SEPARATION BETWEEN GARAGE AND ATTIC SHALL BE PROVIDED BY MEANS OF A PARTIAL 1/2" GYP BOARD APPLIED TO GARAGE SIDE. WHERE GARAGE CEILING PROVIDES A PORTION OF THE OCCUPANCY SEPARATION THE CEILING SUPPORTING MEMBERS SHALL BE COVERED BY ONE LAYER OF 5/8" TYPE X GYP BOARD FASTENED TO THE TRIMMER OR CONDITIONAL FRAMING MEMBERS SPACE A MAX. OF 24" OC.</p> <p>ACCESSIBLE AREAS UNDER STAIRS:<br/>PROVIDE A PARTIAL 1/2" GYP BOARD AT ENCLOSED SIDE OF USABLE SPACE UNDER STAIRS.</p> |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>IRC ATTIC MOUNTED EQUIPMENT</b></p> <ol style="list-style-type: none"> <li>1. ATTIC FINISHES A COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:<br/>A. HAVE MINIMUM 12" HIGHER OR 30" HIGHER ATTIC ACCESS WITHIN 30 FEET OF EQUIPMENT. (BASED ON EQUIP. SIZE)</li> <li>2. OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT.</li> <li>3. HAVE CONTINUOUS 24 INCH HIGH SOLID FLOOR ACCESS PATH THEREIN.</li> <li>4. HAVE AN INW. ELECTRICAL CUTOFF WITH LIGHT FIXTURE CONTROLLED BY SWITCH AT THE ACCESS POINT FOR THE TERRACE.</li> <li>5. HAVE 30 INCH DEEP LEVEL WORKING PLATFORM WITH NON-COMBUSTIBLE FINISH AT CONTROL SIDE PER IRC.</li> <li>6. PROVIDE WATERIGHT PAN BETWEEN THE EQUIPMENT WITH A 3/4 IN DISCHARGE DRAIN.</li> </ol>   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>IRC STAIR TREADS AND RISERS</b></p> <p>THE MAXIMUM RISER HEIGHT SHALL BE 7 1/4". THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREADS SHALL BE FINISHED TO THE FULL DEPTH OF THE TREAD. THE TREADS SHALL BE FINISHED HORIZONTALLY WITH THE VERTICAL PLANES OF THE TREADS PARALLEL TO THE ADJACENT TREADS AT A RIGHT ANGLE TO THE TREADS LEADING EDGE.</p>   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>DRYER VENT NOTE</b></p> <p>4" DIA. DUCT WITH 1/2" THICK SOLID METAL DRYER VENT BY BACK DRAFT DAMPER. PROVIDE 1 HOUR FIRE RATED 1/2" FIRE RESISTANT 1" RISE WALL. TOTAL LENGTH MAY NOT EXCEED 10 FT. WITH 75 DEGREE ELBOW. DUCT LENGTHS EXCEEDING ALLOWANCES SHALL BE DERIVED BY AN APPROVED MECHANICAL ENGINEER.</p>  |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>WATER HEATER NOTE</b></p> <p>PROVIDE 1 1/2" HIGH WOOD FRAMED PLATFORM FOR WATER HEATER. PROVIDE AIR AND TEMPERATURE 1" PRESSURE RELIEF VALVE FOR WATER HEATER. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE MUNICIPAL CODES.</p>  |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>FLOOR PLAN KEY NOTES:</b></p> <ul style="list-style-type: none"> <li>2x4 WOOD STUD WALL</li> <li>2x6 WOOD STUD WALL</li> <li>FLAT SCOFFIT W/ TOP + 9"-0" AFF. + 10"-0" PL. OR 8"-0" AFF. + 9"-0" PL. UNLESS OTHERWISE NOTED</li> <li>FLATTENED ARCH SCOFFIT W/ TOP + 9"-0" AFF. 4 SPRING POINTS + 9"-0" AFF. + 3"-0" AFF. OR TOP + 9"-0" AFF. 4 SPRING POINTS + 7'-0" AFF. + 9"-0" AFF. UNLESS OTHERWISE NOTED</li> <li>ELLIPTICAL ARCH SCOFFIT W/ TOP OF ARCH + 9"-0" AFF. + 9"-0" AFF. OR 1'-0" AFF. + 8"-0" AFF. UNLESS OTHERWISE NOTED</li> </ul>   |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>SQUARE FOOTAGE</b></p> <table border="1"> <tr> <td>FLOOR PLAN</td> <td>...</td> <td>2971 SQ. FT.</td> </tr> <tr> <td>3-BAY GARAGE</td> <td>...</td> <td>361 SQ. FT.</td> </tr> <tr> <td>OPT. 4-BAY GARAGE</td> <td>...</td> <td>1264 SQ. FT.</td> </tr> <tr> <td>OUTDOOR ROOM</td> <td>...</td> <td>323 SQ. FT.</td> </tr> <tr> <td>PORCH / TOWER AREA 'A'</td> <td>...</td> <td>149 SQ. FT.</td> </tr> <tr> <td>PORCH / TOWER AREA 'B'</td> <td>...</td> <td>149 SQ. FT.</td> </tr> <tr> <td>PORCH / TOWER AREA 'C'</td> <td>...</td> <td>149 SQ. FT.</td> </tr> </table>  | FLOOR PLAN | ...          | 2971 SQ. FT. | 3-BAY GARAGE | ... | 361 SQ. FT. | OPT. 4-BAY GARAGE | ... | 1264 SQ. FT. | OUTDOOR ROOM | ... | 323 SQ. FT. | PORCH / TOWER AREA 'A' | ... | 149 SQ. FT. | PORCH / TOWER AREA 'B' | ... | 149 SQ. FT. | PORCH / TOWER AREA 'C' | ... | 149 SQ. FT. |
| FLOOR PLAN  | ...        | 2971 SQ. FT. |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| 3-BAY GARAGE  | ...        | 361 SQ. FT.  |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| OPT. 4-BAY GARAGE   | ...        | 1264 SQ. FT. |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| OUTDOOR ROOM  | ...        | 323 SQ. FT.  |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| PORCH / TOWER AREA 'A'  | ...        | 149 SQ. FT.  |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| PORCH / TOWER AREA 'B'  | ...        | 149 SQ. FT.  |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| PORCH / TOWER AREA 'C'  | ...        | 149 SQ. FT.  |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |
| <p><b>INTERIOR ELEVATIONS</b></p> <p>SEE SHEET 4-1 FOR INTERIOR ELEVATIONS</p>  |            |              |              |              |     |             |                   |     |              |              |     |             |                        |     |             |                        |     |             |                        |     |             |

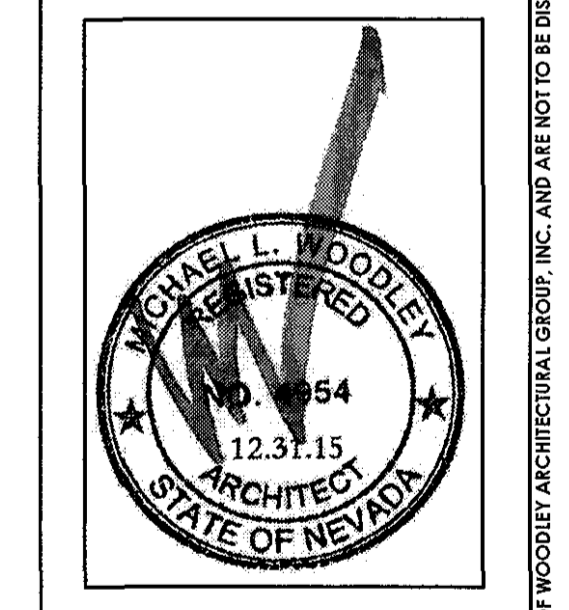
2009 IECC 402.4.2: Building envelope air tightness shall be tested by an approved agency. Blower door test (402.4.2.1) or visual inspection (402.4.2.2) are acceptable. Per IECC 403.2.2(1) or (2): Duct sealing must be tested by an approved agency.



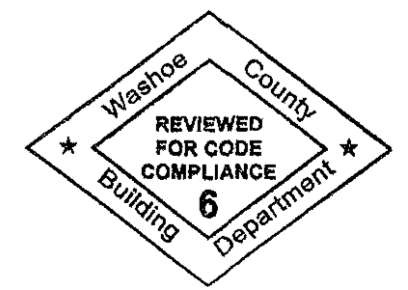
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california  
2943 S. Pullman Street, Suite A  
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Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**

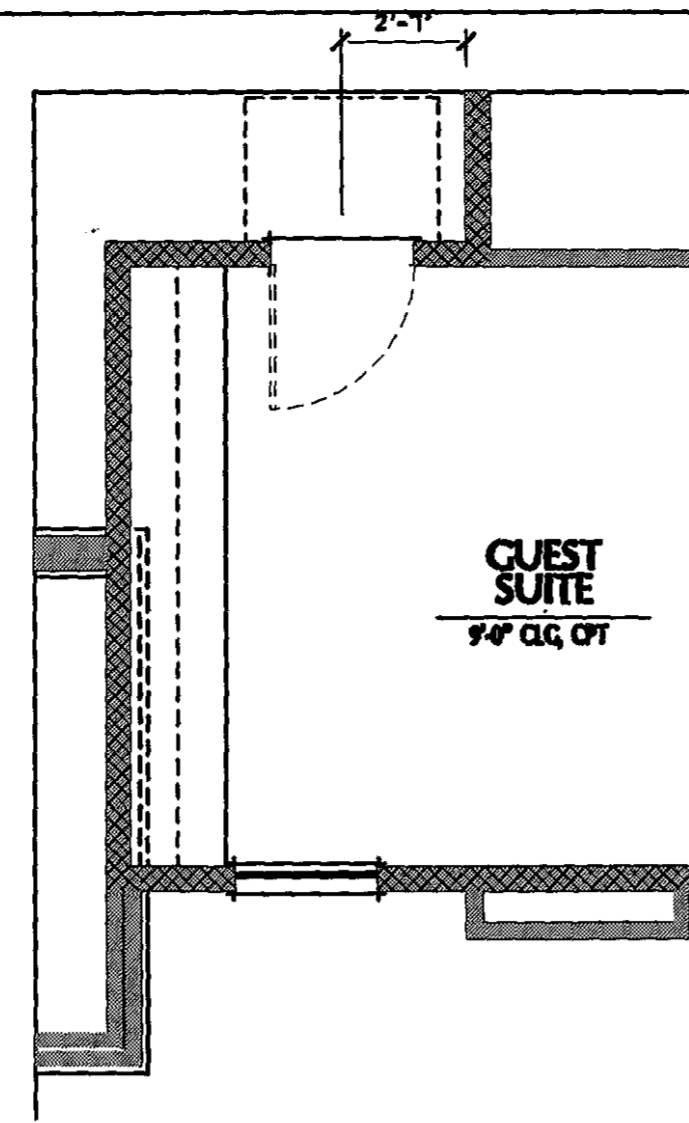


- project no: \_\_\_\_\_  
date: 02-17-14  
first issue: 01-09-11
- ▲ 03-02-11 CLIENT CHANGES
  - ▲ 03-02-11 BUILD. DEPT.
  - ▲ 04-11-11 CLIENT CHANGES
  - ▲ 07-29-11 CLIENT
  - ▲ 08-14-12 2009 IECC
  - ▲ 10-02-12 PRATTING WALK
  - ▲ 10-21-13 2010 CODE
  - ▲ 02-11-14 PLAN CHECK

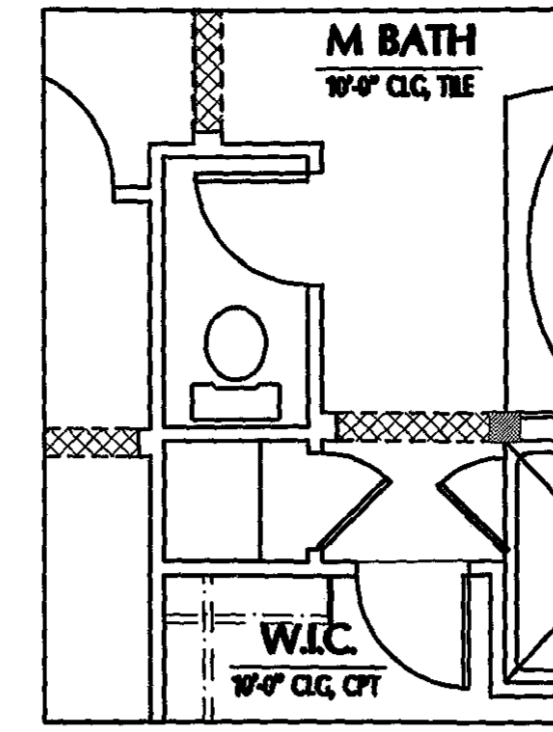


Plan Number  
**FOUR**  
Sheet Number  
**4.3**

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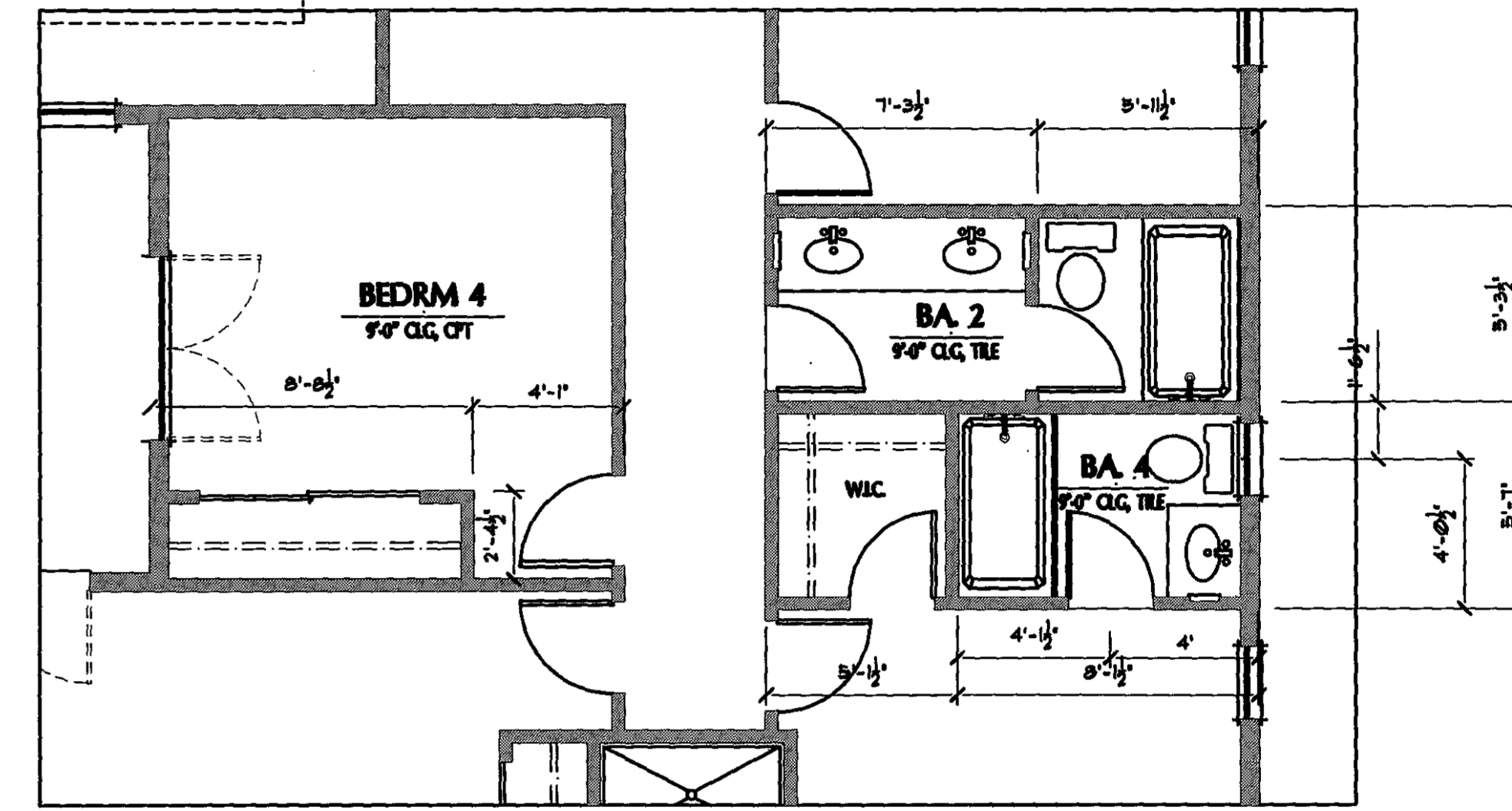
**OPT. DOOR & CABINET**  
AT GUEST SUITE



**OPT. WATER CLOSET**  
AT MASTER BATHROOM

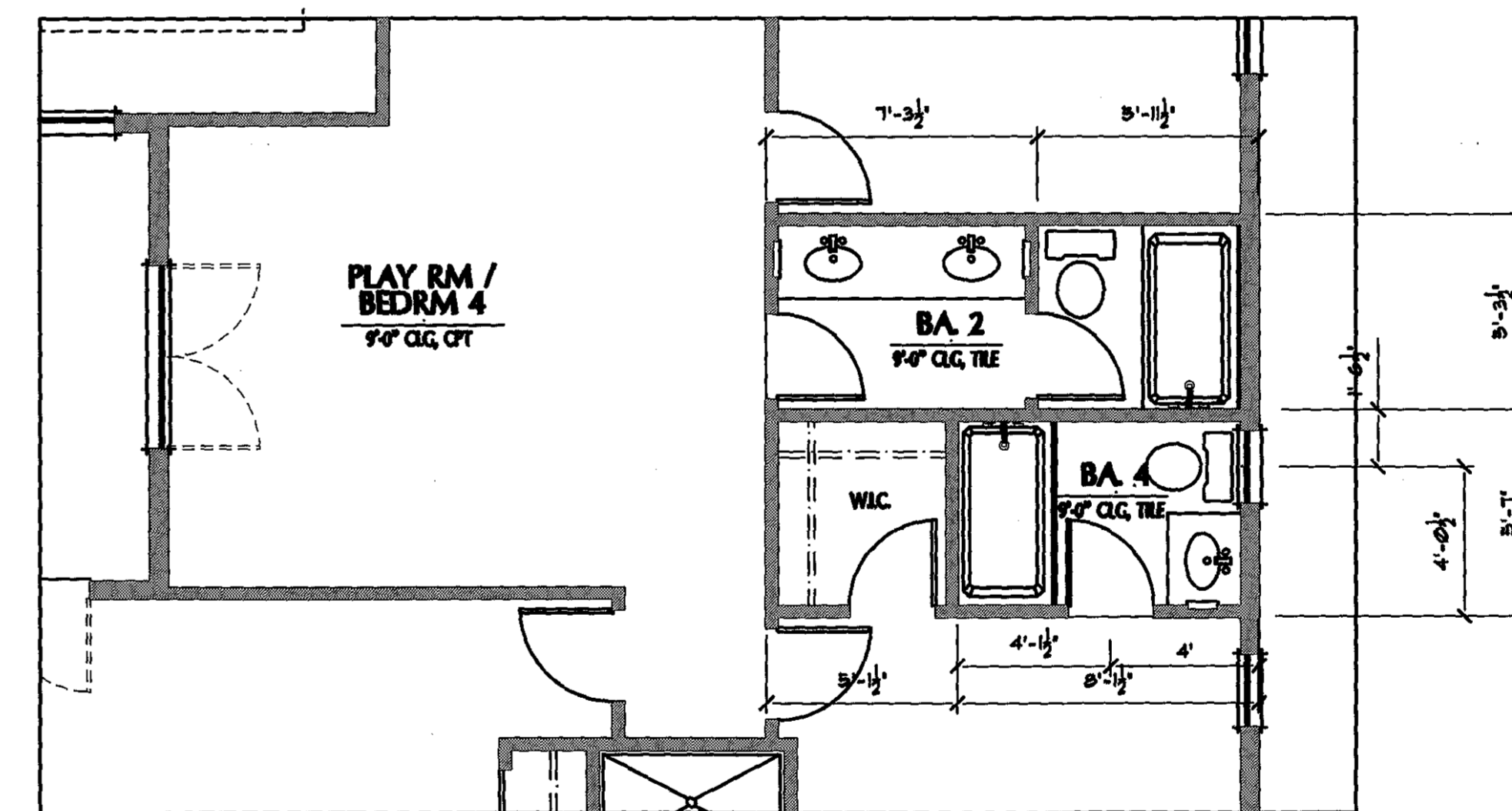
SCALE 1/4" = 1'-0"

— ALL BEDROOMS —  
One window shall open  
min. 20" wide, 24" high,  
44" maximum sill height,  
min. 5.7 sq. ft. of  
openable area



**OPT. BEDROOM 4 / BA. 2 / BA. 4**

SCALE 1/4" = 1'-0"



**OPT. PLAY ROOM / BA. 2 / BA. 4**

SCALE 1/4" = 1'-0"



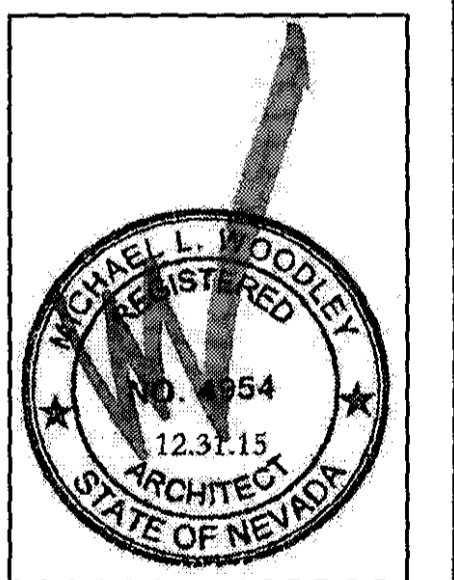
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V. 949.553.8919 F. 949.553.8909

**Monte Vista at Mount Rose**  
Silver Crest Homes, Inc.

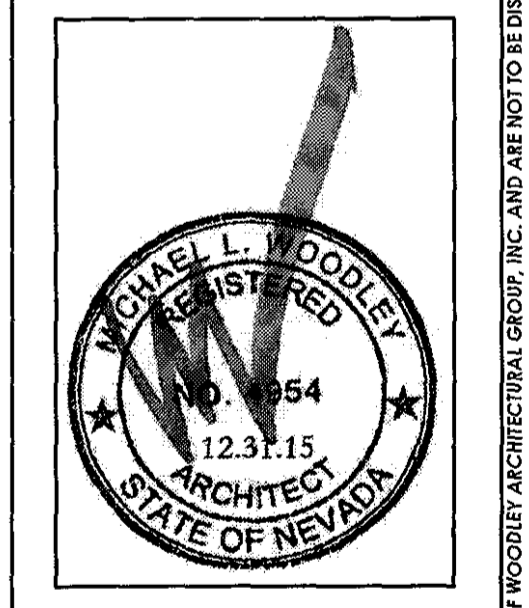


|              |                |
|--------------|----------------|
| project no:  |                |
| date:        | 02-17-14       |
| first issue: | 01-09-11       |
| 02-02-1      | CLIENT CHANGES |
| 02-02-2      | BUILD. DEPT.   |
| 04-11-1      | CLIENT CHANGES |
| 02-28-1      | CLIENT         |
| 08-14-2      | 2009 IECC      |
| 10-02-2      | DRAFTING WALK  |
| 10-21-3      | 2001 CODE      |
| 02-11-14     | PLAN CHECK     |

Plan Number  
**FOUR**

Sheet Number  
**4.4**

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project no: 02-17-14  
date: 01-09-11  
first issue: 01-09-11

|          |               |
|----------|---------------|
| 03-02-1  | CLIENT CHANGE |
| 03-02-1  | BUILD. DEPT.  |
| 04-1-1   | CLIENT CHANGE |
| 0-29-1   | CLIENT        |
| 06-14-2  | 2009 IECC     |
| 10-03-2  | DRAWING WALK  |
| 10-29-10 | 2007 CODE     |
| 09-11-14 | PLAN CHECK    |

Plan Number  
**FOUR**  
Sheet Number  
**4.5**

**GENERAL NOTES**

1. SHOWERHEADS MAXIMUM FLOW RATE IS 2 GPM.
2. KITCHEN FAUCETS MAXIMUM FLOW RATE IS 1.8 GPM.
3. LAVATORY FAUCETS MAXIMUM FLOW RATE IS 1.8 GPM.
4. ALL OUTLETS, LIGHT FIXTURES, AND SMOKE DETECTORS IN SLEEPING ROOMS ARE REQUIRED TO BE ARC-FAULT INTERRUPTER PROTECTED.
5. DRYER VENT SHALL NOT EXCEED A CORNERED VERTICAL AND HORIZONTAL LENGTH OF 4', INCLUDING TWO 90 DEGREE ELBOWS. IF THE DRYER VENT EXCEEDS 4', A CALC OF THE TOTAL LENGTH IS TO BE PROVIDED BY A MECHANICAL ENGINEER.
6. ALL WATER CLOSETS SHALL BE LOW FLOW WATER CLOSETS WITH A MAXIMUM CAPACITY OF 120 GALLONS.
7. FLUORESCENT LIGHTING IS REQUIRED TO BE A MINIMUM OF 40 LUMENS PER WATT.
8. ALL RECESSED LUMINAIRES IN INSULATED CEILING, INCANDESCENT OR FLUORESCENT SHALL BE AIRTIGHT (A.T.) AND FOR INSULATION PURPOSES (I.C.).
9. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PANTRIES, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND STAIRWAYS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT (2009 IECC 210.12).
10. SMOKE AND CO<sub>2</sub> SENSORS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE VALVE TYPE. THE DEVICE IS REQUIRED TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES. (IECC 403.2.2)
11. PROVIDE LISTED NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE AT ALL HOSE BIBBS. (IECC 403.2.2)
12. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS AND BATHROOMS SHALL BE PROVIDED BY AN EXHAUST FAN WITH A MINIMUM AIRFLOW RATE OF 20 CFM. (IECC 403.2.2)
13. TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED FOR ALL RECEPTACLES LOCATED LESS THAN 8'-6" HIGH OR LOCATED BEHIND APPLIANCES WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCE SERVED AND, UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED FROM ONE PLACE TO ANOTHER.

**UTILITY LEGEND**

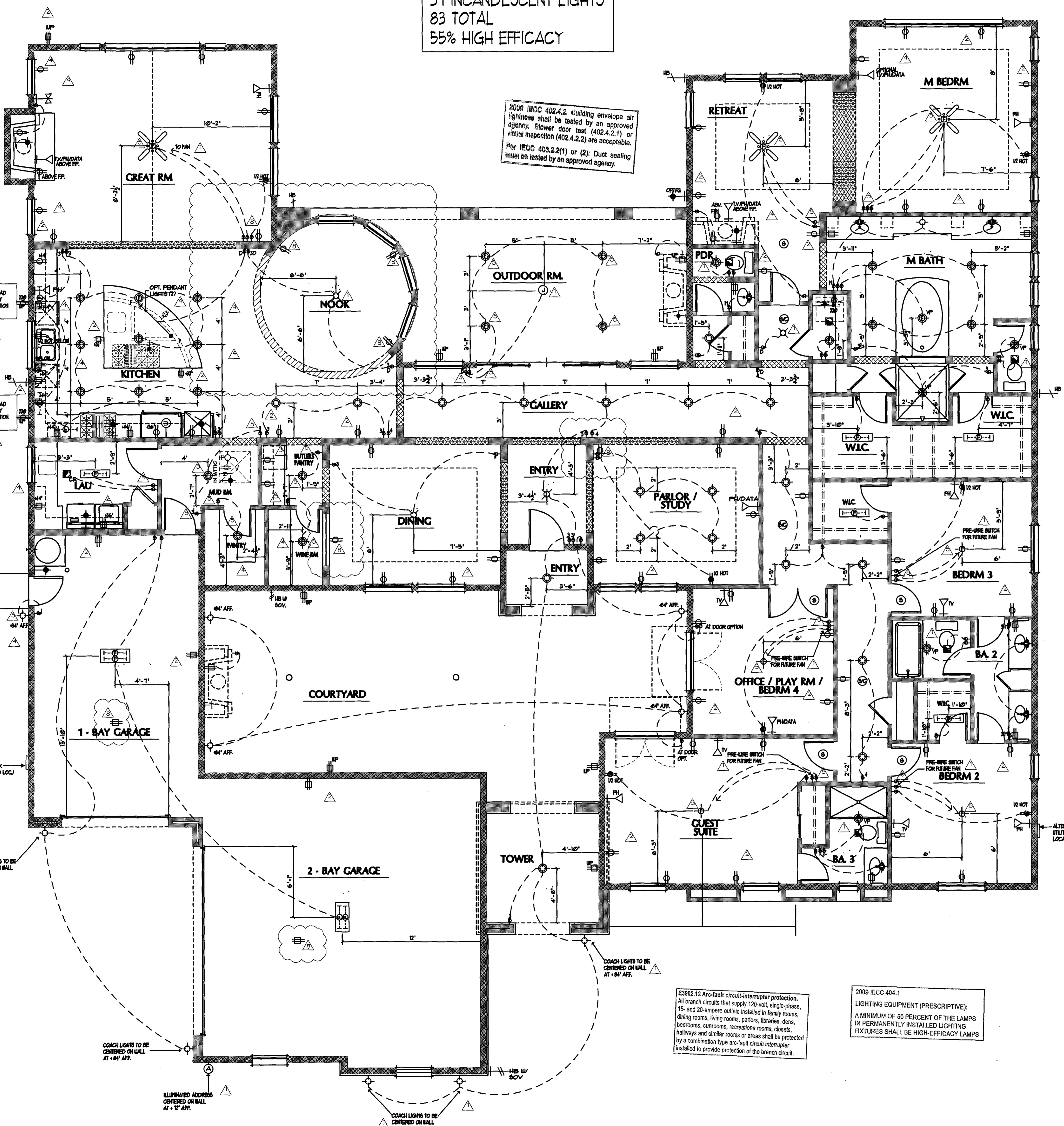
- F FLUORESCENT LIGHT
- SINGLE POLE LIGHT SWITCH
- THREE-WAY LIGHT SWITCH
- FOUR-WAY LIGHT SWITCH
- SINGLE POLE LIGHT SWITCH W/ DIMMER CONTROL
- SINGLE POLE LIGHT SWITCH W/ MOTION SENSOR
- SURFACE MOUNTED CEILING LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- HANGING LIGHT FIXTURE
- VAPORPROOF RECESSED LIGHT FIXTURE W/ LENS COVER (GFCI AT HYDROMASSAGE BATHS)
- WALL MOUNTED LIGHT FIXTURE
- WALL MOUNTED SCONCE LIGHT
- SURFACE MOUNTED FLUORESCENT FIXTURE / UNDER CABINET LIGHT FIXTURE
- RECESSED FRACTIONAL HP EXHAUST FAN SWITCH CONTROLLED
- RECESSED COMBINATION LIGHT/EXHAUST FAN SWITCH CONTROLLED
- RECESSED COMBINATION EXHAUST FAN / HEATER SWITCH CONTROLLED
- 20V DUPLEX CONVENIENCE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE
- 240V SINGLE CONVENIENCE RECEPTACLE
- SWITCH CONTROLLED, 1/2 HOT 20V DUPLEX CONVENIENCE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE
- 20V QUADPLEX CONVENIENCE RECEPTACLE
- 20V DUPLEX CONVENIENCE RECEPTACLE BELOW (INCL. INSIDE CABINET OR ABOVE AT CEILING)
- 20V WEATHERPROOF DUPLEX CONVENIENCE RECEPTACLE
- 20V GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX CONVENIENCE RECEPTACLE
- 20V WEATHERPROOF GFCI DUPLEX CONVENIENCE RECEPTACLE
- DEDICATED COMPUTER OUTLET
- 20V FLOOR TYPE DUPLEX RECEPTACLE, W/COVER
- TELEPHONE JACK
- TELEVISION ANTENNA / CABLE JACK
- PUSH BUTTON FOR DOOR CHIMES OR GARAGE DOOR OPENER
- DOOR CHIMES
- THERMOSTAT, VERIFY LOCATION WITH HEATING & AC LAYOUT
- JUNCTION BOX WITH COVER OR ADAPTOR AS REQUIRED
- COMBINATION SMOKE / CARBON MONOXIDE ALARM ICC APPROVED, CEILING MOUNTED, HARD WIRED AND WITH BATTERY BACKUP
- SMOKE ALARM, ICC APPROVED, CEILING MOUNTED, HARD WIRED AND WITH BATTERY BACKUP
- LIGHTED ADDRESS SIGN (VISIBLE FROM STREET) (LOW VOLTAGE) TIED TO PHOTOCELL
- FLOOR DRAIN (FD) OR AREA DRAIN (AD); AS NOTED
- HOSE BIBBS (HB)
- HOSE BIBBS WITH SHUT OFF VALVE (HB/SOV)
- FUEL GAS OUTLET (FG)
- LOCKE KEY VALVE (KEY)
- WATER STUB OUT FOR ICE MAKER
- SURFACE MOUNTED CEILING FAN, SWITCH CONTROLLED.
- SURFACE MOUNTED CEILING FAN, SWITCH CONTROLLED WITH INCANDESCENT LIGHT.

46 HIGH EFFICACY LIGHTS  
37 INCANDESCENT LIGHTS  
83 TOTAL  
55% HIGH EFFICACY

2009 IECC 402.4.2 Building envelope air tightness shall be tested by an approved agency. Blower door test (402.4.2.1) or visual inspection (402.4.2.2) are acceptable. Per IECC 403.2.2(1) or (2): Duct sealing must be tested by an approved agency.

E3802.12 Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, pantries, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit.

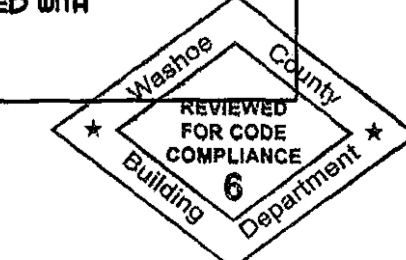
2009 IECC 404.1 LIGHTING EQUIPMENT (PRESCRIPTIVE): A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS

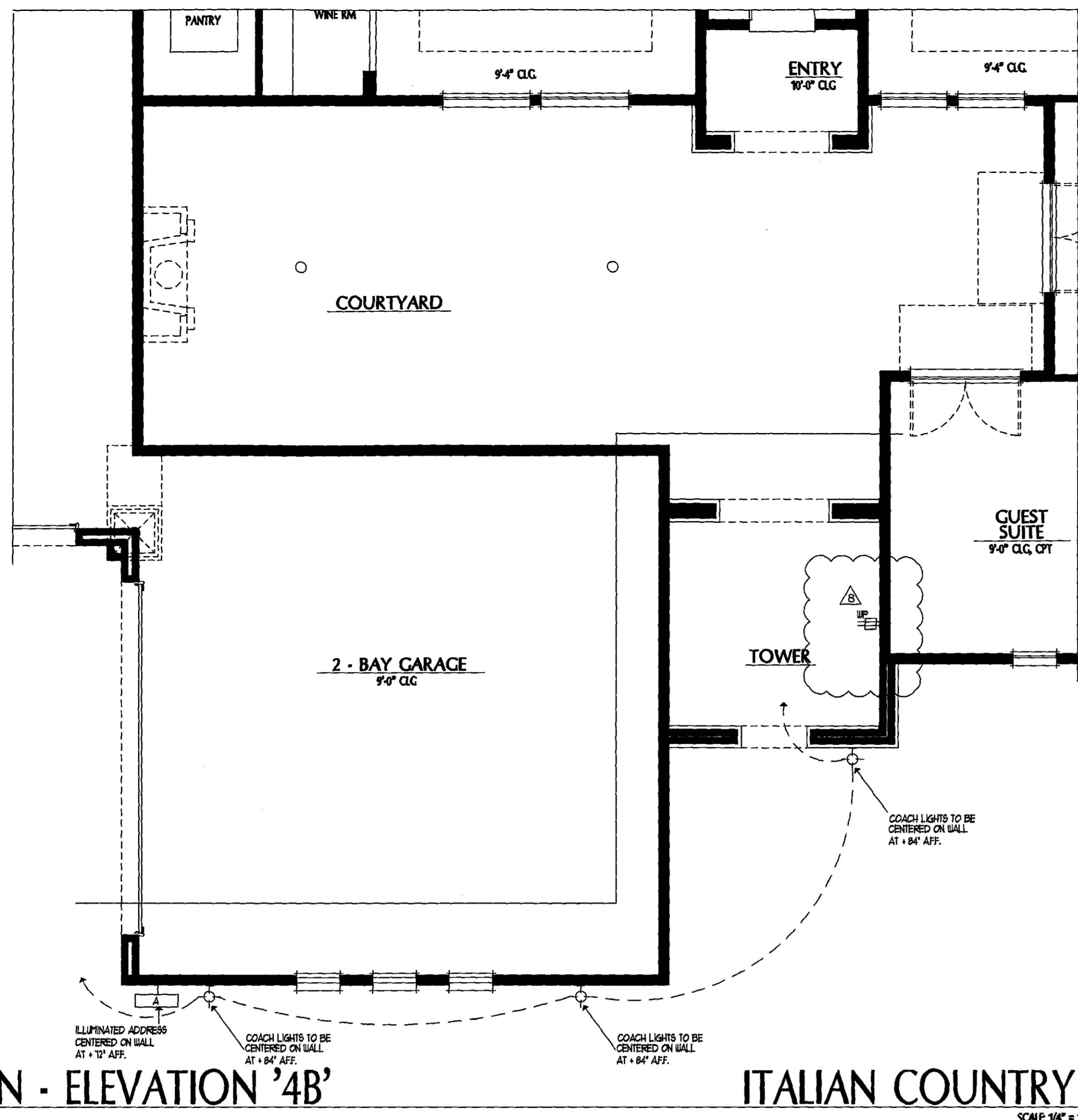


UTILITY PLAN - ELEVATION '4A'

EUROPEAN COUNTRY

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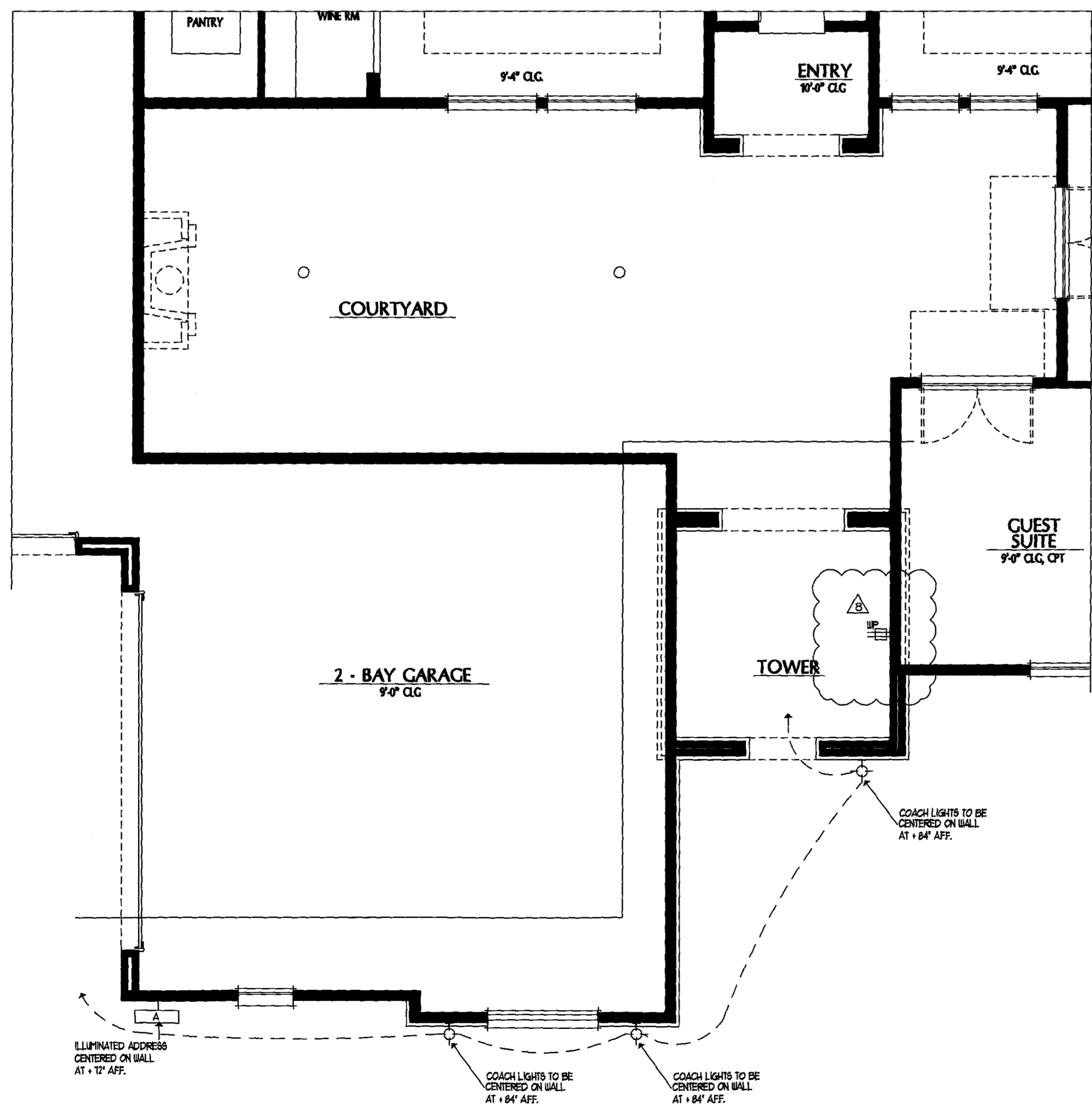




UTILITY PLAN - ELEVATION '4B'

ITALIAN COUNTRY

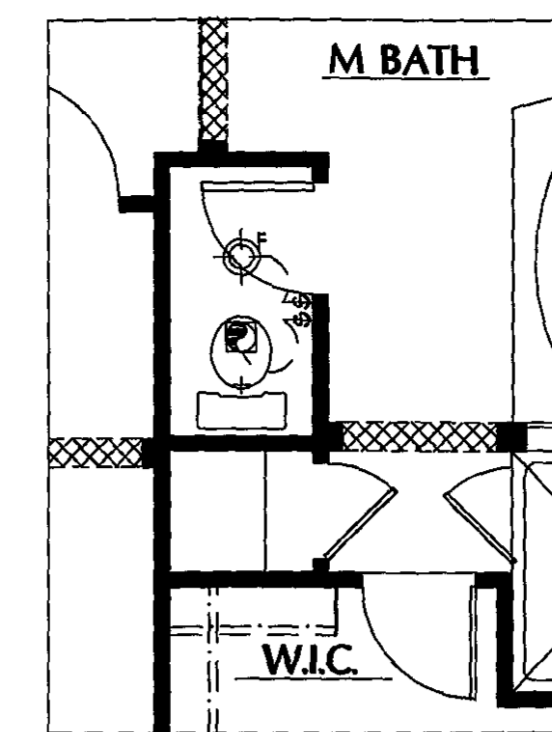
SCALE 1/4" = 1'-0"



UTILITY PLAN - ELEVATION '4C'

HIGH COUNTRY RANCH

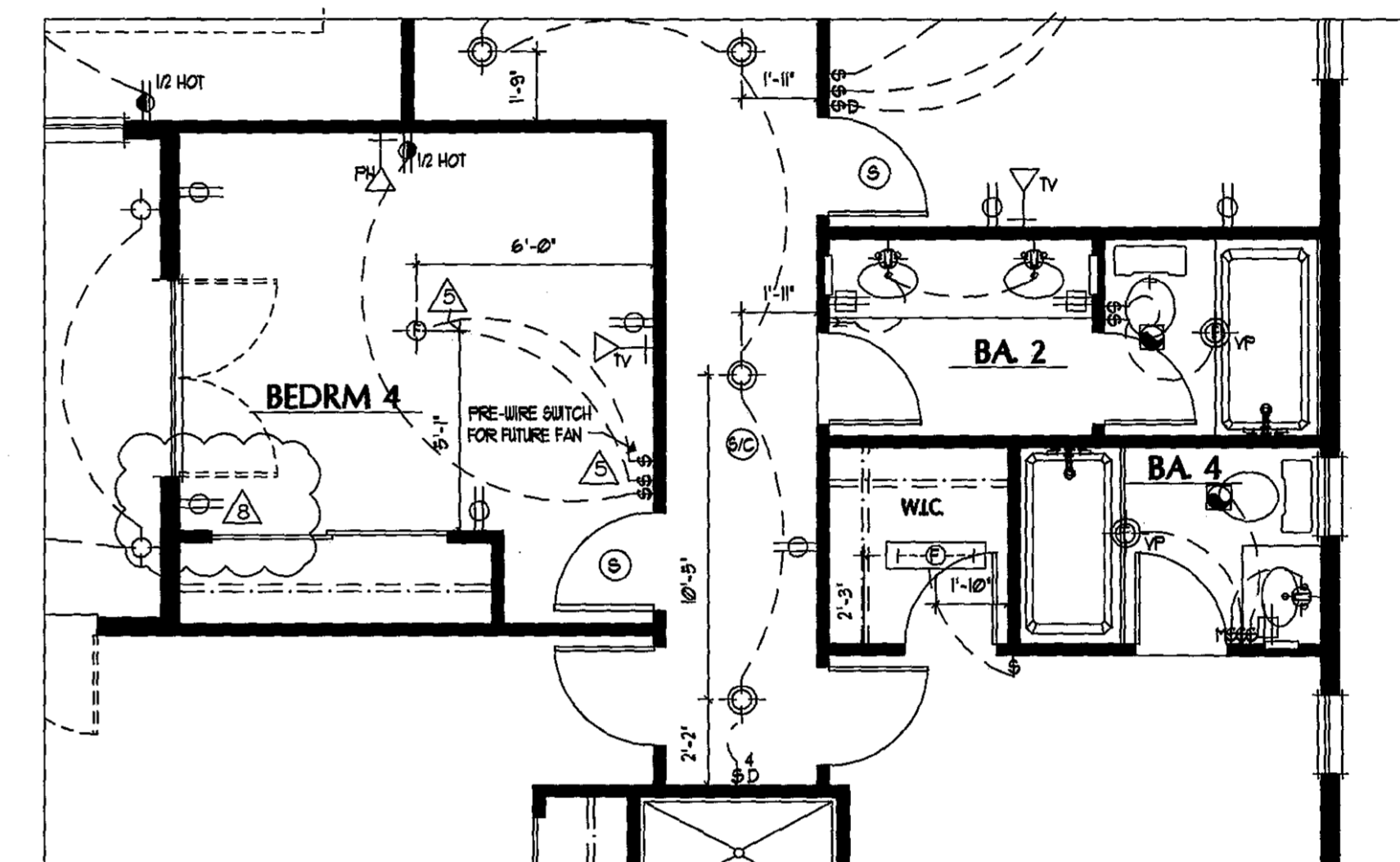
SCALE 1/4" = 1'-0"



OPT. WATER CLOSET

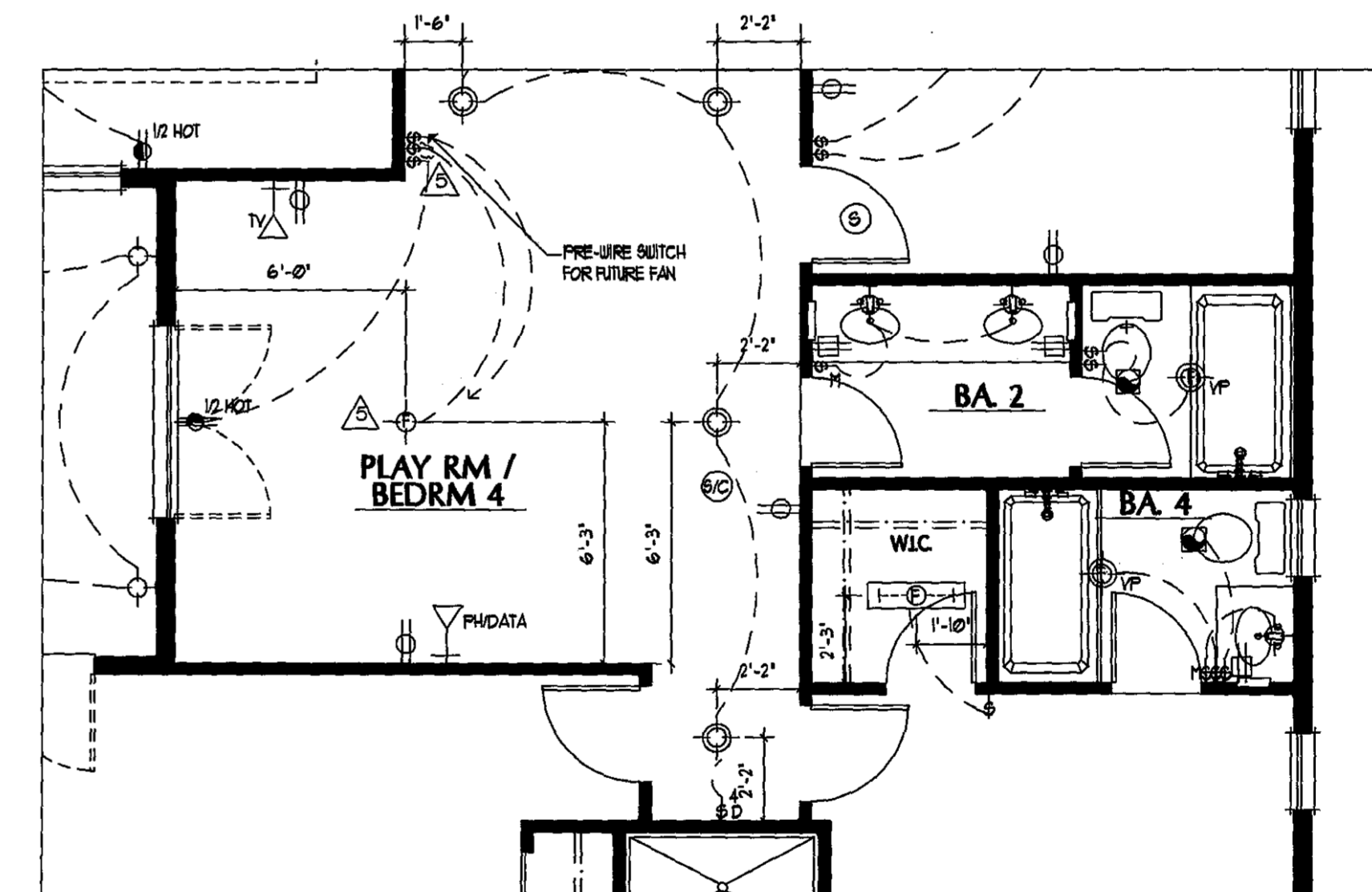
AT MASTER BATHROOM

SCALE 1/4" = 1'-0"



OPT. BEDROOM 4 / BA. 2 / BA. 4

SCALE 1/4" = 1'-0"



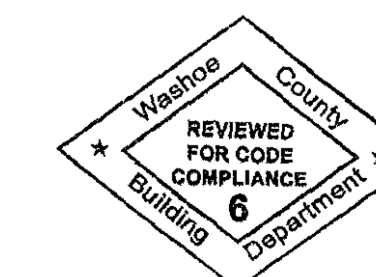
OPT. PLAY ROOM / BA. 2 / BA. 4

SCALE 1/4" = 1'-0"

2009 IECC 404.1  
LIGHTING EQUIPMENT (PRESCRIPTIVE):  
A MINIMUM OF 50 PERCENT OF THE LAMPS  
IN PERMANENTLY INSTALLED LIGHTING  
FIXTURES SHALL BE HIGH-EFFICACY LAMPS

E3902.12 Arc-fault circuit-interrupter protection.  
All branch circuits that supply 120-volt, single-phase,  
15- and 20-ampere outlets installed in family rooms,  
dining rooms, living rooms, parlors, libraries, dens,  
bedrooms, sunrooms, recreation rooms, closets,  
hallways and similar rooms or areas shall be protected  
by a combination type arc-fault circuit interrupter  
installed to provide protection of the branch circuit.

REFER TO BASIC PLAN FOR  
NOTES, DIMENSIONS, AND  
INFORMATION NOT SHOWN HERE



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|--------------|-------------------------|
| project no:  | 02-17-14                |
| date:        | 01-09-11                |
| first issue: | 03-02-11 CLIENT CHANGES |
|              | 03-02-11 ENCL. DEPT.    |
|              | 04-11-11 CLIENT CHANGES |
|              | 12-28-11 CLIENT         |
|              | 08-14-12 2009 IECC      |
|              | 10-02-12 PRAYING WALK   |
|              | 10-21-12 2012 CODE      |
|              | 02-11-14 PLAN CHECK     |

Plan Number  
**FOUR**

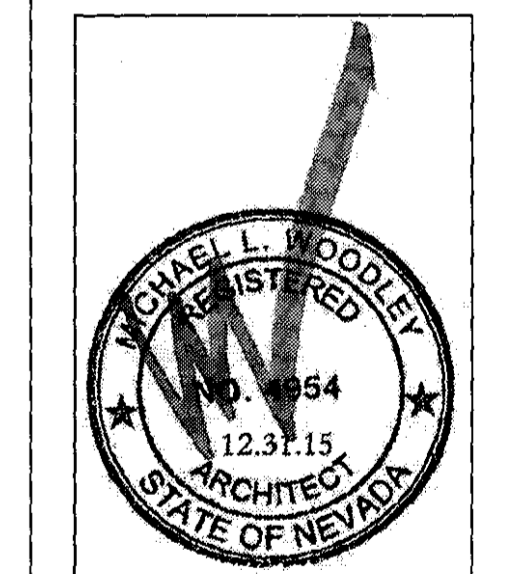
Sheet Number  
**4.6**



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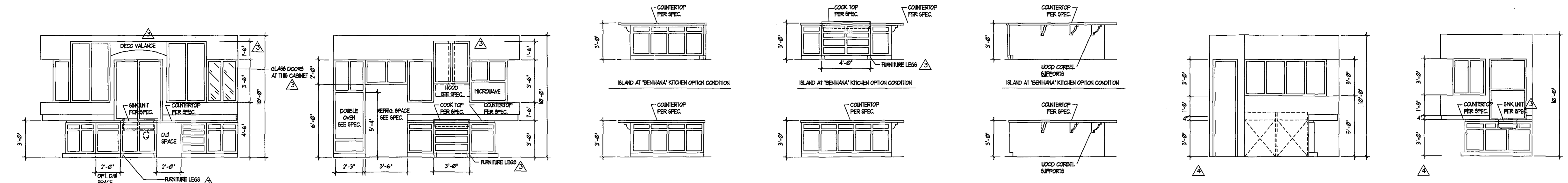
Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**



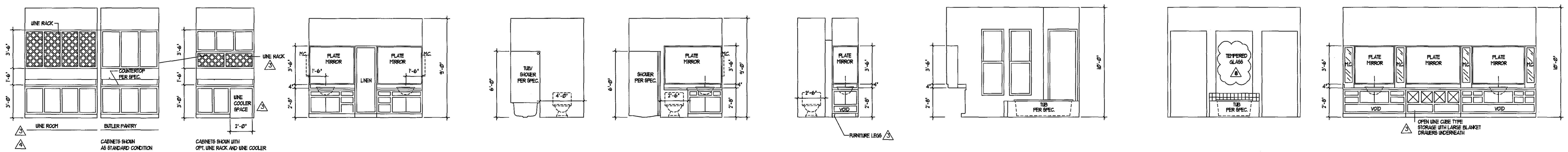
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|--------------|-------------------------|
| project no:  | 02-17-14                |
| date:        | 01-09-11                |
| first issue: | 03-02-11 CLIENT CHANGES |
|              | 03-02-11 ENCL. DEPT.    |
|              | 04-11-11 CLIENT CHANGES |
|              | 12-28-11 CLIENT         |
|              | 08-14-12 2009 IECC      |
|              | 10-02-12 PRAYING WALK   |
|              | 10-21-12 2012 CODE      |
|              | 02-11-14 PLAN CHECK     |

Plan Number  
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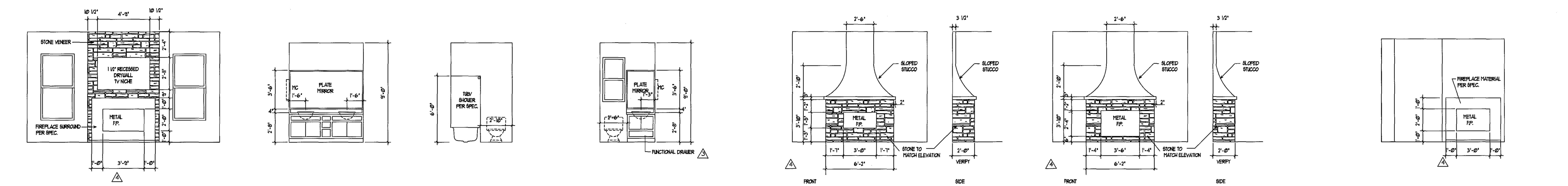
Sheet Number  
**4.6**



1 KITCHEN 2 KITCHEN 3 KITCHEN 4 KITCHEN 5 KITCHEN 6A LAUNDRY 6B LAUNDRY



7 WINE ROOM / BUTLER PANTRY 8 BATH 2 9 BATH 2 10 BATH 3 11 POWDER 12 M. BATH 13 M. BATH 14 M. BATH



15 FIREPLACE AT GREAT ROOM 16 OPT. BATH 2 17 OPT. BATH 2 18 OPT. BATH 4 19 FIREPLACE AT OUTDOOR ROOM 20 FIREPLACE AT FRONT COURTYARD 21 OPT. FIREPLACE AT MASTER BEDROOM



**NOTES**

CABINET DRAWINGS ARE FOR SCHEMATIC USE ONLY. REFER TO BUILDER SPECIFICATIONS AND SHOP DRAWINGS BY CABINET MANUFACTURER FOR FURTHER INFORMATION.

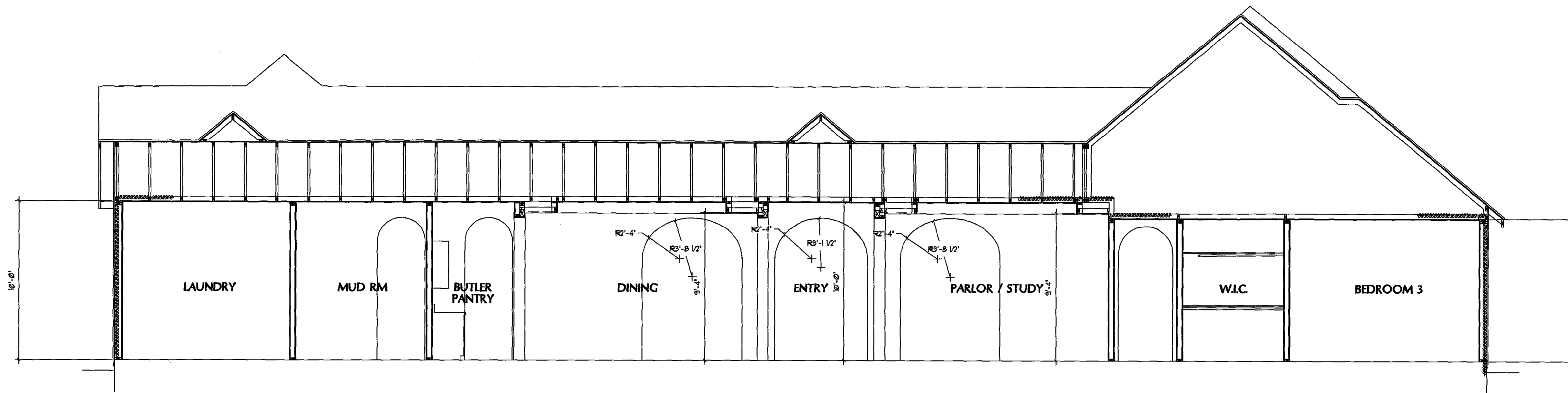
VERIFY ALL FIREPLACE CLEARANCES TO COMBUSTIBLE MATERIALS WITH THE FIREPLACE CHOSEN BY THE BUILDER AT THE TIME OF CONSTRUCTION / INSTALLATION.

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project no: 02-17-14  
date: 01-09-11  
first issue: 01-09-11

|          |                |
|----------|----------------|
| 03-02-11 | CLIENT CHANGES |
| 03-02-11 | BUILD. DEPT.   |
| 04-11-11 | CLIENT CHANGES |
| 07-29-11 | CLIENT         |
| 08-14-12 | 2009 IECC      |
| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2012 CODE      |
| 02-17-14 | PLAN CHECK     |

Plan Number  
**FOUR**  
Sheet Number  
**4.7**



BUILDING SECTION 'A'

SCALE 1/4" = 1'-0"

**SECTION NOTES**

PROVIDE 1/2" MINIMUM CLEARANCE BETWEEN TOP PLATE OF INTERIOR PARTITIONS AND BOTTOM CHORD OF TRUSSES (TO INSURE LOADING WILL BE AS DESIGNED).

PROVIDE FIRE STOPS AT THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS, AND AT 18'-0" INTERVALS ALONG THE LENGTH OF THE WALL.
- AT ALL INTERSECTIONS BETWEEN CONCEALED VERT. AND HORIZONTAL SPACES SUCH AS OCCUR AT SLOTTED DOOR CASINGS AND CORNER CEILING.
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CONDUITS, PREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

**OCCUPANCY SEPARATION NOTES**

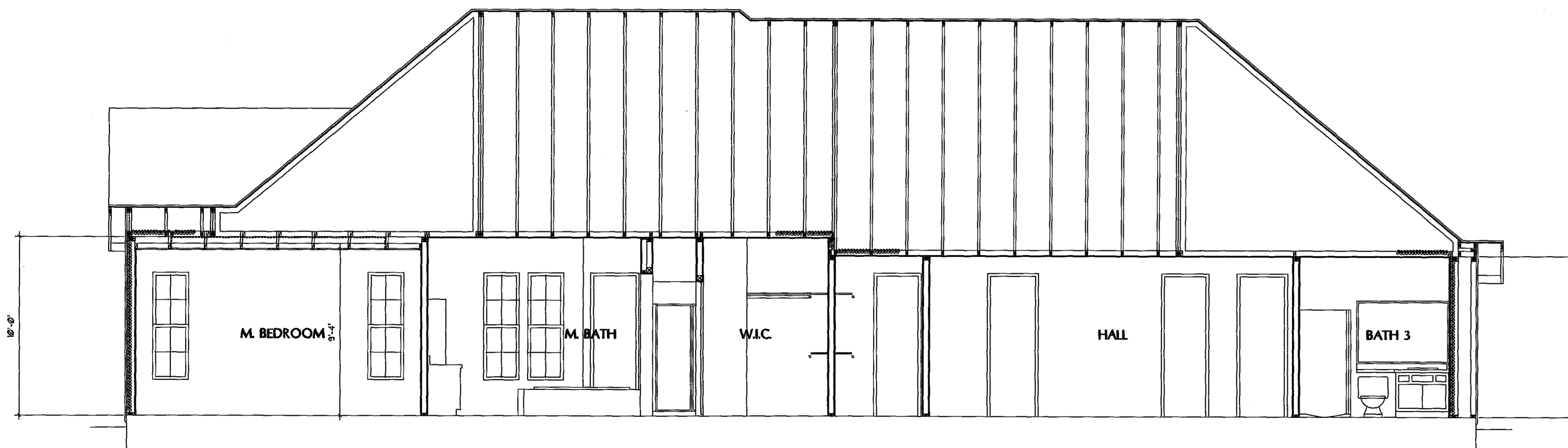
**OPENING PROTECTION - GARAGE OPENINGS.**  
 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" TOL. OR 20 MIN. F.R. DOORS EACH EQUIPPED WITH A SELF-CLOSER.

**VERTICAL OCCUPANCY SEPARATION.**  
 VERTICAL OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE PROVIDED BY MEANS OF A MINIMUM OF 1/2" GYPSUM BOARD APPLIED TO GARAGE SIDE WALLS PER IRC R302.2.

**HORIZONTAL OCCUPANCY SEPARATION.**  
 HORIZONTAL OCCUPANCY SEPARATION BETWEEN GARAGE AND ATTIC SHALL BE PROVIDED BY MEANS OF A MINIMUM 1/2" GYPSUM BOARD APPLIED TO GARAGE SIDE WALLS. GARAGE CEILING SHALL PROVIDE A PORTION OF THE OCCUPANCY SEPARATION. THE CEILING SUPPORTING MEMBERS SHALL BE COVERED WITH ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD FASTENED TO THE TRUSSES OR CONVENTIONAL FRAMING MEMBERS SPACED A MAX. OF 24" O.C. PER IRC R302.2.

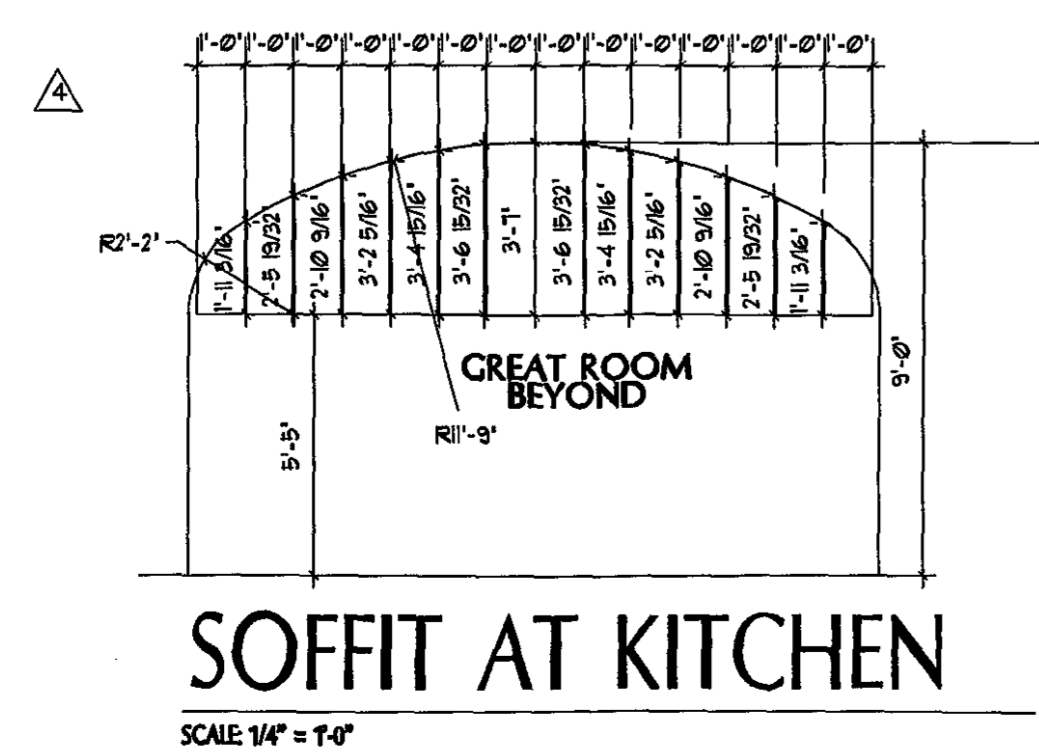
**INSULATION NOTES**

REFER TO RES-CHECK COMPLIANCE CERTIFICATES FOR REQUIRED INSULATION VALUES.

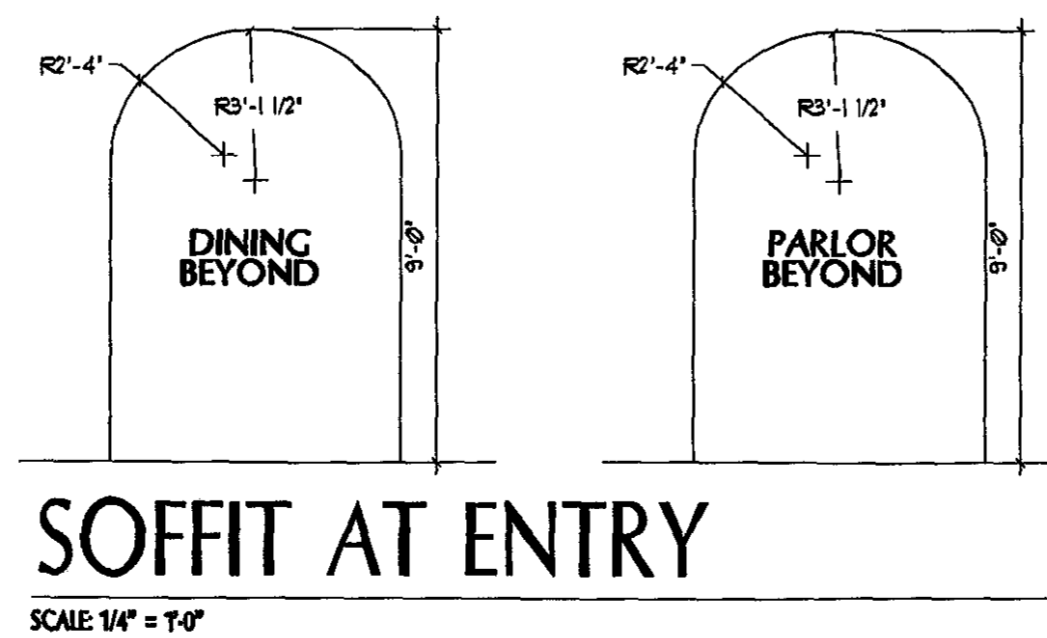


BUILDING SECTION 'B'

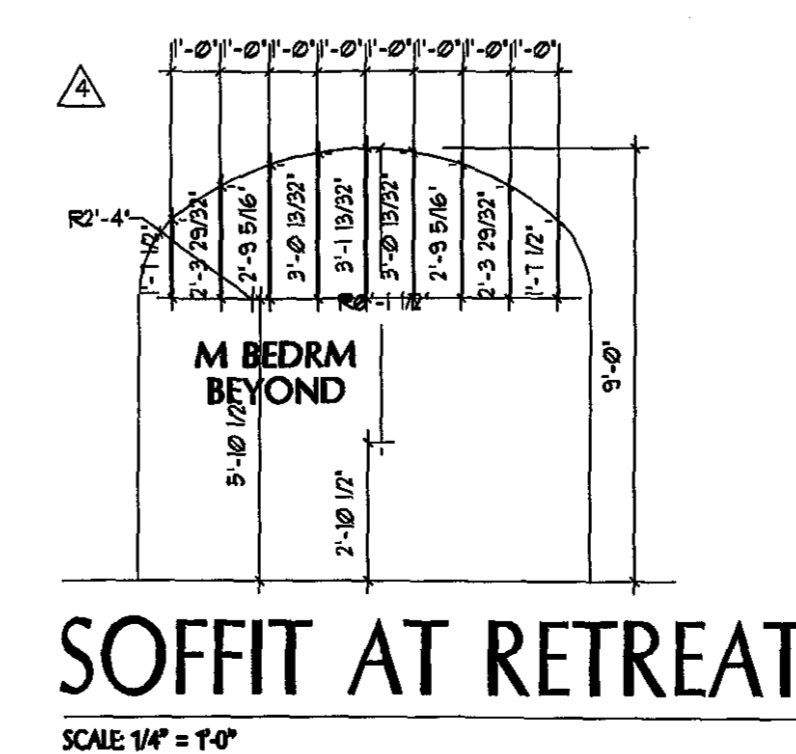
SCALE 1/4" = 1'-0"



SCALE 1/4" = 1'-0"



SCALE 1/4" = 1'-0"



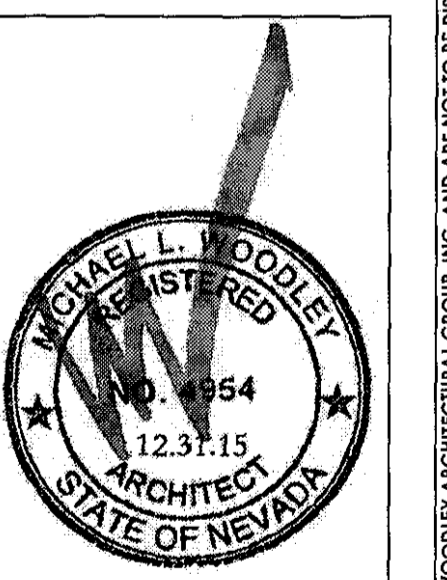
SCALE 1/4" = 1'-0"



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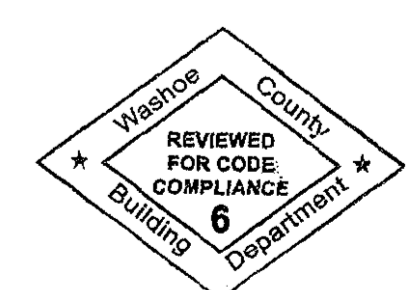
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 Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**



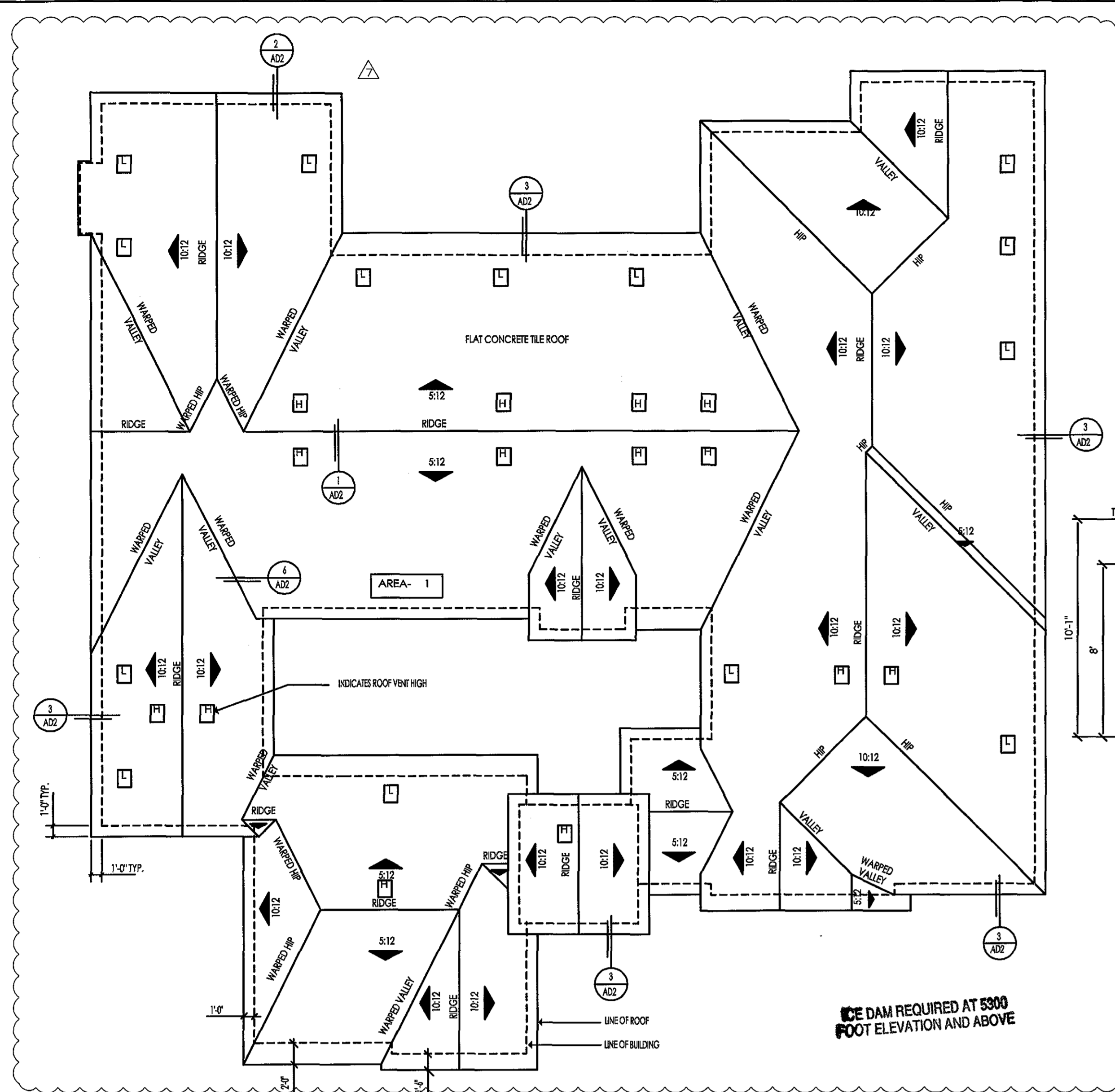
project no:  
 date: 02-17-14  
 first issue: 01-09-11

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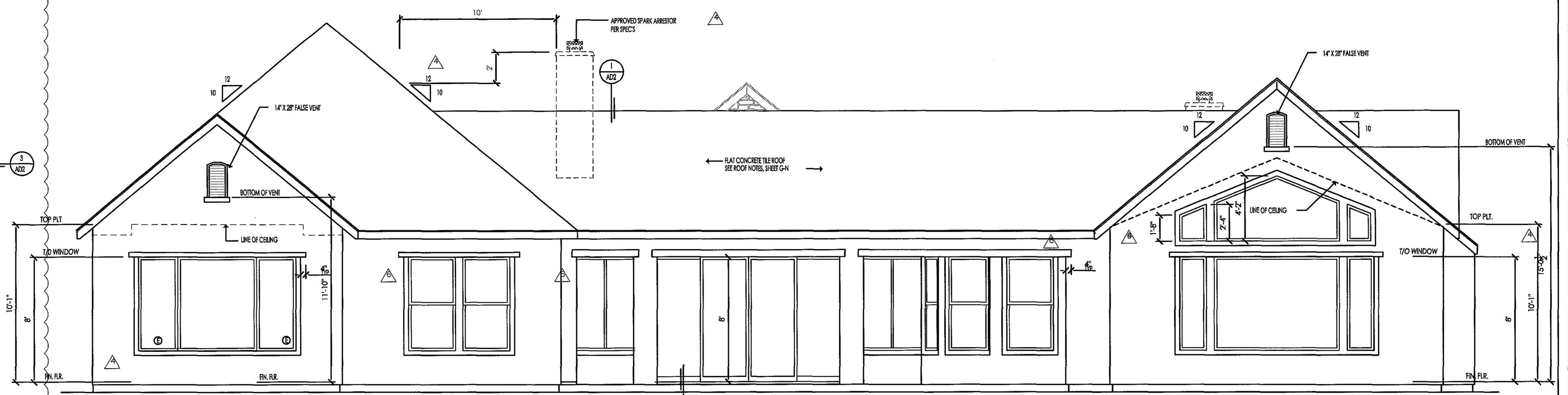


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**FOUR**  
 Sheet Number  
**4.8**



**ROOF PLAN AT ELEVATION "A" EUROPEAN COUNTRY**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION '4A'**

**EUROPEAN COUNTRY**  
SCALE 1/4" = 1'-0"

**IRC EMERGENCY BEDROOM EGRESS**

NOTE: EXTERIOR WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE THAT BE ORIGINATED FOR EMERGENCY EGRESS + RESCUE. ESCAPE + RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE MIN. NET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES HIGH AND 20 INCHES WIDE WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES AFF. THESE WINDOWS + ANY BARS, GRILLS GRATES OR OTHER SIMILAR DEVICES SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM UNDER THE USE OF HAND OR TOOLS. IF THE FULL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 1' (105 IN) ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 14" (35 IN) AFF. OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

| ROOF VENTILATION CALCULATIONS   | AREA 1  |
|---|---|
| <p>THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE</p> <p>EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:</p> <ol style="list-style-type: none"> <li>1. IN CLIMATE ZONES 6, 7 + 8, A CLASS 1 OR 11 VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING</li> <li>2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.</li> </ol> | <p>REQUIRED:</p> <p>PLAN FLOOR - 14' x 18' 0" (252 SQ. FT.)</p> <p>REQUIRED VENTILATION:</p> <p>MINIMUM VENTILATION PROVIDED HIGH ROOF VENTS: 14' x 14' @ 1 SQ. FT. EA. = 196 SQ. FT.</p> <p>MINIMUM VENTILATION PROVIDED LOW ROOF VENTS: 14' x 14' @ 1 SQ. FT. EA. = 196 SQ. FT.</p> <p>MINIMUM TOTAL VENTILATION: 392 SQ. FT.</p> <p>MINIMUM TOTAL VENTILATION: 392 SQ. FT.</p> |
| <ol style="list-style-type: none"> <li>1. CLOAKED VENT TILE PER MANUFACTURER (SAME OR EQUAL) TO TILE ROOF - AT 80 FT. FLAT TILE ROOF - AT 80 FT. INSTALL WITH NO COMPLIANT FIRE + ICE BARRIER</li> </ol>  |   |

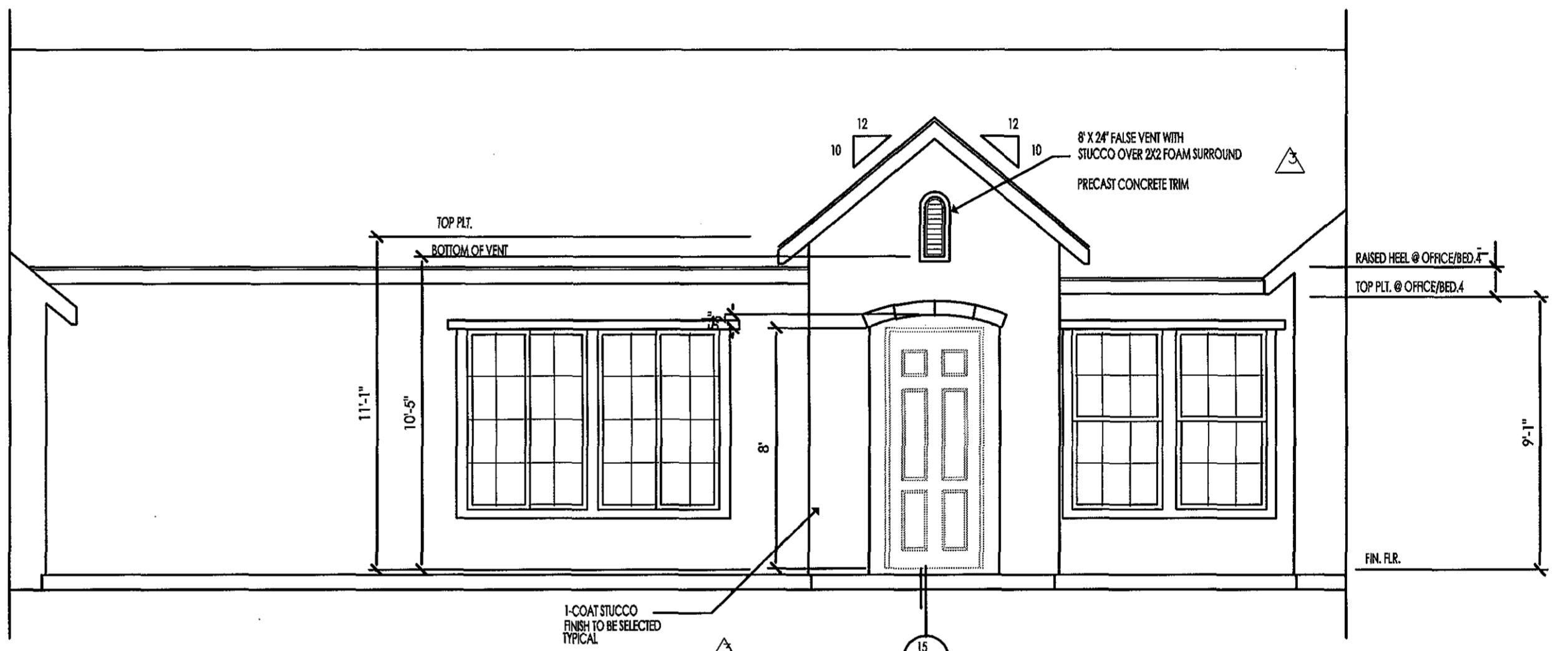
- ROOF PLAN NOTES**
1. THE CONTRACTOR RESPONSIBLE FOR FABRICATION + INSTALLATION OF GUTTERS + DOWNPOUTS SHALL SUBMIT SHOP DRAWINGS CONSISTING OF ROOF PLANS, ELEVATIONS + DETAILS OUTLINE THE ENTIRE GUTTER + DOWNPOUT SYSTEM TO THE ARCHITECT FOR REVIEW + APPROVAL PRIOR TO FABRICATION TO COMPLY WITH IBC.
  2. DOWNPOUTS SHALL BE TIED INTO AREA DRAINS, SEE PRECISE GRADING PLAN.
  3. ALL DOWNPOUTS SHALL BE HIDDEN TO THE BEST EXTENT POSSIBLE.
  4. THE TRUSS MANUFACTURER SHALL ALLOW FOR SERVICE ACCESS TO THE ATTIC MOUNTED FORCED AIR UNITS.
  5. CLOAKED TILE VENTS AND DOWNER VENTS SHALL BE LOCATED NO CLOSER THAN 3 TILE COURSES UP FROM THE EAVE OR 2 TILE COURSES AWAY FROM RIDGES, HPB OR VALLETS.
  6. CARPENTER SHALL LOCATE AND CUT OPENINGS IN ROOF SHEATHING FOR ALL DOWNER + CLOAKED TILE VENTS AS WELL AS HOLE REQUIRED FOR CROSS VENTILATION BETWEEN ATTIC SPACES. LOCATIONS ON ROOF PLANS ARE ONLY FOR COORD.
  1. DOWNER + CLOAKED TILE VENTS SHALL BE SET AT A SLIGHT ANGLE TO PREVENT BACKING OF WATER.
- IRC ATTIC MOUNTED EQUIPMENT**
- ATTIC BRACINGS + COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
1. HAVE MINIMUM 27" x 36" OR 36" x 36" ATTIC ACCESS WITHIN 20 FEET OF EQUIPMENT. (BASED ON EQUIP. SIZE)
  2. OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT
  3. HAVE CONTINUOUS 14 INCH WIDE SOLID FLOOR ACCESS PATH THERETO
  4. HAVE AN 18V ELECTRICAL OUTLET + LIGHT FIXTURE CONTROLLED BY SWITCH AT THE ACCESS POINT FOR THE FURNACE
  5. HAVE 30 INCH DEEP LEVEL WORKING PLATFORM W/ NON-COMBUSTIBLE FINISH AT CONTROL SIDE PER UIC.
  6. CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE PER UIC.
  1. 36" MIN CLEARANCE ABOVE FURNACE PLATFORM FOR FURNACE INSTALLATION.

**WILDLAND-URBAN INTERFACE**

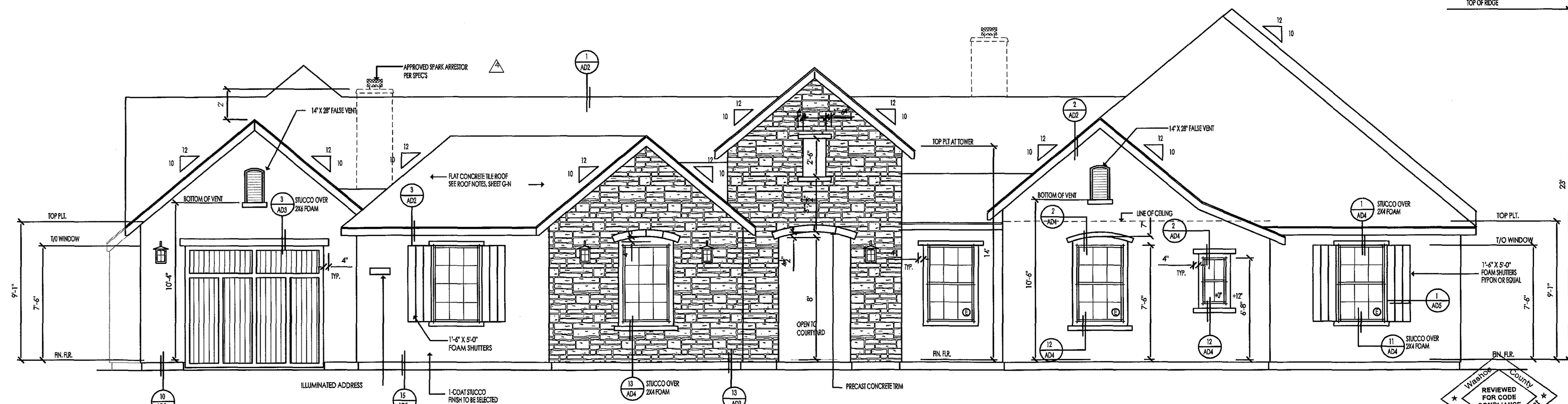
1. ROOF COVERINGS SHALL BE PRESELECTED TO PRECLUDE THE ENTRY OF FLAMES OR EVIDENS OR HAVE ONE LAYER OF 1/2" THICK FIBERGLASS SURFACED, NON-PERFORATED CAP SHEET
2. COMBUSTIBLE GUTTERS AND DOWNPOUTS SHALL BE COVERED WITH SOLID MATERIALS WITH A MINIMUM THICKNESS OF 3/4 INCH. NO EXPOSED RAFTER TAILS ALLOWED.
3. GUTTERS AND DOWNPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. GUTTERS SHALL BE PROVIDED WITH AN APPROVED HEAVY DUTY TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
4. EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH APPROVED MATERIALS, WHICH INCLUDE APPROVED NON-COMBUSTIBLE MATERIALS OR IGNITION-RESISTANT MATERIALS
5. EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITH EXTERIOR DOORS, AND DOORWAYS SHALL BE TEMPERED GLASS, TINTED GLAZED PANELS, GLASS BLOCK, OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 30 MINUTES
6. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1 3/4 INCHES THICK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 30 MINUTES

EXCEPTION: VEHICLE ACCESS DOORS

1. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS NOT TO EXCEED 1/4 INCH OR SHALL BE DESIGNED TO PREVENT FLAME OR EVIDENS PENETRATION. ATTIC VENTILATION SHALL NOT BE LOCATED IN SPACES IN GABLE OVERHANGS, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANG AREAS. GABLE END AND DOWNER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM LOT LINES.



**COURTYARD - VIEW TOWARDS ENTRY DOOR**  
SCALE 1/4" = 1'-0"



**FRONT ELEVATION '4A'**

**EUROPEAN COUNTRY**  
SCALE 1/4" = 1'-0"

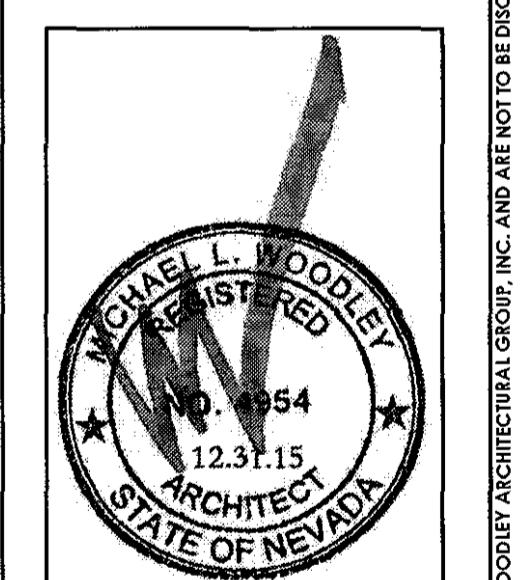
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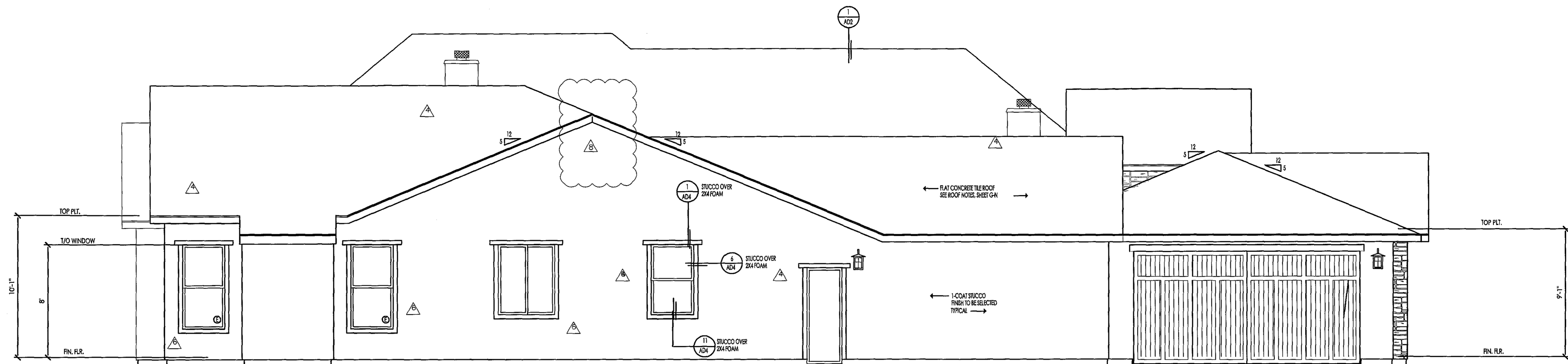
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**Monte Vista at Mount Rose**



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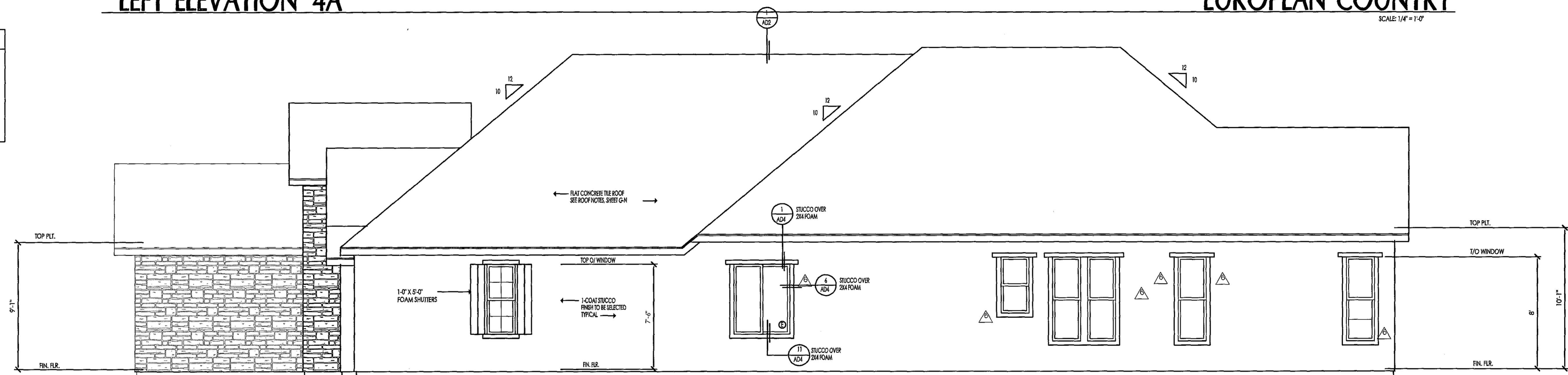
LEFT ELEVATION '4A'

EUROPEAN COUNTRY

SCALE 1/4" = 1'-0"

**IRC EMERGENCY BEDROOM EGRESS**

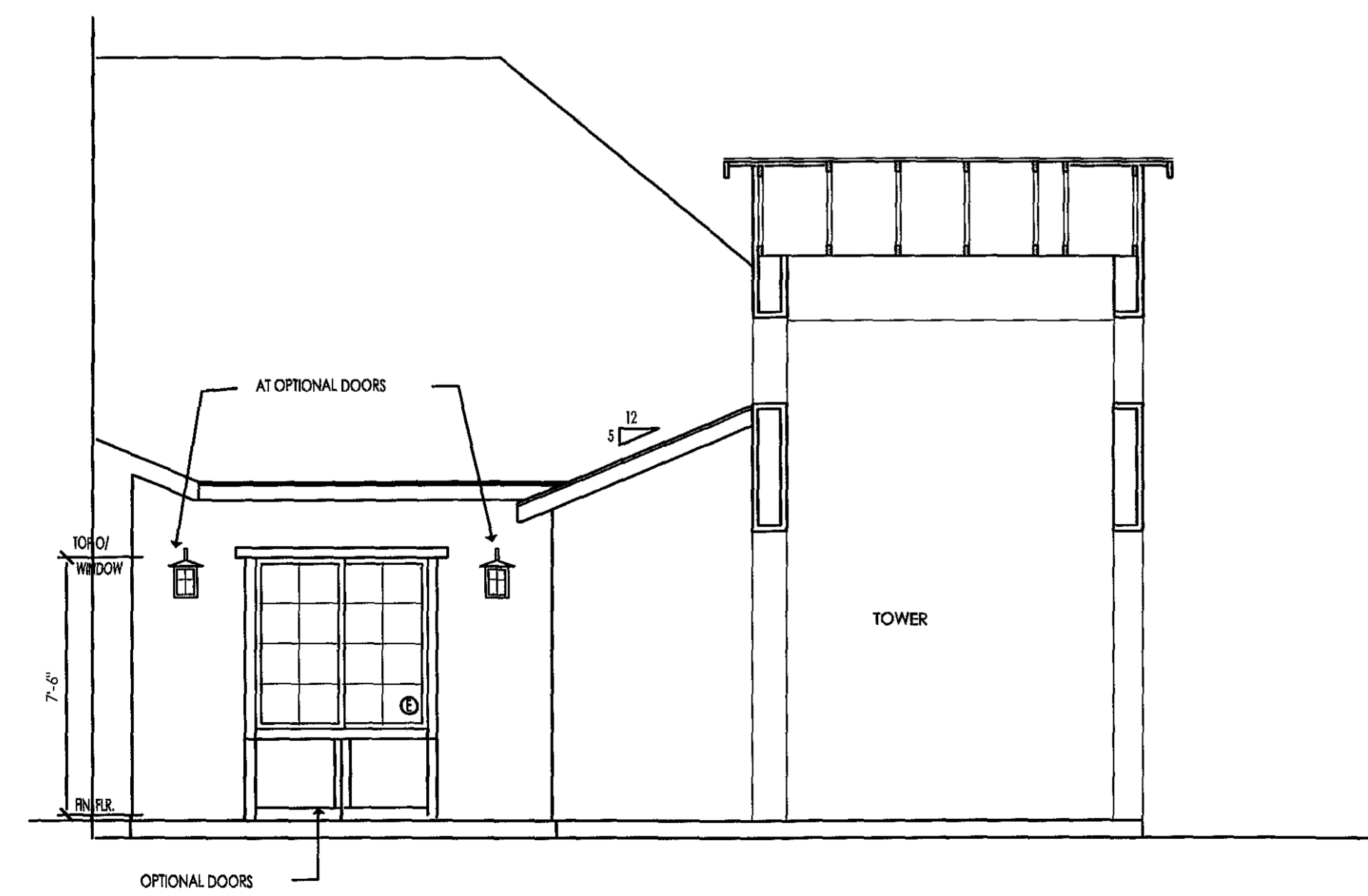
NOTE: EXTERIOR WINDOWS LABELED WITH AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE) SHALL BE DESIGNATED FOR EMERGENCY EGRESS & RESCUE. ESCAPE & RESCUE WINDOWS SHALL HAVE A FINET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE FINET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES HIGH AND 20 INCHES WIDE. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES AFS. THESE WINDOWS & ANY BARRA GRILLS GRATED OR OTHER SPECIAL DEVICES SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS. IF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 1' (600) ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" (600) AFS. OF THE ROOM IN WHICH THE WINDOW IS LOCATED



RIGHT ELEVATION '4A'

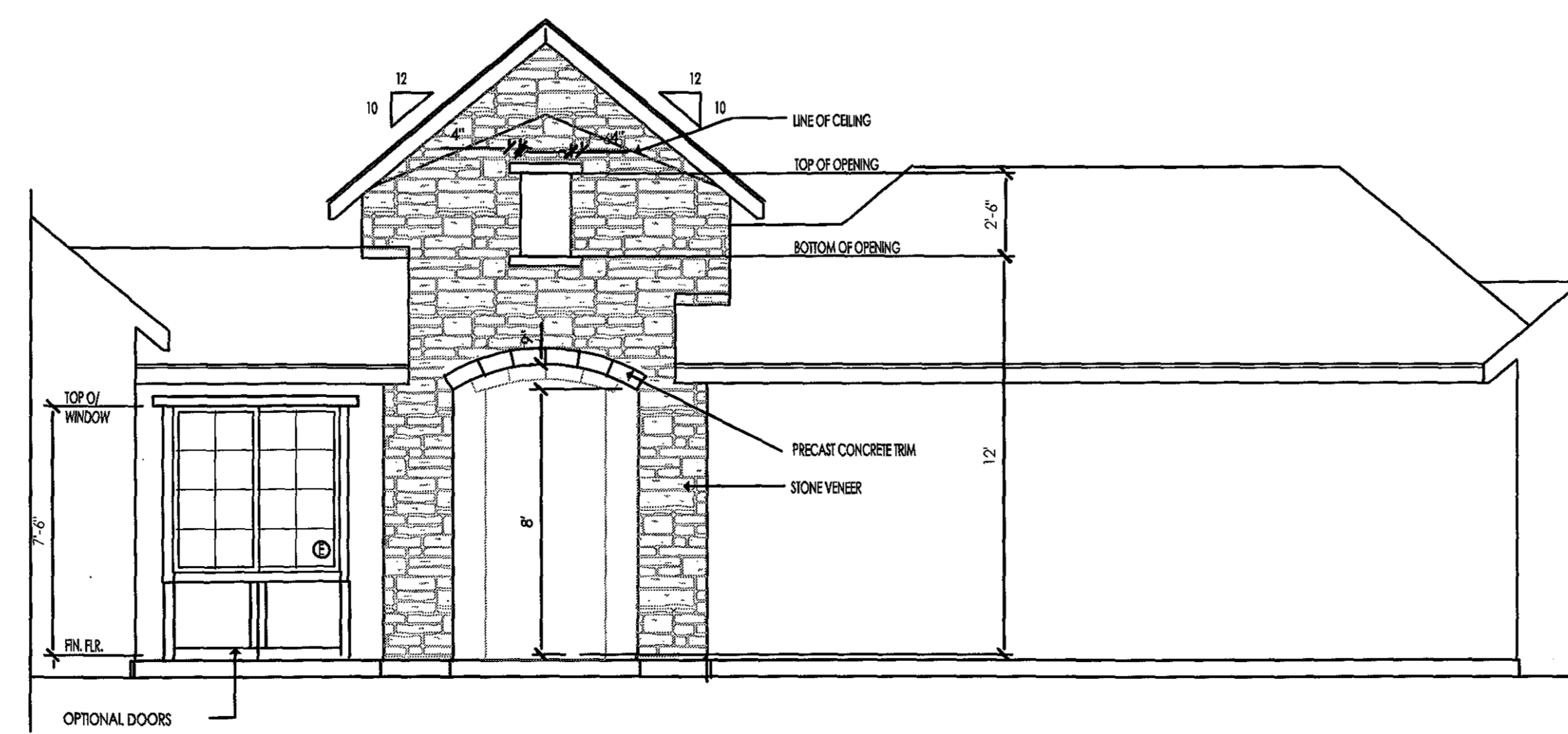
EUROPEAN COUNTRY

SCALE 1/4" = 1'-0"



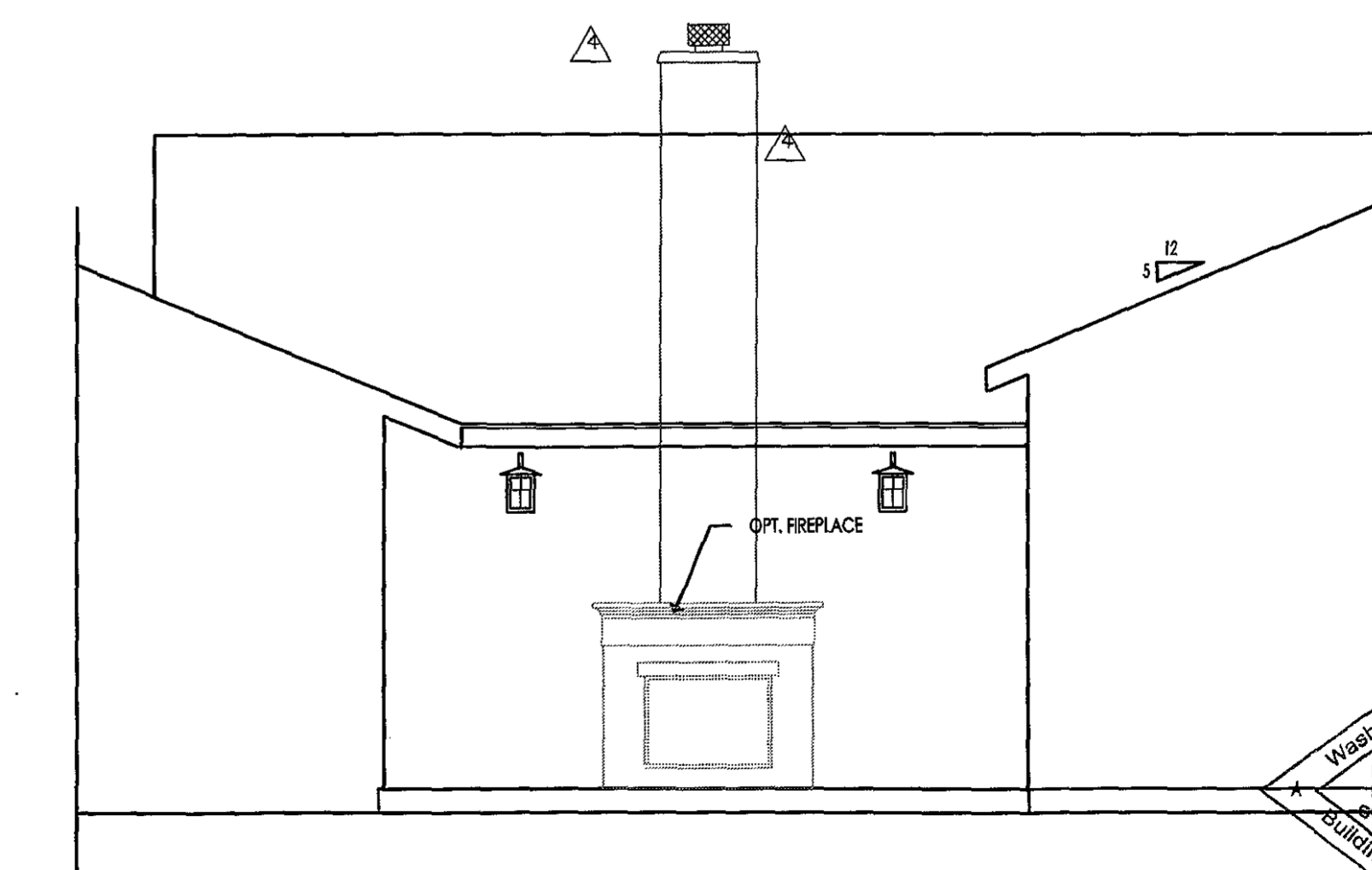
COURTYARD - VIEW THROUGH TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS 1-BAY GAR.

SCALE 1/4" = 1'-0"

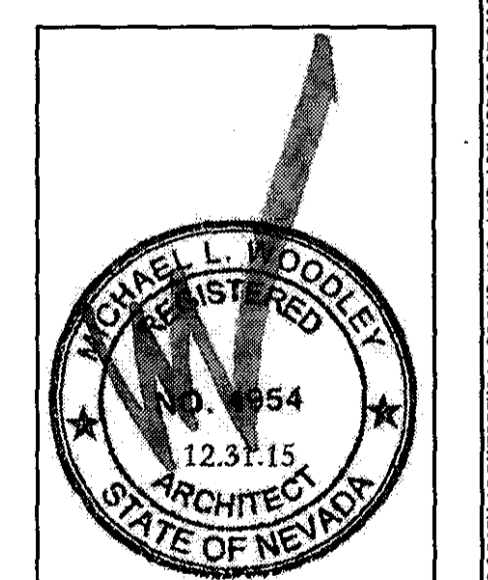
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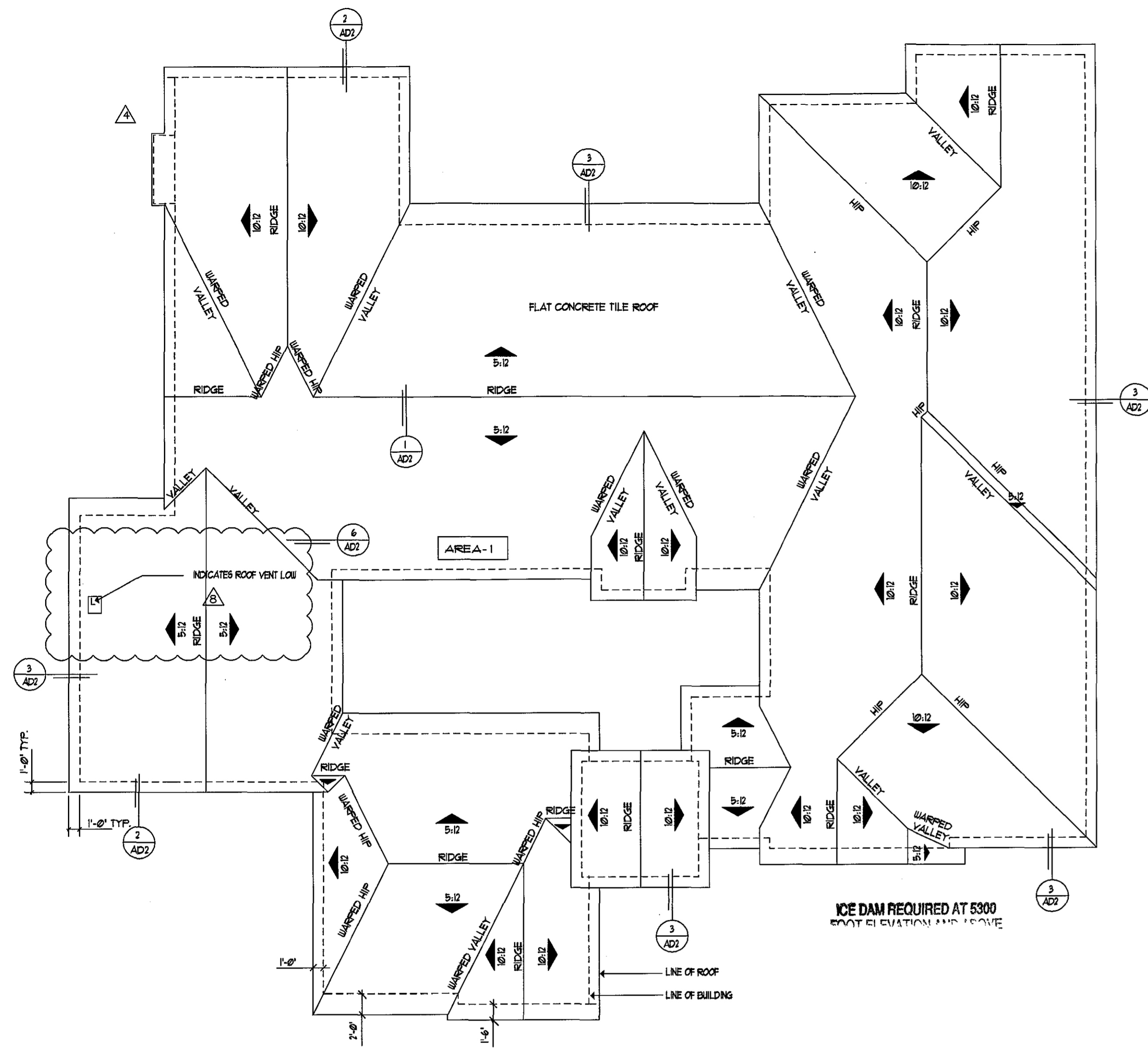
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**Monte Vista at Mount Rose**



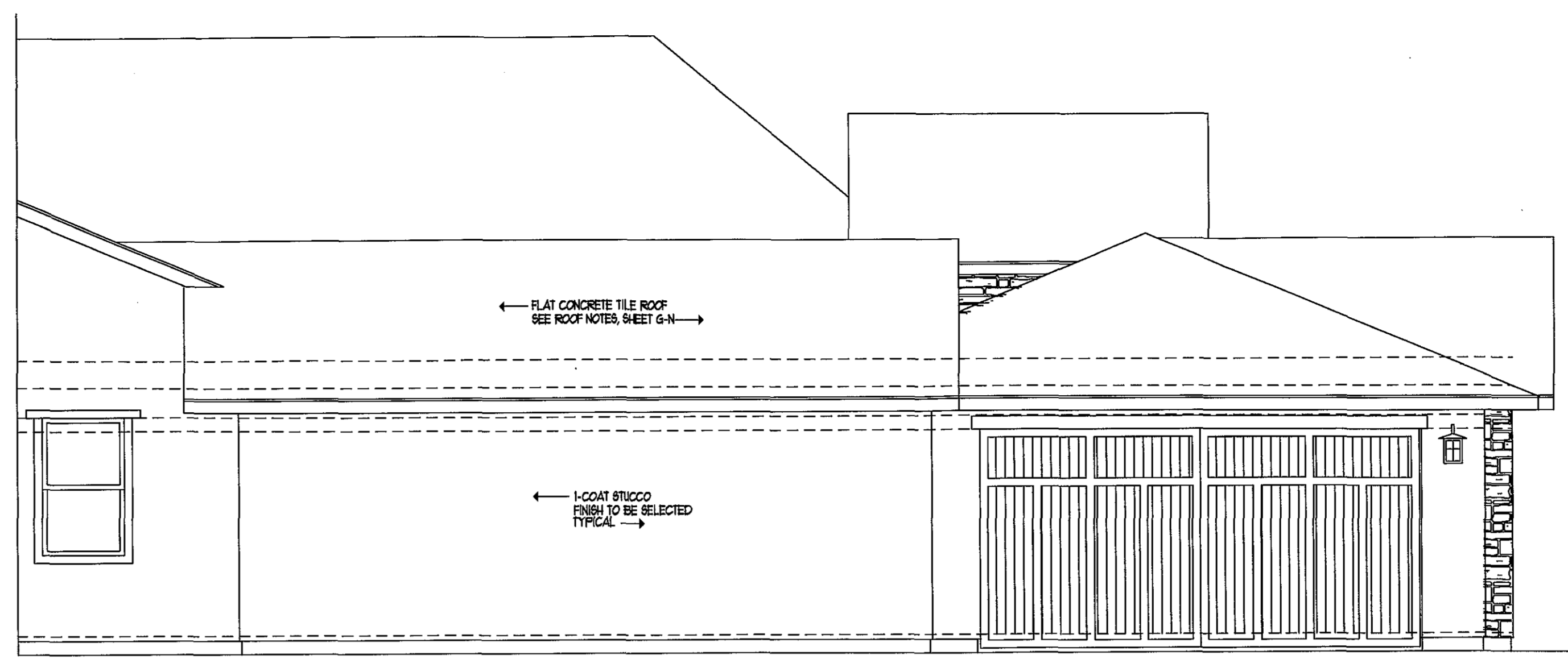
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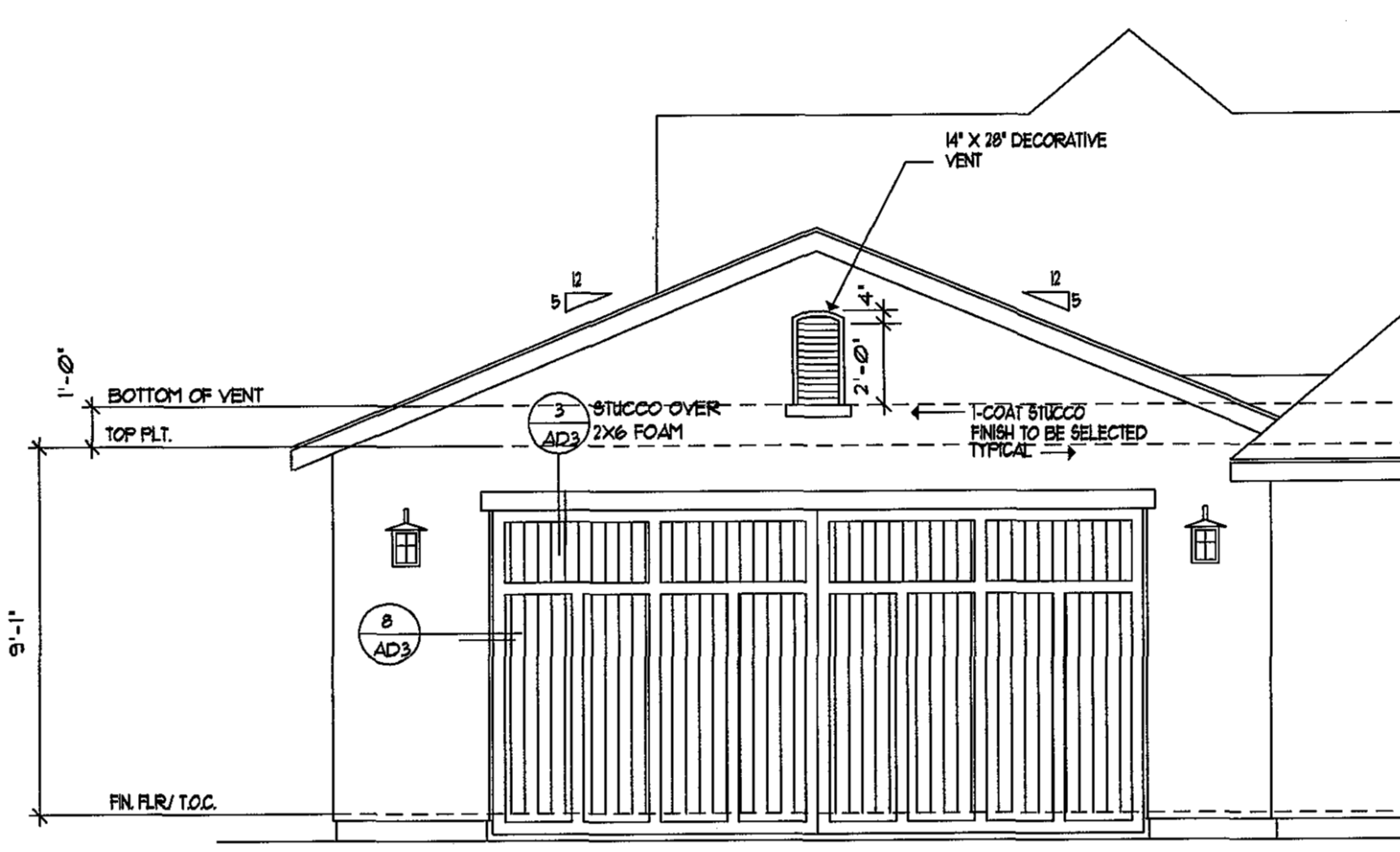
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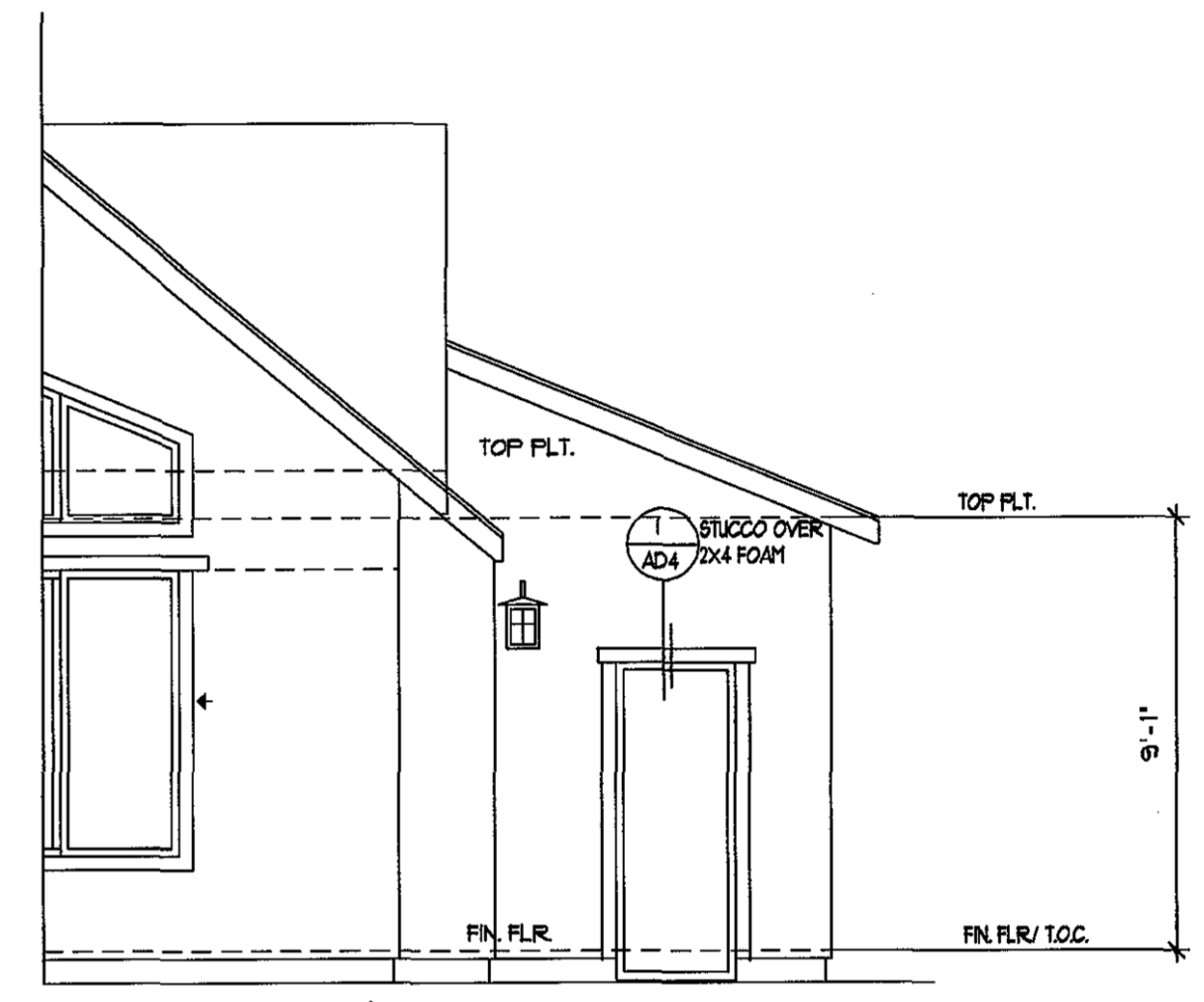
**ROOF PLAN AT ELEVATION "A"** EUROPEAN COUNTRY  
SCALE 1/8" = 1'-0"



**PARTIAL LEFT ELEVATION "A"** EUROPEAN COUNTRY  
SCALE 1/8" = 1'-0"

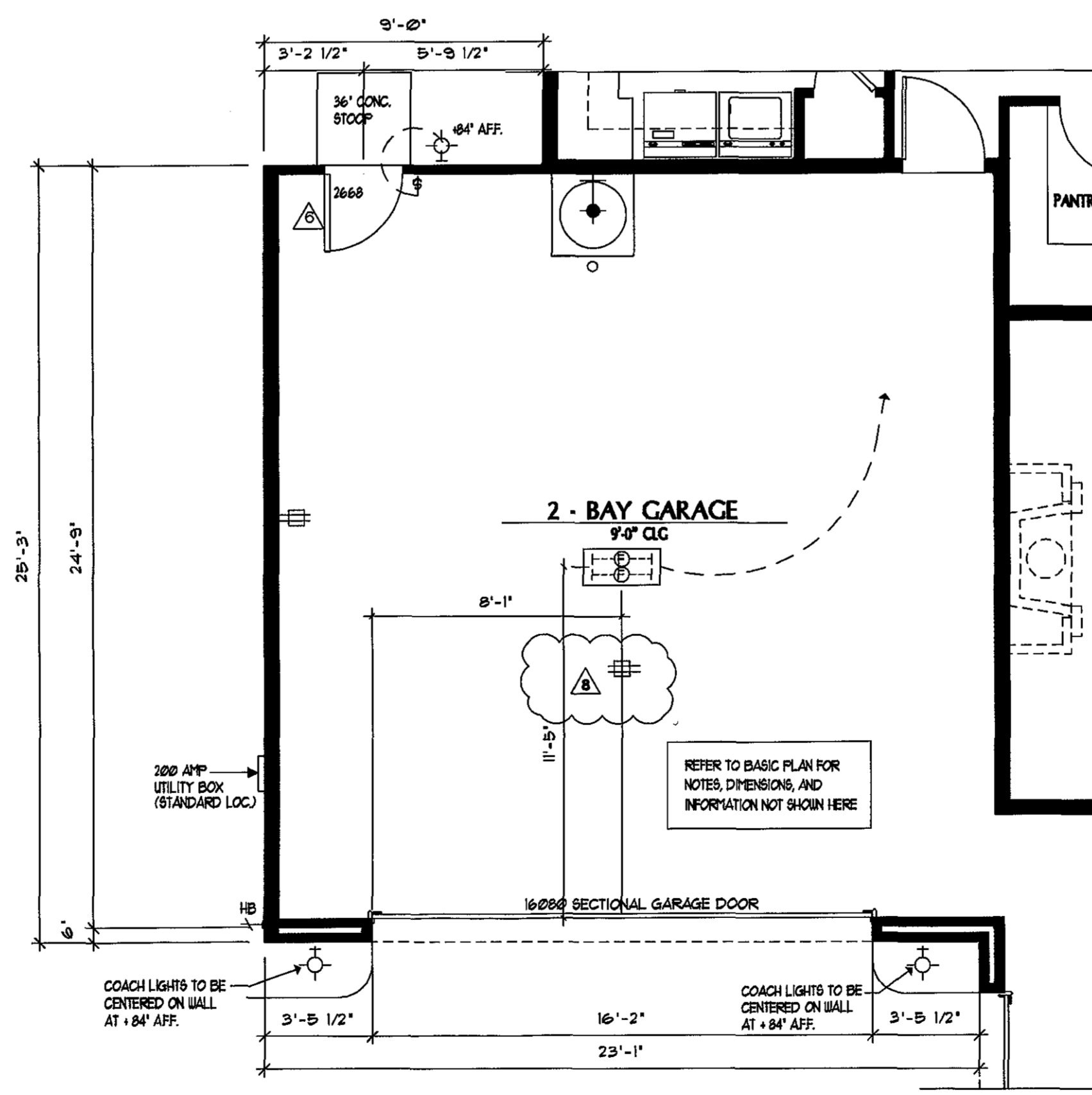


**PARTIAL FRONT ELEVATION "A"** EUROPEAN COUNTRY  
SCALE 1/8" = 1'-0"

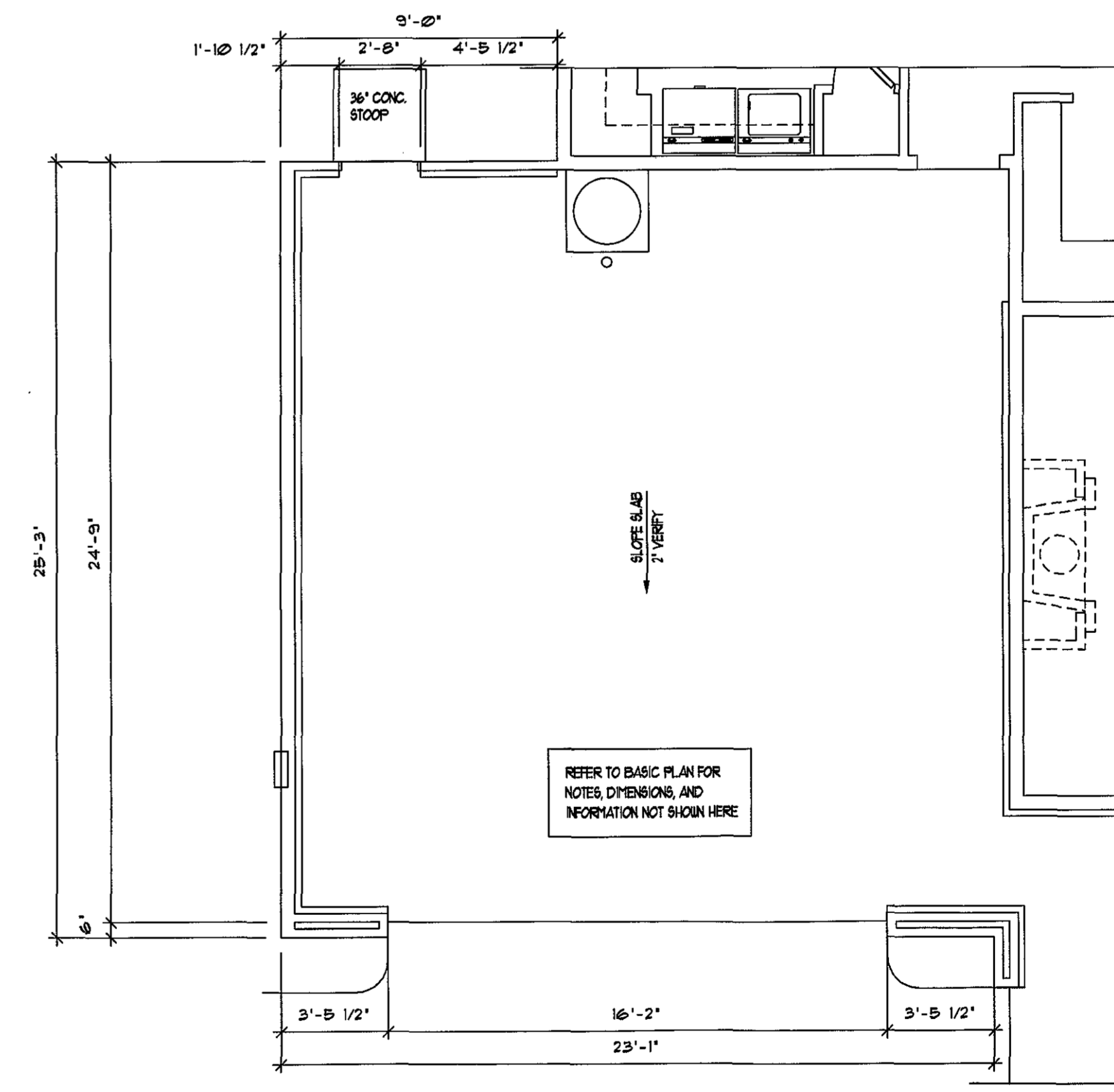


**PARTIAL RIGHT ELEVATION "A"** EUROPEAN COUNTRY  
SCALE 1/8" = 1'-0"

| ROOF VENTILATION CALCULATIONS   | AREA 1   |
|---|--|
| <p>THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:</p> <p>1. IN CLIMATE ZONES 6, 7, 4 &amp; A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.</p> <p>2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.</p> | <p>REQUIRED:<br/>PLAN FOUR - 1/4" 5000 SQ. FT. / 1000 SQ. FT. + 8500 SQ. FT. OF REQUIRED VENTILATION</p> <p>SHOWN HIGH VENTILATION PROVIDED HIGH ROOF VENTS: 1144 AT 90 FT. EA. + 538 SQ. FT. CHAGN CLOAKED ROOF VENTS</p> <p>SHOWN LOW VENTILATION PROVIDED LOW ROOF VENTS: 1144 AT 90 FT. EA. + 1025 SQ. FT. CHAGN CLOAKED ROOF VENTS</p> <p>SHOW TOTAL TOTAL HIGH VENTILATION SHOWN + 538 SQ. FT. (48% OF REQUIRED TOTAL) TOTAL LOW VENTILATION SHOWN + 1025 SQ. FT. TOTAL VENTILATION SHOWN + 1563 SQ. FT.</p> |
| <p>1. CLOAKED VENT TILE PER MANUFACTURER (CHAGN OR EQUAL) @ THE ROOF - AT 50 FT. FLAT TILE ROOF - AT 90 FT.</p>   | <p>AT ONE BAY GARAGE OPTION, ADD ONE ADDITIONAL LOW CHAGN VENT, FIFTEEN TOTAL LOW VENTS</p>  |



**OPT. 2 - BAY GARAGE ELEVATION 4A**  
SCALE 1/4" = 1'-0"



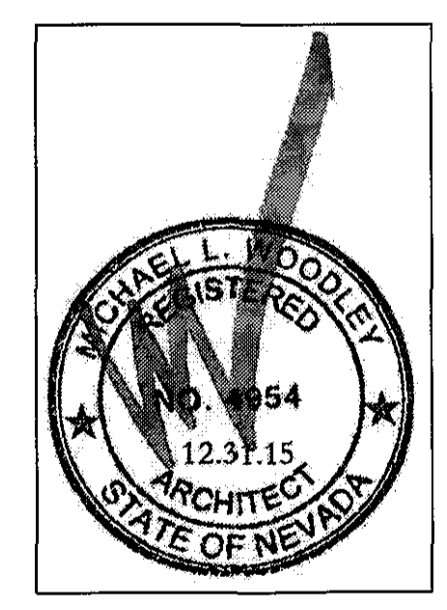
**OPT. 2 - BAY GARAGE FOUNDATION ELEVATION 4A**  
SCALE 1/4" = 1'-0"



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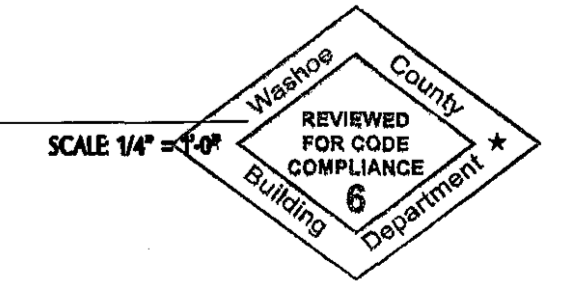
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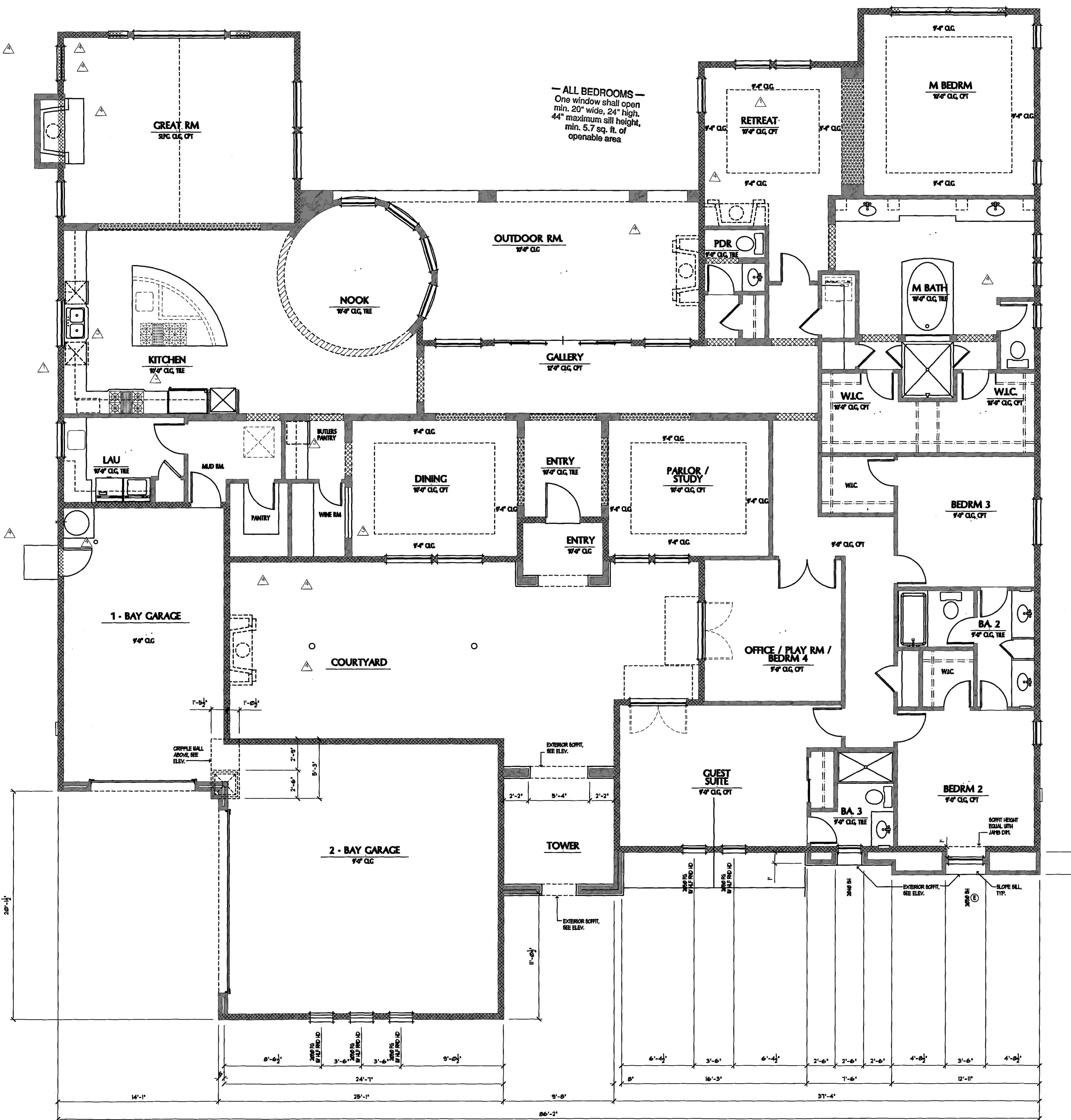
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FLOOR PLAN - ELEVATION '4B'

ITALIAN COUNTRY

SCALE 1/4" = 1'-0"

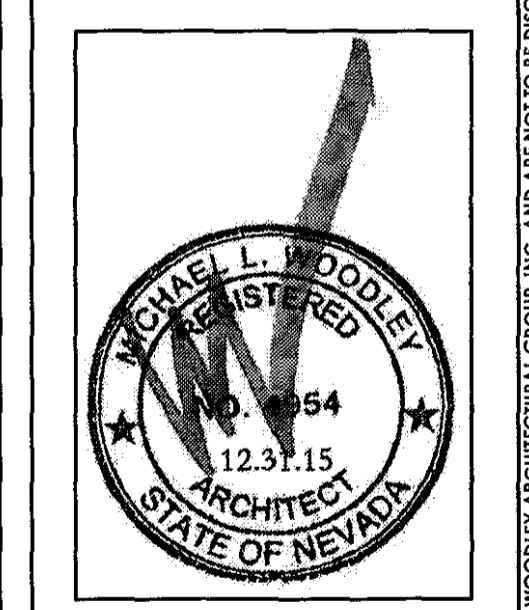
- IRC EMERGENCY BEDROOM EGRESS**
- NOTE: EXTERIOR WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) WINDOW OR OTHER OPENING FOR EMERGENCY ESCAPE AND RESCUE. WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE. TEST SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" AFF. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FEET. THE MINIMUM OPENING HEIGHT SHALL BE 20". THE MINIMUM OPENING WIDTH SHALL BE 20". THESE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS.
- IRC GLAZING & WINDOW NOTES**
- ALL GLAZING SHALL COMPLY WITH IRC.
  - GLAZING SUBJECT TO IMPACT SHALL COMPLY WITH IRC.
  - GLAZED AREAS REQUIRING SAFETY GLAZING SHALL BE IDENTIFIED ON THE DRAWING WITH THE WORD "TEMPERED" OR "TEMP".
  - ALL GLAZING SHALL BE DUAL PANE INSULATING GLASS UNITS.
- IRC OCCUPANCY SEPARATION NOTES**
- OPENING PROTECTION: GARAGES MAY NOT HAVE AN OPENING DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. SUCH OPENINGS SHALL NOT BE PERMITTED. OTHER OPENINGS INTO SUCH ROOMS SHALL BE PERMITTED IF SUCH ROOMS ARE EQUIPPED WITH SMOKE DETECTORS AND RESCUE OPENINGS SHALL BE EQUIPPED WITH SMOKE DETECTORS NOT LESS THAN 1 3/8" THICK OR 3/8" MIN. FUR. DOORS EACH EQUIPPED WITH A SELF-CLOSING OPENING FROM A PRIVATE GARAGE.
- VERTICAL OCCUPANCY SEPARATION: VERTICAL OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE PROVIDED BY MEANS OF A MINIMUM OF 1/2" GYPSUM BOARD APPLIED TO GARAGE SIDE OF WALLS.
- HORIZONTAL OCCUPANCY SEPARATION: HORIZONTAL OCCUPANCY SEPARATION BETWEEN GARAGE AND ATTIC SHALL BE PROVIDED BY MEANS OF A MINIMUM OF 1/2" GYPSUM BOARD. CEILING PROVIDE A PORTION OF THE OCCUPANCY SEPARATION. THE CEILING SUPPORT MEMBERS SHALL BE COVERED OR GLAZED WITH 1/2" GYPSUM BOARD FASTENED TO THE TRUSSES OR CONVENTIONAL FRAMING MEMBERS AT A MAX. OF 24" O.C.
- ACCESSIBLE AREAS UNDER STAIRS: PROVIDE A MINIMUM OF 1/2" GYPSUM BOARD AT ENCLOSED SIDE OF USABLE SPACE UNDER STAIRS.
- IRC ATTIC MOUNTED EQUIPMENT**
- ATTIC FINISHED COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
    - HAVE MINIMUM 27" W/4" OR 30" W/4" ATTIC ACCESS WITHIN 20 FEET OF EQUIPMENT (BASED ON EQUIP. SIZE)
    - OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT
    - HAVE CONTINUOUS 24 INCH WIDE SLOPE FLOOR ACCESS PATH THERETO
    - HAVE AN 80V ELECTRICAL GROUND (LIGHT FIXTURE CONTROLLED BY SWITCH AT THE ACCESS POINT FOR THE FURNACE)
    - HAVE AN 80V LEVEL WORKING PLATFORM WITH NON-COMBUSTIBLE FINISH AT CONTROL SIDE FROM IRC.
    - PROVIDE WATER TIGHT PAN BENEATH THE EQUIPMENT WITH A 3/4" IN. DRAINAGE DRAIN.
- IRC STAIR TREADS AND RISERS**
- THE MAXIMUM RISER HEIGHT SHALL BE 7 1/4" & THE MINIMUM TREAD DEPTH SHALL BE 11". THE RISER HEIGHT IS TO BE MEASURED VERTICALLY FROM LEADING EDGES OF THE ADJACENT TREADS. THE TREADS SHALL BE MEASURED PARALLEL TO THE VERTICAL PLANE OF THE FOREPOST PROJECTION OF THE ADJACENT TREADS & AT A RIGHT ANGLE TO THE TREADS LEADING EDGE.
- DRYER VENT NOTE**
- 4" DIA. 8" W/4" THICK SOLID METAL DRYER VENT WITH DRAFT DRYER PROVIDE 1 HOUR FIRE RATED PIPE PENETRATES A FIRE WALL. TOTAL LENGTH MAY NOT EXCEED 40 FT. WITH 1" DIA. 8" W/4" THICK SOLID METAL EXCEEDING ALLOWANCES SHALL BE DETERMINED BY AN NEVADA LICENSED MECHANICAL ENGINEER.
- WATER HEATER NOTE**
- PROVIDE 1/2" W/4" THICK SOLID METAL WATER HEATER VENT WITH DRAFT DRYER PROVIDE 1 HOUR FIRE RATED PIPE PENETRATES A FIRE WALL. TOTAL LENGTH MAY NOT EXCEED 40 FT. WITH 1" DIA. 8" W/4" THICK SOLID METAL EXCEEDING ALLOWANCES SHALL BE DETERMINED BY AN NEVADA LICENSED MECHANICAL ENGINEER.
- FLOOR PLAN KEY NOTES:**
- 2x4 WOOD STUD WALL
  - 2x6 WOOD STUD WALL
  - FLAT SOFFIT W/ TOP 9'-0" AFF. 4' W/4" AFF. OR 8'-0" AFF. 9'-0" AFF. UNLESS OTHERWISE NOTED
  - FLATTERED ARCH SOFFIT W/ TOP 9'-0" AFF. 4' SPRING POINT 9'-0" AFF. 9'-0" AFF. OR TOP 9'-0" AFF. 4' SPRING POINT 9'-0" AFF. 9'-0" AFF. UNLESS OTHERWISE NOTED
  - FULL ARCH SOFFIT W/ TOP OF ARCH 9'-0" AFF. 9'-0" AFF. OR 7'-0" AFF. 9'-0" AFF. UNLESS OTHERWISE NOTED
  - ELLIPTICAL ARCH SOFFIT 9'-0" AFF. OR AS NOTED IN PLAN OR ELEVATION
- SQUARE FOOTAGE**
- |                        |              |
|------------------------|--------------|
| FLOOR PLAN             | 3871 SQ. FT. |
| 3-BAY GARAGE           | 981 SQ. FT.  |
| OPT. 4-BAY GARAGE      | 1284 SQ. FT. |
| OUTDOOR ROOM           | 333 SQ. FT.  |
| PORCH / TOWER AREA 'A' | 149 SQ. FT.  |
| PORCH / TOWER AREA 'B' | 149 SQ. FT.  |
| PORCH / TOWER AREA 'C' | 149 SQ. FT.  |
- INTERIOR ELEVATIONS**
- SEE SHEET 4-1 FOR INTERIOR ELEVATIONS



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**Monte Vista at Mount Rose**

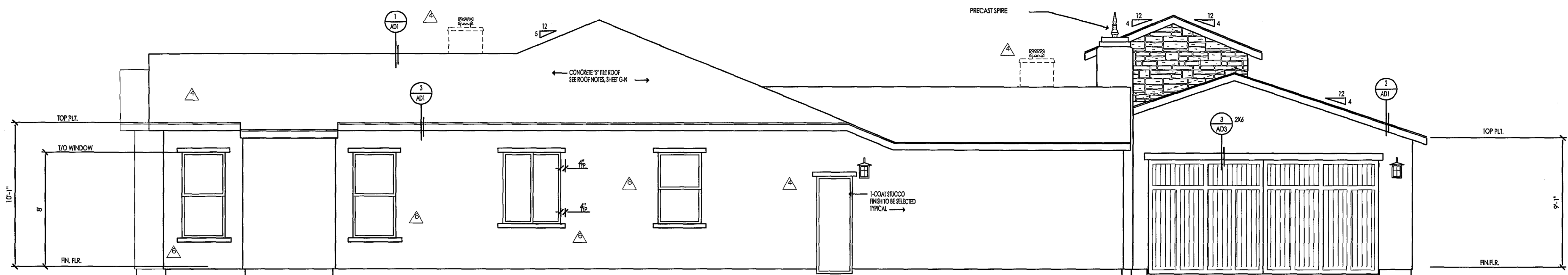


- project no: 02-17-14  
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first issue: 01-09-11
- 03-02-11 CLIENT CHANGES
  - 03-02-11 BUILD. DEPT.
  - 04-11-11 CLIENT CHANGES
  - 07-26-11 CLIENT
  - 08-14-11 2009 IECC
  - 10-07-11 PLAYING WALK
  - 10-21-11 200 CODE
  - 02-11-14 PLAN CHECK

Plan Number  
**FOUR**  
Sheet Number  
**4.12**

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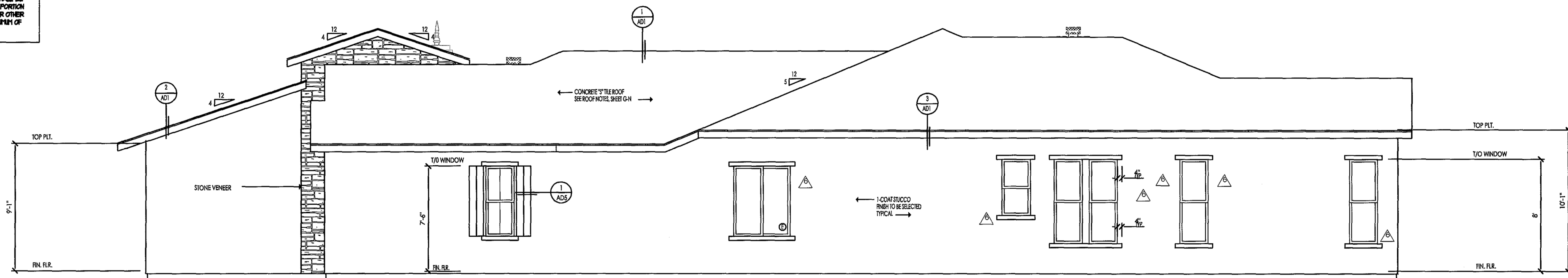
LEFT ELEVATION '4B'

ITALIAN COUNTRY

SCALE 1/4" = 1'-0"

**IRC EMERGENCY BEDROOM EGRESS**

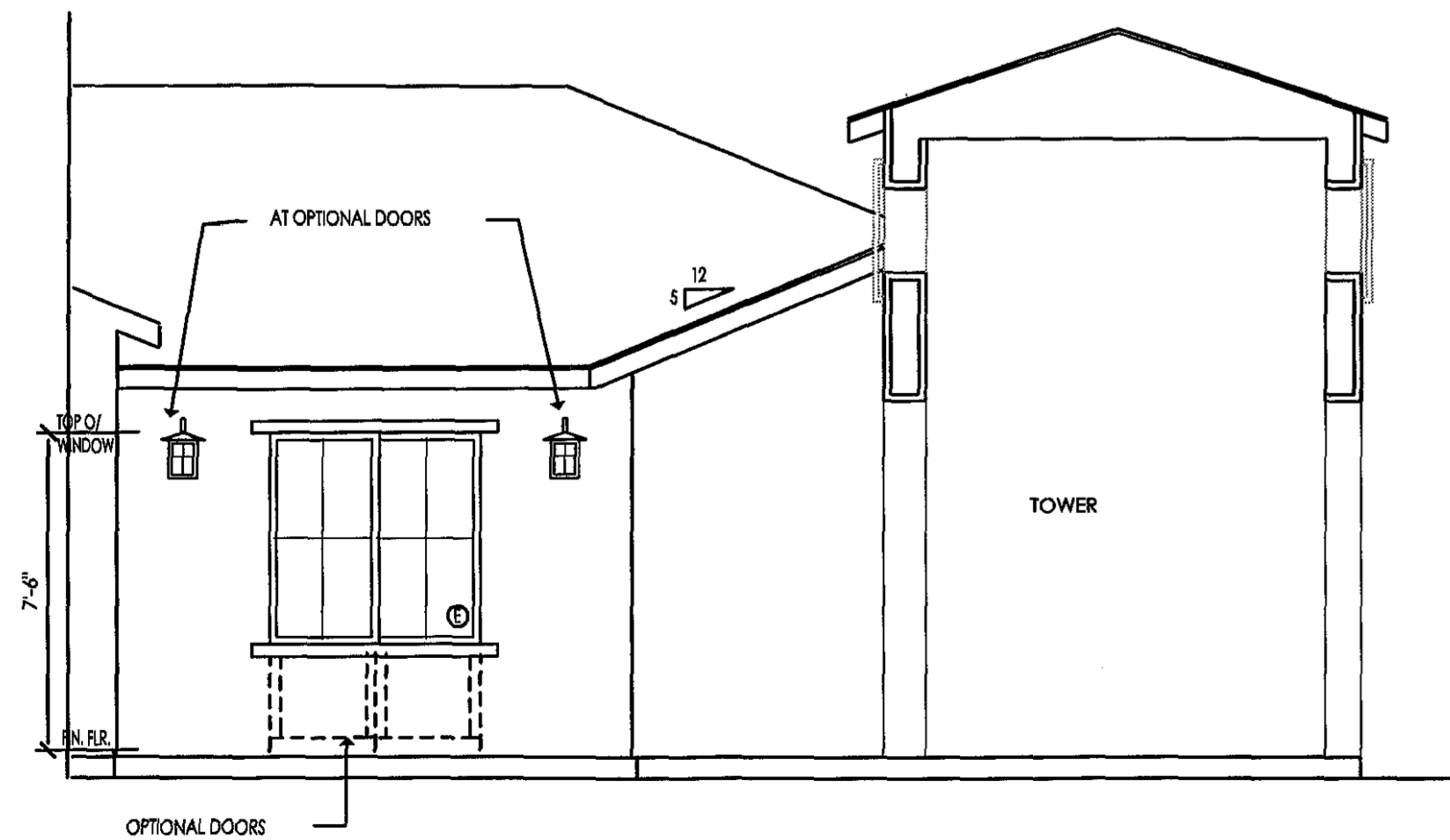
NOTE: EXTERIOR WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE) SHALL BE DESIGNATED FOR EMERGENCY EGRESS & RESCUE. ESCAPE & RESCUE WINDOWS SHALL HAVE A FIN NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE FIN NET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES HIGH AND 20 INCHES WIDE. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES AFF. THESE WINDOWS & ANY BARS, GRILLS OR OTHER DEVICES SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS. IF THE BOLL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 1' FROM AND ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" (609 mm) AFF. OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



RIGHT ELEVATION '4B'

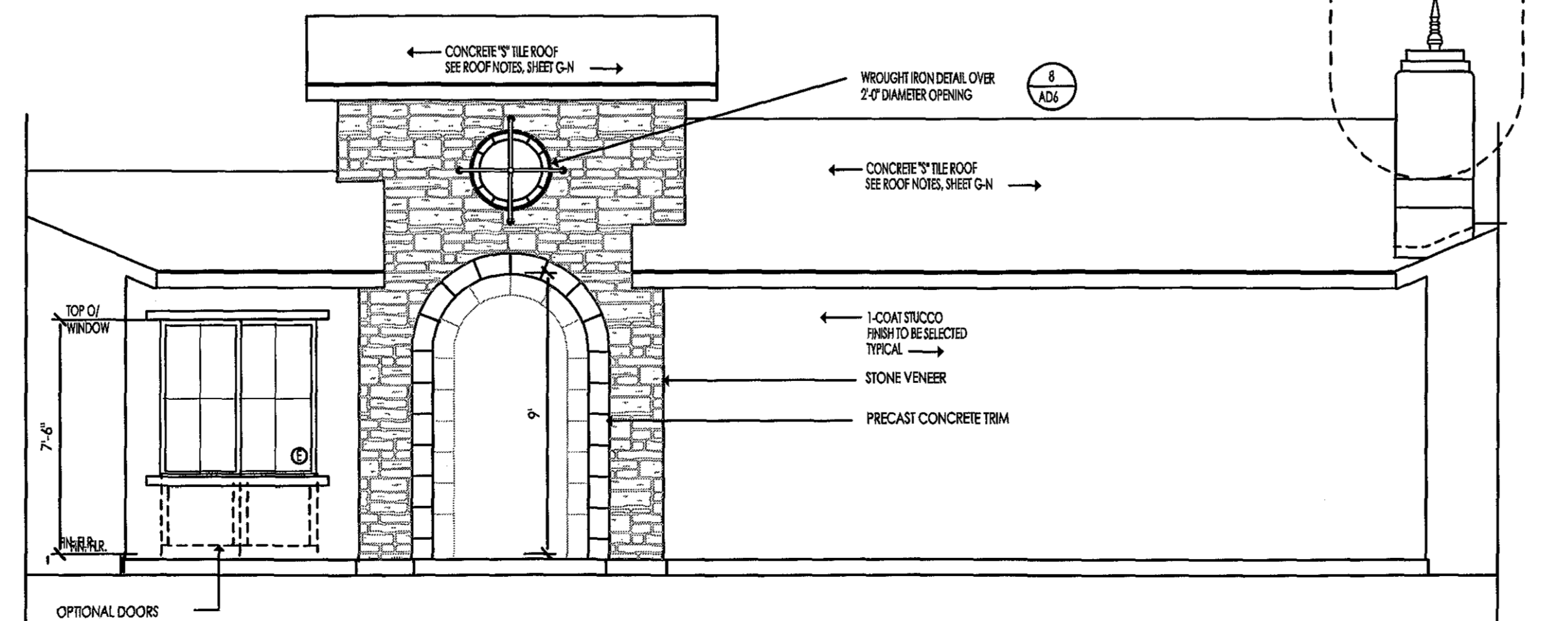
ITALIAN COUNTRY

SCALE 1/4" = 1'-0"



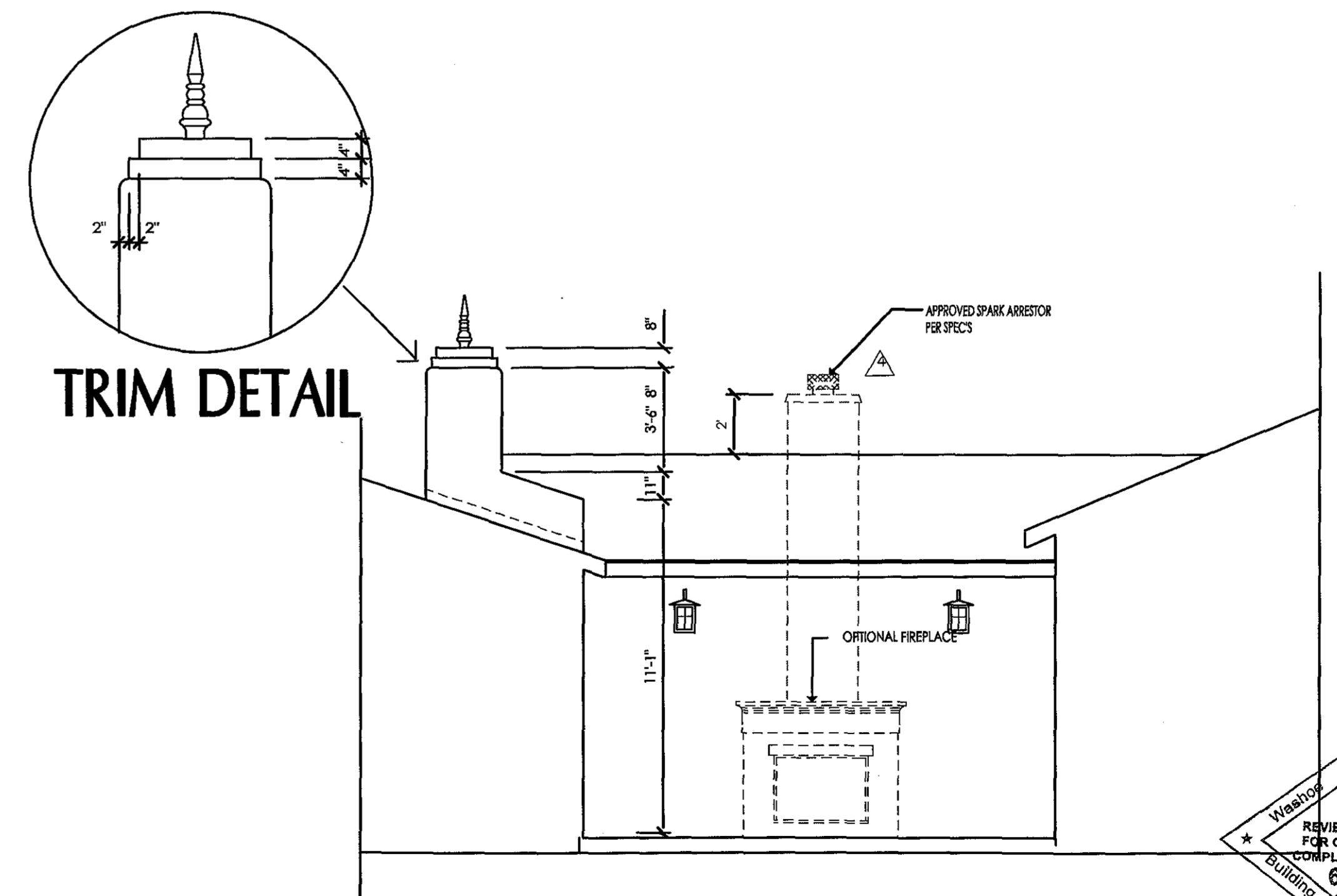
COURTYARD - VIEW THROUGH TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS 1-BAY GAR.

SCALE 1/4" = 1'-0"

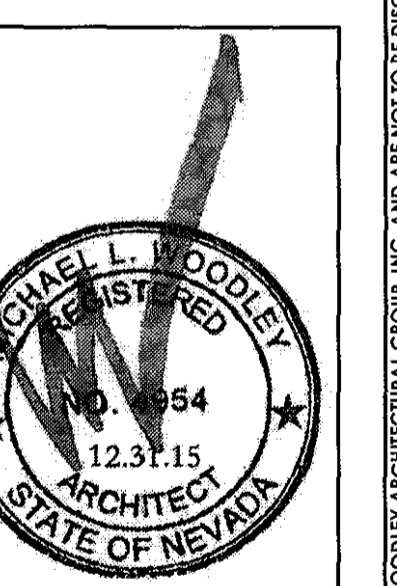
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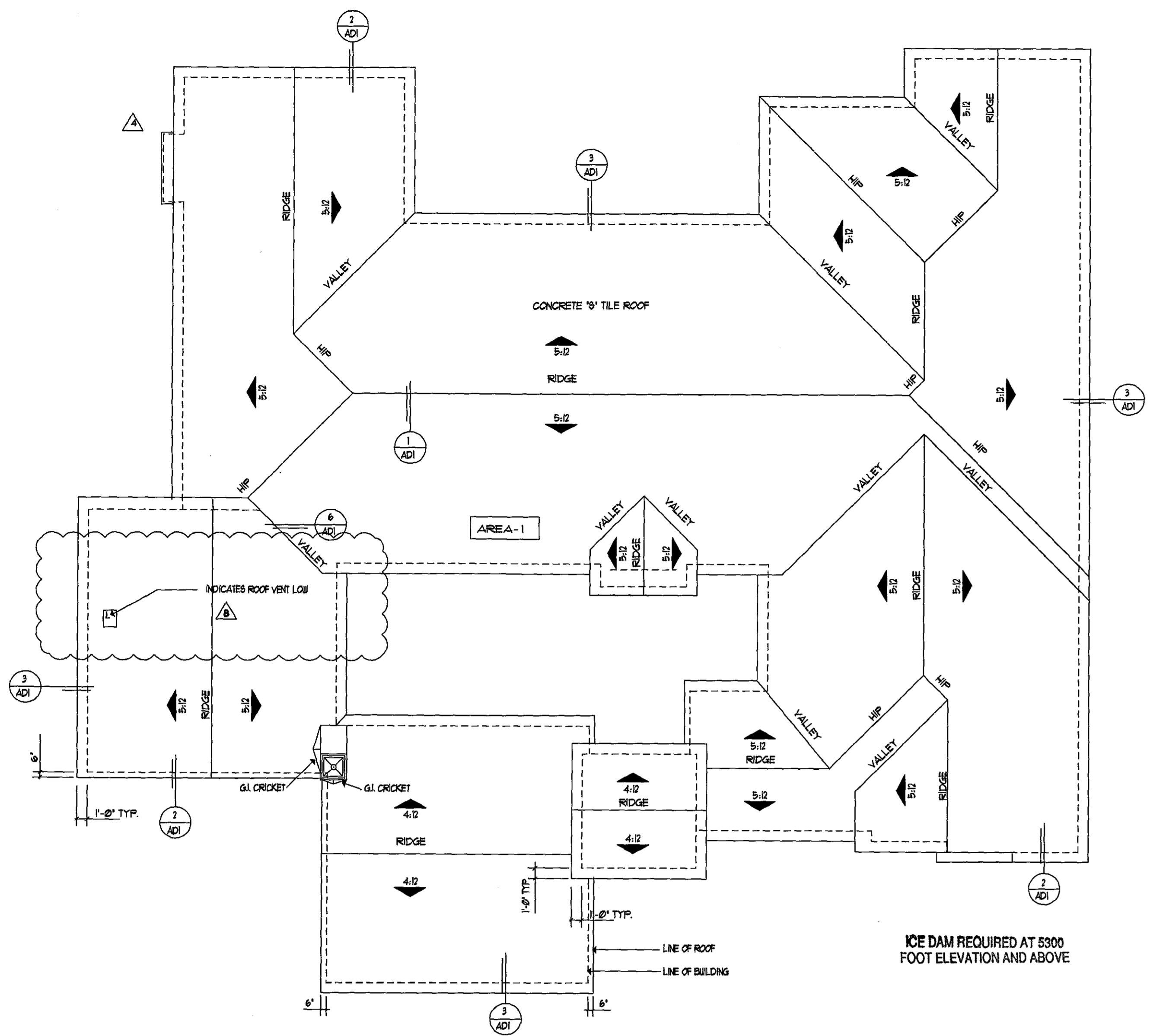
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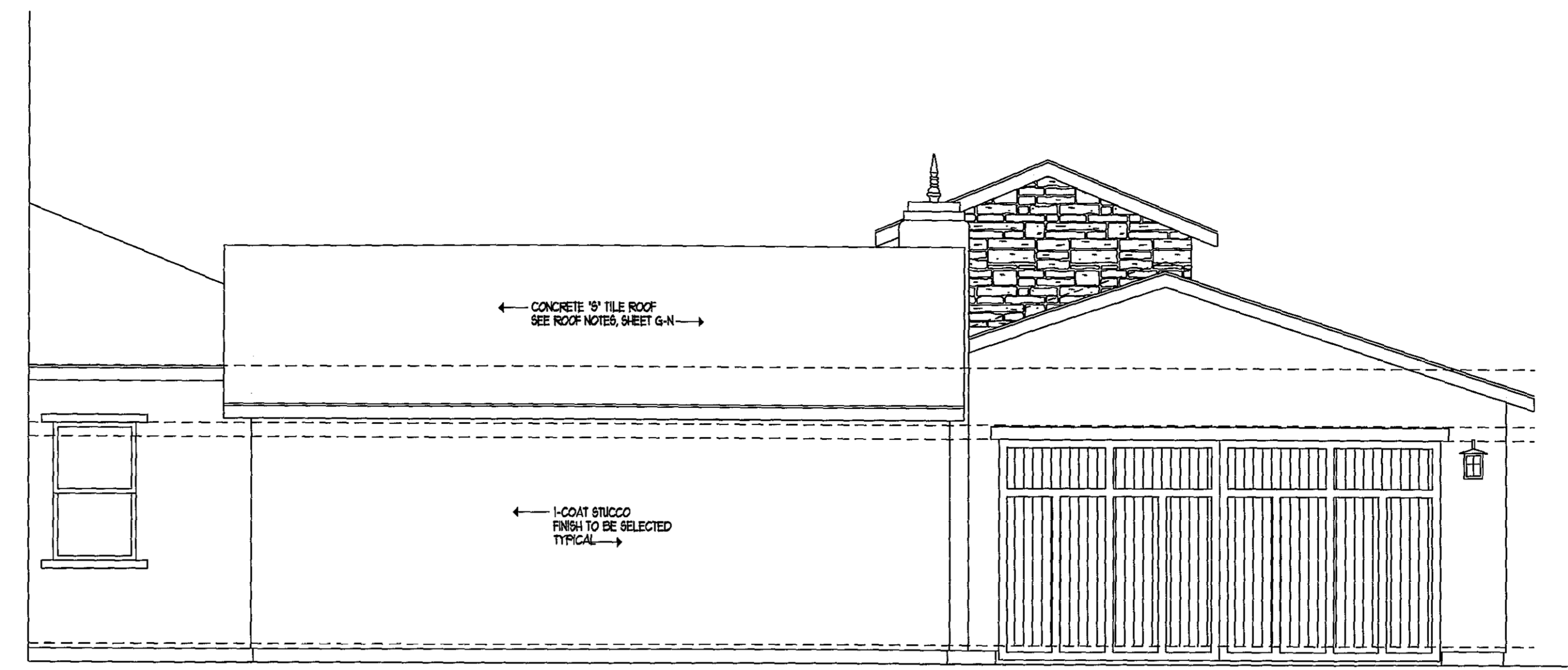
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| 05-29-11     | CLIENT        |
| 08-14-11     | 2009 ECCC     |
| 08-05-11     | FRAMING WALK  |
| 09-21-11     | 2012 CODE     |
| 09-11-14     | PLAN CHECK    |

Plan Number  
**FOUR**  
Sheet Number  
**4.14**

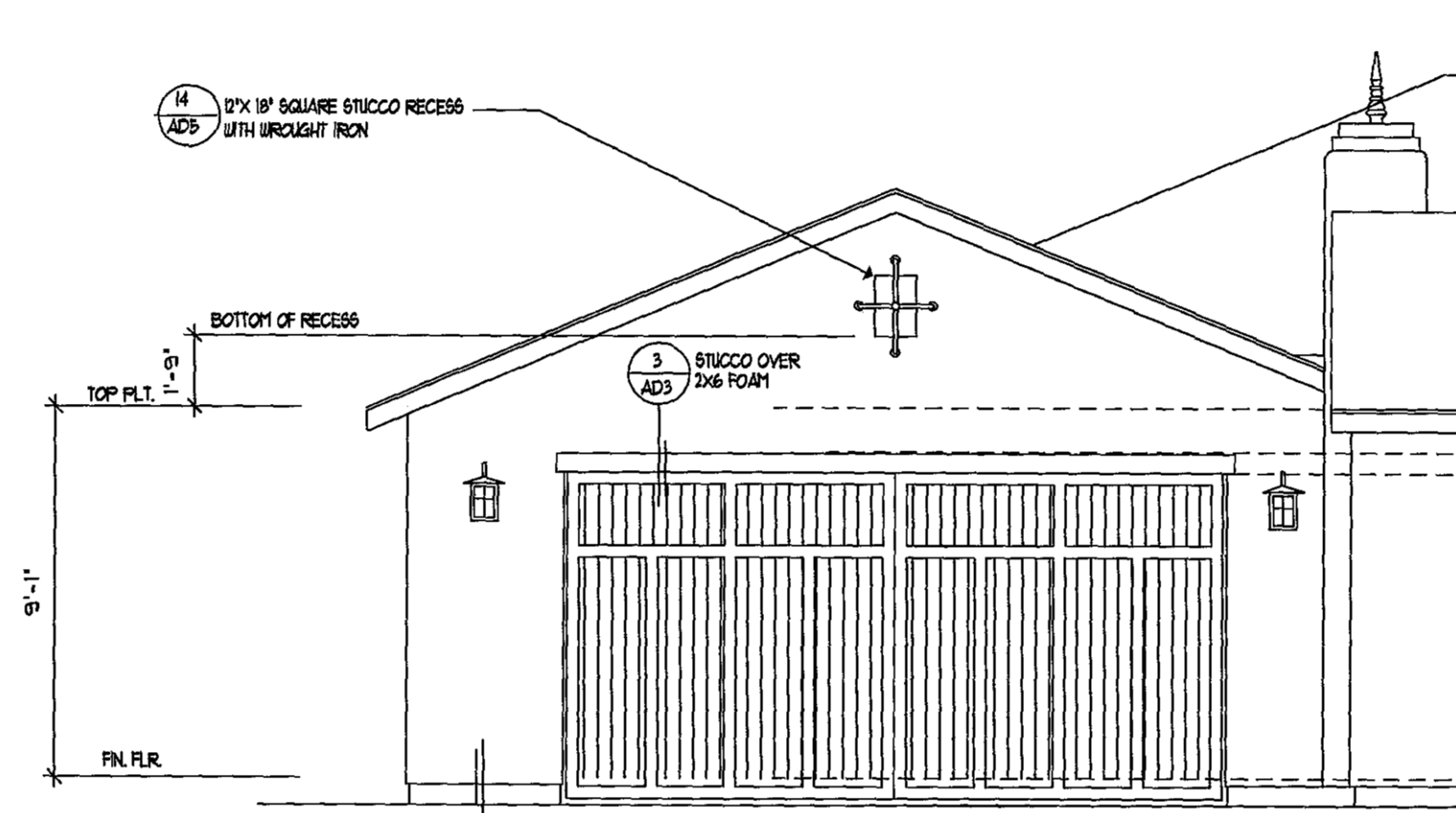
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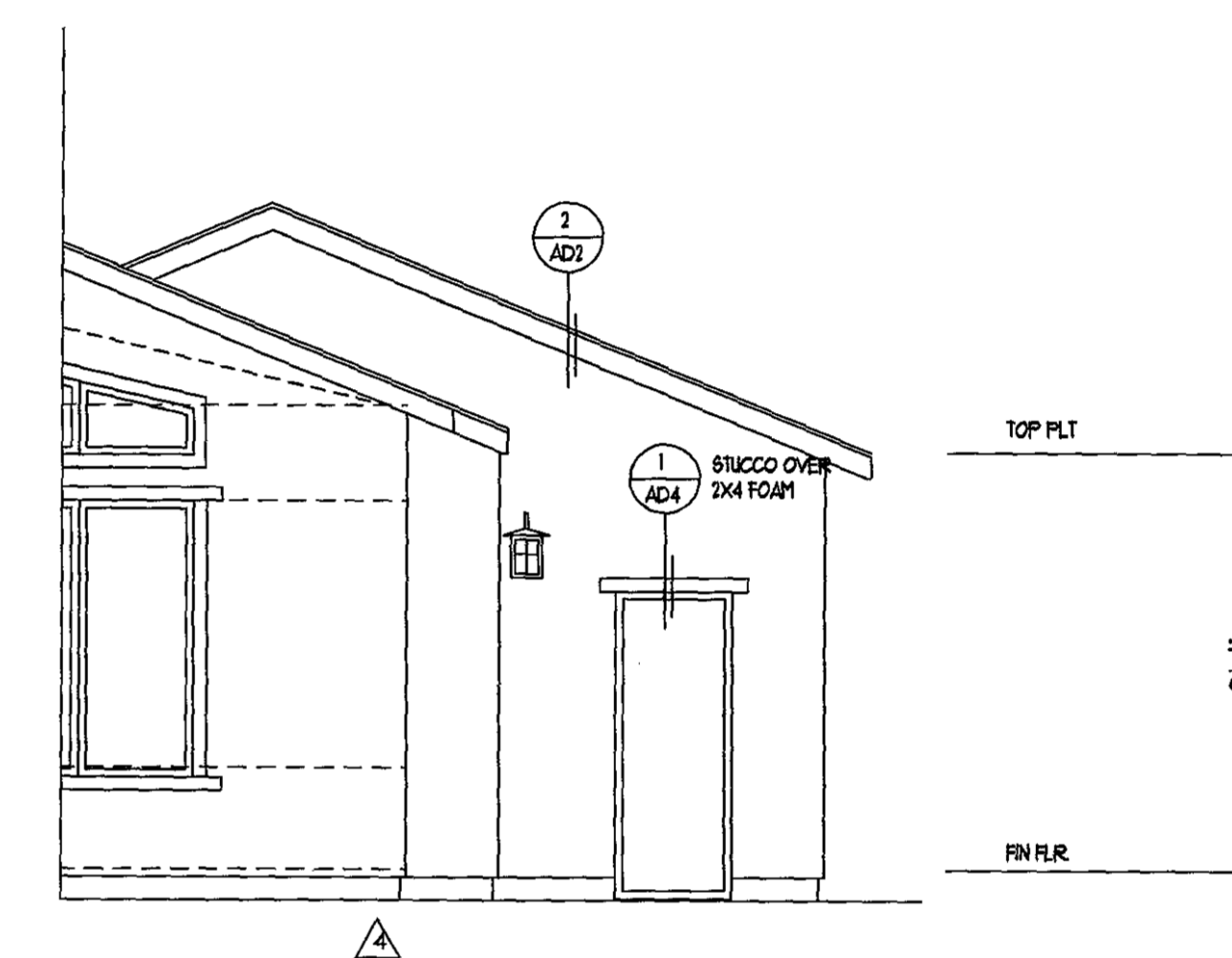
ROOF PLAN AT ELEVATION "B" ITALIAN COUNTRY  
SCALE 1/8" = 1'-0"



PARTIAL LEFT ELEVATION "B" ITALIAN COUNTRY  
SCALE 1/8" = 1'-0"

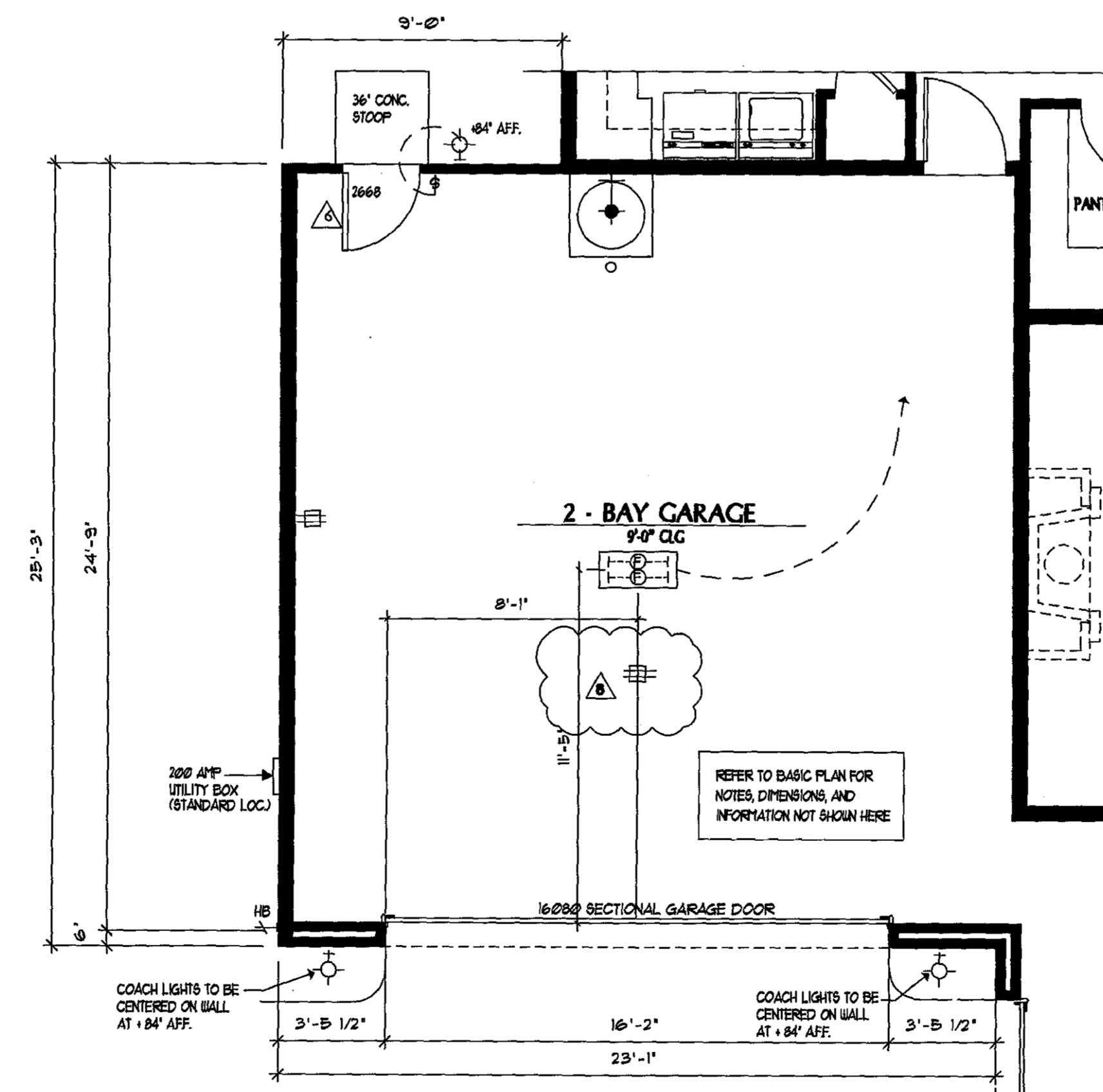


PARTIAL FRONT ELEVATION "B" ITALIAN COUNTRY  
SCALE 1/8" = 1'-0"

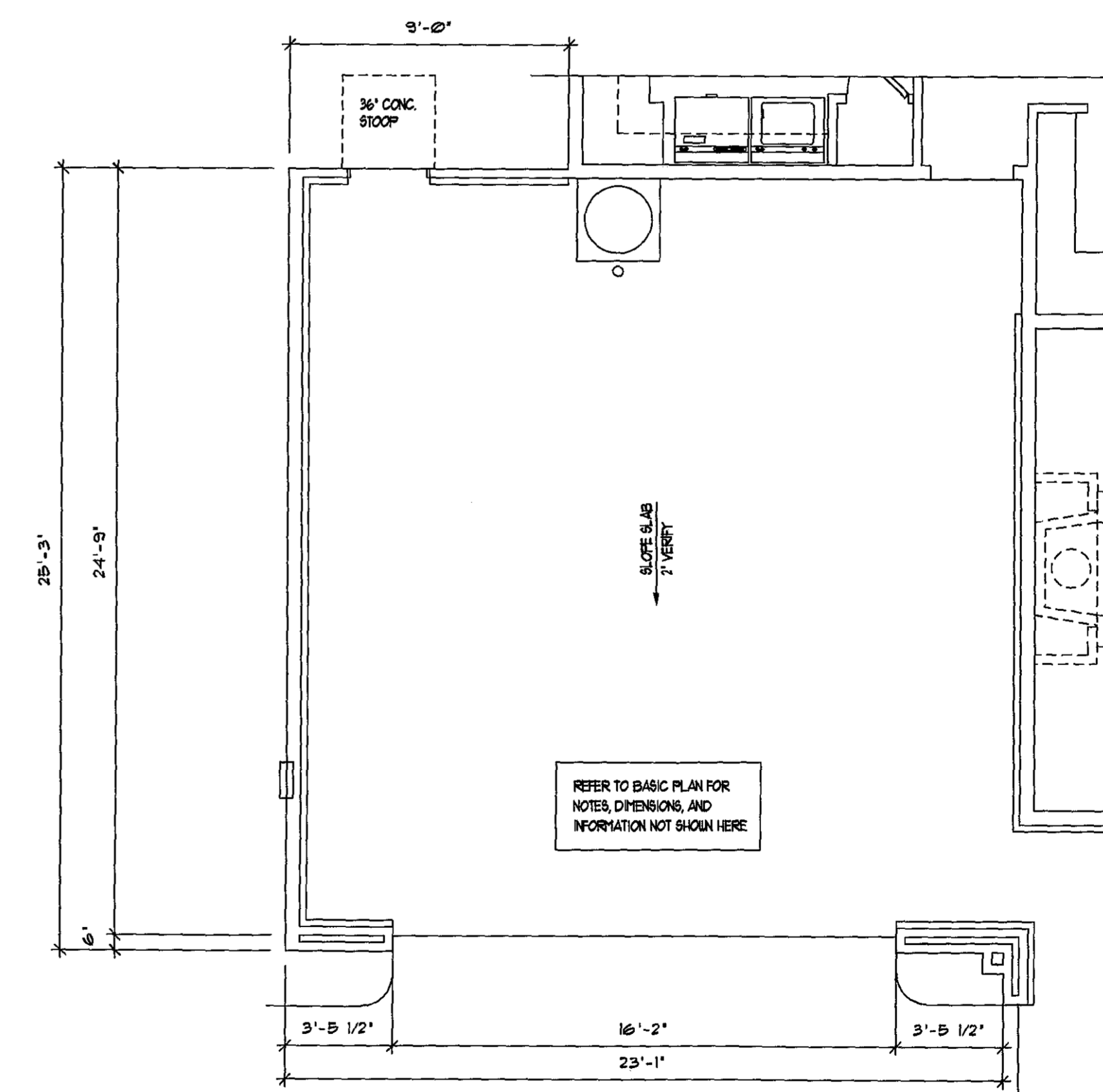


PARTIAL RIGHT ELEVATION "B" ITALIAN COUNTRY  
SCALE 1/8" = 1'-0"

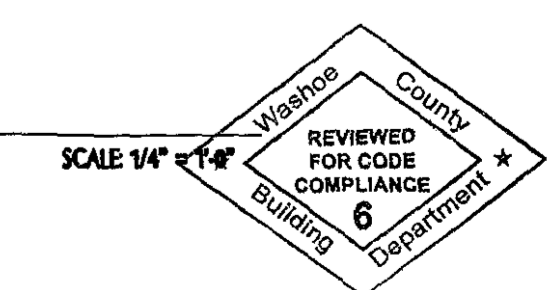
| ROOF VENTILATION CALCULATIONS  | AREA 1  |
|--|---|
| <p>THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/500 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/500 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:</p> <p>1. IN CLIMATE ZONES 6, 7, 4 &amp; 8, A CLASS 1 OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.</p> <p>2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.</p> | <p>REQUIRED:<br/>PLAN FOUR - 1" SQUARE ERICCO / 100 SQ. FT. = 836 SQ. FT. OF REQUIRED VENTILATION</p> <p>SHOWN HIGH VENTILATION PROVIDED HIGH ROOF VENTS: 114 x 41 SQ. FT. EA. = 4686 SQ. FT. (OAGN CLOAKED ROOF VENTS)</p> <p>SHOWN LOW VENTILATION PROVIDED LOW ROOF VENTS: 114 x 41 SQ. FT. EA. = 4686 SQ. FT. (OAGN CLOAKED ROOF VENTS)</p> <p>SHOWN TOTAL:<br/>TOTAL HIGH VENTILATION SHOWN = 4686 SQ. FT. (MIN OF REQUIRED TOTAL)<br/>TOTAL LOW VENTILATION SHOWN = 4686 SQ. FT.<br/>TOTAL VENTILATION SHOWN = 9372 SQ. FT.</p> |
| <p>1. CLOAKED VENT TILE PER MANUFACTURER (OAGN OR SQUAL) 9" TILE ROOF = 41 SQ. FT. FLAT TILE ROOF = 41 SQ. FT. INSTALL WITH ICE COMPLIANT FIRE ICE INERT</p>   | <p>AT ONE BAY GARAGE OPTION, ADD ONE ADDITIONAL LOW OAGN VENT, FIFTEEN TOTAL LOW VENTS</p>  |



OPT. 2 - BAY GARAGE ELEVATION 4B



OPT. 2 - BAY GARAGE FOUNDATION ELEVATION 4B



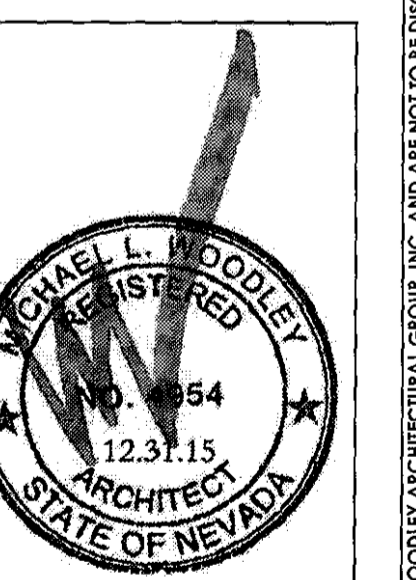
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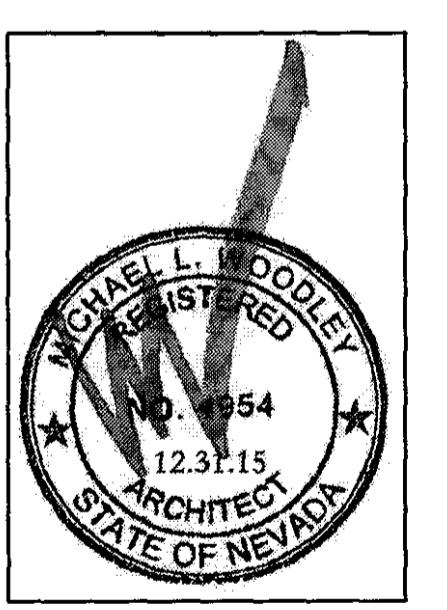
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Monte Vista at Mount Rose



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03-02-11 CLIENT CHANGE  
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08-02-12 FRAMING WALK  
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02-11-14 PLAN CHECK

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**FOUR**  
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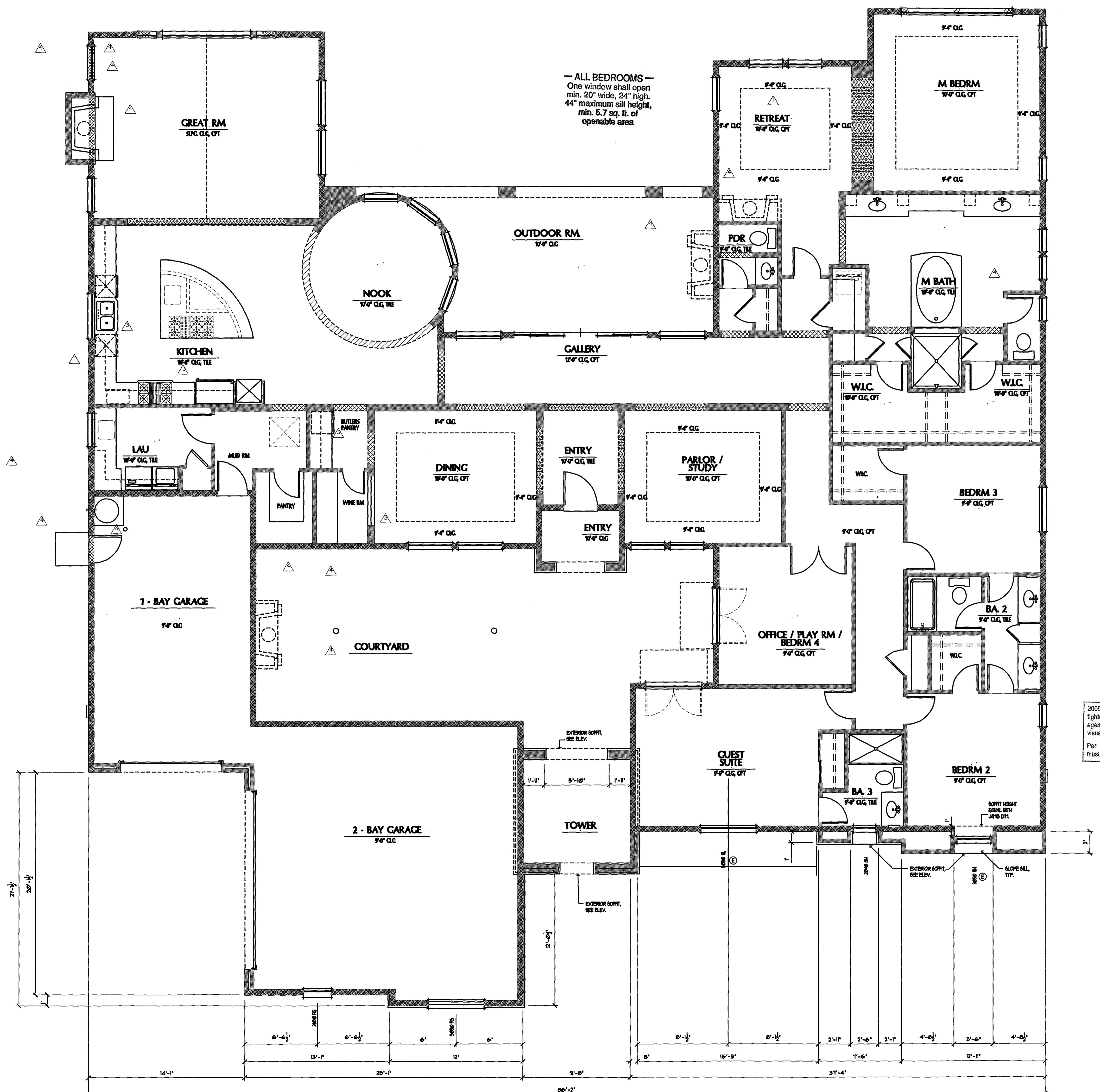
project no: \_\_\_\_\_  
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| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2012 CODE      |
| 02-11-14 | PLAN CHECK     |

Plan Number  
**FOUR**

Sheet Number  
**4.16**

|  |
|--|
| <b>IRC EMERGENCY BEDROOM EGRESS</b>  |
| NOTE: EXTERIOR WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW OR OTHER OPENING FOR EMERGENCY EGRESS. THESE WINDOWS OR OTHER OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE. THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" AFF. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FEET. THE WINDOW OPENING HEIGHT SHALL BE 20" THE WINDOW OPENING WIDTH SHALL BE 20". THESE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS.   |
| <b>IRC GLAZING &amp; WINDOW NOTES</b>  |
| 1. ALL GLAZING SHALL COMPLY WITH IRC.<br>2. GLAZING SUBJECT TO IMPACT SHALL COMPLY WITH IRC.<br>3. GLAZED AREAS REQUIRING SAFETY: GLAZING SHALL BE IDENTIFIED ON THE DRAWINGS WITH THE WORD "REFFERED" OR "IMP".<br>4. ALL GLAZING SHALL BE DUAL PANE INSULATING GLASS UNITS.  |
| <b>IRC OCCUPANCY SEPARATION NOTES</b>  |
| OPENING PROTECTION:<br>GARAGES THAT HAVE AN OPENING DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK OR 2 1/2" MIN. F.P.R. DOORS EACH EQUIPPED WITH A SELF-CLOSING MECHANISM FROM A PRIVATE GARAGE.  |
| VERTICAL SEPARATION:<br>VERTICAL OCCUPANCY SEPARATION BETWEEN GARAGE AND HOME SHALL BE PROVIDED BY MEANS OF A MINIMUM OF 1" GYP BOARD APPLIED TO GARAGE SIDE OF WALLS.   |
| HORIZONTAL SEPARATION:<br>HORIZONTAL OCCUPANCY SEPARATION BETWEEN GARAGE AND ATTIC SHALL BE PROVIDED BY MEANS OF A MINIMUM OF 1" GYP BOARD APPLIED TO GARAGE SIDE OF CEILING. CEILING SHALL PROVIDE A PORTION OF THE OCCUPANCY SEPARATION. THE CEILING SUPPORTING MEMBERS SHALL BE COVERED BY ONE LAYER OF 5/8" TYPE 'X' GYP BOARD FASTENED TO THE TRUSS OR CONVENTIONAL FRAMING MEMBERS SPACE A MAX. OF 24" O.C.  |
| ACCESSIBLE AREAS UNDER STAIRS:<br>PROVIDE A MINIMUM OF 1" GYP BOARD AT ENCLOSED SIDE OF USABLE SPACE UNDER STAIRS.   |
| <b>IRC ATTIC MOUNTED EQUIPMENT</b>   |
| ATTIC FURNACE & COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:<br>1. HAVE MINIMUM 27" O.P. OR 30" O.P. ATTIC ACCESS WITHIN 50 FEET OF EQUIPMENT. (BASED ON STAIR RISE)<br>2. OPENING SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT<br>3. HAVE CONTINUOUS 3/4" NCH SIDE SLOPED FLOOR ACCESS PATH NEEDED<br>4. HAVE AN INV. ELECTRICAL OUTLET & LIGHT FIXTURE CONTROLLED BY SWITCH AT THE ACCESS POINT FOR THE FURNACE<br>5. HAVE AN INCH DEEP LEVEL BOWING PLATFORM WITH NON-COMBUSTIBLE FURNACE AT CONTROL SIDE PER IRC.<br>6. PROVIDE WATERIGHT PAN BENEATH THE EQUIPMENT WITH A 3/4" IN. DISCHARGE DRAIN. |
| <b>IRC STAIR TREADS AND RISERS</b>   |
| THE MAXIMUM RISER HEIGHT SHALL BE 3/4" & THE MINIMUM TREAD DEPTH SHALL BE 10". THE RISER HEIGHT IS TO BE MEASURED VERTICALLY FROM LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY WITH THE VERTICAL PLANES OF THE FOREFOOT PROJECTION OF THE ADJACENT TREADS & AT A RIGHT ANGLE TO THE TREAD LEADING EDGE.  |
| <b>DRYER VENT NOTE</b>   |
| IF DIA. EXHAUST 3/4" THICK ACID METAL DRYER VENT WITH BACK DRAFT DAMPER. PROVIDE 1 HOUR FIRE RATED PIPE PENETRATES A FIRE WALL. TOTAL LENGTH MAY NOT EXCEED 4 FT. IF 1" DIA. EXHAUST ELONG DUCT LENGTH EXCEEDING ALLOWANCES SHALL BE DESIGNED BY AN NEVADA LICENSED MECHANICAL ENGINEER.   |
| <b>WATER HEATER NOTE</b>   |
| PROVIDE 1" HIGH WOOD FRAMED PLATFORM FOR WATER HEATER. PROVIDE AIR AND TEMPERATURE PRESERVE RES. VALVE FOR WATER HEATER. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE NEVADA CODES.  |
| <b>FLOOR PLAN KEY NOTES:</b>   |
| 2x4 WOOD STUD WALL   |
| 2x6 WOOD STUD WALL   |
| FLAT SLOTTED ARCH SOFFIT W/ TOP = 3'-0" AFF. @ 12'-0" PL. OR 3'-0" AFF. @ 9'-0" PL. UNLESS OTHERWISE NOTED   |
| FLATTENED ARCH SOFFIT W/ TOP = 3'-0" AFF. @ 12'-0" AFF. @ SPRING POINT = 3'-0" AFF. @ 9'-0" AFF. @ TOP = 8'-0" AFF. @ SPRING POINT = 1'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. UNLESS OTHERWISE NOTED   |
| FULL ARCH SOFFIT W/ TOP OF ARCH = 9'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. UNLESS OTHERWISE NOTED  |
| ELLIPTICAL ARCH SOFFIT = 9'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. @ 9'-0" AFF. UNLESS OTHERWISE NOTED  |
| <b>SQUARE FOOTAGE</b>  |
| FLOOR PLAN: 9511 SQ. FT.   |
| 3-BAY GARAGE: 981 SQ. FT.  |
| OPT. 4-BAY GARAGE: 1204 SQ. FT.  |
| OUTDOOR ROOM: 333 SQ. FT.  |
| PORCH / TOWER AREA 'A': 149 SQ. FT.  |
| PORCH / TOWER AREA 'B': 149 SQ. FT.  |
| PORCH / TOWER AREA 'C': 149 SQ. FT.  |
| <b>INTERIOR ELEVATIONS</b>   |
| SEE SHEET 4-1 FOR INTERIOR ELEVATIONS  |

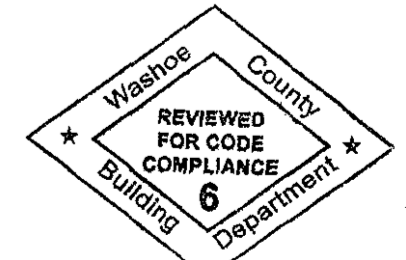


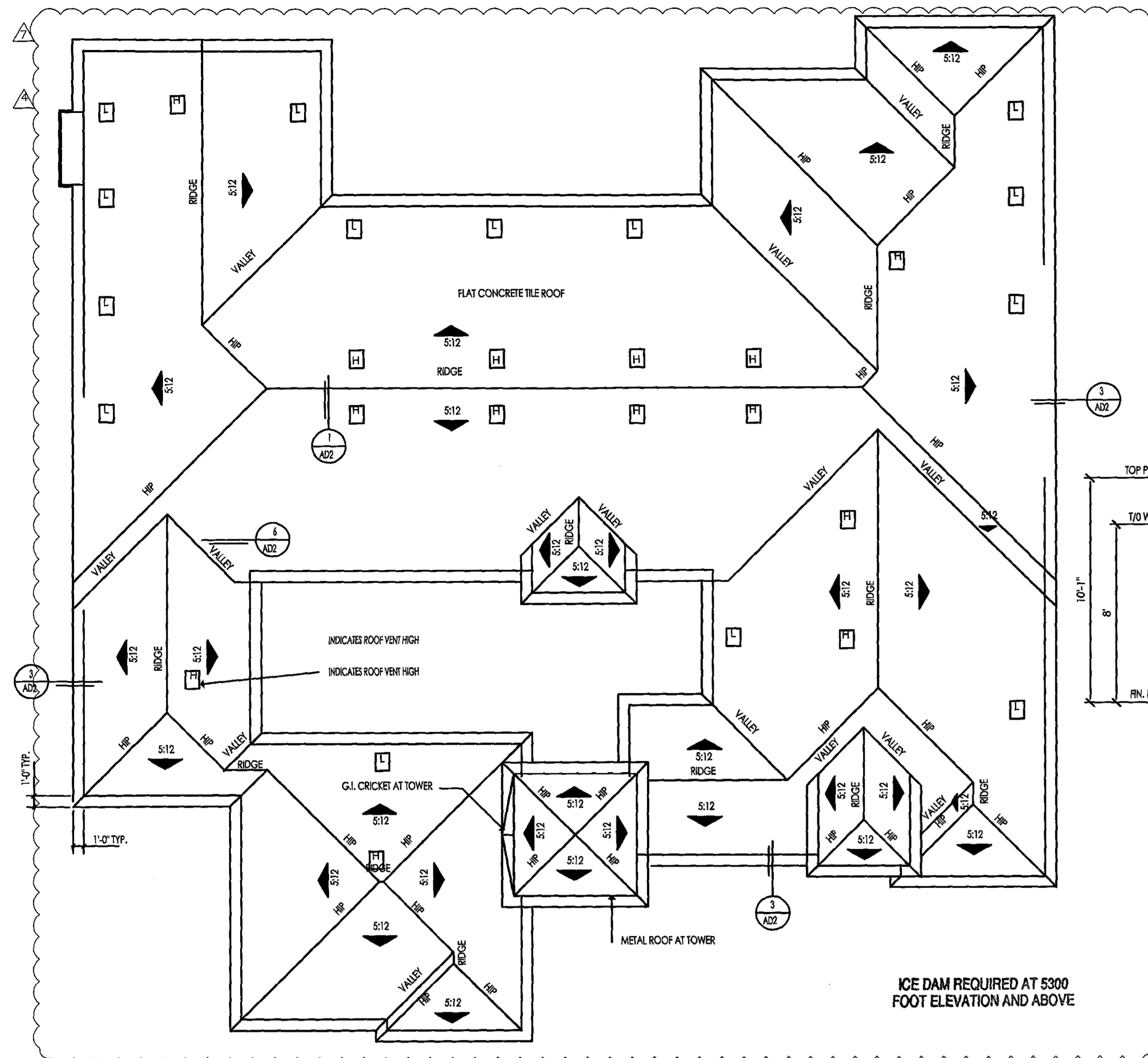
FLOOR PLAN - ELEVATION '4C'

HIGH COUNTRY RANCH

REFER TO BASIC PLAN FOR NOTES, DIMENSIONS, AND INFORMATION NOT SHOWN HERE

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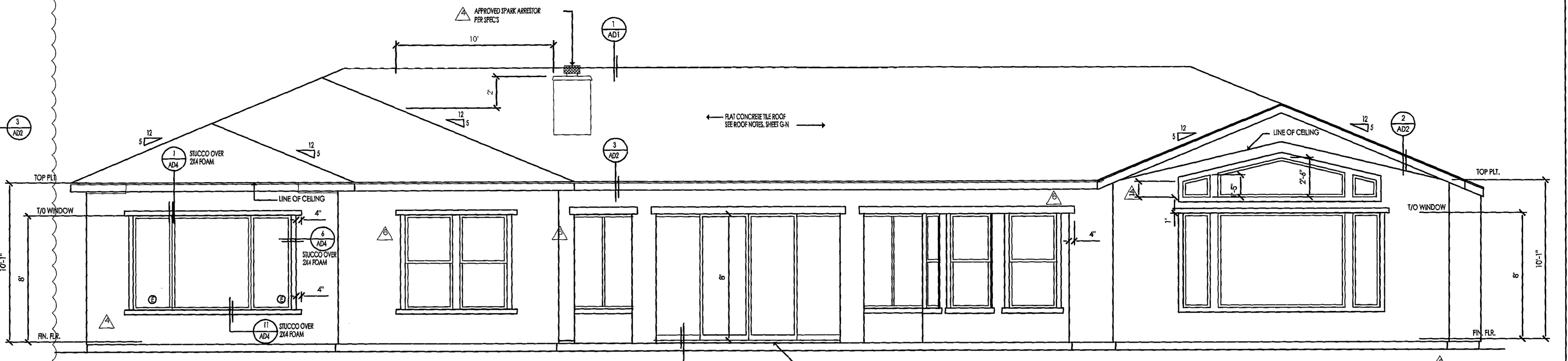




**ROOF PLAN AT ELEVATION "C" HIGH COUNTRY RANCH**  
SCALE 1/4" = 1'-0"

| ROOF VENTILATION CALCULATIONS   | AREA 1  |
|---|---|
| <p>THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE.</p> <p>EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:</p> <ol style="list-style-type: none"> <li>IN CLIMATE ZONES 4, 7, 8 &amp; A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARMER IN WINTER SIDE OF THE CEILING.</li> <li>AT LEAST 40 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.</li> </ol> | <p>REQUIRED: FLAT ROOF - 1" MIN SOFT / 1,000 SQ FT + 1/323 SQ FT OF REQUIRED VENTILATION</p> <p>MINIMUM HIGH VENTILATION PROVIDED HIGH ROOF VENTS = 14.4 AT 60 FT EA + 130 SQ FT. (MINIMUM CLOSED ROOF VENTS)</p> <p>MINIMUM LOW VENTILATION PROVIDED LOW ROOF VENTS = 14.4 AT 60 FT EA + 130 SQ FT. (MINIMUM CLOSED ROOF VENTS)</p> <p>MINIMUM TOTAL HIGH VENTILATION SHOWN = 130 SQ FT. (AS OF REQUIRED TOTAL)</p> <p>MINIMUM TOTAL LOW VENTILATION SHOWN = 130 SQ FT. (AS OF REQUIRED TOTAL)</p> <p>MINIMUM TOTAL VENTILATION SHOWN = 130 SQ FT.</p> |
| <ol style="list-style-type: none"> <li>CLOSED VENT TILE PER MANUFACTURER (EVEN OR EQUAL) TILE ROOF = 1/323</li> <li>FLAT TILE ROOF = 1/323</li> <li>METAL WITH NO CORRUPT FIRE 4 ICE INERT</li> </ol>   |   |

- ROOF PLAN NOTES**
- THE CONTRACTOR RESPONSIBLE FOR FABRICATION & INSTALLATION OF GUTTERS & DOWNSPOUTS SHALL SUBMIT SHOP DRAWINGS CONSISTING OF ROOF PLANS, ELEVATIONS & DETAILS OUTLINE THE ENTIRE GUTTER & DOWNSPOUT SYSTEM TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION TO COMPLY WITH UIC.
  - DOWNSPOUTS SHALL BE TIED INTO AREA DRAINS, SEE PRECISE GRADING PLAN.
  - ALL DOWNSPOUTS SHALL BE HIDDEN TO THE BEST EXTENT POSSIBLE.
  - THE TRUSS MANUFACTURER SHALL ALLOW FOR SERVICE ACCESS TO THE ATTIC MOUNTED FORCED AIR UNITS.
  - CLOSED TILE VENTS AND DOWNER VENTS SHALL BE LOCATED NO CLOSER THAN 3 TILE COURSES UP FROM THE EAVE OR 7 TILE COURSES AWAY FROM RIDGES, HPs OR VALLEYS.
  - CARPENTER SHALL LOCATE AND CUT OPENINGS IN ROOF SHEATHING FOR ALL DOWNER & CLOAK TILE VENTS AS WELL AS HOLES REQUIRED FOR CROSS VENTILATION BETWEEN ATTIC SPACES. LOCATIONS ON ROOF PLANS ARE ONLY FOR COAT.
  - DOWNER & CLOAKED TILE VENTS SHALL BE SET AT A SLIGHT ANGLE TO PREVENT BACKING OF WATER.
- IRC ATTIC MOUNTED EQUIPMENT**
- ATTIC FURNACES & COOLING EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
- HAVE MINIMUM 22"x30" OR 30"x30" ATTIC ACCESS WITHIN 20 FEET OF EQUIPMENT. (BASED ON EQUIP. SIZE)
  - OPENINGS SHALL BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT
  - HAVE CONTINUOUS 24 INCH WIDE SOLID FLOOR ACCESS PATH THERE TO
  - HAVE AN 10V ELECTRICAL OUTLET & LIGHT FIXTURE CONTROLLED BY SWITCH AT THE ACCESS POINT FOR THE FURNACE
  - HAVE 30 INCH DEEP LEVEL WORKING PLATFORM W/ NON-COMBUSTIBLE FINISH AT CONTROL SIDE PER UIC.
  - CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE PER UIC.
  - 30" MIN CLEARANCE ABOVE FURNACE PLATFORM FOR FURNACE INSTALLATION.



**REAR ELEVATION '4C' HIGH COUNTRY RANCH**  
SCALE 1/4" = 1'-0"

**IRC EMERGENCY BEDROOM EGRESS**

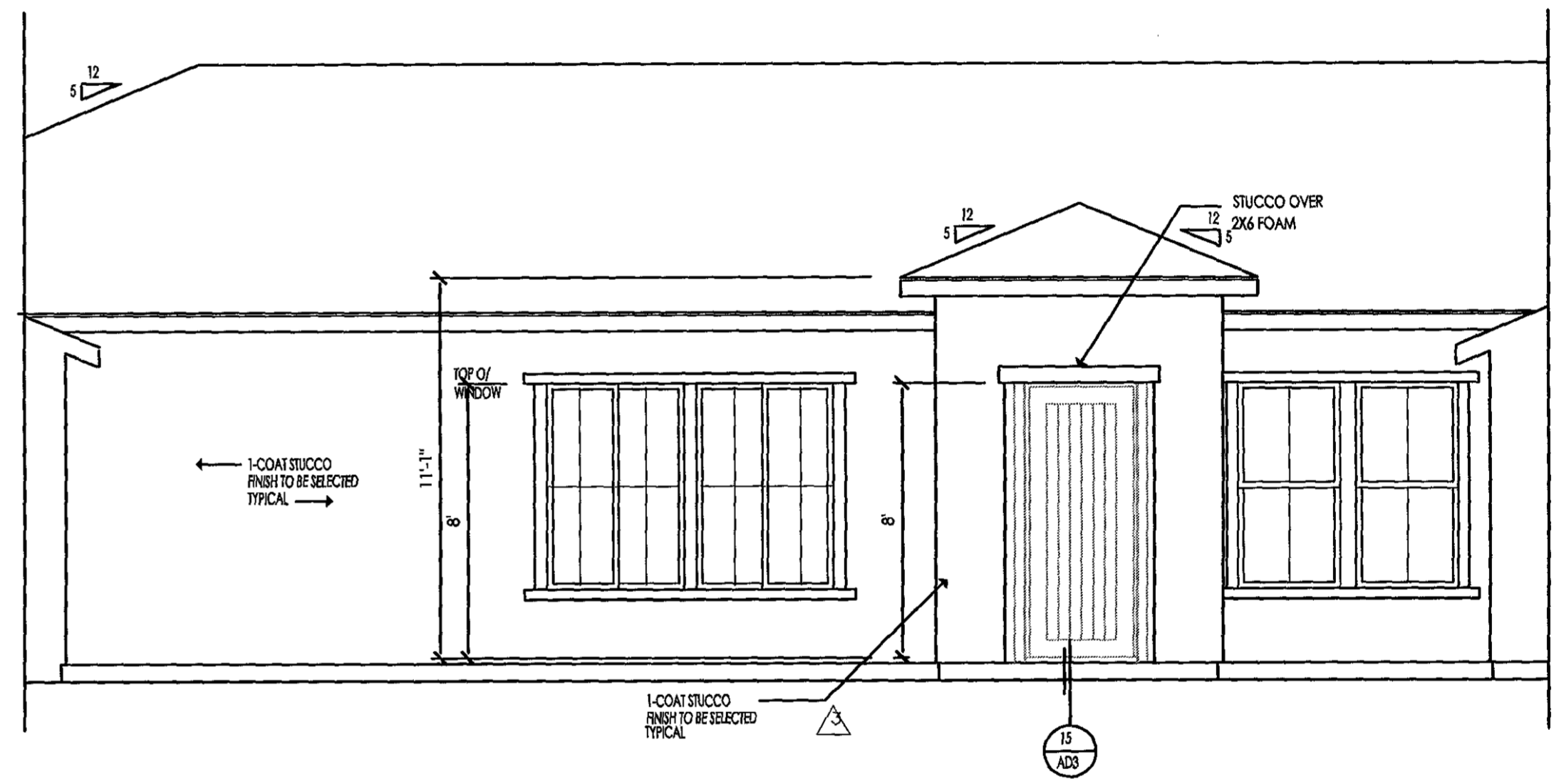
NOTE: EXTERIOR WINDOWS LABELED WITH AN (E) SYMBOL (EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE) SHALL BE DESIGNATED FOR EMERGENCY EGRESS & RESCUE. ESCAPE & RESCUE WINDOWS SHALL HAVE A MIN NET CLEAR OPENING AREA OF 5.7 SQ FT. THE MIN NET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES HIGH AND 20 INCHES WIDE. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES AFS. THESE WINDOWS & ANY SHUTTERS, GRILLS OR OTHER OPENING DEVICES SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS. IF THE FULL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" (680 mm) ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A FINISH OF 24" (610 mm) AFF. OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

**WILDLAND-URBAN INTERFACE**

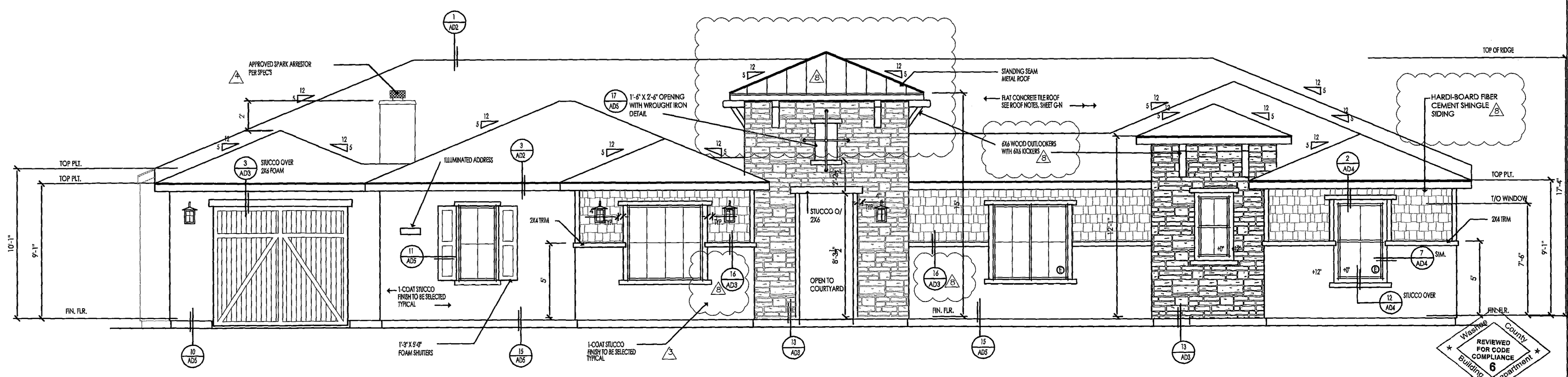
- ROOF COVERINGS SHALL BE FIRESTOPPED TO PRECLUDE THE ENTRY OF FLAMES OR EXPLOSION OR HAVE ONE LAYER OF 1/2-INCH MINERAL SURFACED, NON-PERFORATED CAP SHEET.
- COMBUSTIBLE SHEDS, TAGS AND SORTS SHALL BE ENCLOSED WITH SOLID MATERIALS WITH A MINIMUM THICKNESS OF 3/4 INCH. NO EXPOSED RAFTER TAILS ALLOWED.
- GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED HEAD TO PREVENT THE ACCUMULATION OF LEAVES AND OTHERS IN THE GUTTER.
- EXTERIOR WALLS OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED WITH APPROVED MATERIALS. WHICH INCLUDE APPROVED NON-COMBUSTIBLE MATERIALS OR IGNITION-RESISTANT MATERIALS.
- EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND ENCLOSURES SHALL BE TOPPED WITH GLASS, POLYETHYLENE GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION. SOLID DOOR SHOULD NOT LESS THAN 1 3/4 INCHES THICK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

EXCEPTION: VEHICLE ACCESS DOORS

1. LATTICE VENTILATION OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS NOT TO EXCEED 1/4 INCH OR SHALL BE DESIGNED TO PREVENT FLAME OR OTHER PENETRATION. ATTIC VENTILATION SHALL NOT BE LOCATED IN EAVES, IN EAVE OVERHANGS, BETWEEN RAFTERS AT EAVES OR IN OTHER OVERHANG AREAS. GABLE END AND DOWNER VENTS SHALL BE LOCATED AT LEAST 18 FEET FROM LOT LINE.



**COURTYARD - VIEW TOWARDS ENTRY DOOR**  
SCALE 1/4" = 1'-0"



**FRONT ELEVATION '4C' HIGH COUNTRY RANCH**  
SCALE 1/4" = 1'-0"

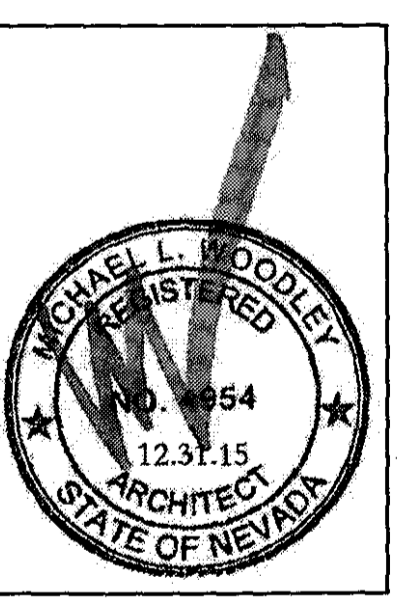
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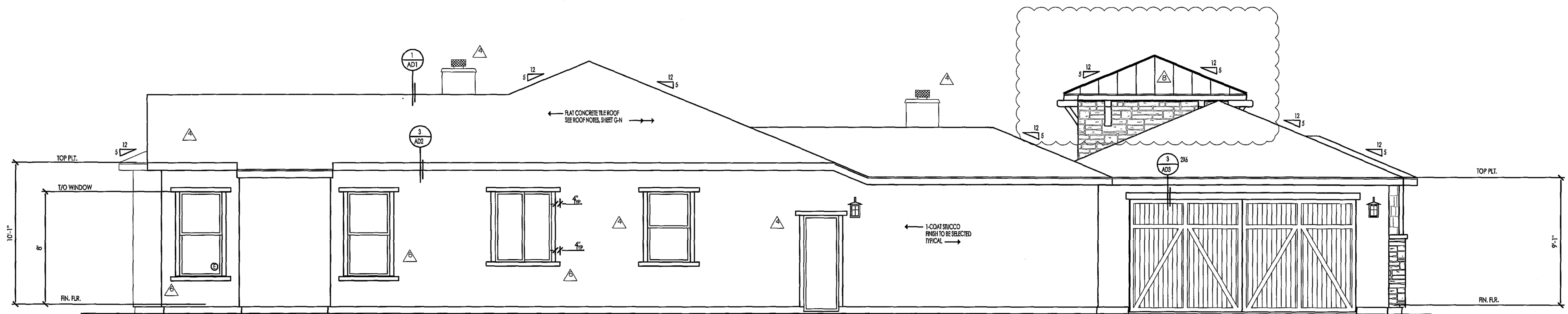
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| 03-02-11 | CLIENT CHANGES |
| 03-02-11 | BUILD. DEPT.   |
| 04-11-11 | CLIENT CHANGES |
| 02-28-11 | CLIENT         |
| 09-14-11 | 2009 EGC       |
| 10-02-11 | FRAMING WALK   |
| 10-21-11 | 2010 CODE      |
| 02-11-11 | PLAN CHECK     |

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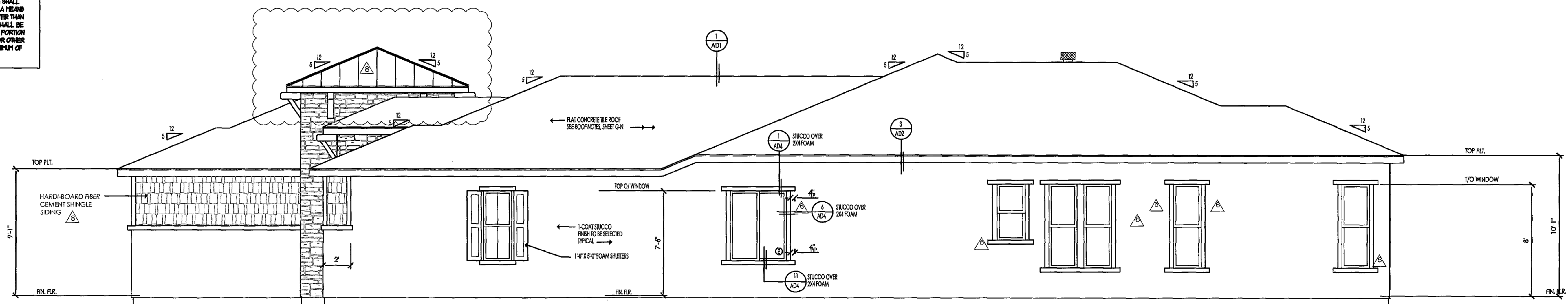
LEFT ELEVATION '4C'

HIGH COUNTRY RANCH

SCALE 1/4" = 1'-0"

**IRC EMERGENCY BEDROOM EGRESS**

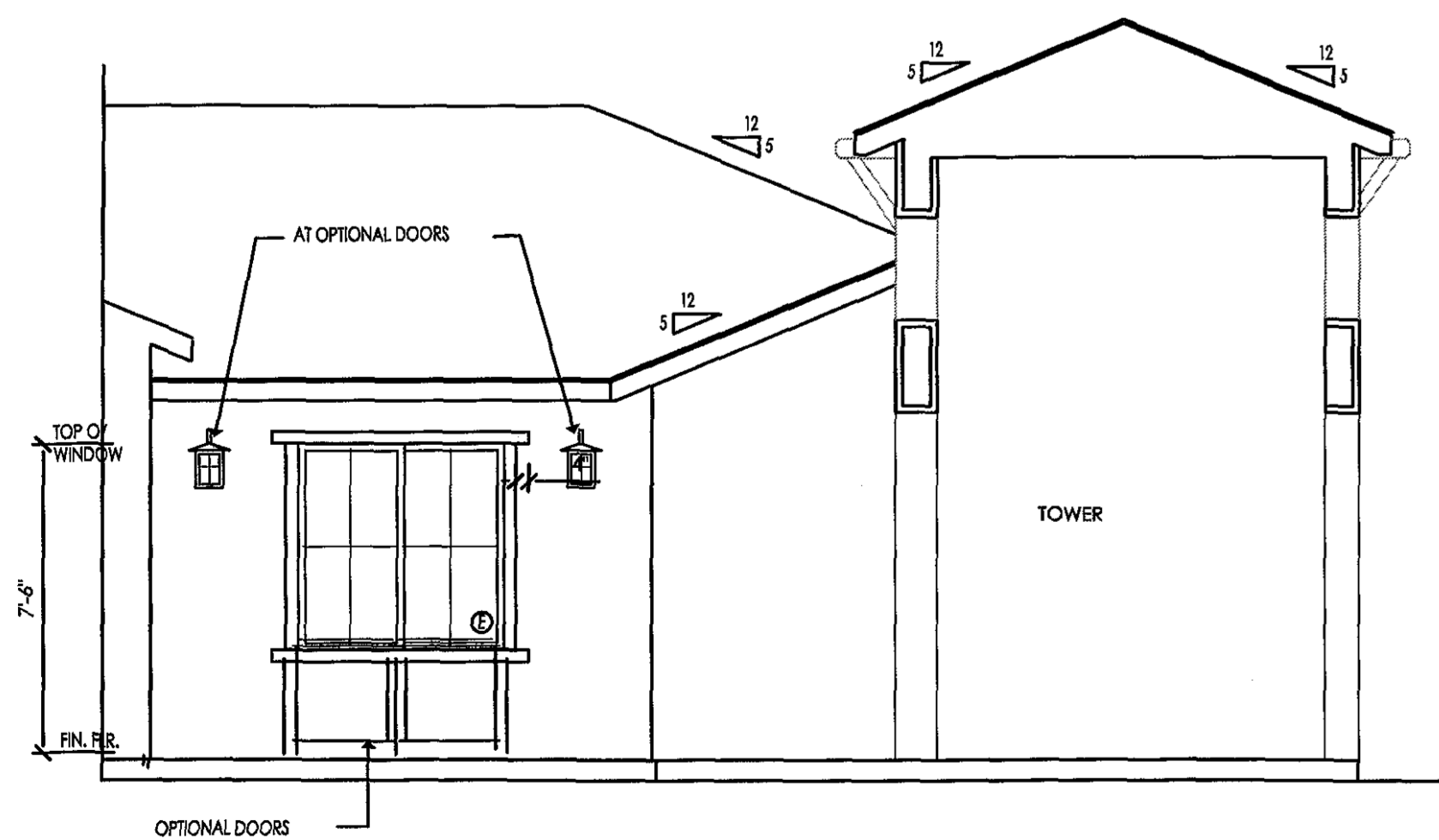
NOTE: EXTERIOR WINDOWS LABELED BY AN (E) SYMBOL, EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) BE DESIGNATED FOR EMERGENCY EGRESS & RESCUE. ESCAPE & RESCUE WINDOWS SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE NET CLEAR OPENING SHALL BE NOT LESS THAN 20 INCHES HIGH AND 20 INCHES WIDE. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES AFF. THESE WINDOWS & ANY SHUTTERS, GRATES OR OTHER SIMILAR DEVICES SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS. IF THE BOTTOM PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 10" ABOVE THE FINISH GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" (AFF.) OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



RIGHT ELEVATION '4C'

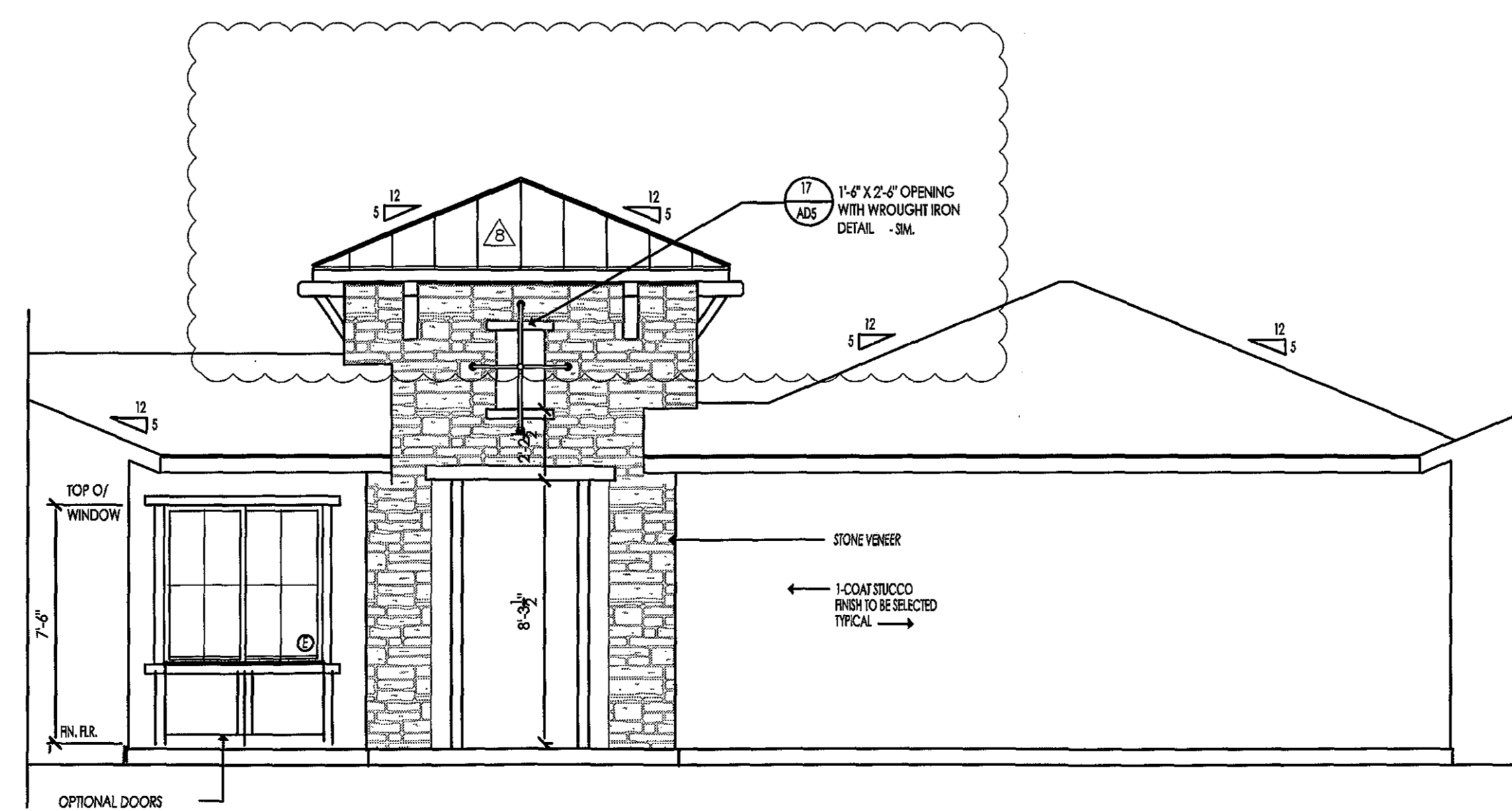
HIGH COUNTRY RANCH

SCALE 1/4" = 1'-0"



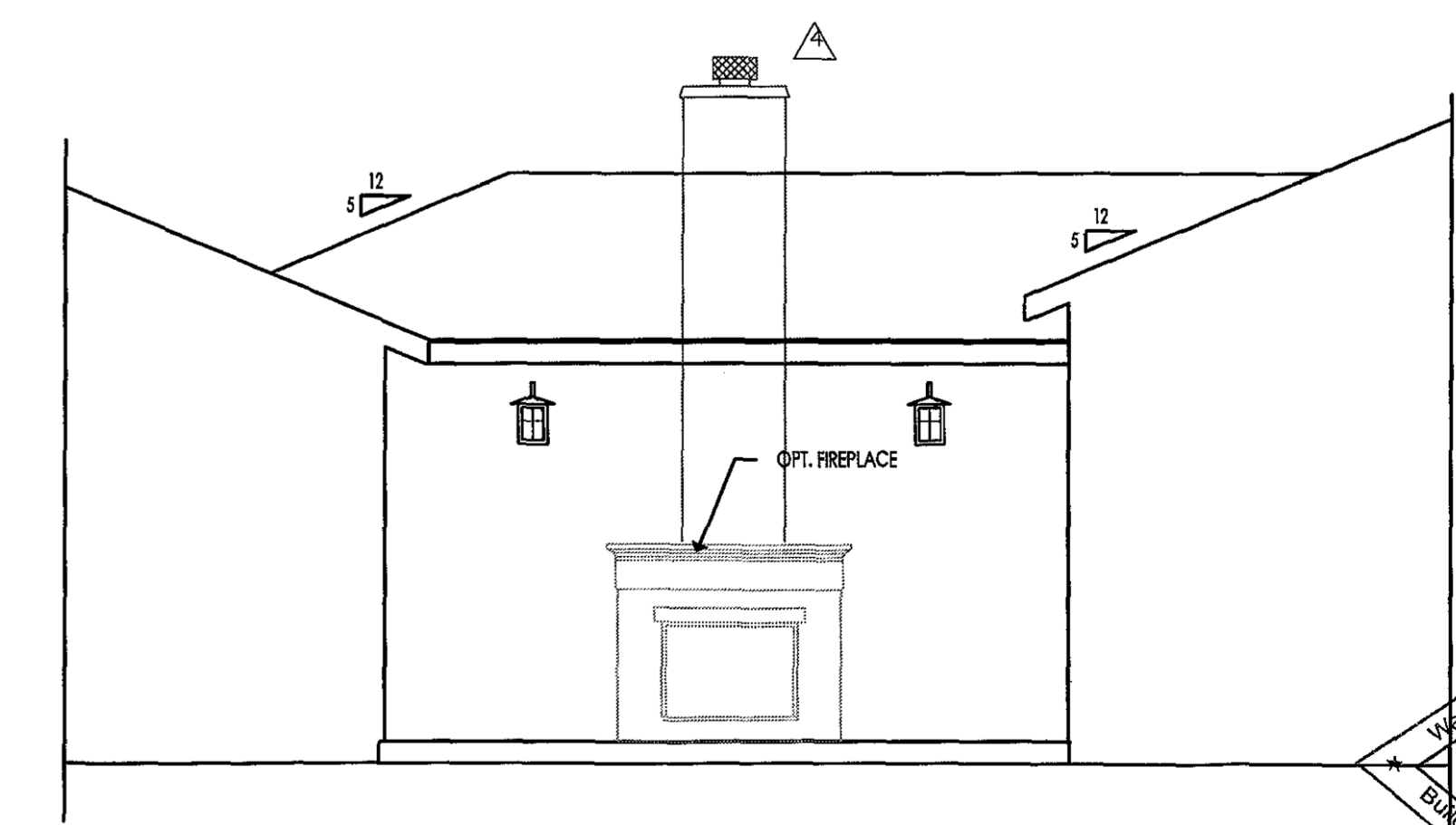
COURTYARD - VIEW THROUGH TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS TOWER

SCALE 1/4" = 1'-0"



COURTYARD - VIEW TOWARDS 1-BAY GAR.

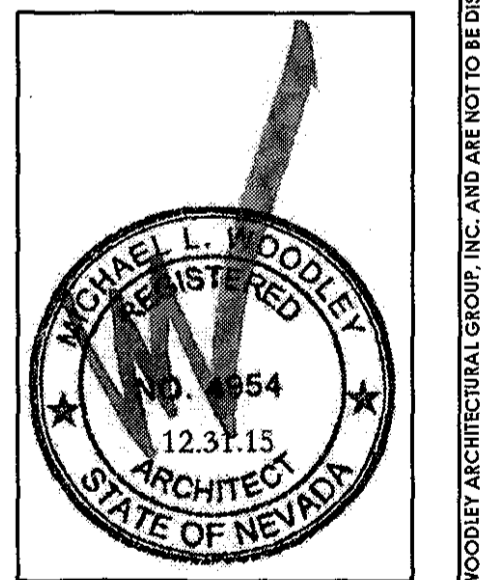
SCALE 1/4" = 1'-0"



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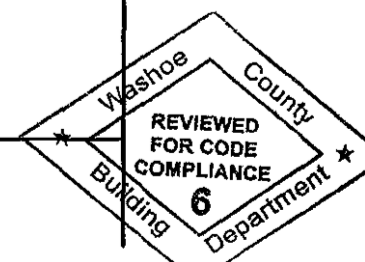
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| 03-02-11 | CLIENT CHANGE |
| 03-02-11 | BUILD. DEPT.  |
| 04-03-11 | CLIENT CHANGE |
| 05-25-11 | CLIENT        |
| 08-14-12 | 2009 ECC      |
| 08-02-12 | FRAMING WALK  |
| 08-21-13 | 2012 CODE     |
| 09-11-14 | PLAN CHECK    |



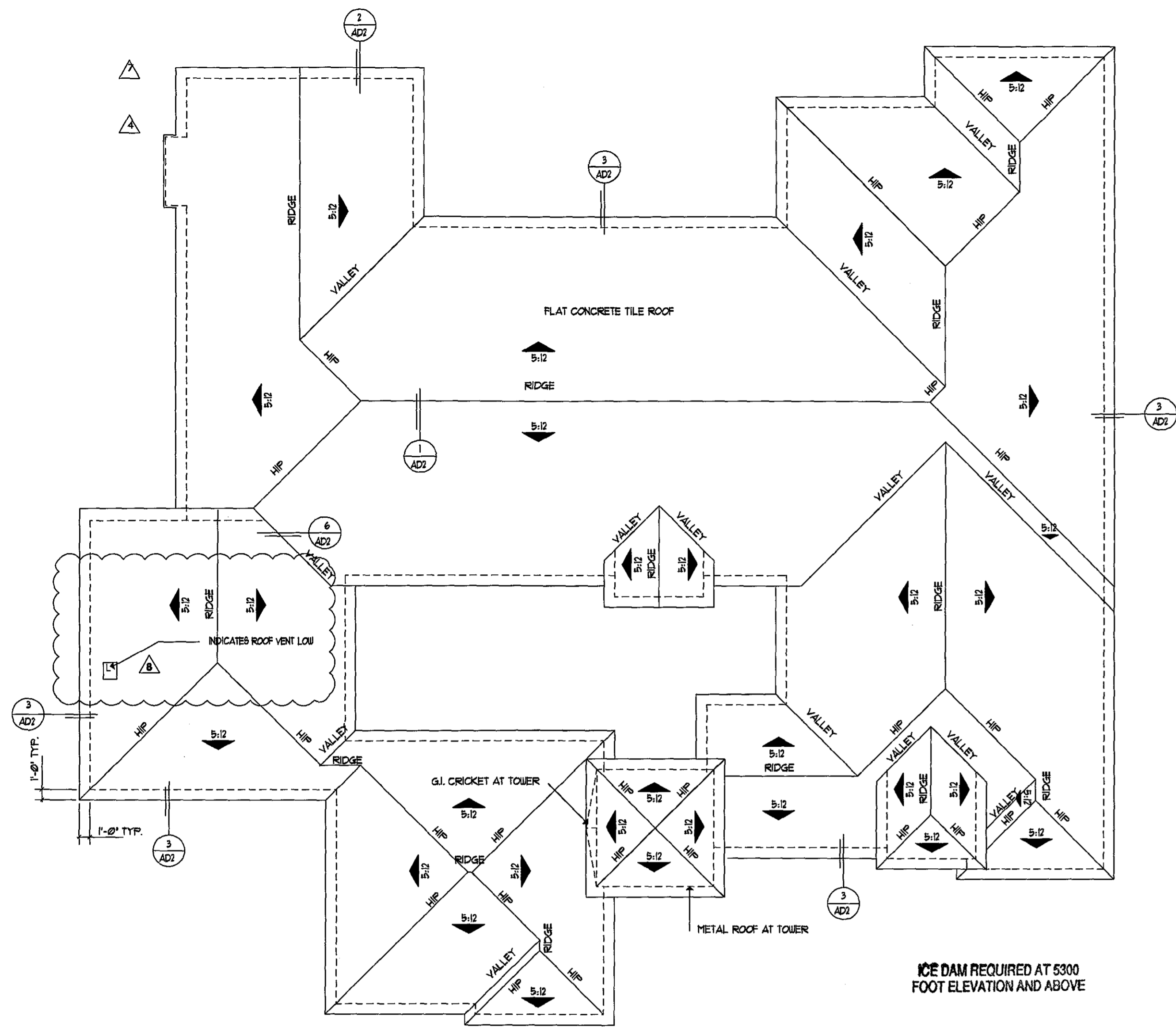
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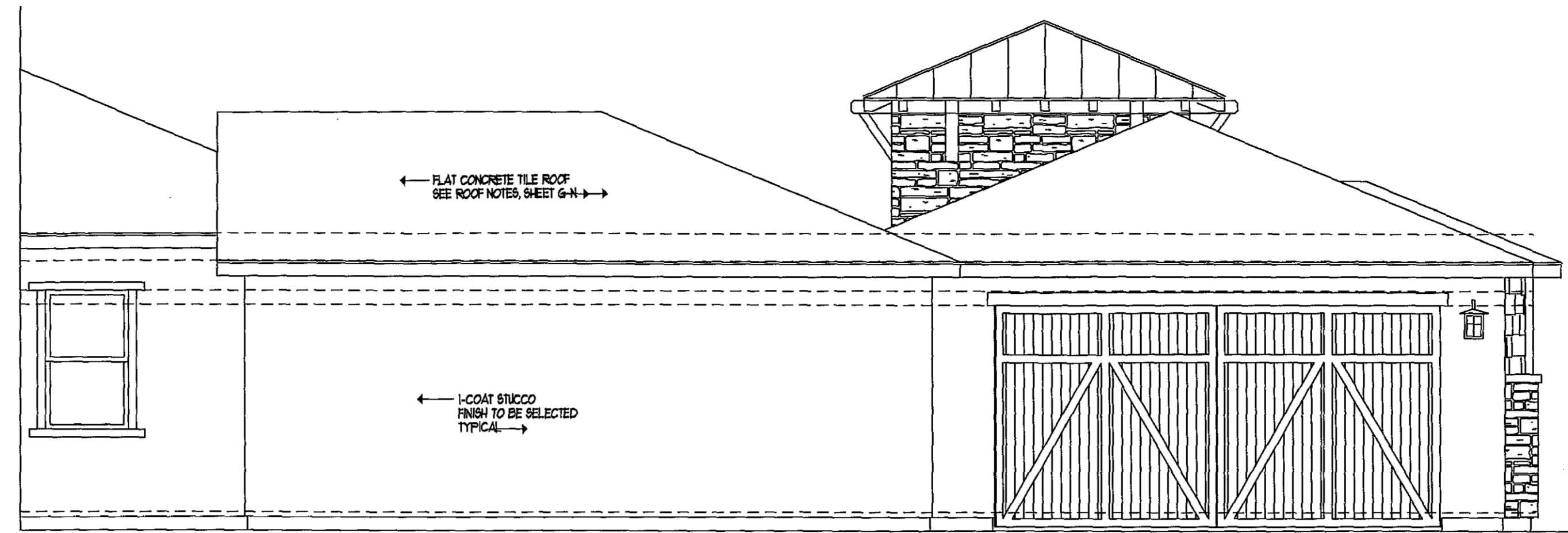
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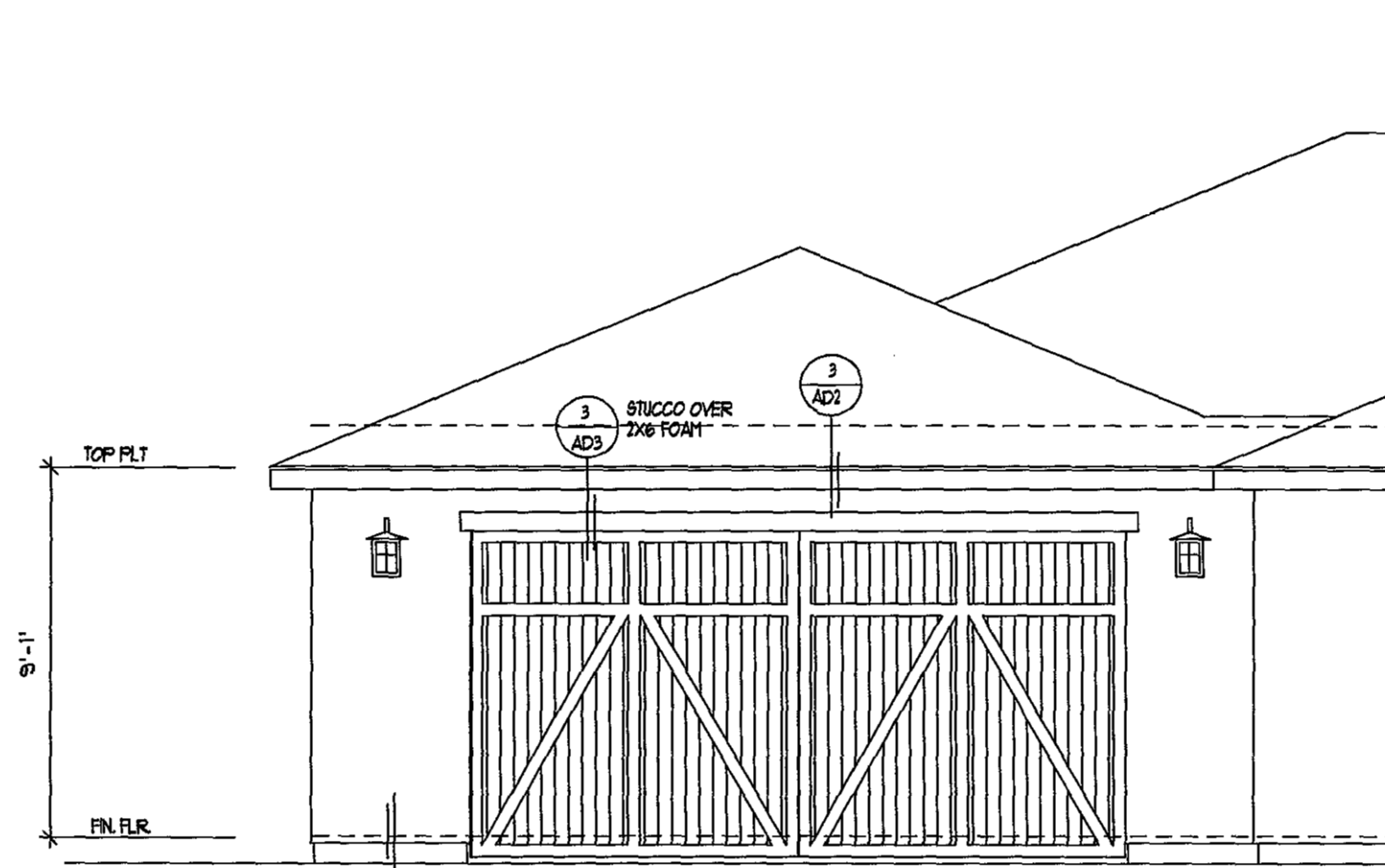
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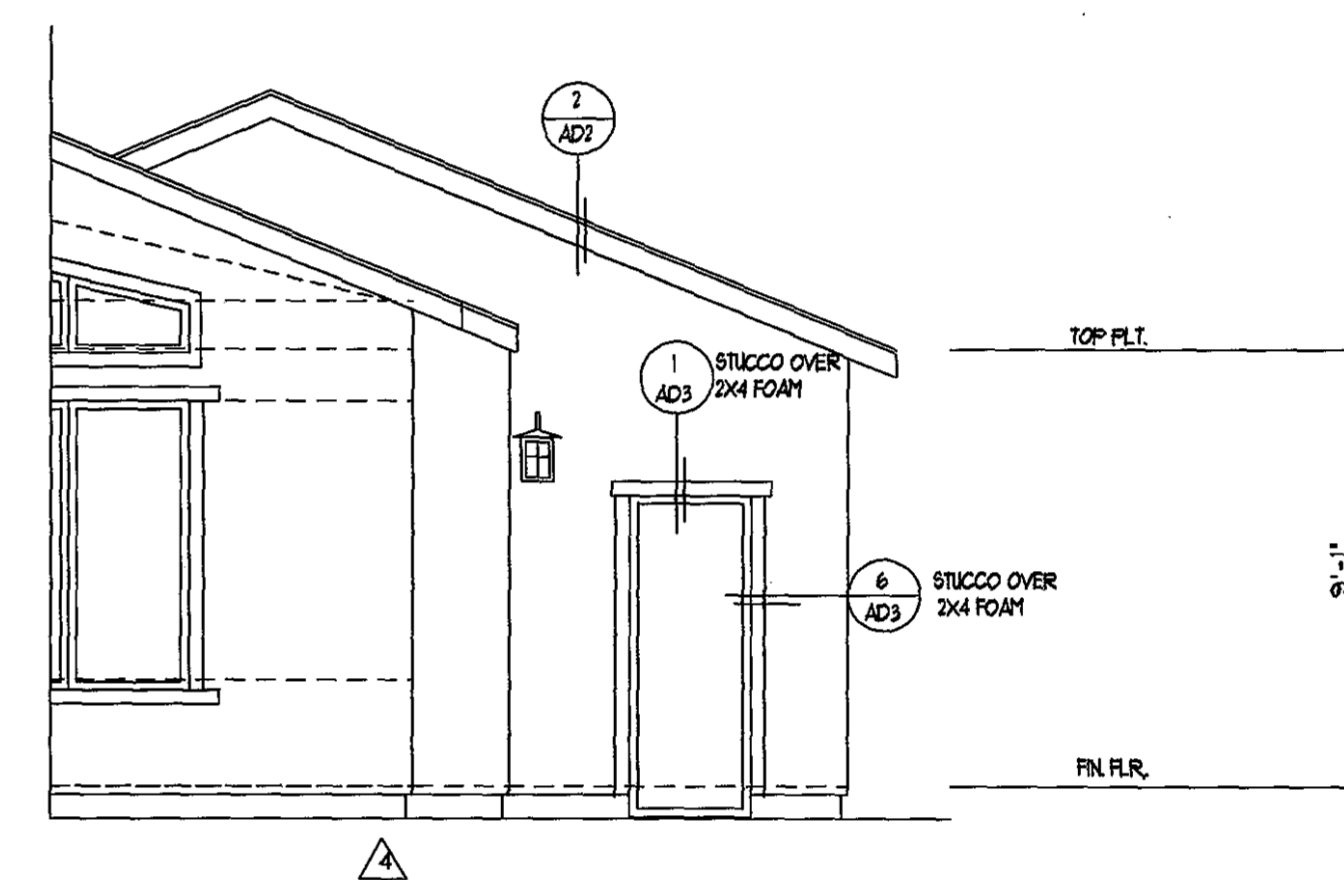
**ROOF PLAN AT ELEVATION "C" HIGH COUNTRY RANCH**  
SCALE 1/8" = 1'-0"



**PARTIAL LEFT ELEVATION "C" HIGH COUNTRY RANCH**  
SCALE 1/8" = 1'-0"

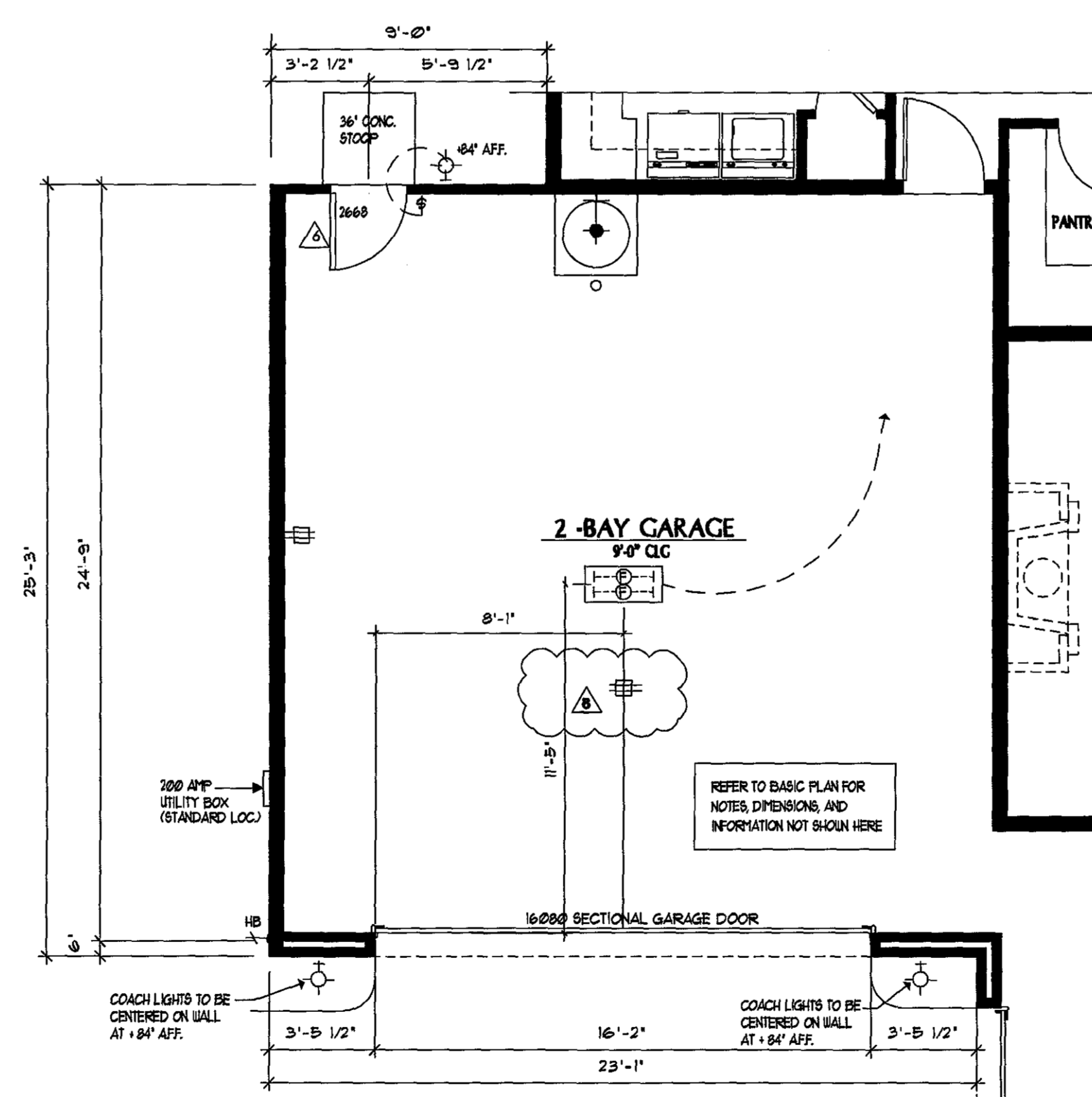


**PARTIAL FRONT ELEVATION "C" HIGH COUNTRY RANCH**  
SCALE 1/8" = 1'-0"

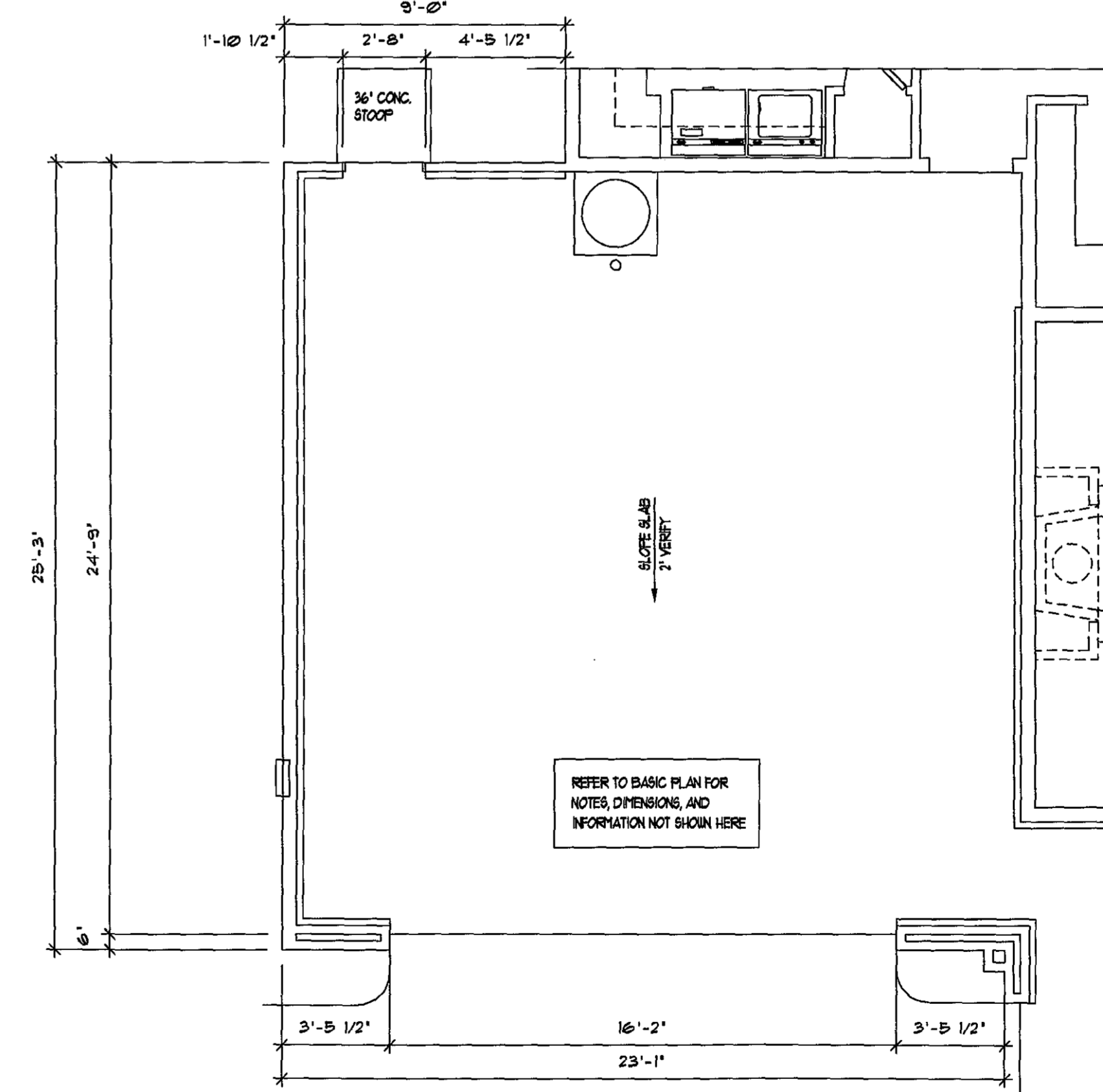


**PARTIAL RIGHT ELEVATION "C" HIGH COUNTRY RANCH**  
SCALE 1/8" = 1'-0"

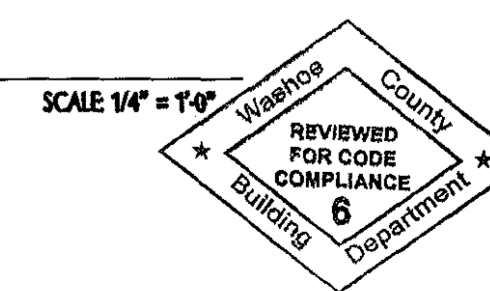
| ROOF VENTILATION CALCULATIONS   | AREA 1   |
|---|--|
| <p>THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:</p> <p>1. IN CLIMATE ZONES 6, 7, 8, A CLASS 1 OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.</p> <p>2. AT LEAST 40% PERCENT AND NOT MORE THAN 50% PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTERS SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY.</p> <p>1. CLOAKED VENT PER MANUFACTURER (CHAGIN OR EQUAL) 17" TILE ROOF = 1.1 SQ. FT.</p> <p>FLAT TILE ROOF = 1.1 SQ. FT.</p> <p>INSTALL WITH ICE COMPLIANT FIRE + ICE INSERT</p> | <p>REQUIRED: PLAN FOUR - 1" 1650 SQ. FT. / 1000 SQ. FT. = 1.65 SQ. FT. OF REQUIRED VENTILATION</p> <p>SHOWN HIGH VENTILATION PROVIDED HIGH ROOF VENTS) = 14 * 1.1 SQ. FT. EA. = 15.4 SQ. FT. (CHAGIN CLOAKED ROOF VENTS)</p> <p>SHOWN LOW VENTILATION PROVIDED LOW ROOF VENTS) = 15 * 1.1 SQ. FT. EA. = 16.5 SQ. FT. (CHAGIN CLOAKED ROOF VENTS)</p> <p>SHOWN TOTAL: TOTAL HIGH VENTILATION SHOWN = 15.4 SQ. FT. (48% OF REQUIRED TOTAL)</p> <p>TOTAL LOW VENTILATION SHOWN = 16.5 SQ. FT. TOTAL VENTILATION SHOWN = 31.9 SQ. FT.</p> <p>AT ONE BAY GARAGE OPTION, ADD ONE ADDITIONAL LOW CHAGIN VENT, FIFTEEN TOTAL LOW VENTS</p> |



**OPT. 2 - BAY GARAGE ELEVATION 4C**  
SCALE 1/4" = 1'-0"



**OPT. 2 - BAY GARAGE FOUNDATION ELEVATION 4C**  
SCALE 1/4" = 1'-0"



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| 04-11-11 | CLIENT CHANGES |
| 12-29-11 | CLIENT         |
| 08-14-12 | 2009 BECC      |
| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2012 CODE      |
| 02-11-14 | PLAN CHECK     |

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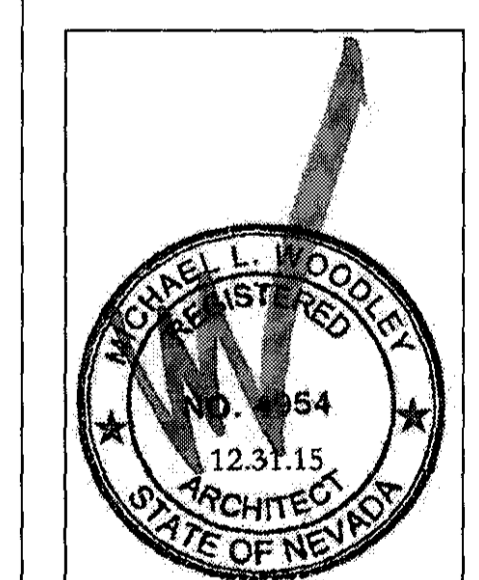
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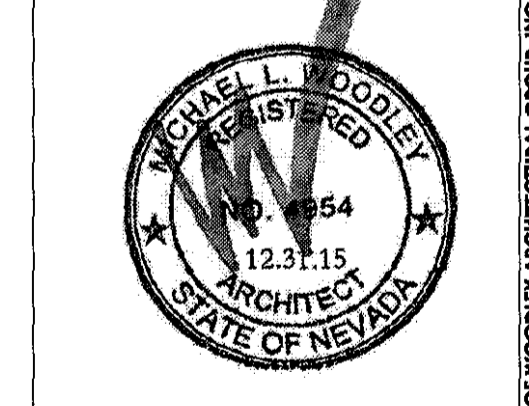


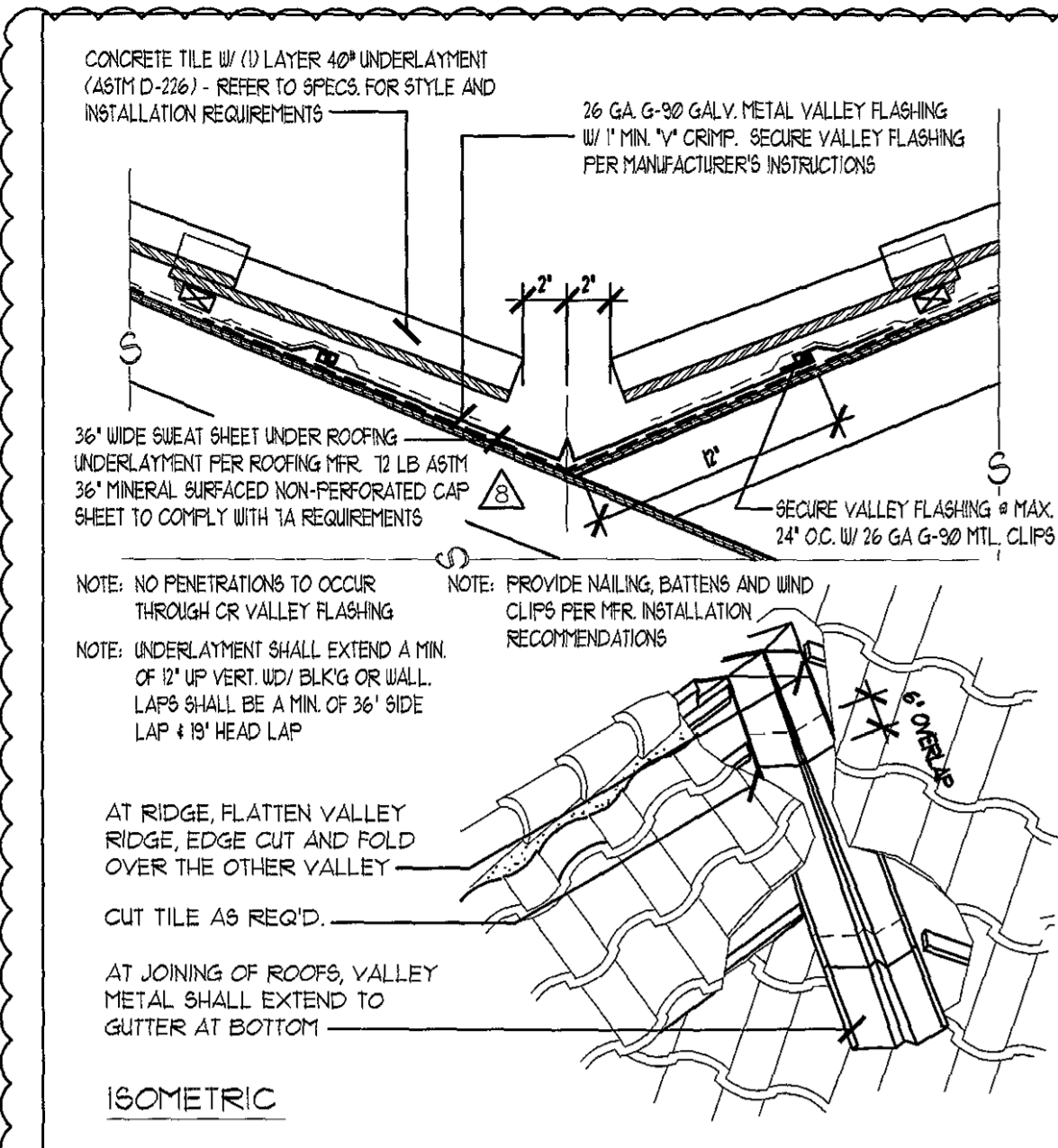
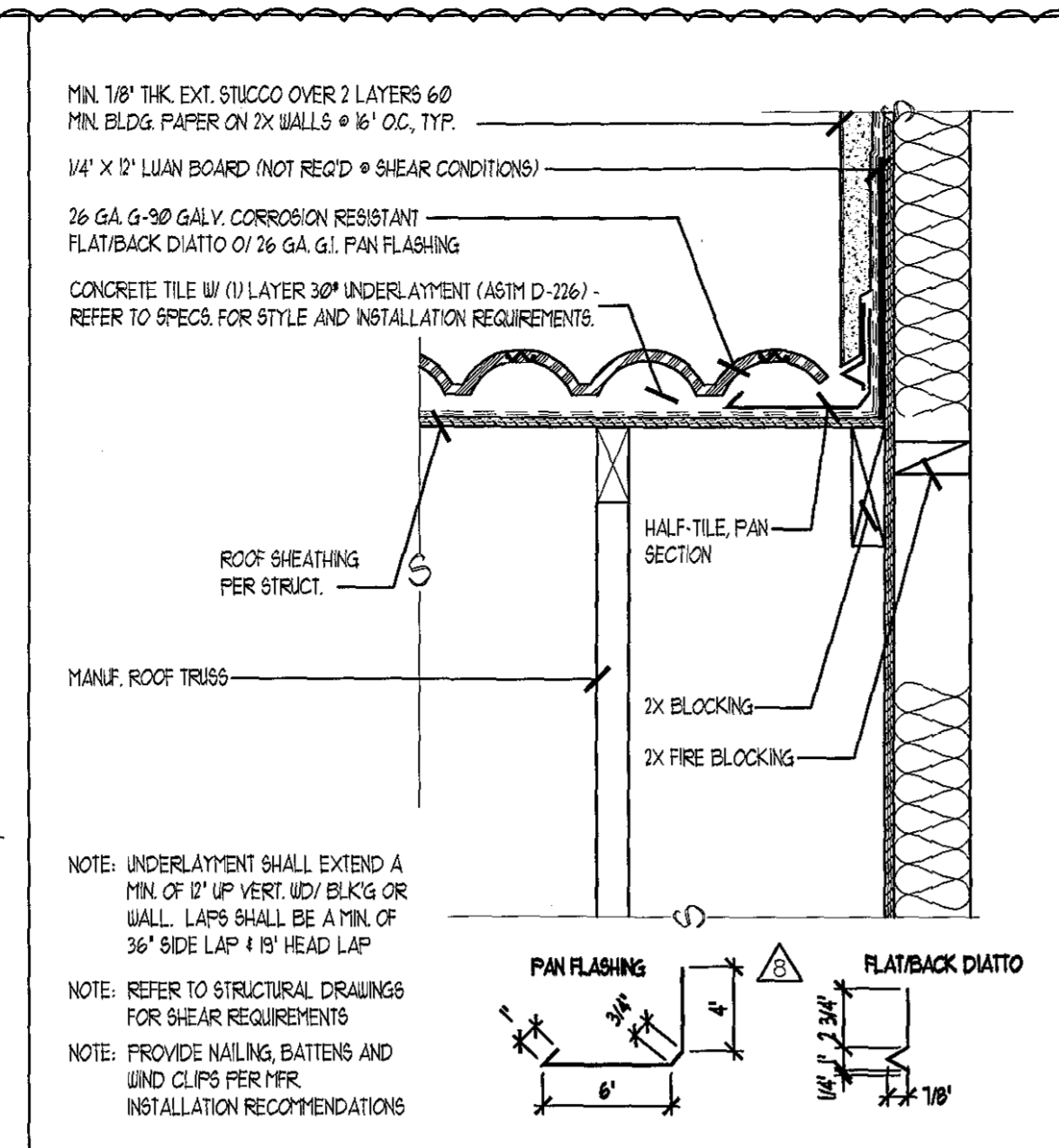
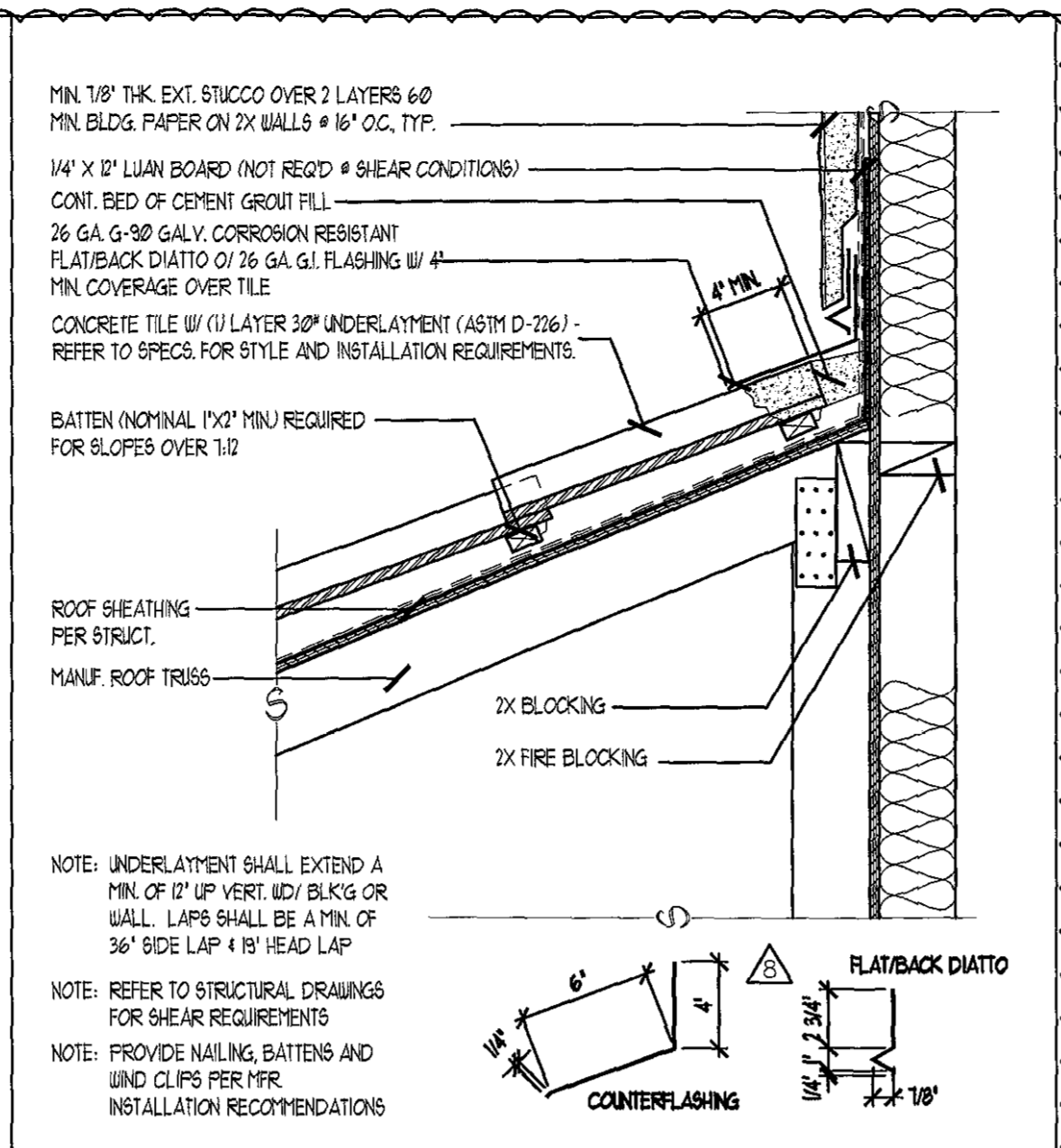
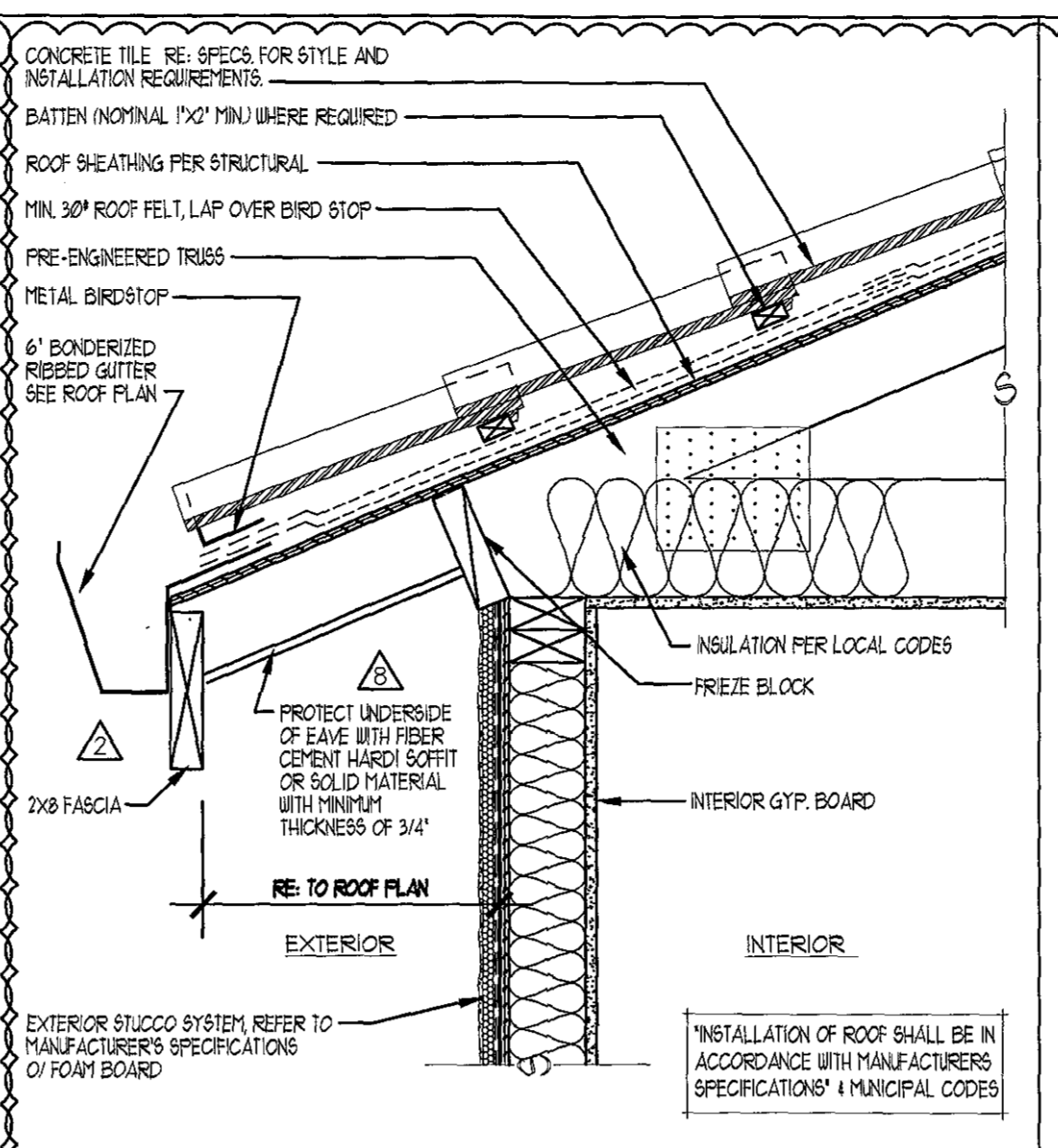
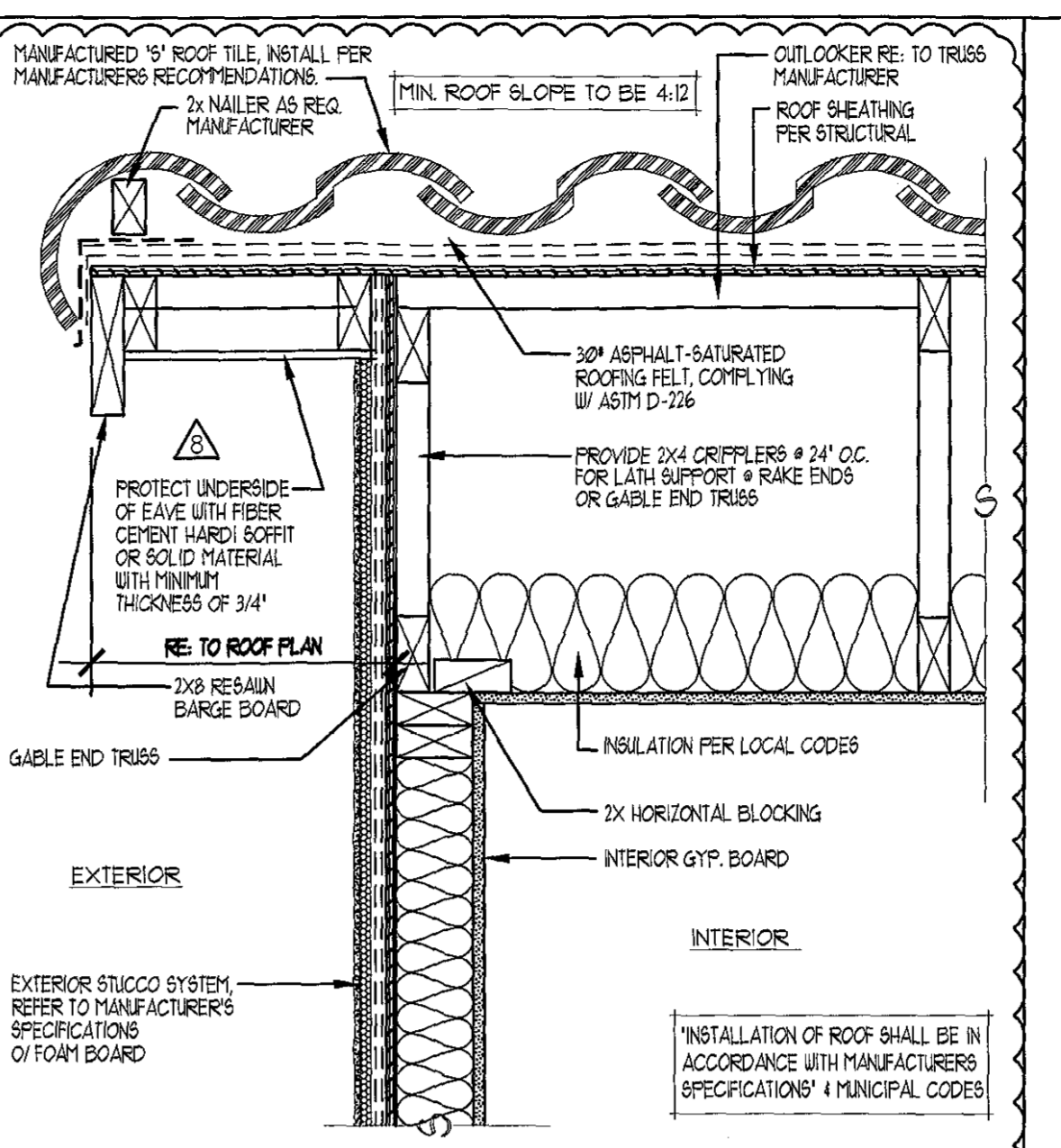
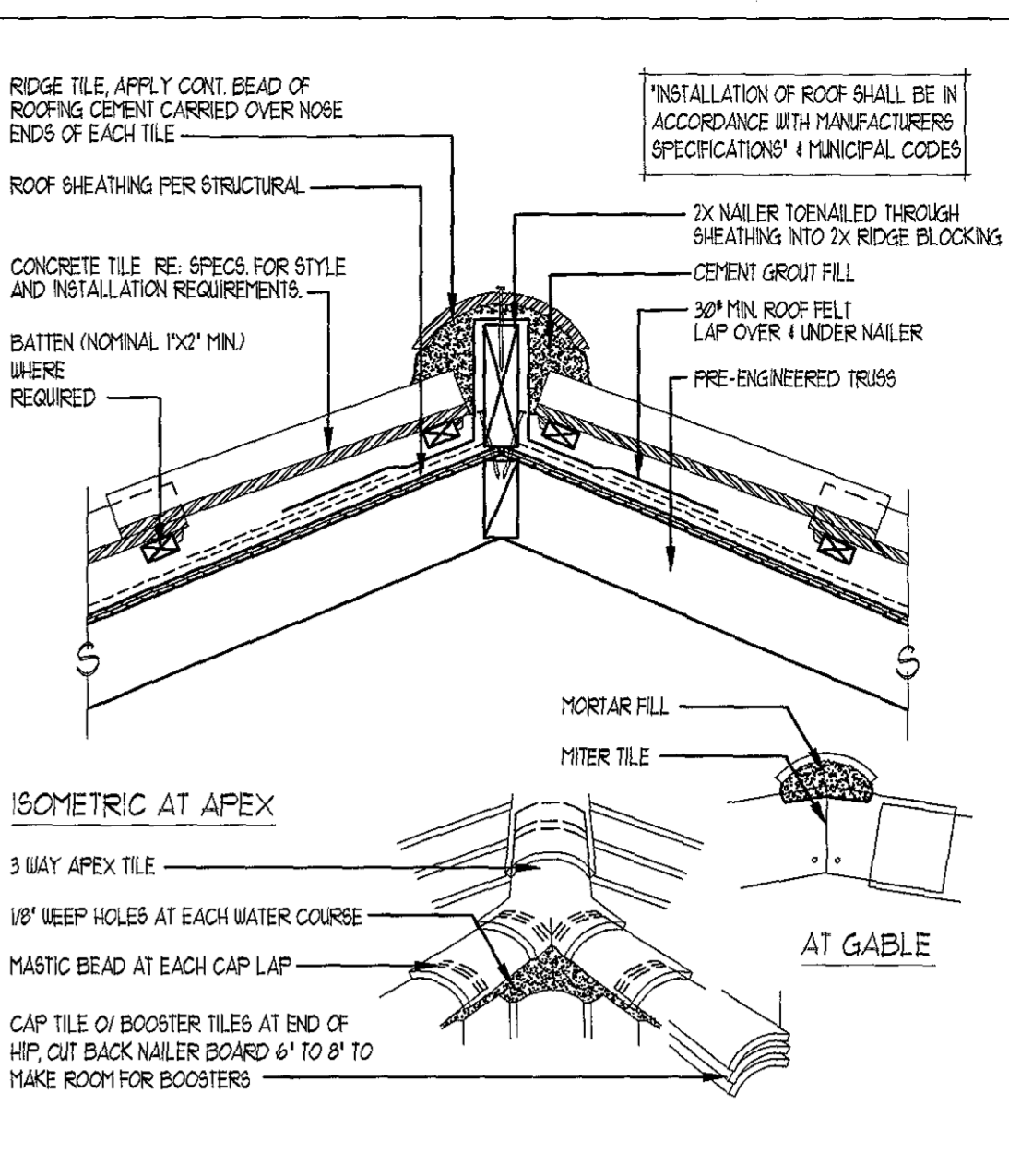
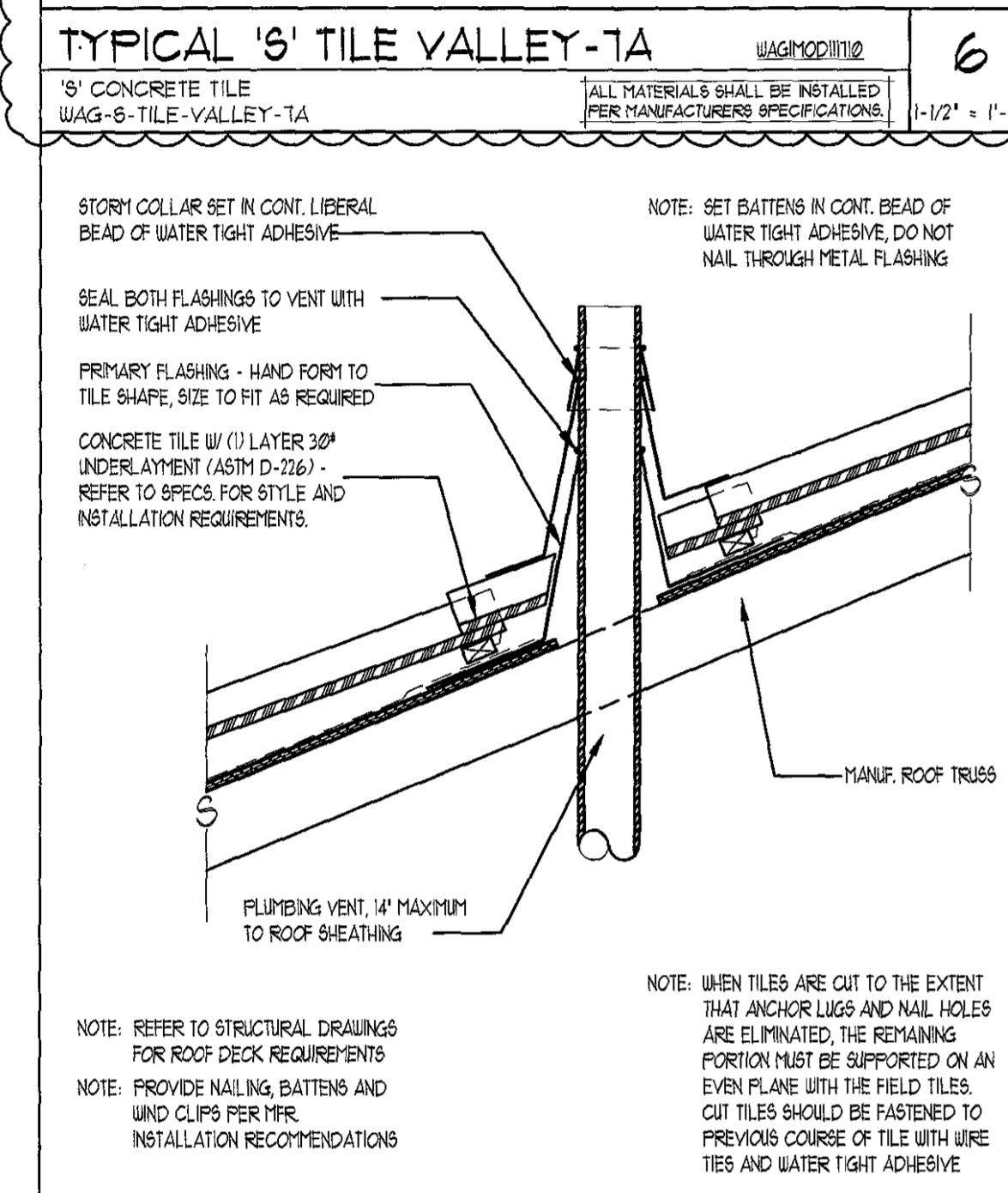
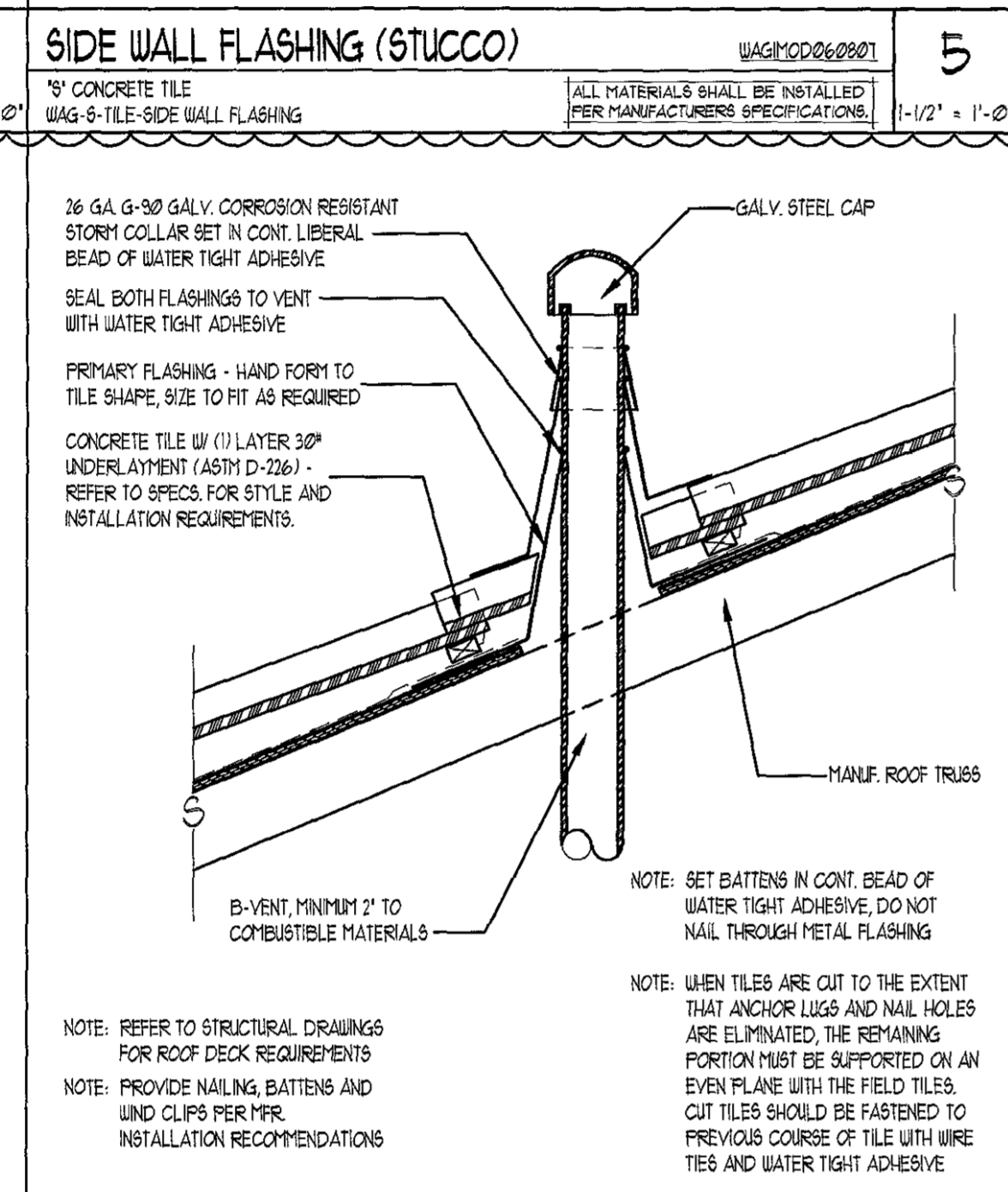
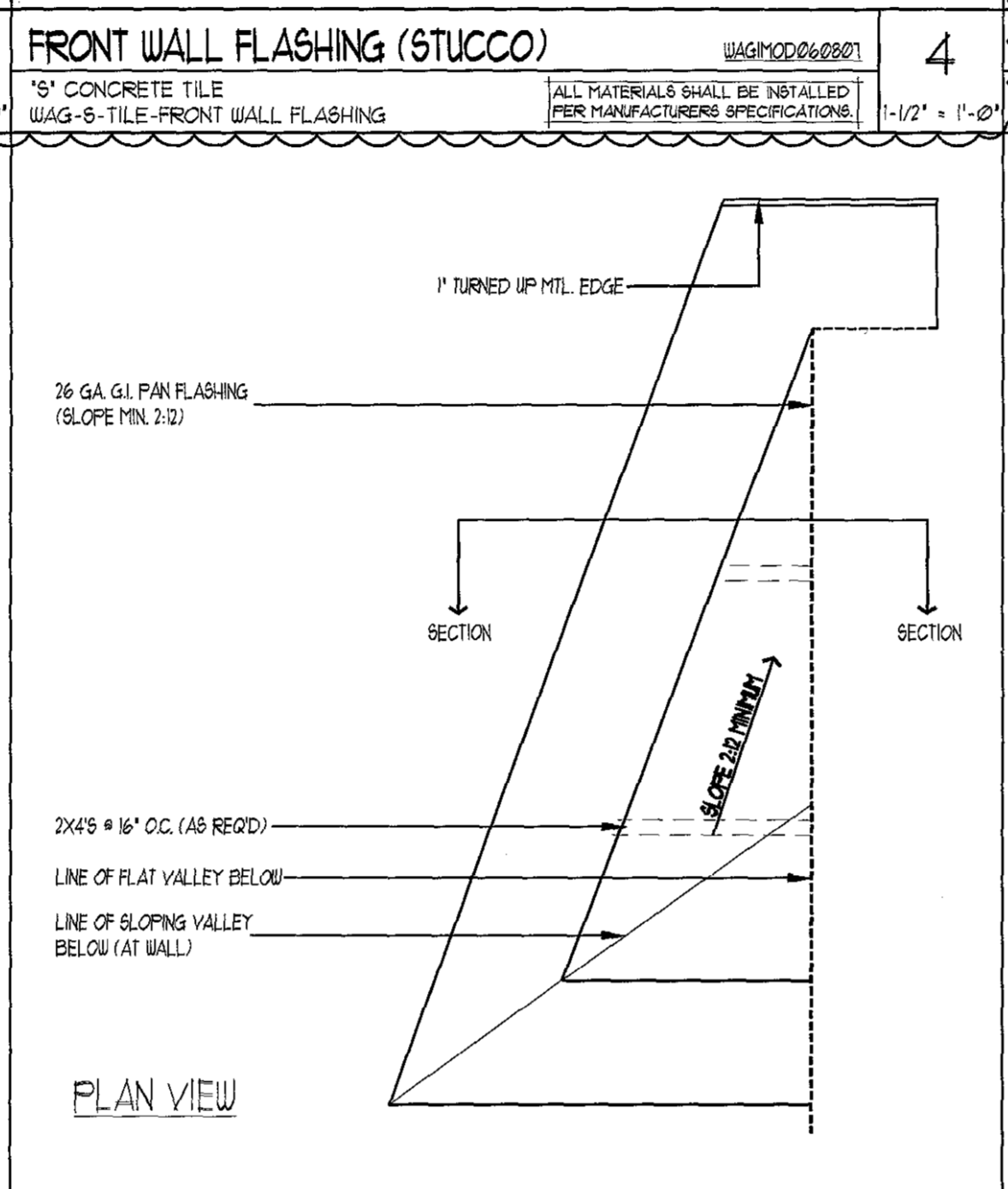
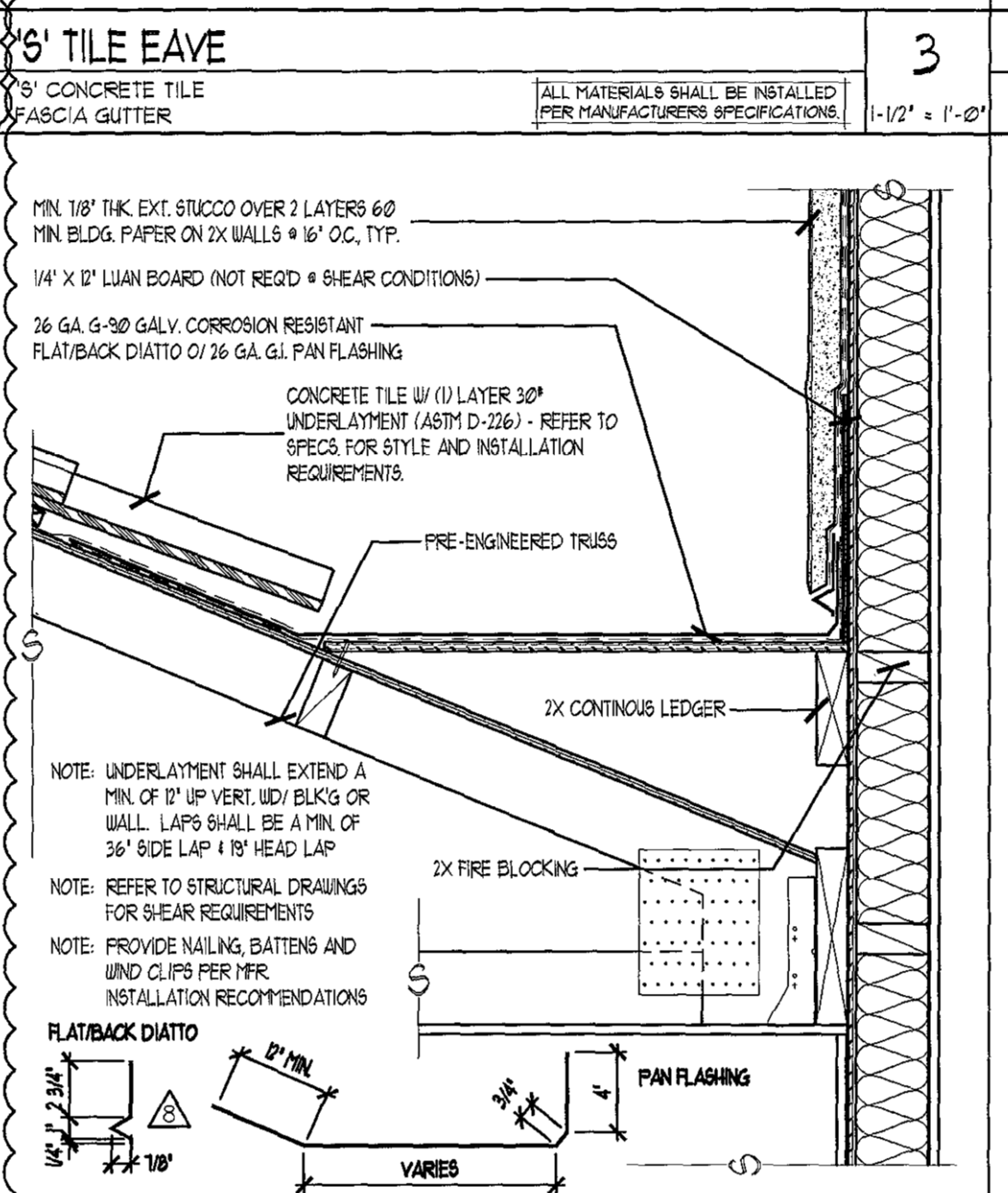
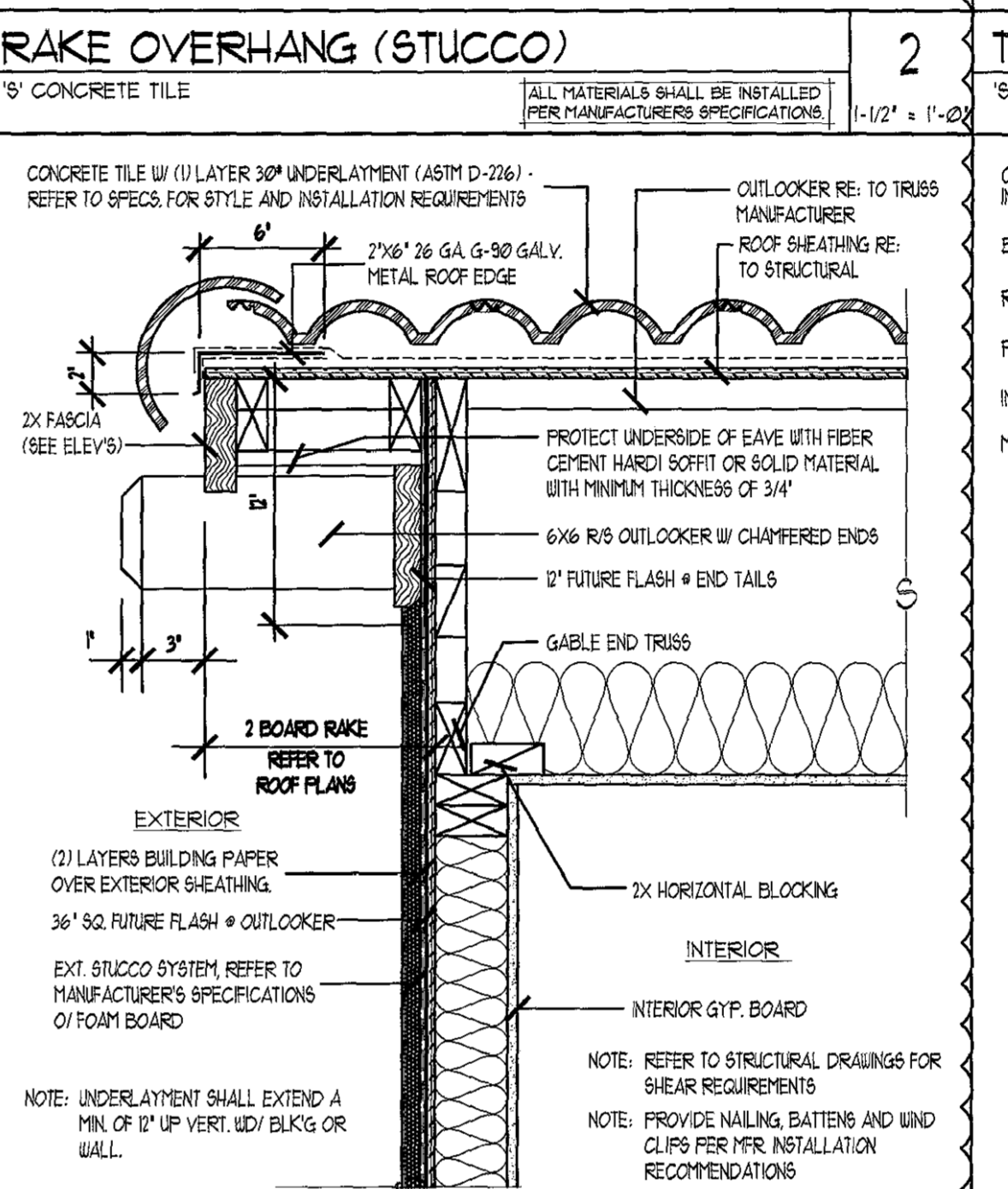
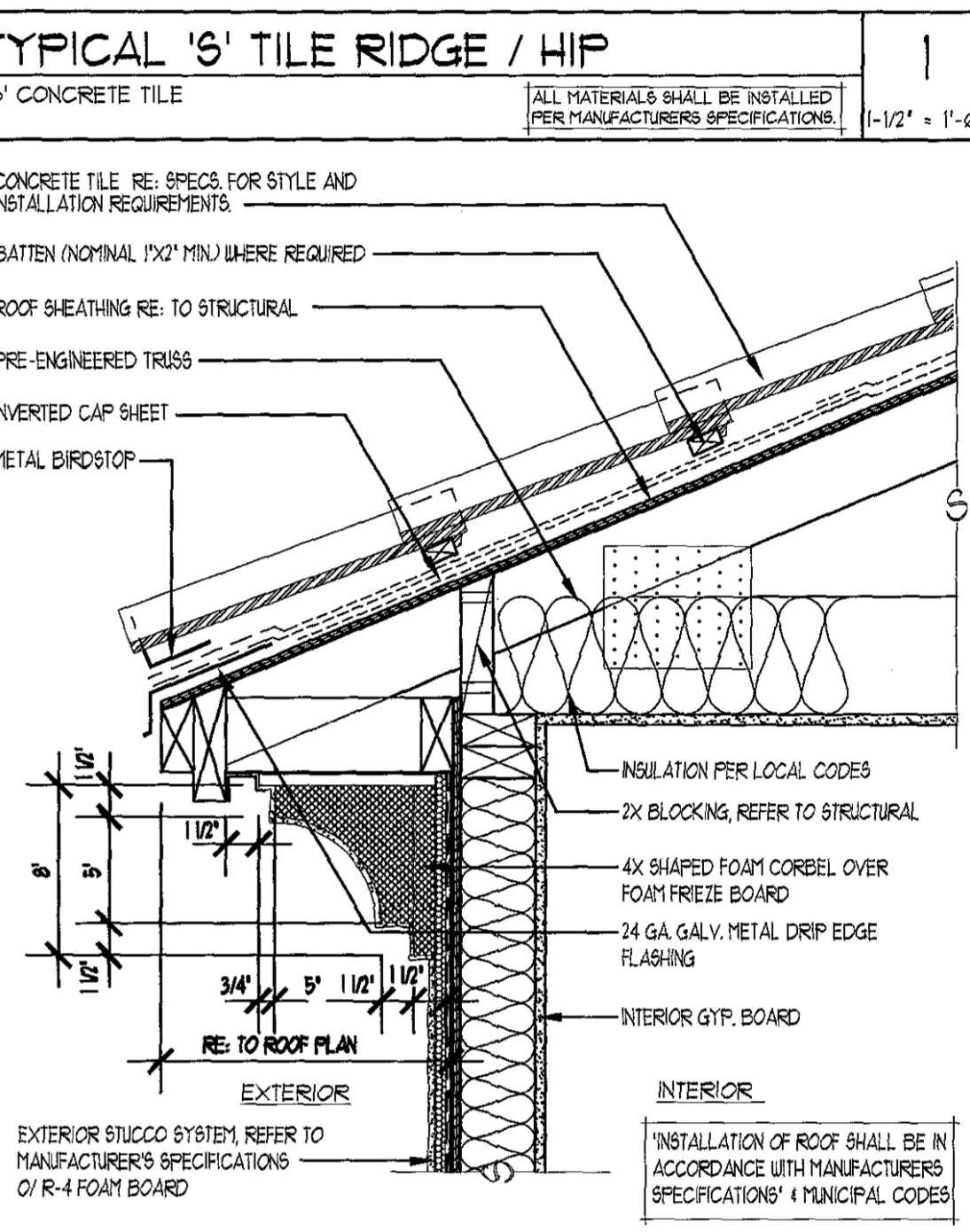
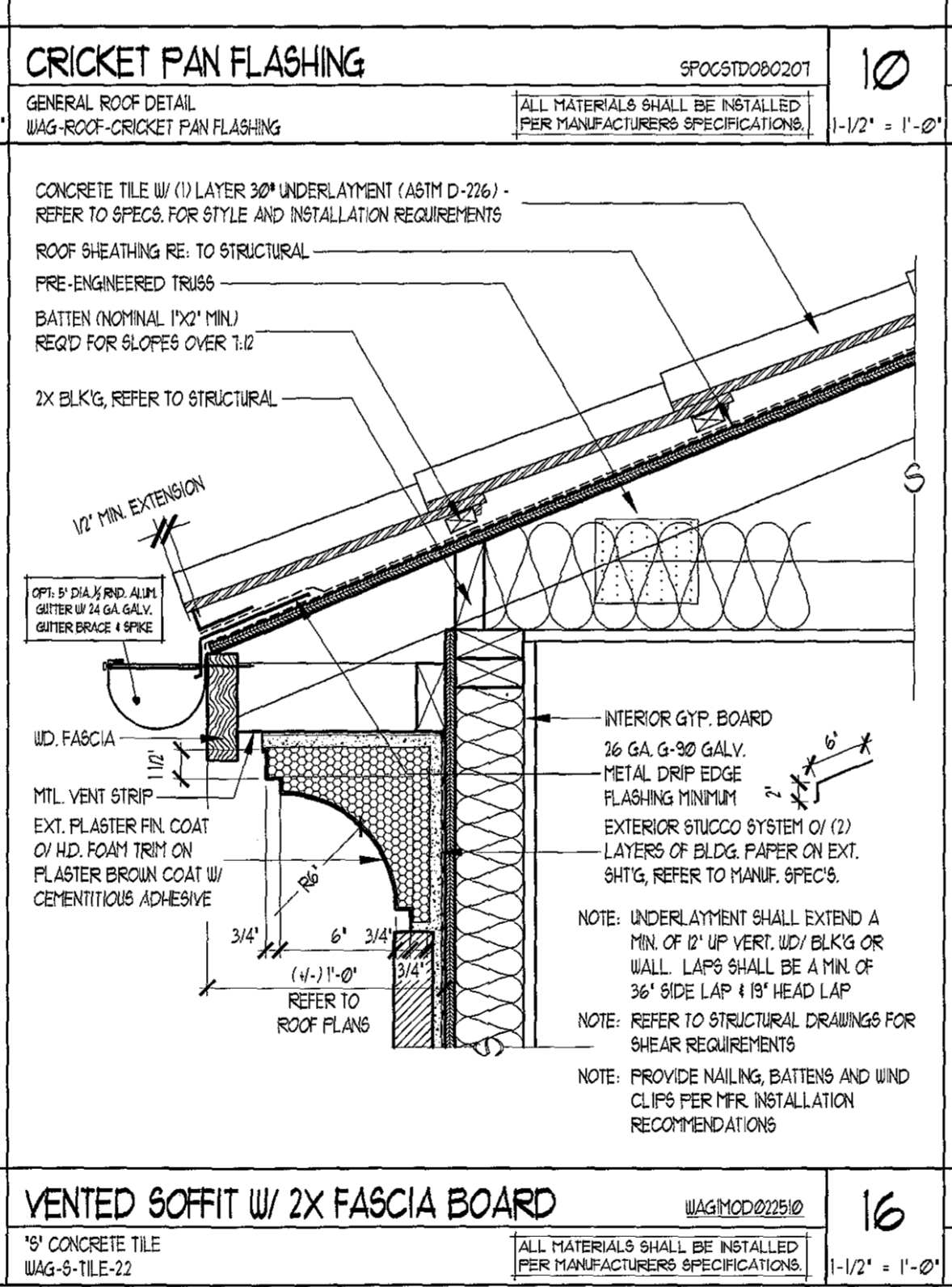
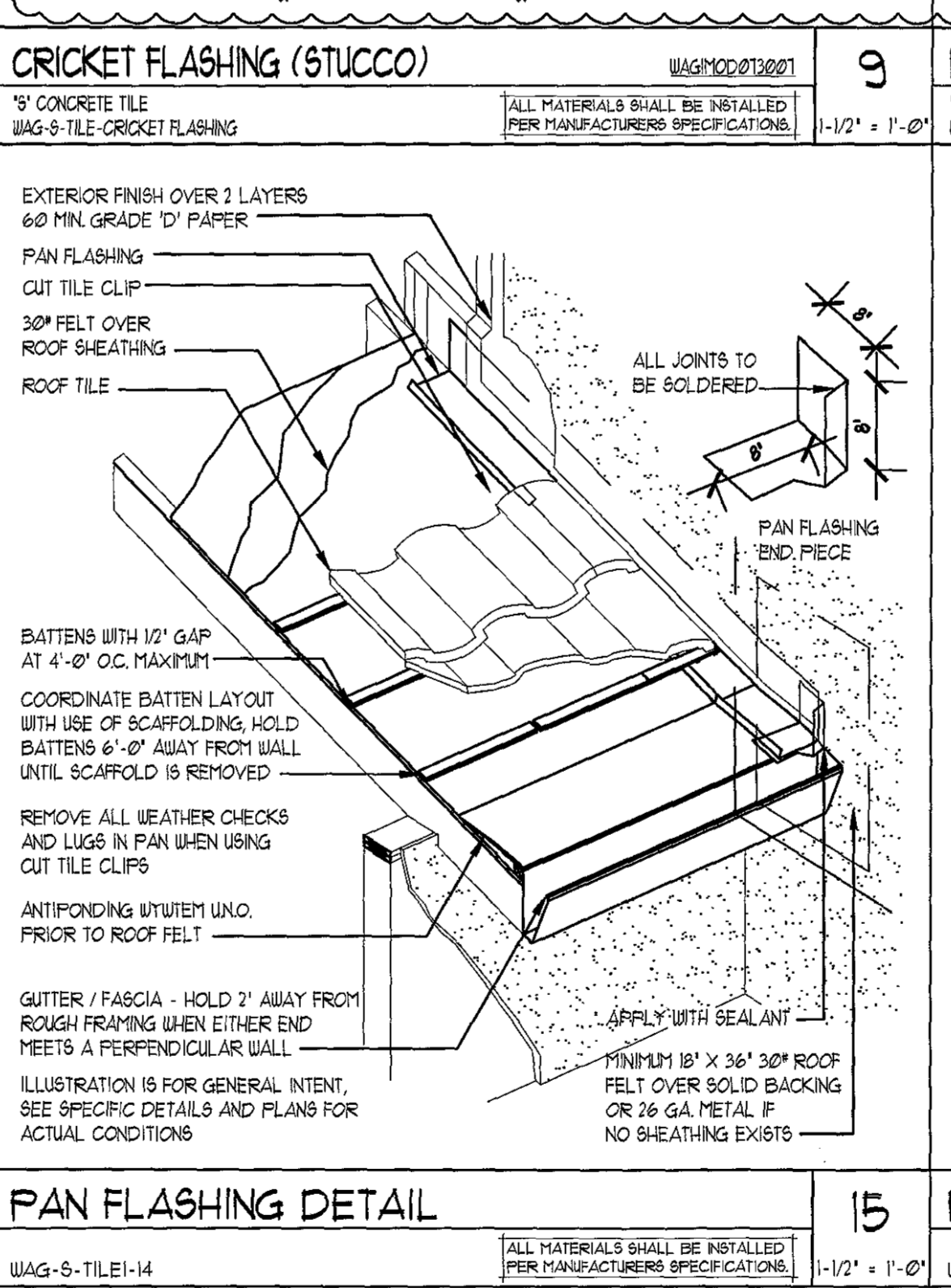
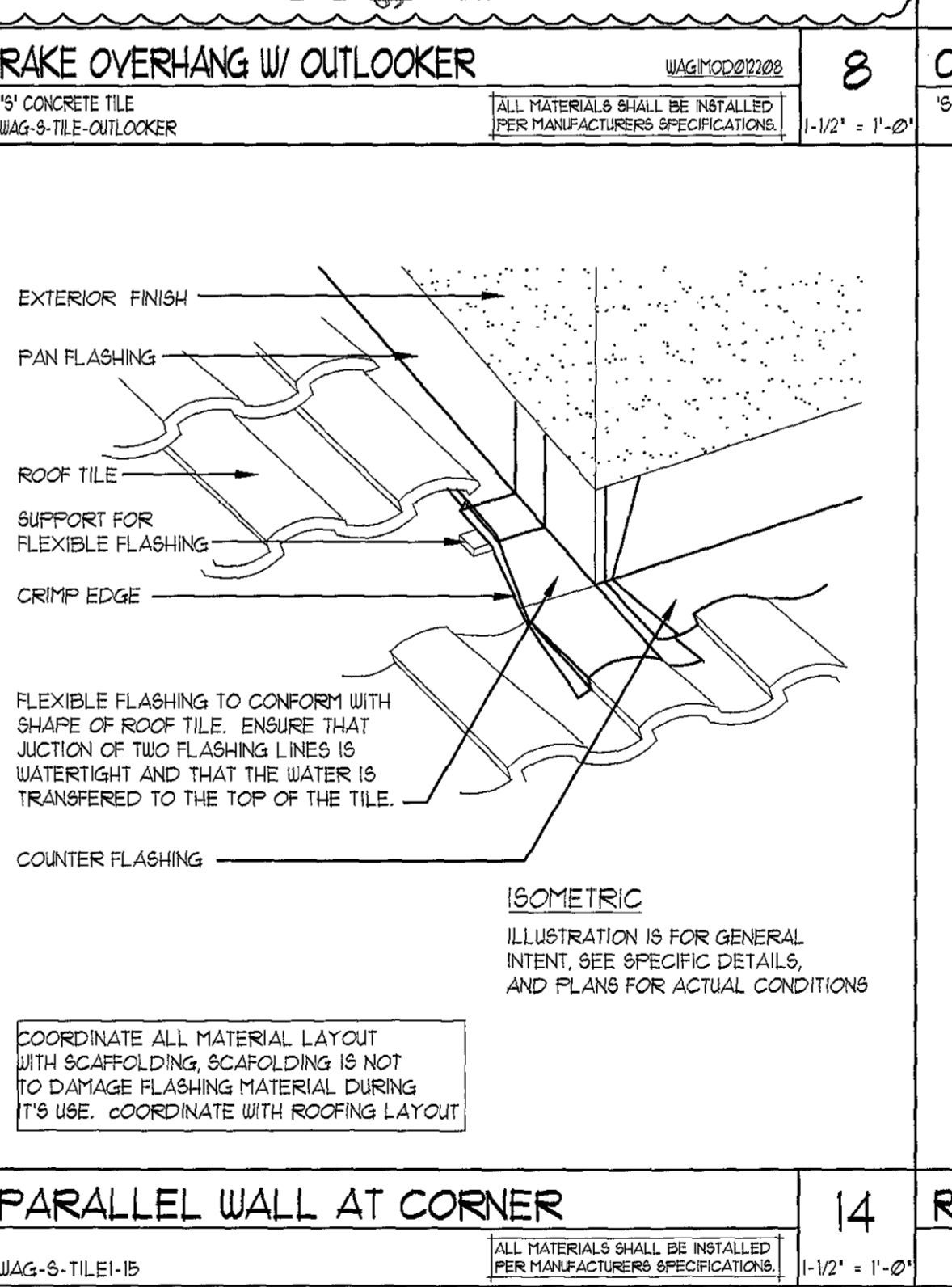
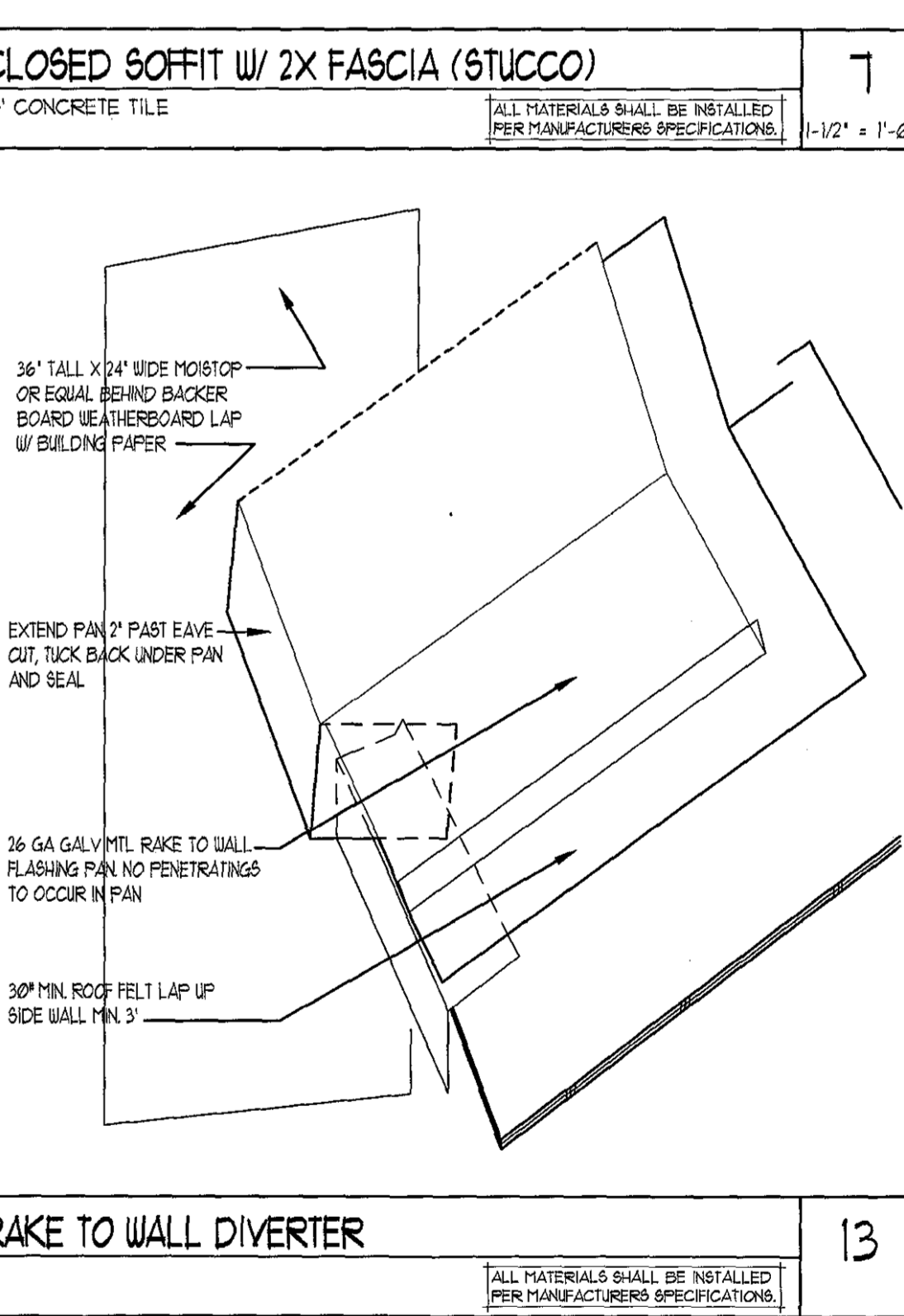
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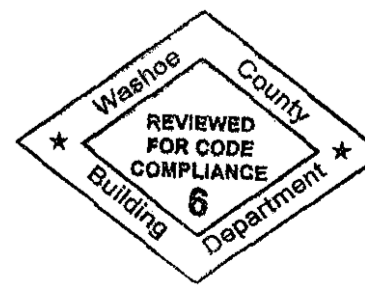
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| <p><b>TYPICAL 'S' TILE VALLEY - TA</b> WAG9000112 6</p>  <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>3/8" GA. G-90 GALV. METAL VALLEY FLASHING W/ 1" MIN. "V" CRIMP. SECURE VALLEY FLASHING PER MANUFACTURER'S INSTRUCTIONS</p> <p>3/8" WIDE SEAM SHEET UNDER ROOFING UNDERLAYMENT PER ROOFING MFR. TO LIS ASTM 36" MINERAL SURFACED NON-PERFORATED CAP SHEET TO COMPLY WITH TA REQUIREMENTS</p> <p>NOTE: NO PENETRATIONS TO OCCUR THROUGH OR VALLEY FLASHING</p> <p>NOTE: UNDERLAYMENT SHALL EXTEND A MIN. OF 1" UP VERT. ID/ BLKG OR WALL LAPS SHALL BE A MIN. OF 36" SIDE LAP &amp; 18" HEAD LAP</p> <p>NOTE: PROVIDE VALLEY BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p> <p>AT RIDGE, FLATTEN VALLEY RIDGE, EDGE CUT AND FOLD OVER THE OTHER VALLEY</p> <p>CUT TILE AS REQ'D.</p> <p>AT JOINING OF ROOFS, VALLEY METAL SHALL EXTEND TO GUTTER AT BOTTOM</p> <p>ISOMETRIC</p> | <p><b>SIDE WALL FLASHING (STUCCO)</b> WAG9000280 5</p>  <p>MIN. 1/8" THK. EXT. STUCCO OVER 2 LAYERS 60" MIN. BLDG. PAPER ON 2X WALLS @ 16" O.C. TYP.</p> <p>1/4" X 1/2" LAM. BOARD (NOT REQ'D @ SHEAR CONDITIONS)</p> <p>3/8" GA. G-90 GALV. CORROSION RESISTANT FLATBACK DIATTO @ 26 GA. G.I. PAN FLASHING</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>BATTEN (NOMINAL 1/2" MIN) REQUIRED FOR SLOPES OVER 1:12</p> <p>ROOF SHEATHING PER STRUCT.</p> <p>MANUF. ROOF TRUSS</p> <p>2X BLOCKING</p> <p>2X FIRE BLOCKING</p> <p>NOTE: UNDERLAYMENT SHALL EXTEND A MIN. OF 1" UP VERT. ID/ BLKG OR WALL. LAPS SHALL BE A MIN. OF 36" SIDE LAP &amp; 18" HEAD LAP</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR SHEAR REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p>                      | <p><b>FRONT WALL FLASHING (STUCCO)</b> WAG9000280 4</p>  <p>MIN. 1/8" THK. EXT. STUCCO OVER 2 LAYERS 60" MIN. BLDG. PAPER ON 2X WALLS @ 16" O.C. TYP.</p> <p>1/4" X 1/2" LAM. BOARD (NOT REQ'D @ SHEAR CONDITIONS)</p> <p>3/8" GA. G-90 GALV. CORROSION RESISTANT FLATBACK DIATTO @ 26 GA. G.I. FLASHING W/ 1" MIN. COVERAGE OVER TILE</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>BATTEN (NOMINAL 1/2" MIN) REQUIRED FOR SLOPES OVER 1:12</p> <p>ROOF SHEATHING PER STRUCT.</p> <p>MANUF. ROOF TRUSS</p> <p>2X BLOCKING</p> <p>2X FIRE BLOCKING</p> <p>NOTE: UNDERLAYMENT SHALL EXTEND A MIN. OF 1" UP VERT. ID/ BLKG OR WALL. LAPS SHALL BE A MIN. OF 36" SIDE LAP &amp; 18" HEAD LAP</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR SHEAR REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p> | <p><b>'S' TILE EAVE</b> WAG9000280 3</p>  <p>CONCRETE TILE RE. SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>BATTEN (NOMINAL 1/2" MIN) WHERE REQUIRED</p> <p>ROOF SHEATHING PER STRUCTURAL</p> <p>MIN. 30" ROOF FELT, LAP OVER BIRD STOP</p> <p>PRE-ENGINEERED TRUSS</p> <p>METAL BIRD STOP</p> <p>6" BONDERSIED REBERED GUTTER SEE ROOF PLAN</p> <p>PROTECT UNDERSIDE OF EAVE WITH FIBER CEMENT HARD SOFFIT OR SOLID MATERIAL WITH MINIMUM THICKNESS OF 3/4"</p> <p>2X8 FASCIA</p> <p>INSULATION PER LOCAL CODES</p> <p>INTERIOR GYP. BOARD</p> <p>EXTERIOR STUCCO SYSTEM REFER TO MANUFACTURER'S SPECIFICATIONS @ 4" FOAM BOARD</p> <p>INSTALLATION OF ROOF SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS @ MUNICIPAL CODES</p>  | <p><b>RAKE OVERHANG (STUCCO)</b> WAG9000280 2</p>  <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>2X NAILER AS REG. MANUFACTURER</p> <p>MIN. ROOF SLOPE TO BE 4:12</p> <p>OUTLOOKER RE. TO TRUSS MANUFACTURER</p> <p>ROOF SHEATHING PER STRUCTURAL</p> <p>30" ASPHALT-SATURATED ROOFING FELT, COMPLYING W/ ASTM D-226</p> <p>PROVIDE 2X4 CRIPPLERS @ 24" O.C. FOR LINA SUPPORT @ RAKE ENDS OR GABLE END TRUSS</p> <p>2X8 RESAIN BARGE BOARD</p> <p>INSULATION PER LOCAL CODES</p> <p>2X HORIZONTAL BLOCKING</p> <p>INTERIOR GYP. BOARD</p> <p>EXTERIOR STUCCO SYSTEM REFER TO MANUFACTURER'S SPECIFICATIONS @ 4" FOAM BOARD</p> <p>INSTALLATION OF ROOF SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS @ MUNICIPAL CODES</p>   | <p><b>TYPICAL 'S' TILE RIDGE / HIP</b> WAG9000280 1</p>  <p>CONCRETE TILE RE. SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>BATTEN (NOMINAL 1/2" MIN) WHERE REQUIRED</p> <p>ROOF SHEATHING RE. TO STRUCTURAL</p> <p>PRE-ENGINEERED TRUSS</p> <p>INVERTED CAP SHEET</p> <p>METAL BIRDSTOP</p> <p>INSULATION PER LOCAL CODES</p> <p>2X BLOCKING, REFER TO STRUCTURAL</p> <p>4X SHAPED FOAM CORSEL OVER FOAM PRICE BOARD</p> <p>3/4" GA. GALV. METAL DRIP EDGE FLASHING</p> <p>INTERIOR GYP. BOARD</p> <p>EXTERIOR STUCCO SYSTEM REFER TO MANUFACTURER'S SPECIFICATIONS @ 4" FOAM BOARD</p> <p>INSTALLATION OF ROOF SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS @ MUNICIPAL CODES</p>          |
| <p><b>FLUMBLING VENT THROUGH ROOF TILE</b> WAG9000280 12</p>  <p>STORY COLLAR SET IN CONT. LIBERAL BEAD OF WATER TIGHT ADHESIVE</p> <p>SEAL BOTH FLASHINGS TO VENT WITH WATER TIGHT ADHESIVE</p> <p>PRIMARY FLASHING - HAND FORM TO TILE SHAPE, SIZE TO FIT AS REQUIRED</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>FLUMBLING VENT 1/4" MAXIMUM TO ROOF SHEATHING</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR ROOF DECK REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p>  | <p><b>B-VENT THROUGH ROOF TILE</b> WAG9000280 11</p>  <p>3/8" GA. G-90 GALV. CORROSION RESISTANT STORY COLLAR SET IN CONT. LIBERAL BEAD OF WATER TIGHT ADHESIVE</p> <p>SEAL BOTH FLASHINGS TO VENT WITH WATER TIGHT ADHESIVE</p> <p>PRIMARY FLASHING - HAND FORM TO TILE SHAPE, SIZE TO FIT AS REQUIRED</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>B-VENT MINIMUM 1" TO COMBUSTIBLE MATERIALS</p> <p>NOTE: WHEN TILES ARE CUT TO THE EXTENT THAT ANCHOR LUGS AND NAIL HOLES ARE ELIMINATED, THE REMAINING PORTION MUST BE SUPPORTED ON AN EVEN PLANE WITH THE FIELD TILES. CUT TILES SHOULD BE FASTENED TO PREVIOUS COURSE OF TILE WITH WIRE TIES AND WATER TIGHT ADHESIVE</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR ROOF DECK REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p> | <p><b>CRICKET PAN FLASHING</b> SFOC9000201 10</p>  <p>GENERAL ROOF DETAIL</p> <p>WAG-ROOF-CRICKET PAN FLASHING</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>ROOF SHEATHING RE. TO STRUCTURAL</p> <p>PRE-ENGINEERED TRUSS</p> <p>BATTEN (NOMINAL 1/2" MIN) REQ'D FOR SLOPES OVER 1:12</p> <p>2X BLKG, REFER TO STRUCTURAL</p> <p>7" TURNED UP MET. EDGE</p> <p>2X8 FASCIA @ 16" O.C. (AS REQ'D)</p> <p>LINE OF FLAT VALLEY BELOW</p> <p>LINE OF SLOPING VALLEY BELOW (AT WALL)</p> <p>PLAN VIEW</p>  | <p><b>CRICKET FLASHING (STUCCO)</b> WAG9000280 9</p>  <p>MIN. 1/8" THK. EXT. STUCCO OVER 2 LAYERS 60" MIN. BLDG. PAPER ON 2X WALLS @ 16" O.C. TYP.</p> <p>1/4" X 1/2" LAM. BOARD (NOT REQ'D @ SHEAR CONDITIONS)</p> <p>3/8" GA. G-90 GALV. CORROSION RESISTANT FLATBACK DIATTO @ 26 GA. G.I. PAN FLASHING</p> <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>PRE-ENGINEERED TRUSS</p> <p>2X CONTINUOUS LEDGER</p> <p>2X FIRE BLOCKING</p> <p>NOTE: UNDERLAYMENT SHALL EXTEND A MIN. OF 1" UP VERT. ID/ BLKG OR WALL. LAPS SHALL BE A MIN. OF 36" SIDE LAP &amp; 18" HEAD LAP</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR SHEAR REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p> <p>FLATBACK DIATTO</p> <p>2X PAN FLASHING</p> <p>VARIES</p>      | <p><b>RAKE OVERHANG W/ OUTLOOKER</b> WAG9000280 8</p>  <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>OUTLOOKER RE. TO TRUSS MANUFACTURER</p> <p>ROOF SHEATHING RE. TO STRUCTURAL</p> <p>2X FASCIA (SEE ELEV.)</p> <p>PROTECT UNDERSIDE OF EAVE WITH FIBER CEMENT HARD SOFFIT OR SOLID MATERIAL WITH MINIMUM THICKNESS OF 3/4"</p> <p>6X6 RIS OUTLOOKER W/ CHAMFERED ENDS</p> <p>2" FUTURE FLASH @ END TAILS</p> <p>2 BOARD RAKE REFER TO ROOF PLAN</p> <p>EXTERIOR</p> <p>(2) LAYERS BUILDING PAPER OVER EXTERIOR SHEATHING</p> <p>36" SO. FUTURE FLASH @ OUTLOOKER</p> <p>EXT. STUCCO SYSTEM REFER TO MANUFACTURER'S SPECIFICATIONS @ 4" FOAM BOARD</p> <p>INSULATION PER LOCAL CODES</p> <p>2X HORIZONTAL BLOCKING</p> <p>INTERIOR GYP. BOARD</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR SHEAR REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p> | <p><b>CLOSED SOFFIT W/ 2X FASCIA (STUCCO)</b> WAG9000280 7</p>  <p>CONCRETE TILE RE. SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>BATTEN (NOMINAL 1/2" MIN) WHERE REQUIRED</p> <p>ROOF SHEATHING RE. TO STRUCTURAL</p> <p>PRE-ENGINEERED TRUSS</p> <p>INVERTED CAP SHEET</p> <p>METAL BIRDSTOP</p> <p>INSULATION PER LOCAL CODES</p> <p>2X BLOCKING, REFER TO STRUCTURAL</p> <p>4X SHAPED FOAM CORSEL OVER FOAM PRICE BOARD</p> <p>3/4" GA. GALV. METAL DRIP EDGE FLASHING</p> <p>INTERIOR GYP. BOARD</p> <p>EXTERIOR STUCCO SYSTEM REFER TO MANUFACTURER'S SPECIFICATIONS @ 4" FOAM BOARD</p> <p>INSTALLATION OF ROOF SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS @ MUNICIPAL CODES</p> |
| <p><b>NOT USED</b></p>  | <p><b>NOT USED</b></p>  | <p><b>VENTED SOFFIT W/ 2X FASCIA BOARD</b> WAG9000280 16</p>  <p>CONCRETE TILE W/ (1) LAYER 30" UNDERLAYMENT (ASTM D-226) - REFER TO SPECS FOR STYLE AND INSTALLATION REQUIREMENTS</p> <p>ROOF SHEATHING RE. TO STRUCTURAL</p> <p>PRE-ENGINEERED TRUSS</p> <p>BATTEN (NOMINAL 1/2" MIN) REQ'D FOR SLOPES OVER 1:12</p> <p>2X BLKG, REFER TO STRUCTURAL</p> <p>1/2" MIN. EXTENSION</p> <p>2X8 FASCIA @ 16" O.C. (AS REQ'D)</p> <p>INTERIOR GYP. BOARD</p> <p>3/8" GA. G-90 GALV. METAL DRIP EDGE FLASHING MINIMUM</p> <p>EXTERIOR STUCCO SYSTEM (1) LAYERS OF BLDG. PAPER ON EXT. SHTG. REFER TO MANUF. SPECS.</p> <p>NOTE: UNDERLAYMENT SHALL EXTEND A MIN. OF 1" UP VERT. ID/ BLKG OR WALL. LAPS SHALL BE A MIN. OF 36" SIDE LAP &amp; 18" HEAD LAP</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR SHEAR REQUIREMENTS</p> <p>NOTE: PROVIDE NAILING, BATTENS AND UNID. CLIPS PER MFR. INSTALLATION RECOMMENDATIONS</p>                     | <p><b>PAN FLASHING DETAIL</b> WAG-9-TILE-14 15</p>  <p>EXTERIOR FINISH OVER 2 LAYERS 60" MIN. GRC. 1/2" PAPER</p> <p>PAN FLASHING</p> <p>CUT TILE CLIP</p> <p>30" FELT OVER ROOF SHEATHING</p> <p>ROOF TILE</p> <p>ALL JOINTS TO BE SOLDERED</p> <p>BATTENS WITH 1/2" GAP AT 4'-0" O.C. MAXIMUM</p> <p>COORDINATE BATTEN LAYOUT WITH USE OF SCAFFOLDING. HOLD BATTENS 6"-8" AWAY FROM WALL UNTIL SCAFFOLD IS REMOVED</p> <p>REMOVE ALL LEATHER CHECKS AND LUGS IN PAN WHEN USING CUT TILE CLIPS</p> <p>ANTICIPONDING WITH UNO. PRIOR TO ROOF FELT</p> <p>GUTTER / FASCIA - HOLD 2" AWAY FROM ROUGH FRAMING WHEN EITHER END MEETS A PERPENDICULAR WALL</p> <p>ILLUSTRATION IS FOR GENERAL INTENT. SEE SPECIFIC DETAILS AND PLANS FOR ACTUAL CONDITIONS</p> <p>APPLY WITH SEALANT</p> <p>MIN. 1/2" 1/4" X 3/8" 30" ROOF FELT OVER SOLID BACKING OR 3/8" GA. METAL IF NO SHEATHING EXISTS</p> | <p><b>PARALLEL WALL AT CORNER</b> WAG-9-TILE-15 14</p>  <p>EXTERIOR FINISH</p> <p>PAN FLASHING</p> <p>ROOF TILE</p> <p>SUPPORT FOR FLEXIBLE FLASHING</p> <p>CRIMP EDGE</p> <p>FLEXIBLE FLASHING TO CONFORM WITH SHAPE OF ROOF TILE. ENSURE THAT JUNCTION OF TWO FLASHING LINES IS WATERTIGHT AND THAT THE WATER IS TRANSFERRED TO THE TOP OF THE TILE.</p> <p>COUNTER FLASHING</p> <p>ISOMETRIC</p> <p>ILLUSTRATION IS FOR GENERAL INTENT. SEE SPECIFIC DETAILS AND PLANS FOR ACTUAL CONDITIONS</p> <p>COORDINATE ALL MATERIAL LAYOUT WITH SCAFFOLDING. SCAFFOLDING IS NOT TO DAMAGE FLASHING MATERIAL DURING ITS USE. COORDINATE WITH ROOFING LAYOUT</p>   | <p><b>RAKE TO WALL DIVERTER</b> WAG-9-TILE-13 13</p>  <p>36" TALL X 3/4" WIDE MOISTOR OR EQUAL BEAND BACKER BOARD WITH 1/2" BOARD LAP W/ BUILDING PAPER</p> <p>EXTEND PAN 2" PAST EAVE, CUT, TUCK BACK UNDER PAN AND SEAL</p> <p>3/8" GA. GALV. METAL RAKE TO WALL FLASHING PAN NOT PENETRATING TO OCCUR IN PAN</p> <p>30" MIN. ROOF FELT LAP UP SIDE WALL MIN. 3"</p>  |

ICE SHIELD UNDERLAYMENT TO BE APPLIED TO THE BUILDING ROOF WHEN THE GROUND ELEVATION IS ≥ 5300 FEET OR GREATER.

REFER TO RES-CHECK COMPLIANCE CERTIFICATES FOR REQUIRED INSULATION VALUES



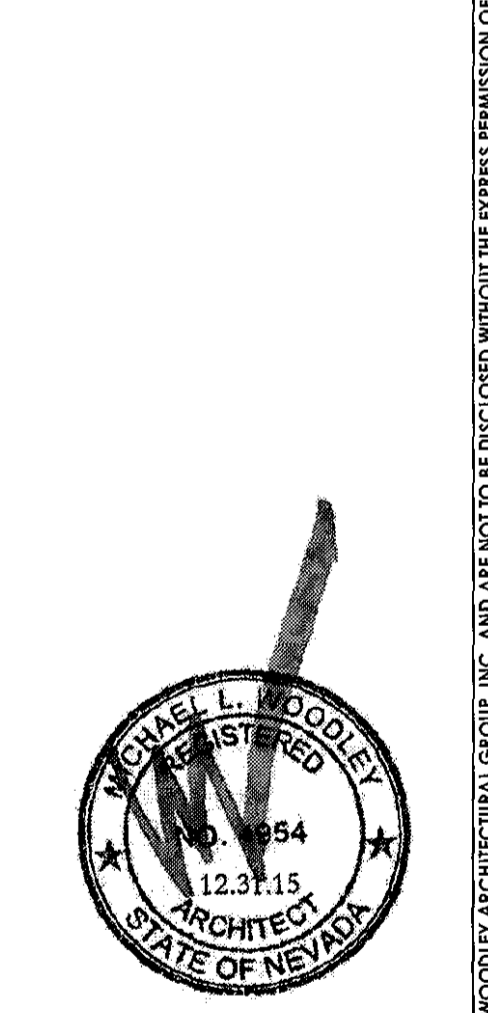
WASHOE COUNTY BUILDING DEPT.  
**OFFICE COPY**

project no: 02-17-14  
date: 08-14-12

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|----------|----------------|
| 03-02-1  | CLIENT CHANGES |
| 03-02-1  | BUILD. DEPT.   |
| 04-11-1  | CLIENT CHANGES |
| 01-29-1  | CLIENT         |
| 08-14-2  | 2009 ECC       |
| 10-02-1  | FRAMING WALK   |
| 10-21-9  | 2012 CODE      |
| 02-11-14 | PLAN CHECK     |

Plan Number

Sheet Number  
**AD-1**



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|--|--|--|---|---|---|
| <p><b>FLAT TILE VALLEY - 1A</b><br/>CONCRETE FLAT TILE<br/>WAG-FLAT-TILE-VALLEY-1A</p> | <p><b>SIDE WALL FLASHING</b><br/>CONCRETE FLAT TILE<br/>WAG-FLAT-SIDE WALL FLASHING</p>              | <p><b>FRONT WALL FLASHING</b><br/>CONCRETE FLAT TILE<br/>WAG-FLAT-FRONT WALL FLASHING</p>    | <p><b>FLAT TILE EAVE</b><br/>FLAT CONCRETE TILE<br/>FASCIA GUTTER</p>               | <p><b>RAKE OVERHANG (STUCCO)</b><br/>FLAT CONCRETE TILE</p>                                       | <p><b>TYPICAL FLAT TILE RIDGE / HIP</b><br/>FLAT CONCRETE TILE</p>                              |
| <p><b>EXTERIOR POPOUT SECTION</b><br/>WAG-EXT-POPOUT-3</p>                             | <p><b>B-VENT THROUGH ROOF TILE</b><br/>FLAT CONCRETE TILE<br/>WAG-FLAT-TILE-B-VENT</p>               | <p><b>CRICKET PAN FLASHING</b><br/>GENERAL ROOF DETAIL<br/>WAG-ROOF-CRICKET PAN FLASHING</p> | <p><b>AIMING AND KNEE BRACE (STUCCO)</b><br/>1\"/&gt; </p>                          | <p><b>CLOSED FOAM EAVE (STUCCO)</b><br/>METAL STANDING BEAM ROOF<br/>WAG-MTL-ROOF-14-W-SIDING</p> | <p><b>FRONT/HEAD WALL FLASHING (STUCCO)</b><br/>STANDING BEAM METAL ROOF<br/>WAG-MTL-ROOF-7</p> |
| <p><b>EXTERIOR POPOUT SECTION</b><br/>WAG-EXT-POPOUT-3</p>                             | <p><b>B-VENT THROUGH ROOF TILE</b><br/>FLAT CONCRETE TILE<br/>WAG-FLAT-TILE-B-VENT</p>               | <p><b>CRICKET PAN FLASHING</b><br/>GENERAL ROOF DETAIL<br/>WAG-ROOF-CRICKET PAN FLASHING</p> | <p><b>AIMING AND KNEE BRACE (STUCCO)</b><br/>1\"/&gt; </p>                          | <p><b>CLOSED FOAM EAVE (STUCCO)</b><br/>METAL STANDING BEAM ROOF<br/>WAG-MTL-ROOF-14-W-SIDING</p> | <p><b>FRONT/HEAD WALL FLASHING (STUCCO)</b><br/>STANDING BEAM METAL ROOF<br/>WAG-MTL-ROOF-7</p> |
| <p><b>EXTERIOR POPOUT SECTION</b><br/>WAG-EXT-POPOUT-3</p>                             | <p><b>PLUMBING VENT THROUGH ROOF TILE</b><br/>FLAT CONCRETE TILE<br/>WAG-FLAT-TILE-PLUMBING VENT</p> | <p><b>TYPICAL RIDGE/HIP DETAIL</b><br/>STANDING BEAM METAL ROOF<br/>WAG-MTL-ROOF-6</p>       | <p><b>CRICKET FLASHING</b><br/>CONCRETE FLAT TILE<br/>WAG-FLAT-CRICKET FLASHING</p> | <p><b>RAKE TO WALL DIVERTER</b><br/>FLAT CONCRETE TILE</p>  | <p><b>RAKE TO WALL DIVERTER</b><br/>FLAT CONCRETE TILE</p>                                      |

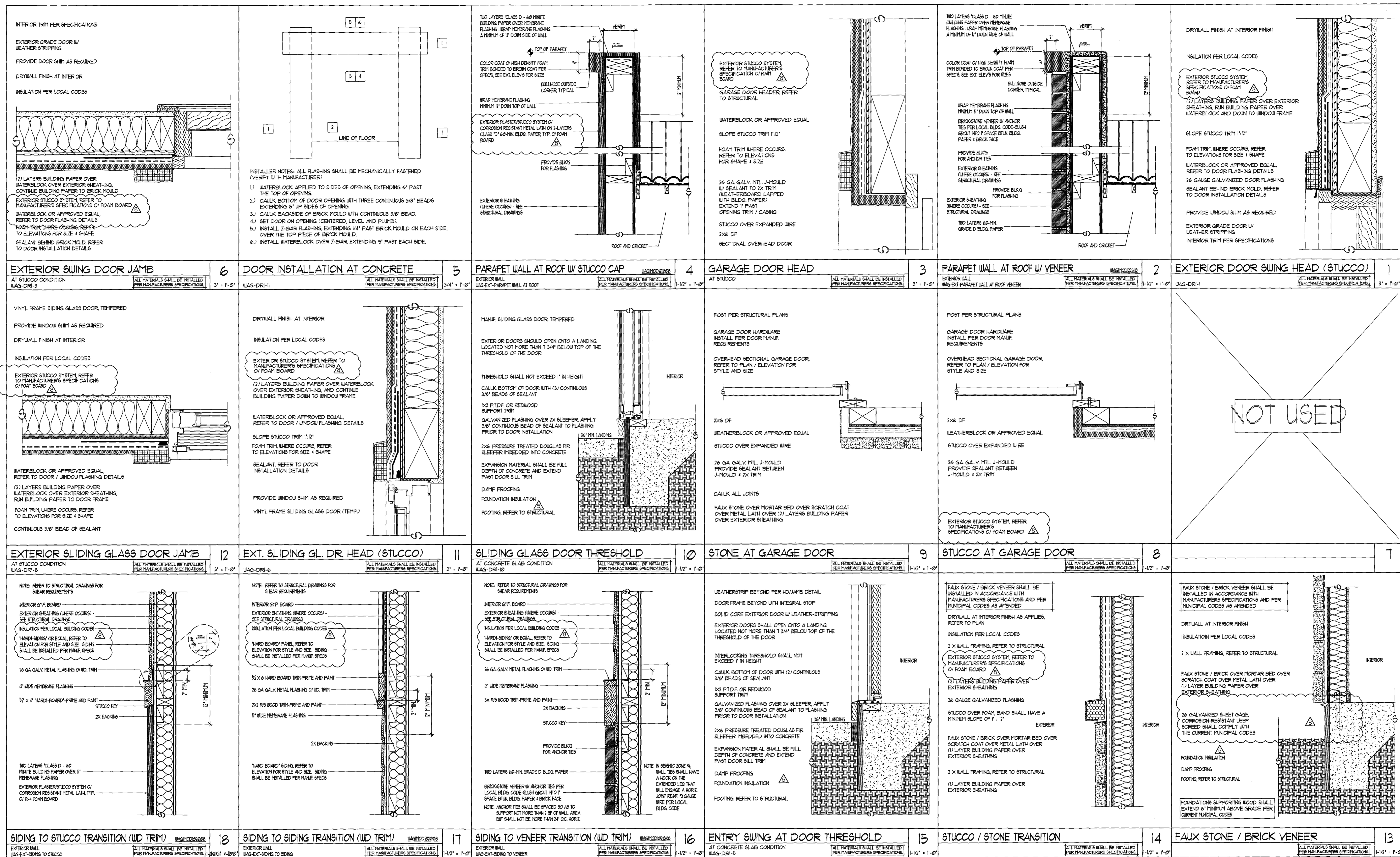
ICE SHIELD UNDERLAYMENT TO BE APPLIED TO THE BUILDING ROOF WHEN THE GROUND ELEVATION IS 5,300 FEET OR GREATER.

REFER TO RES-CHECK COMPLIANCE CERTIFICATES FOR REQUIRED INSULATION VALUES.

project no:  
date: 02-17-14  
first issue: 08-14-12

|          |                |
|----------|----------------|
| 03-02-11 | CLIENT CHANGES |
| 03-02-11 | BUILD. DEPT.   |
| 04-11-11 | CLIENT CHANGES |
| 07-29-11 | CLIENT         |
| 08-14-12 | 2009 ICC       |
| 10-02-12 | FRAMING WALK   |
| 10-31-13 | 2012 CODE      |
| 02-17-14 | PLAN CHECK     |





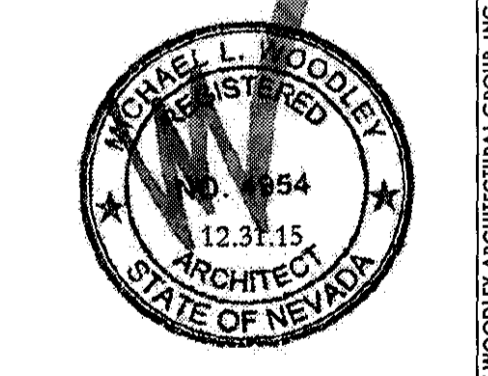
REFER TO RES-CHECK COMPLIANCE CERTIFICATES FOR REQUIRED INSULATION VALUES



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Santa Ana, California 92705  
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**Monte Vista at Mount Rose**  
Silver Crest Homes, Inc.



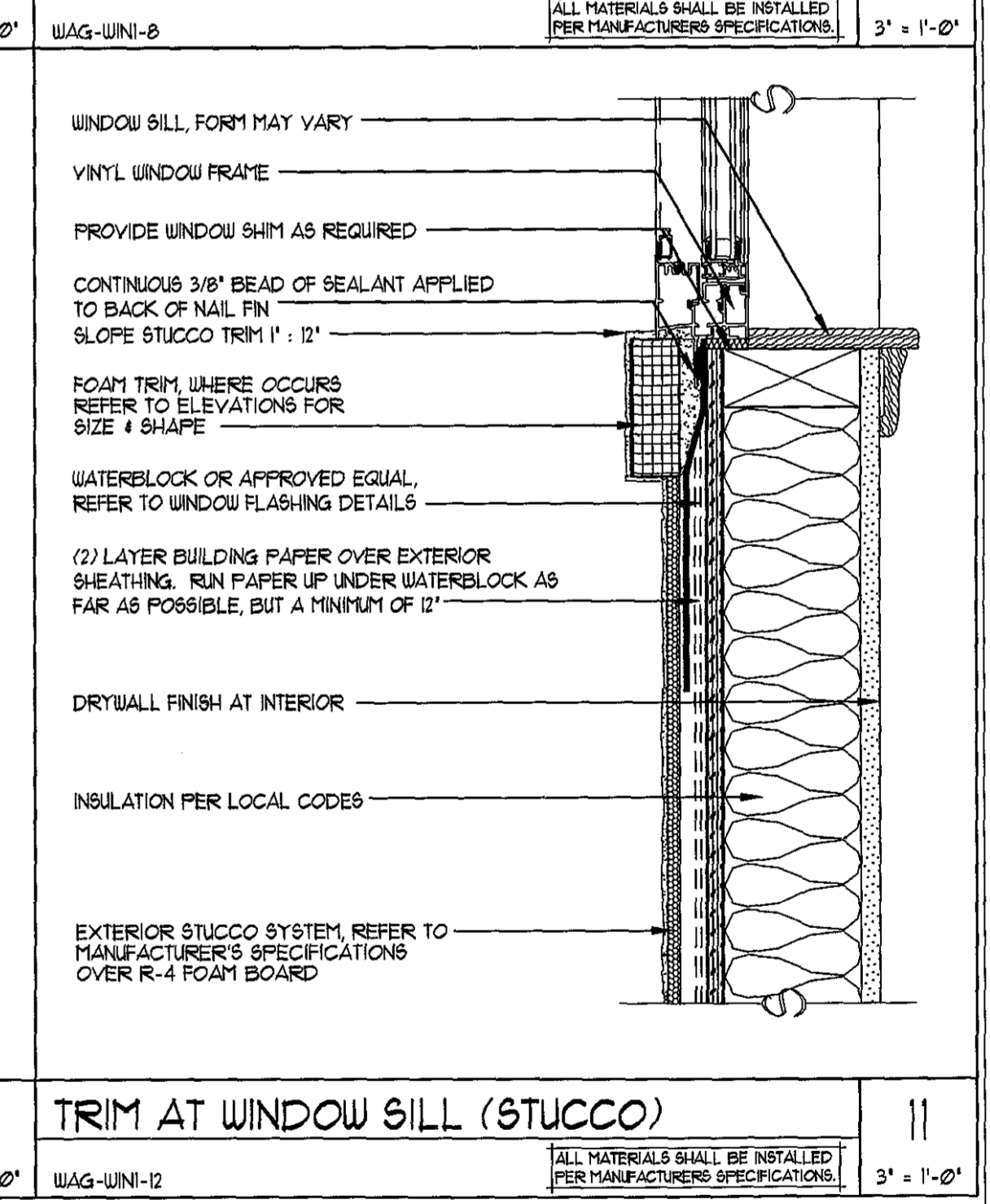
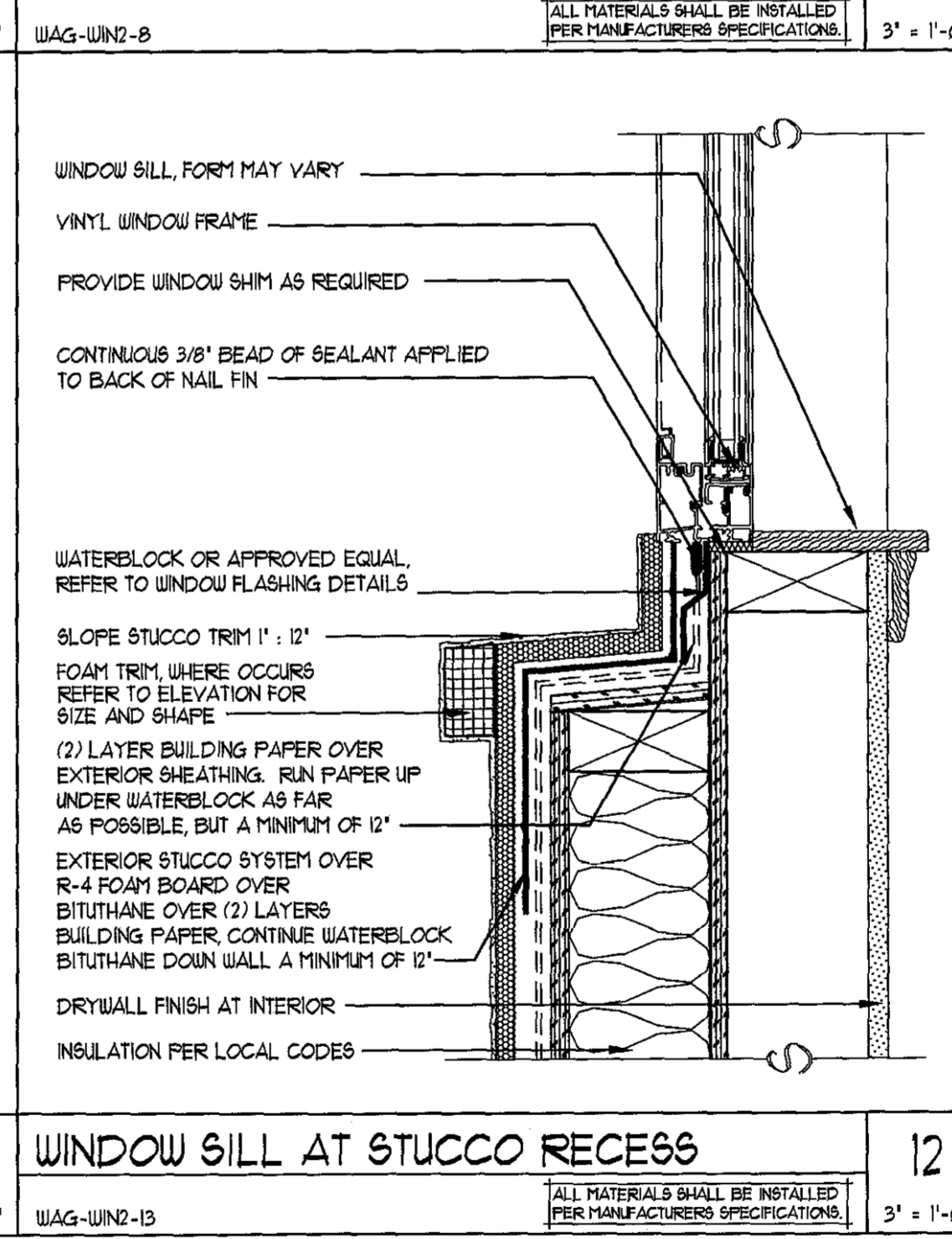
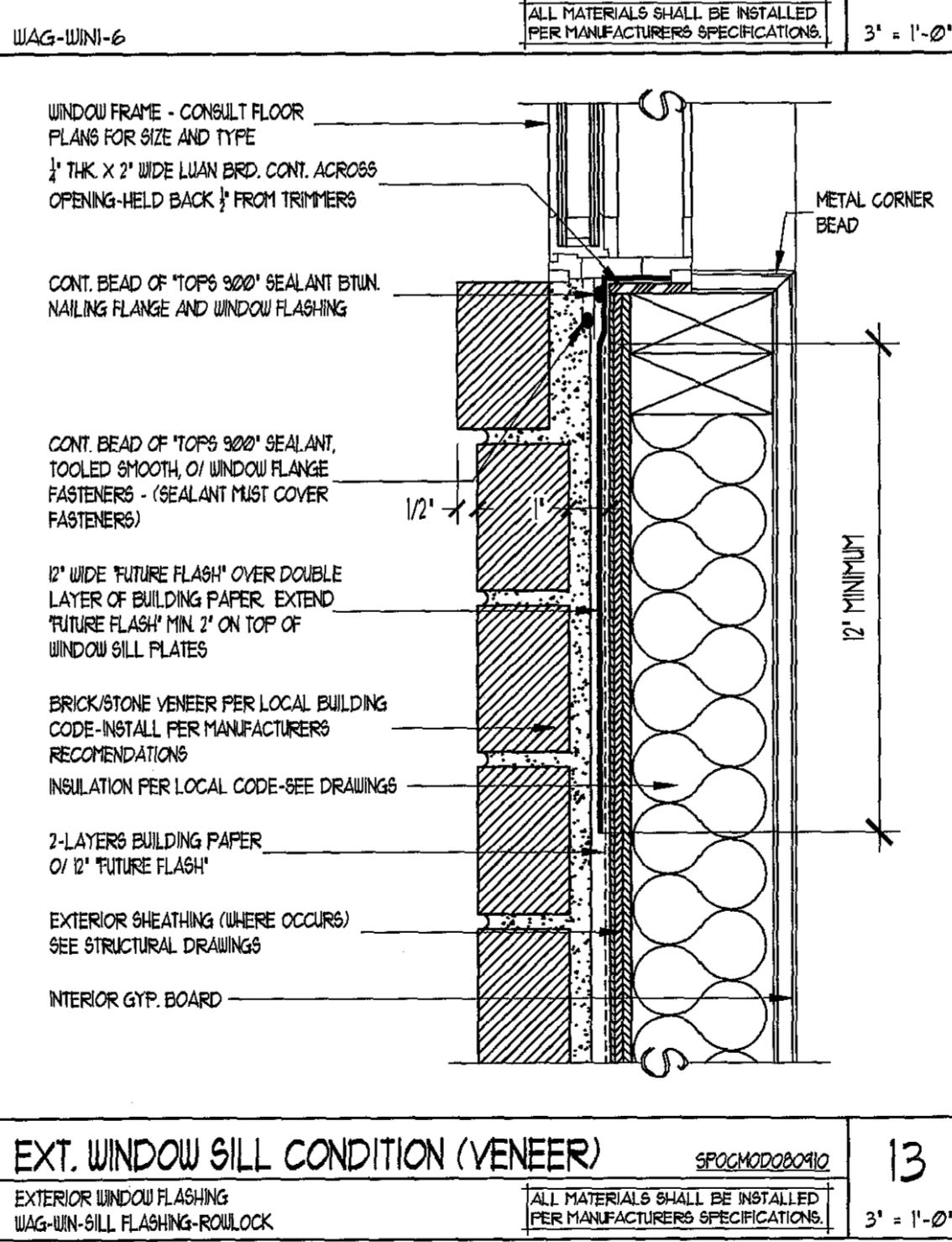
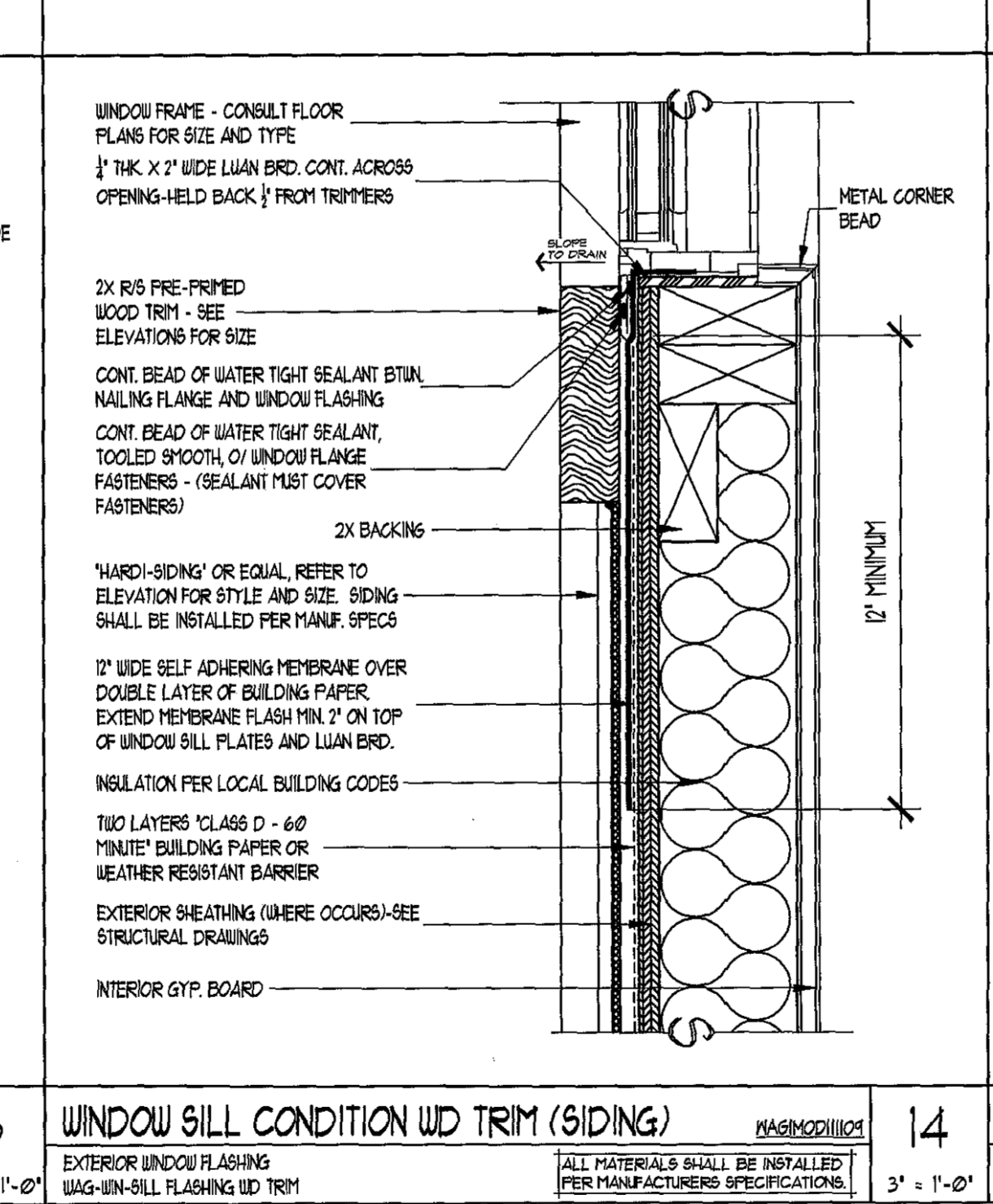
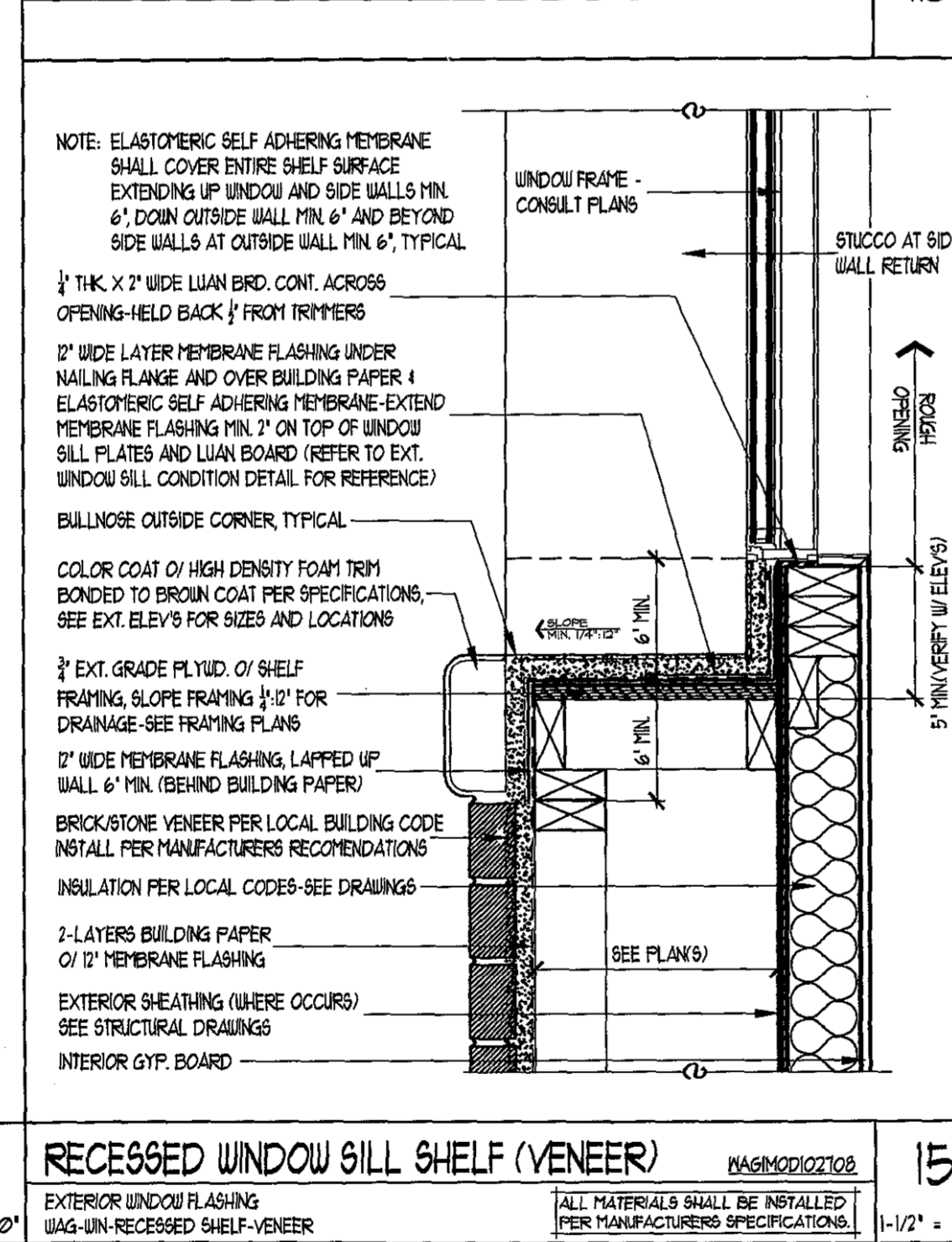
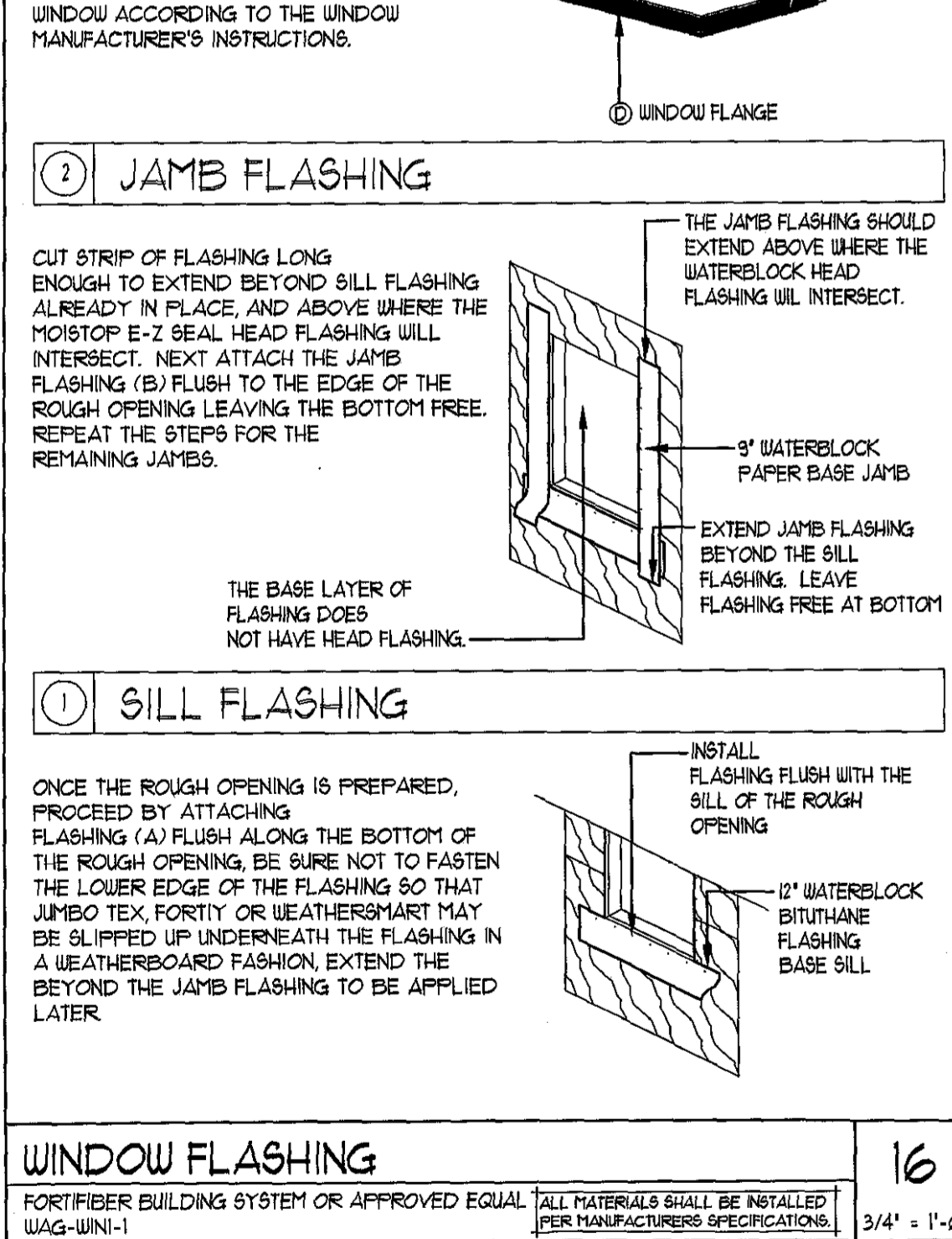
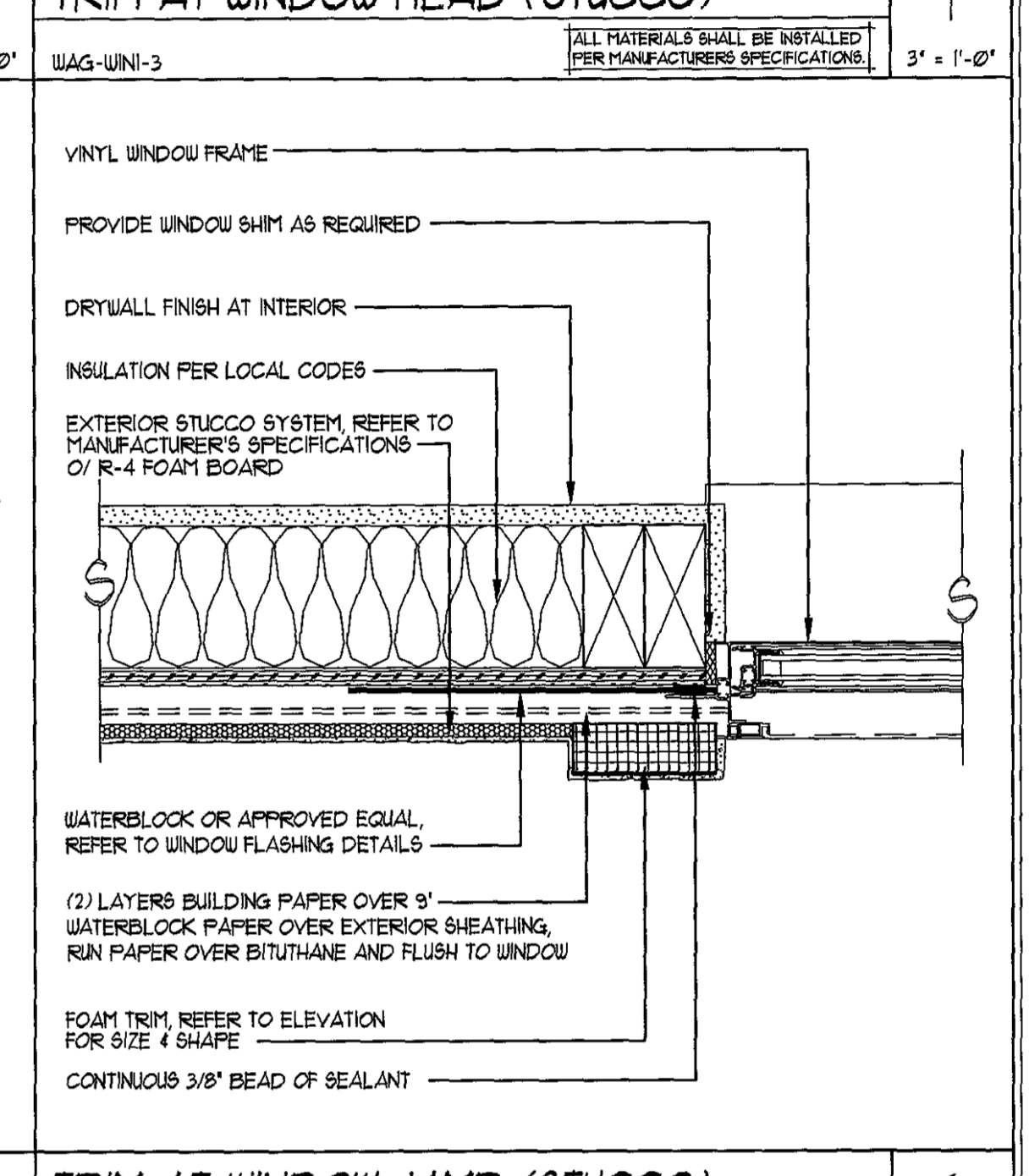
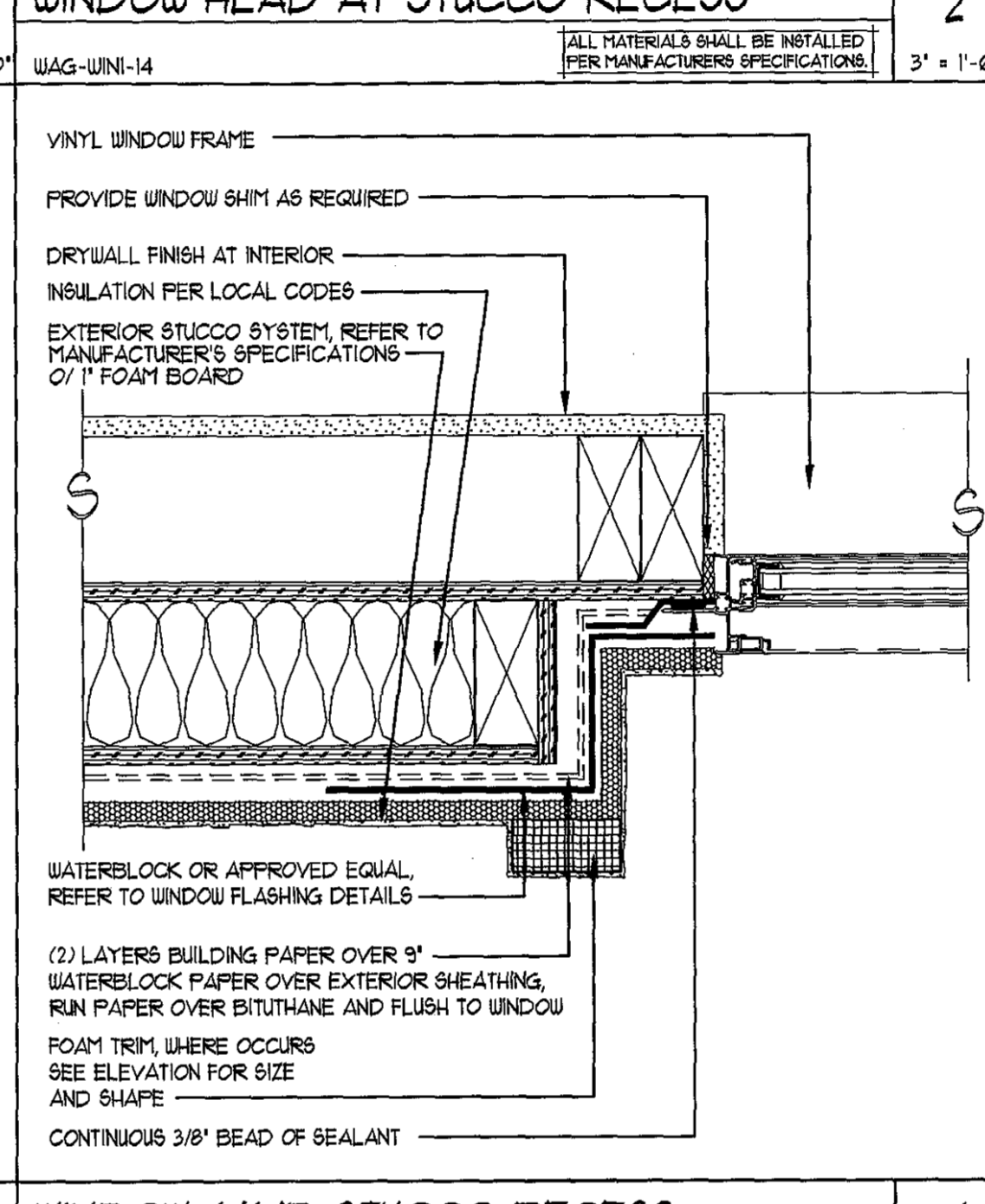
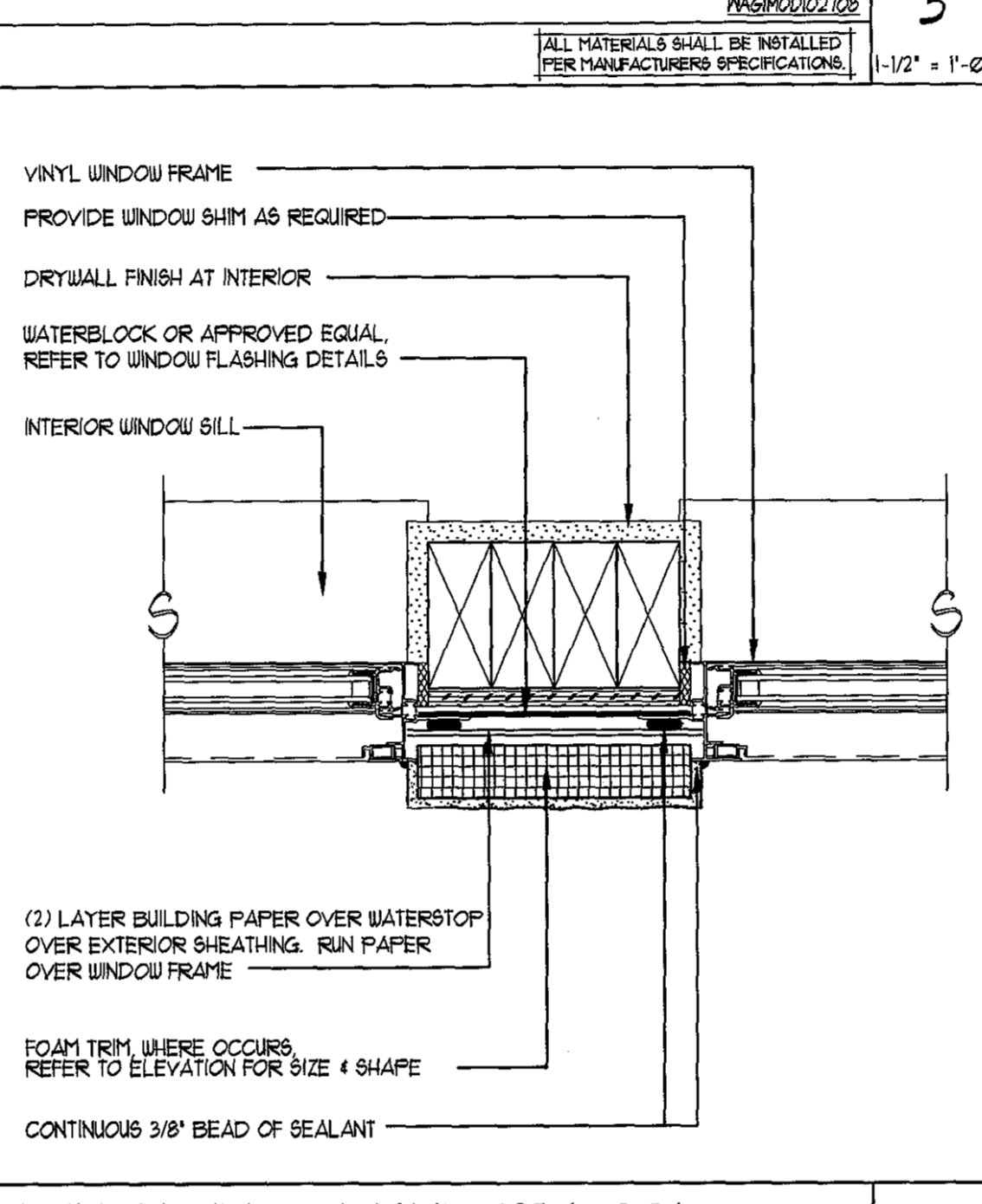
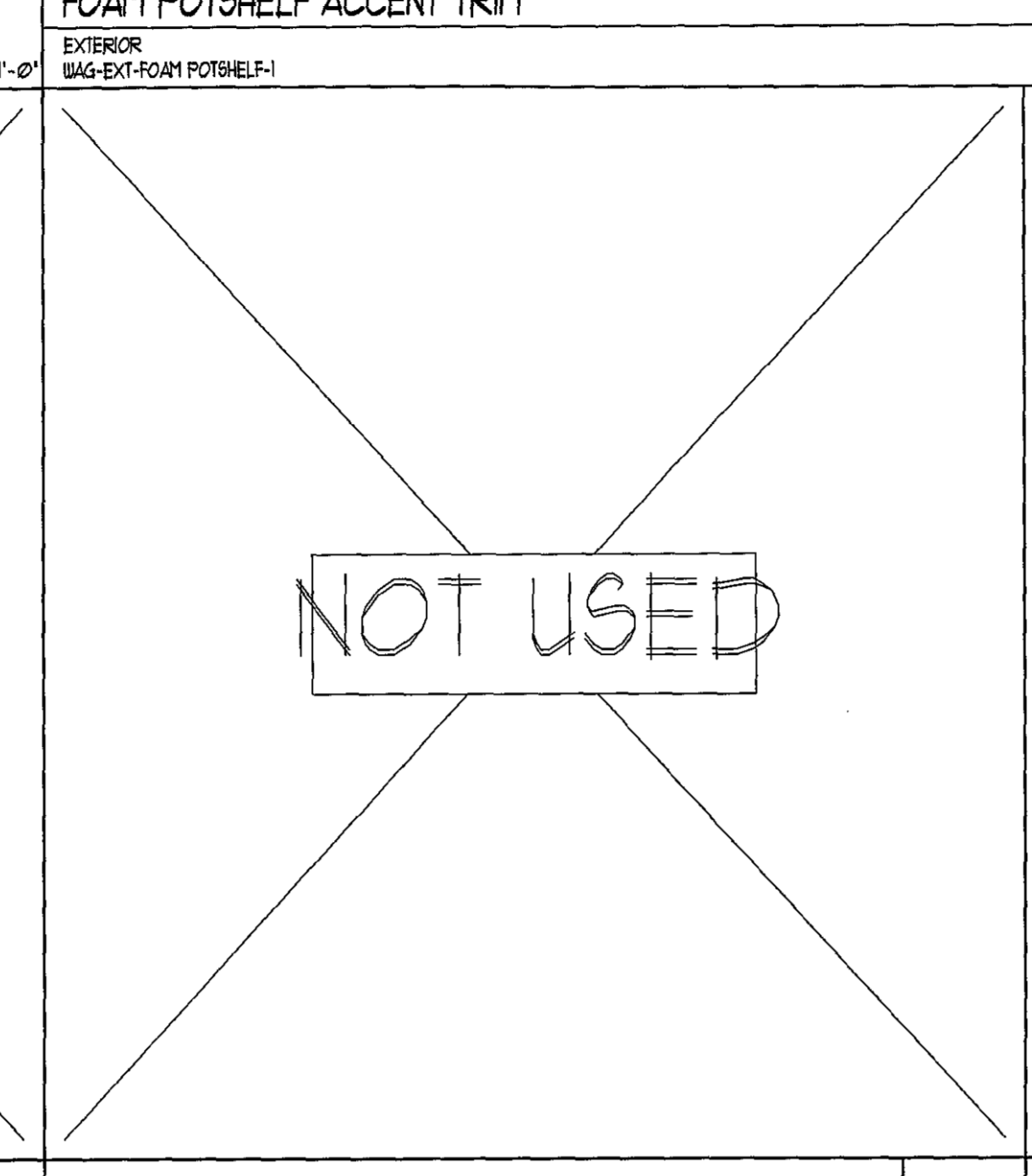
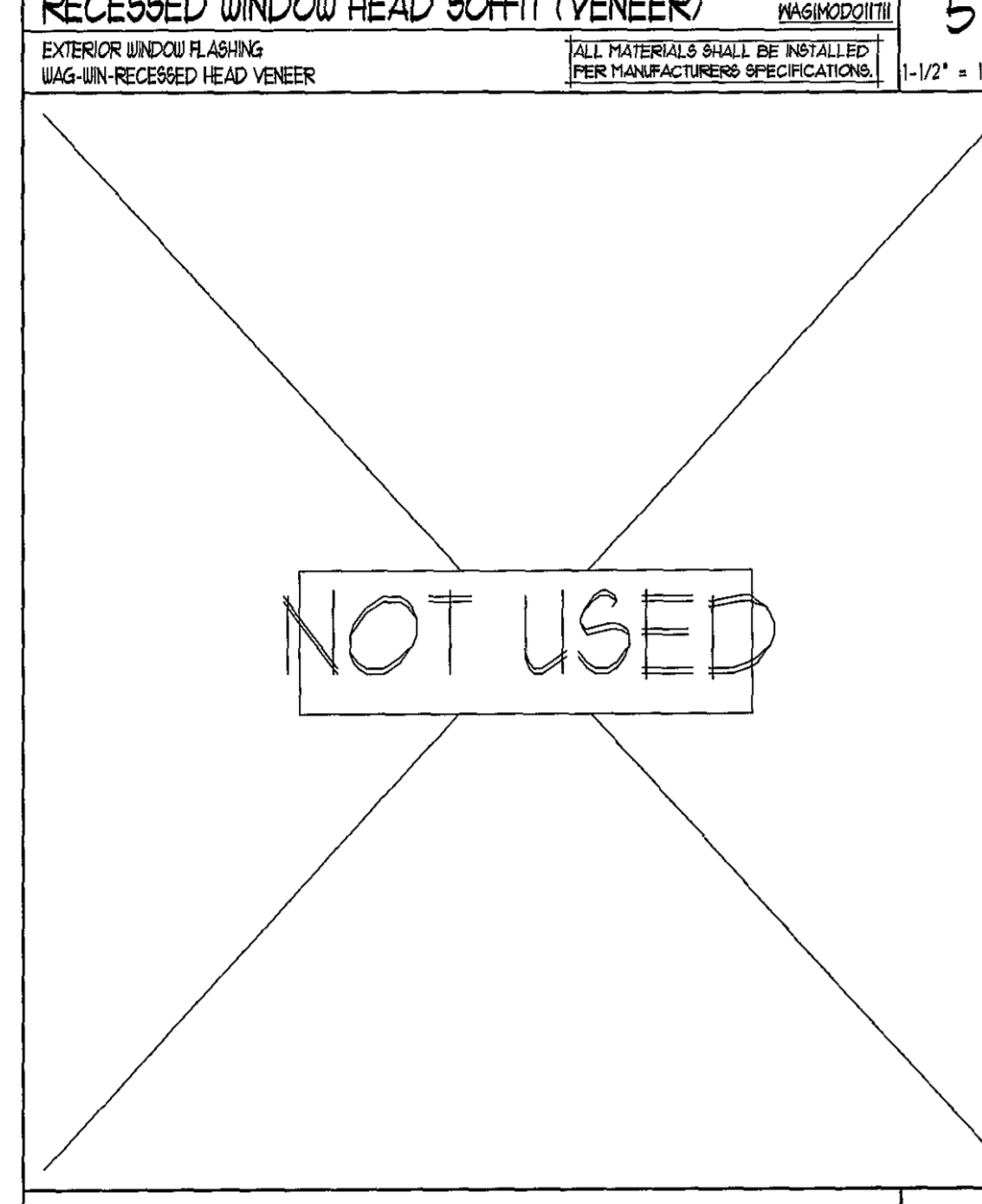
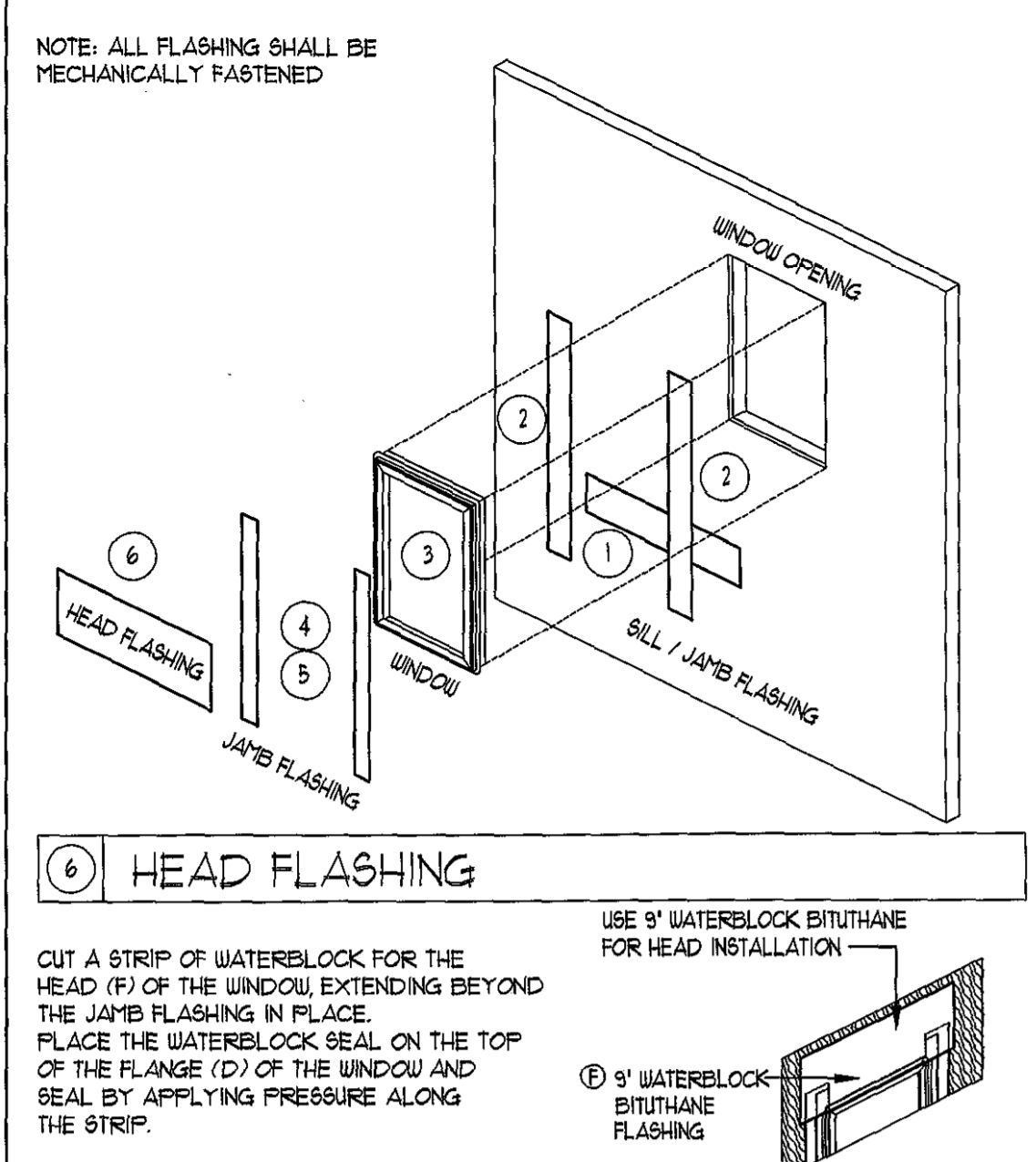
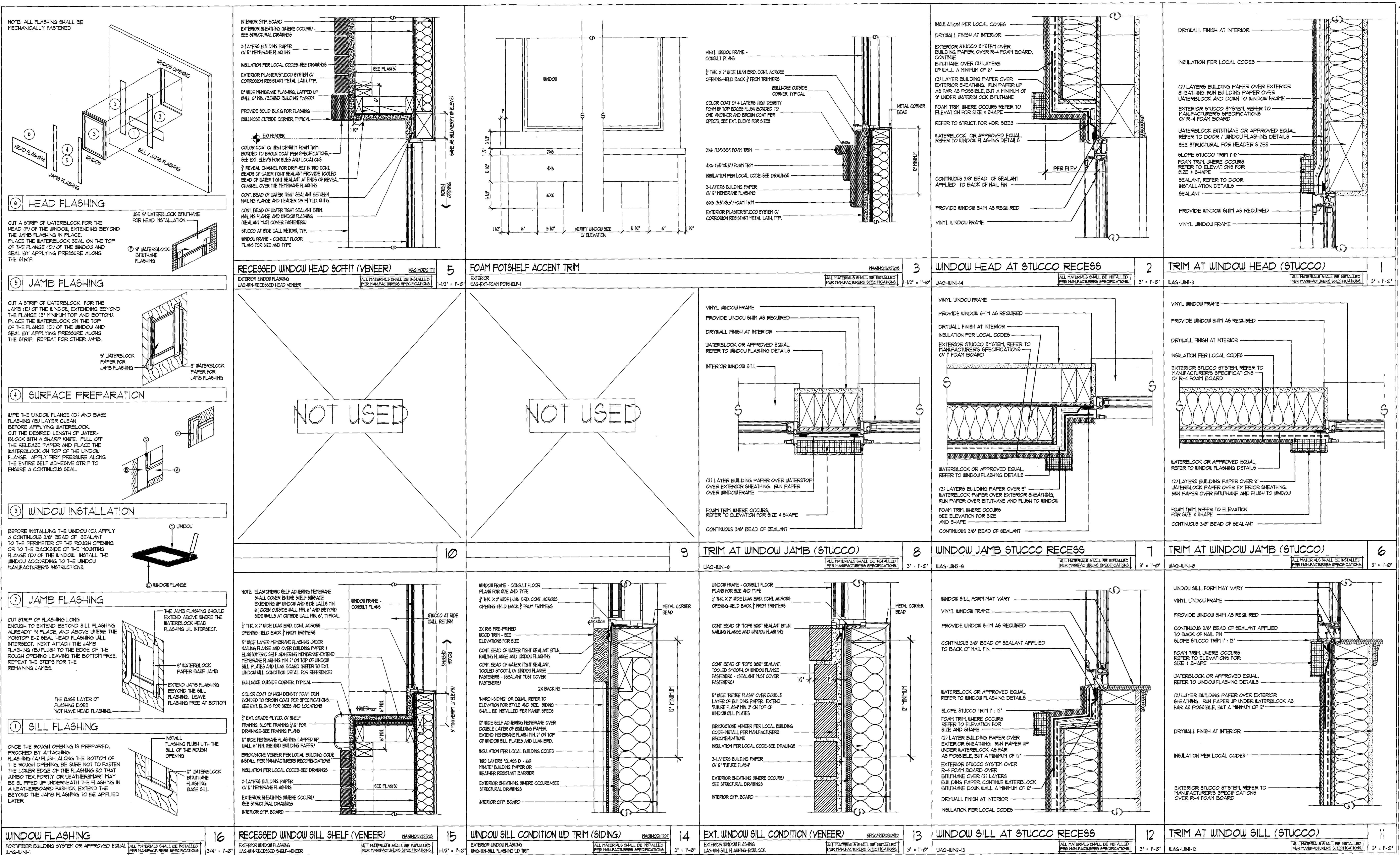
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date: 08-14-12  
first issue: 08-14-12

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| 03-02-11 | BUILD. DEPT.   |
| 04-11-11 | CLIENT CHANGES |
| 07-29-11 | CLIENT         |
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| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2010 CODE      |
| 02-11-14 | PLAN CHECK     |

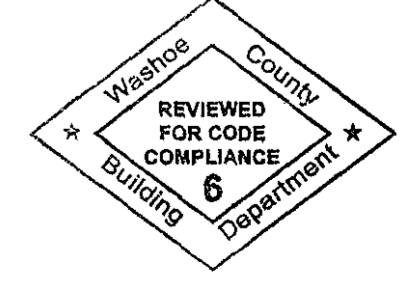


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Sheet Number  
**AD-3**

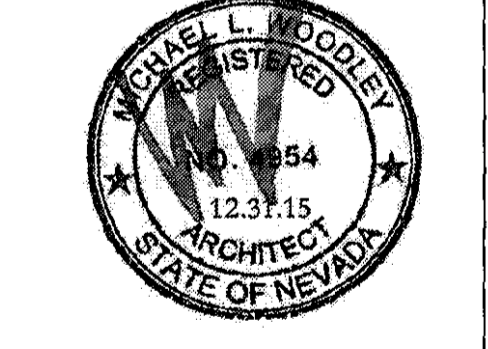


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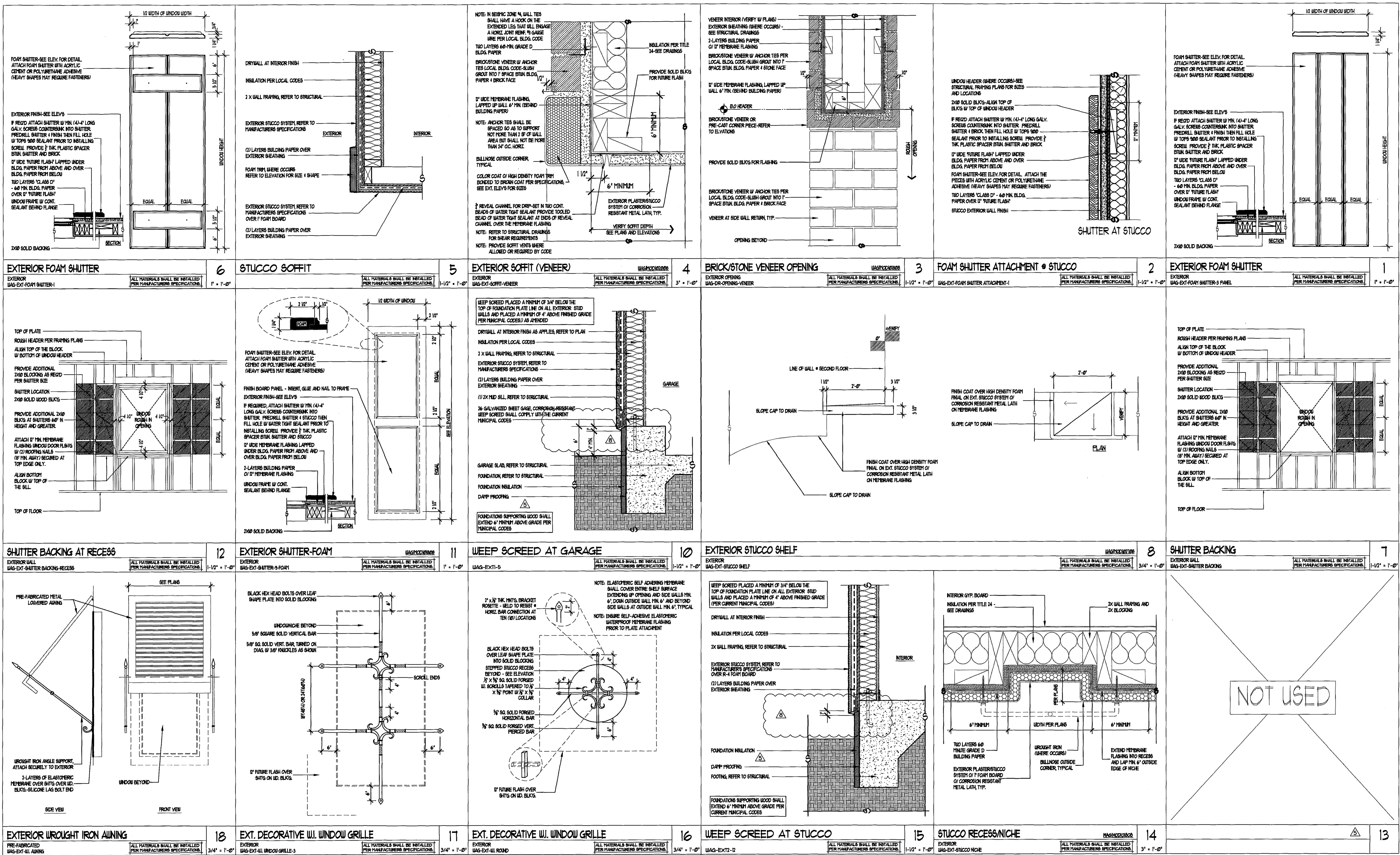
**woodleyarchitectural group, inc.**  
 colorado  
 731 Southpark Drive, Suite B  
 Littleton, Colorado 80120  
 V. 303.683.7231 F. 303.683.2922  
 california  
 2943 S. Pullman Street, Suite A  
 Scotts Valley, California 95050  
 V. 949.553.8919 F. 949.553.8909

**Silver Crest Homes, Inc.**  
**Monte Vista at Mount Rose**

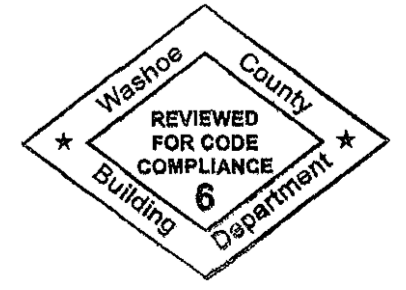


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 02-28-11 CLIENT  
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 10-02-12 FRAMING WALK  
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 02-17-14 PLAN CHECK

Plan Number  
 Sheet Number  
**AD-4**  
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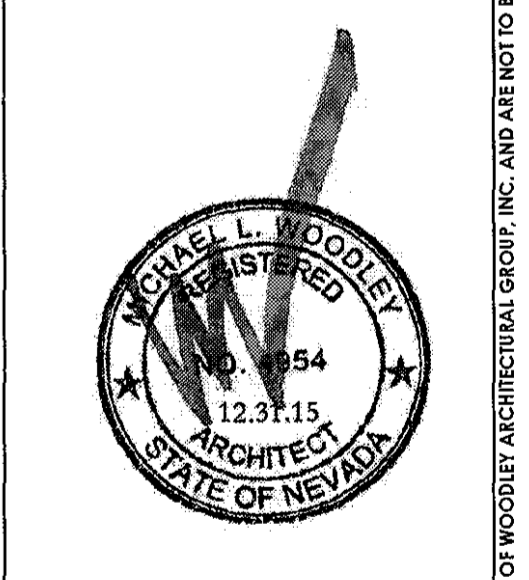


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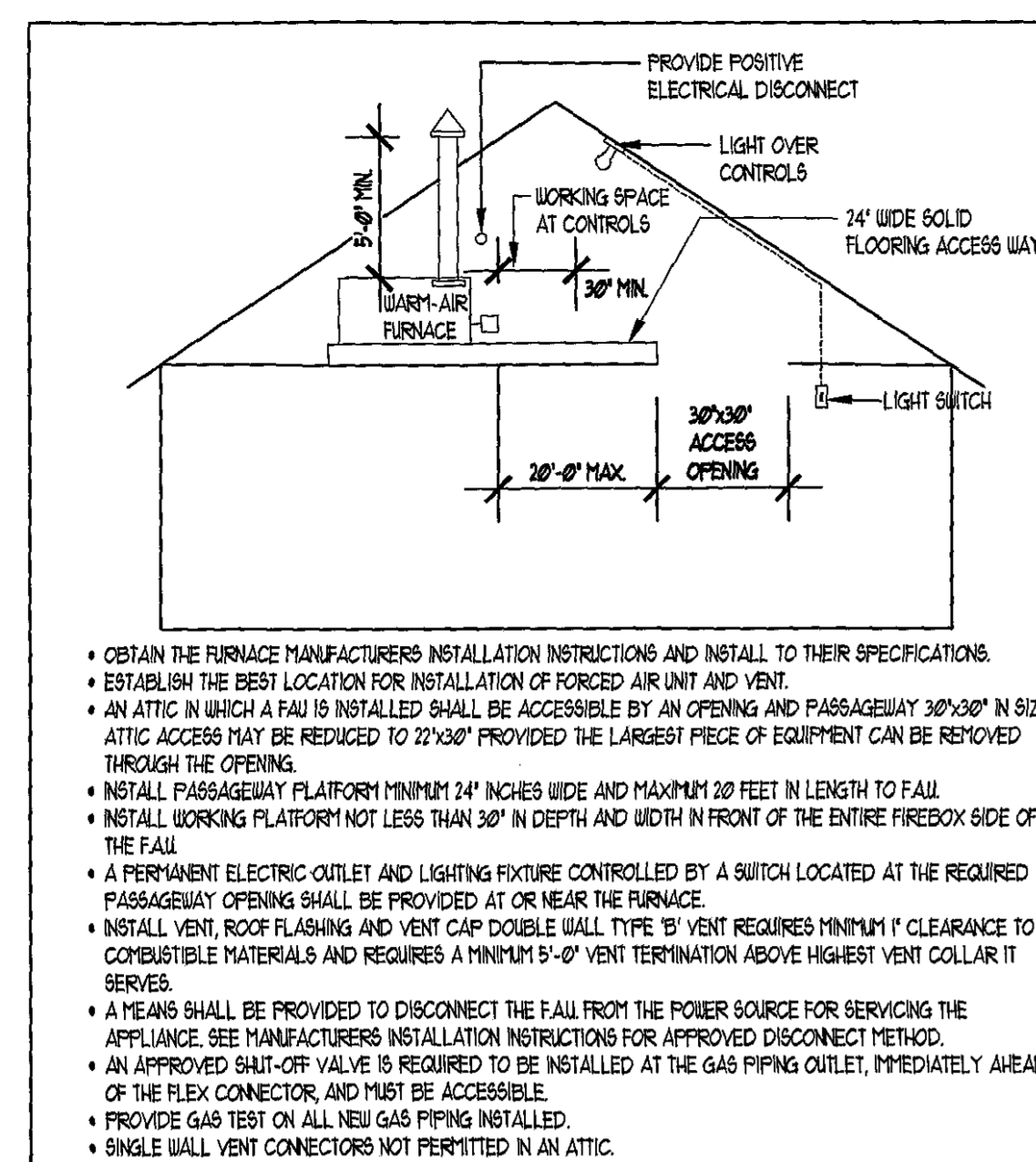
woodleyarchitectural group, inc.  
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 731 Southpark Drive, Suite 9  
 Littleton, Colorado 80120  
 V. 303.683.7231 F. 303.683.2922  
 california  
 2943 S. Pulmon Street, Suite A  
 Santa Ana, California 92705  
 V. 949.553.8919 F. 949.553.8909

Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**

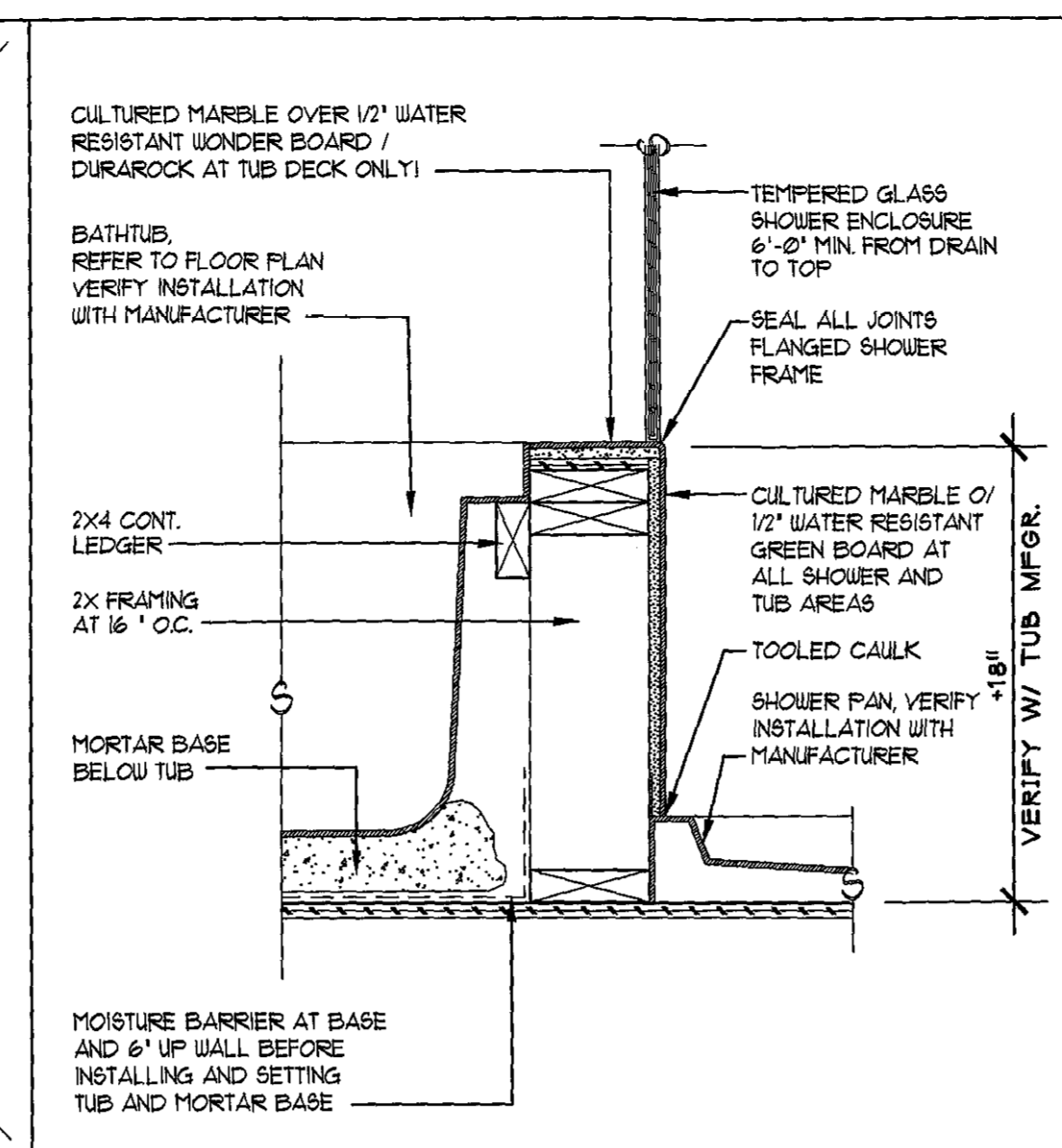
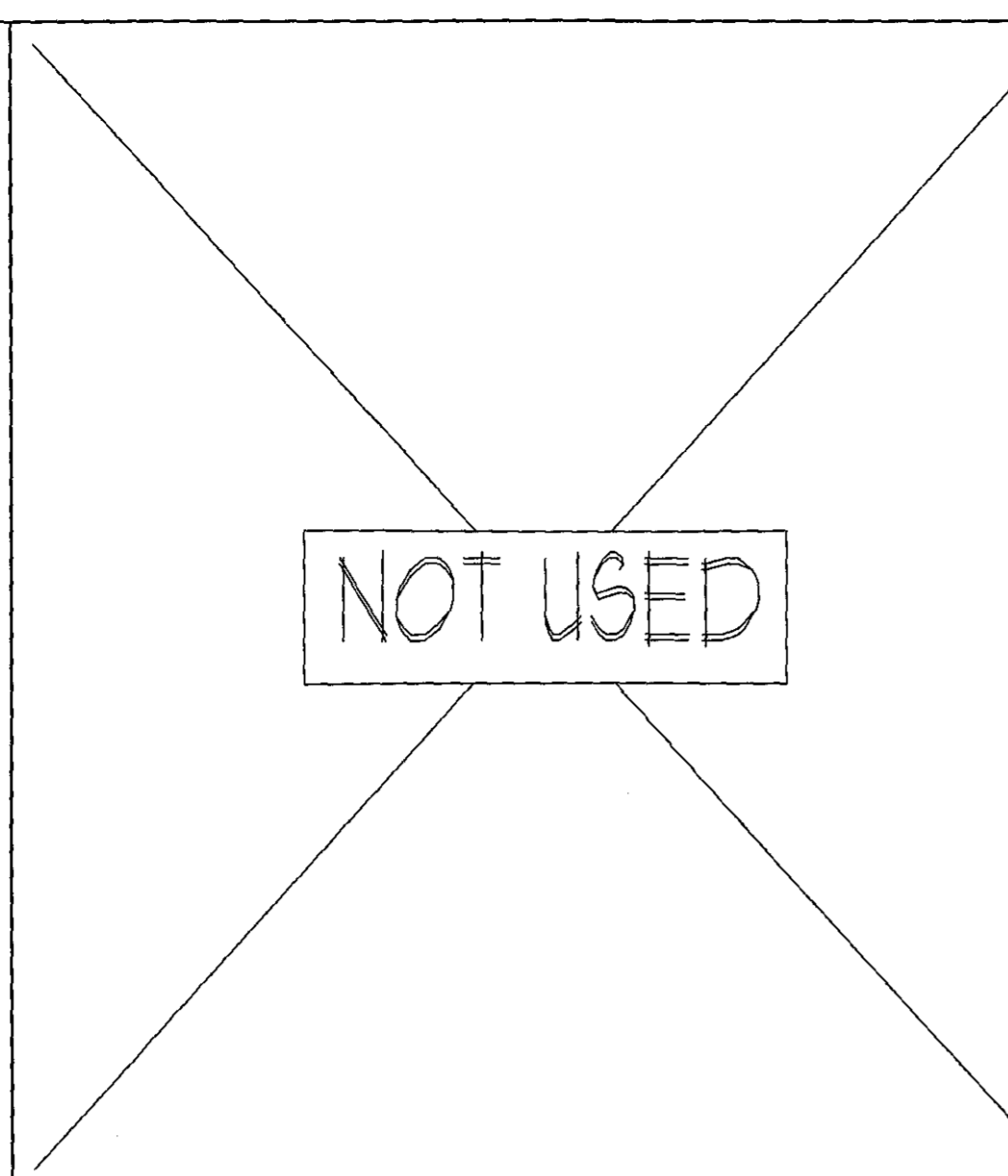


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 10-17-13 20% CODE  
 02-11-14 PLAN CHECK

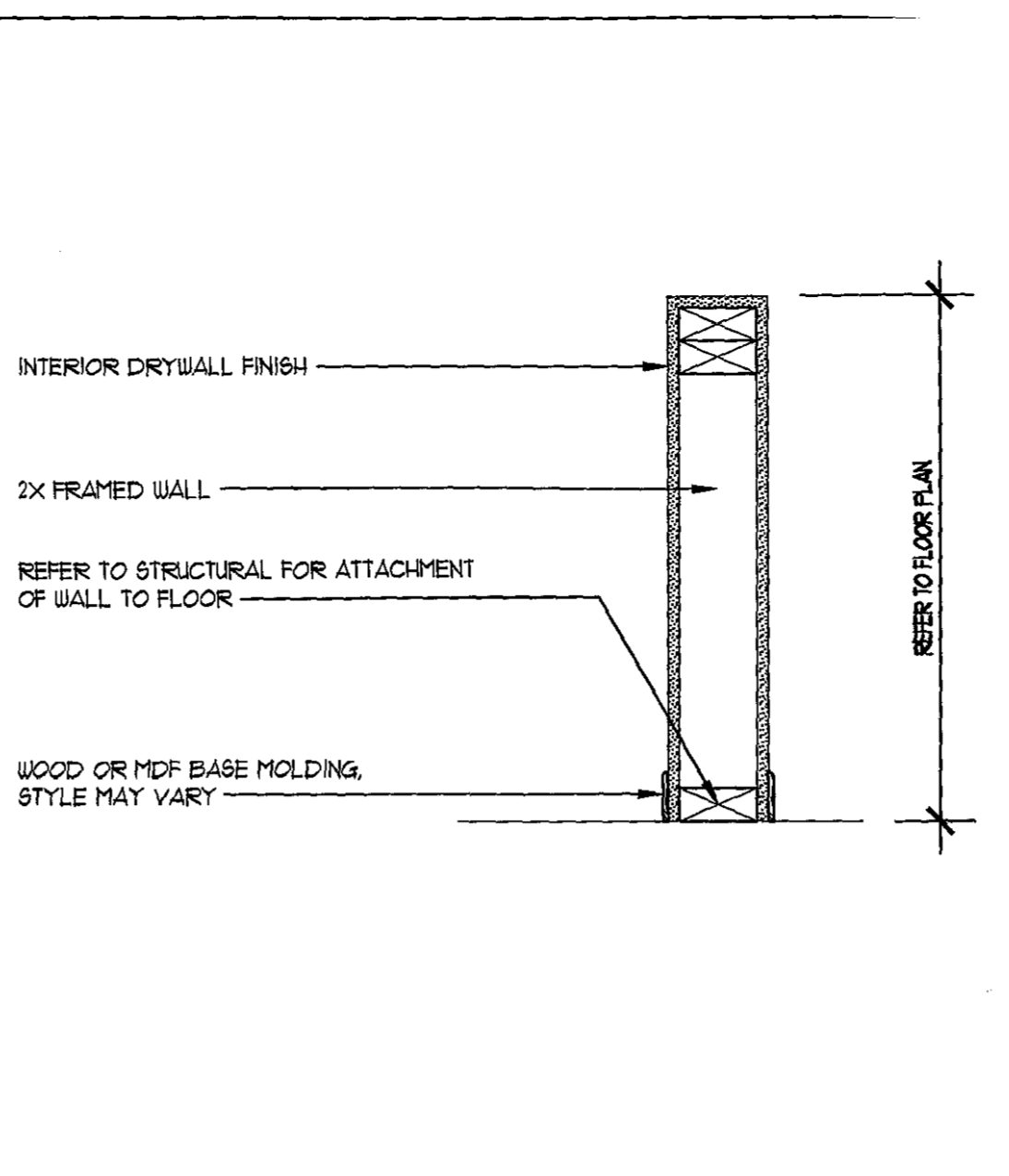
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 Sheet Number  
**AD-5**  
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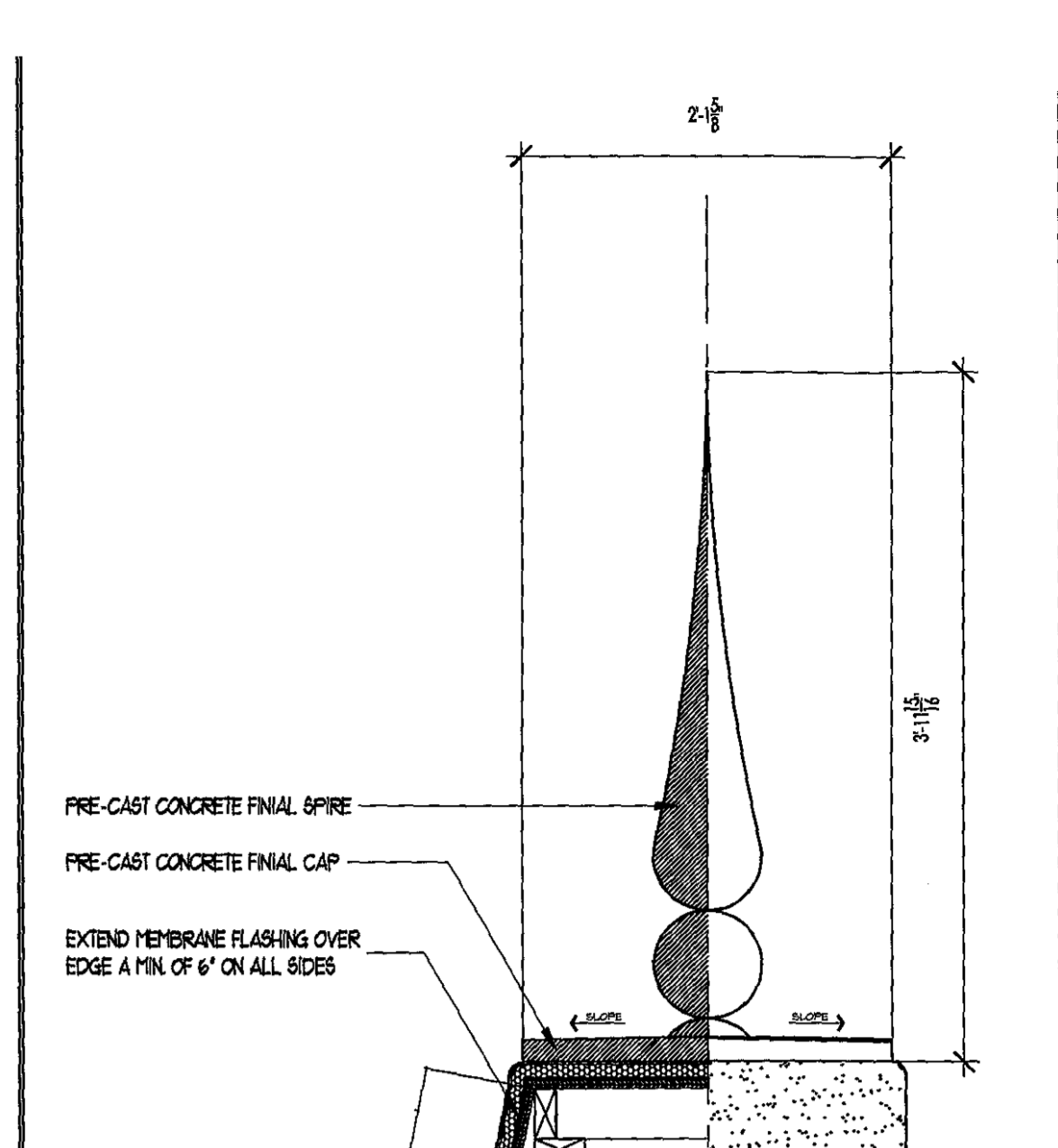
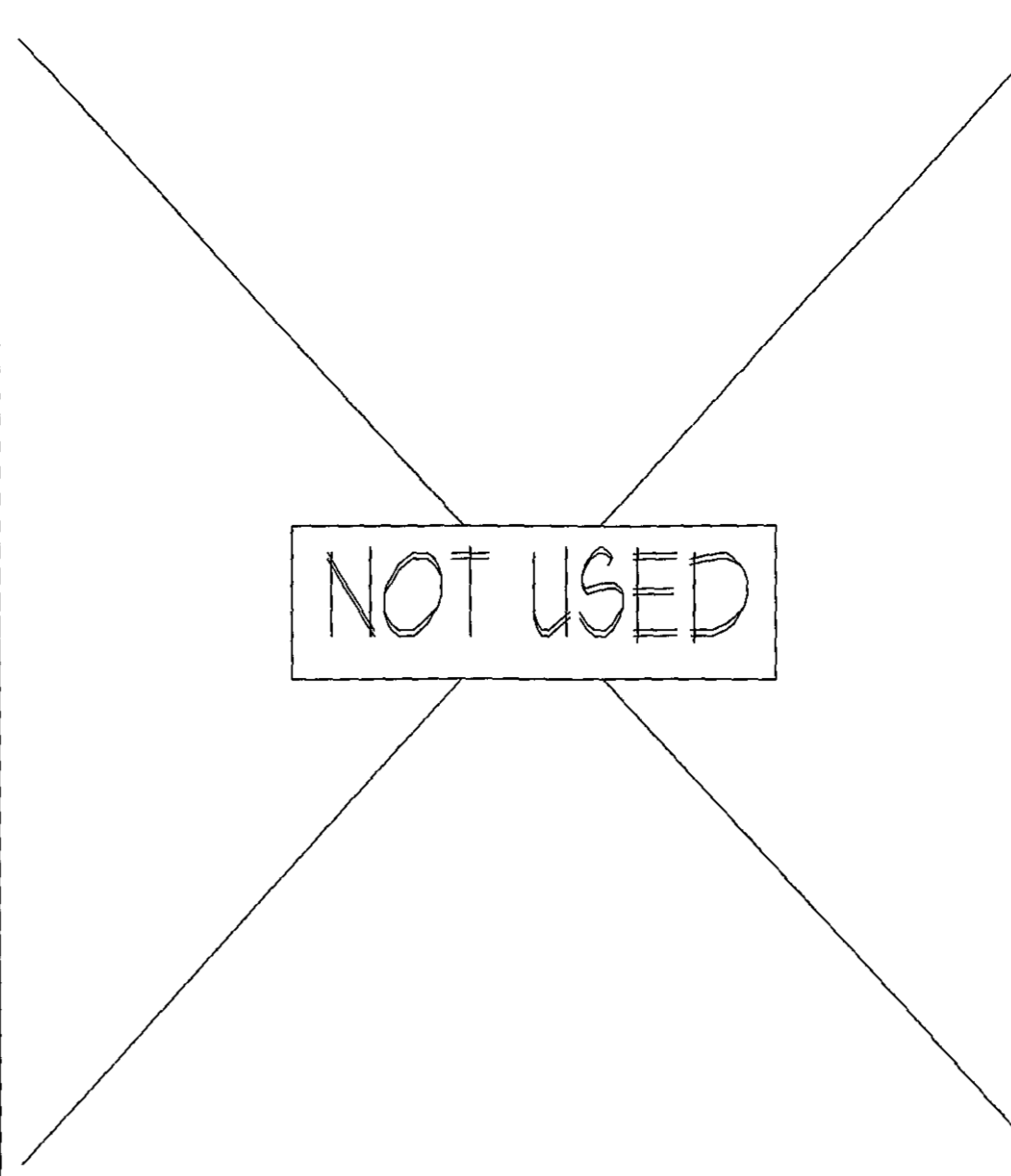
OBTAIN THE FURNACE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND INSTALL TO THEIR SPECIFICATIONS.  
 ESTABLISH THE BEST LOCATION FOR INSTALLATION OF FORCED AIR UNIT AND VENT.  
 AN ATTIC IN WHICH A FAU IS INSTALLED SHALL BE ACCESSIBLE BY AN OPENING AND PASSAGEWAY 20"x30" IN SIZE. ATTIC ACCESS MAY BE REDUCED TO 22"x30" PROVIDED THE LARGEST PIECE OF EQUIPMENT CAN BE REMOVED THROUGH THE OPENING.  
 INSTALL PASSAGEWAY PLATFORM MINIMUM 24" INCHES WIDE AND MAXIMUM 10 FEET IN LENGTH TO FAU.  
 INSTALL WORKING PLATFORM NOT LESS THAN 30" IN DEPTH AND WIDTH IN FRONT OF THE ENTIRE FIREBOX SIDE OF THE FAU.  
 A FURNACE ELECTRICAL OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING SHALL BE PROVIDED AT OR NEAR THE FURNACE.  
 INSTALL VENT, ROOF FLASHING AND VENT CAP DOUBLE WALL TYPE. VENT REQUIRE MINIMUM 7" CLEARANCE TO COMBUSTIBLE MATERIALS AND REQUIRE A MINIMUM 9'-0" VENT TERMINATION ABOVE HIGHEST VENT COLLAR IT SERVES.  
 A MEANS SHALL BE PROVIDED TO DISCONNECT THE FAU FROM THE POWER SOURCE FOR SERVICING THE APPLIANCE. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR APPROVED DISCONNECT METHOD.  
 AN APPROVED SHUT-OFF VALVE IS REQUIRED TO BE INSTALLED AT THE GAS PIPING OUTLET, IMMEDIATELY AHEAD OF THE FLEX CONNECTOR, AND MUST BE ACCESSIBLE.  
 PROVIDE GAS TEST ON ALL NEW GAS PIPING INSTALLED.  
 SINGLE WALL VENT CONNECTIONS NOT PERMITTED IN AN ATTIC.  
 INTERIOR FAU TO BE INSTALLED GENEATH THE EQUIPMENT WITH A 1/4" IN. DISCHARGE DRAIN PER SMC 302.



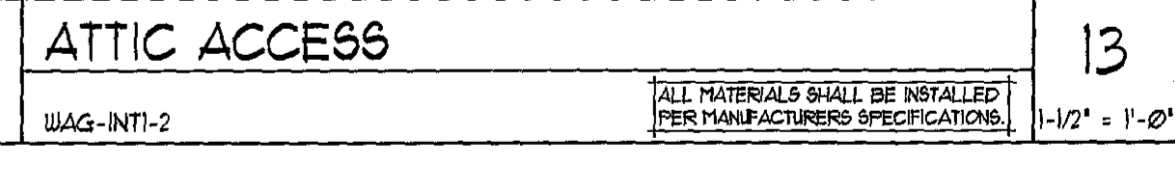
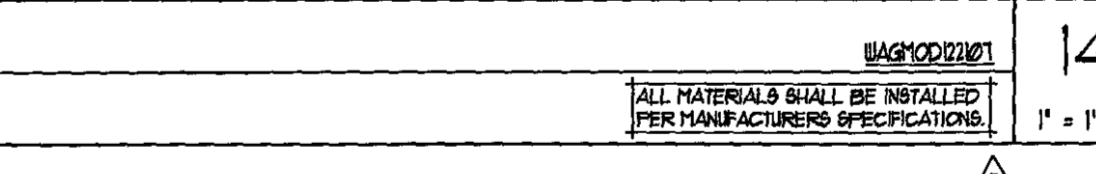
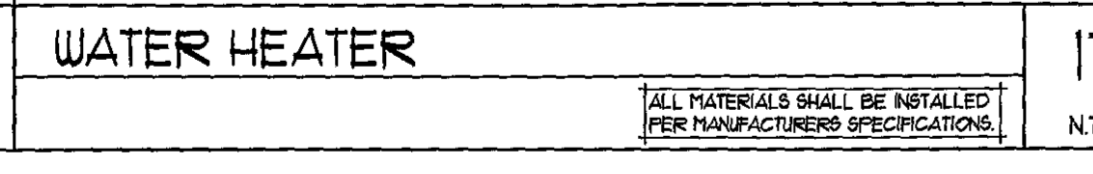
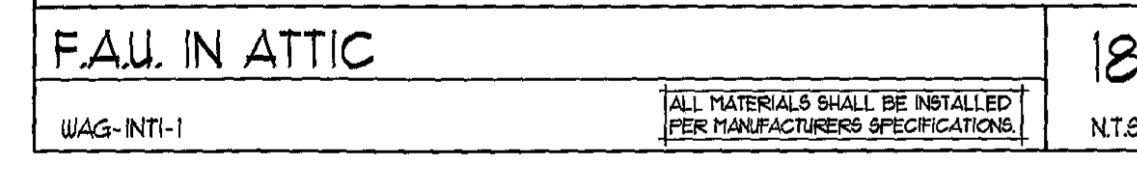
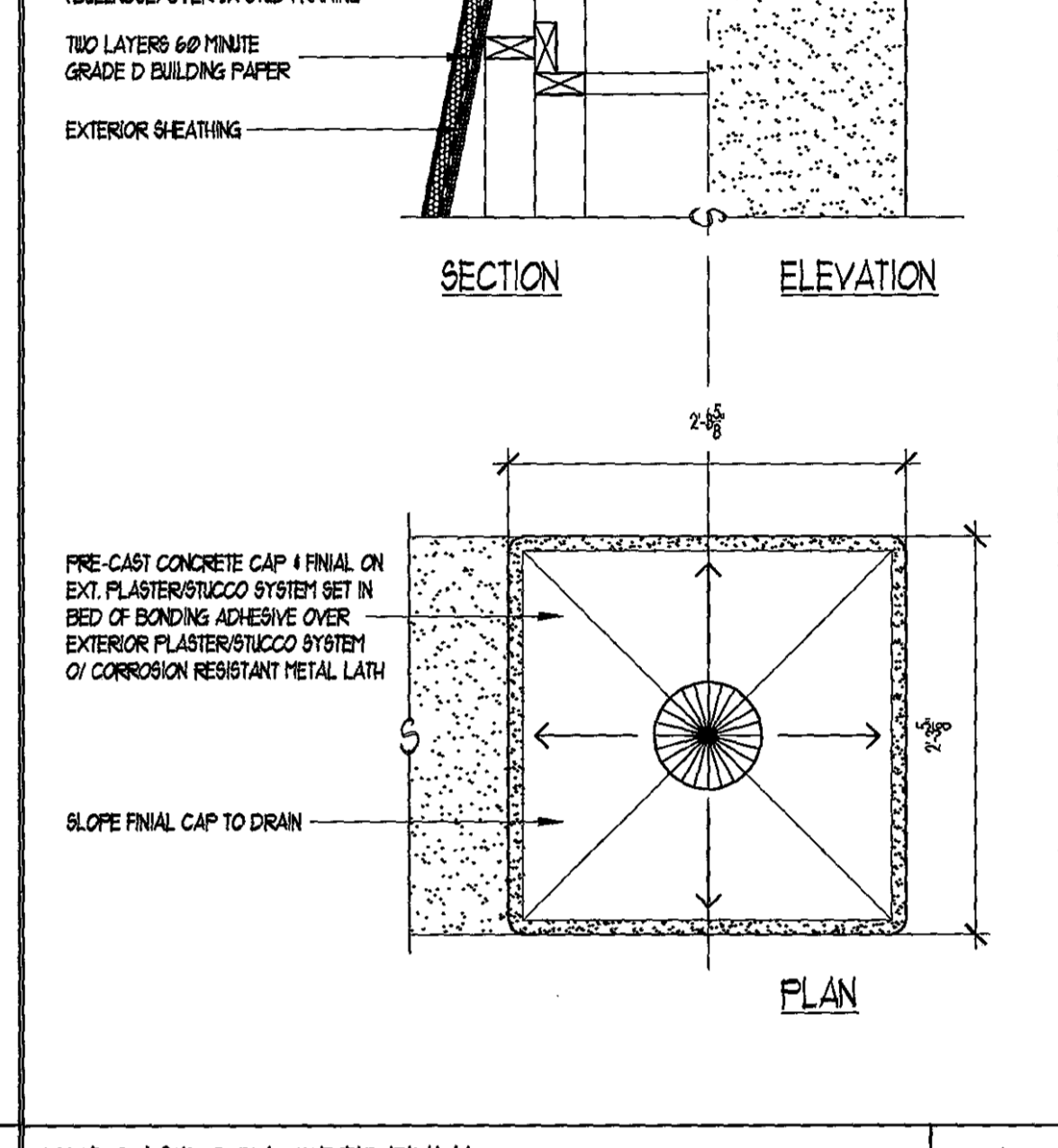
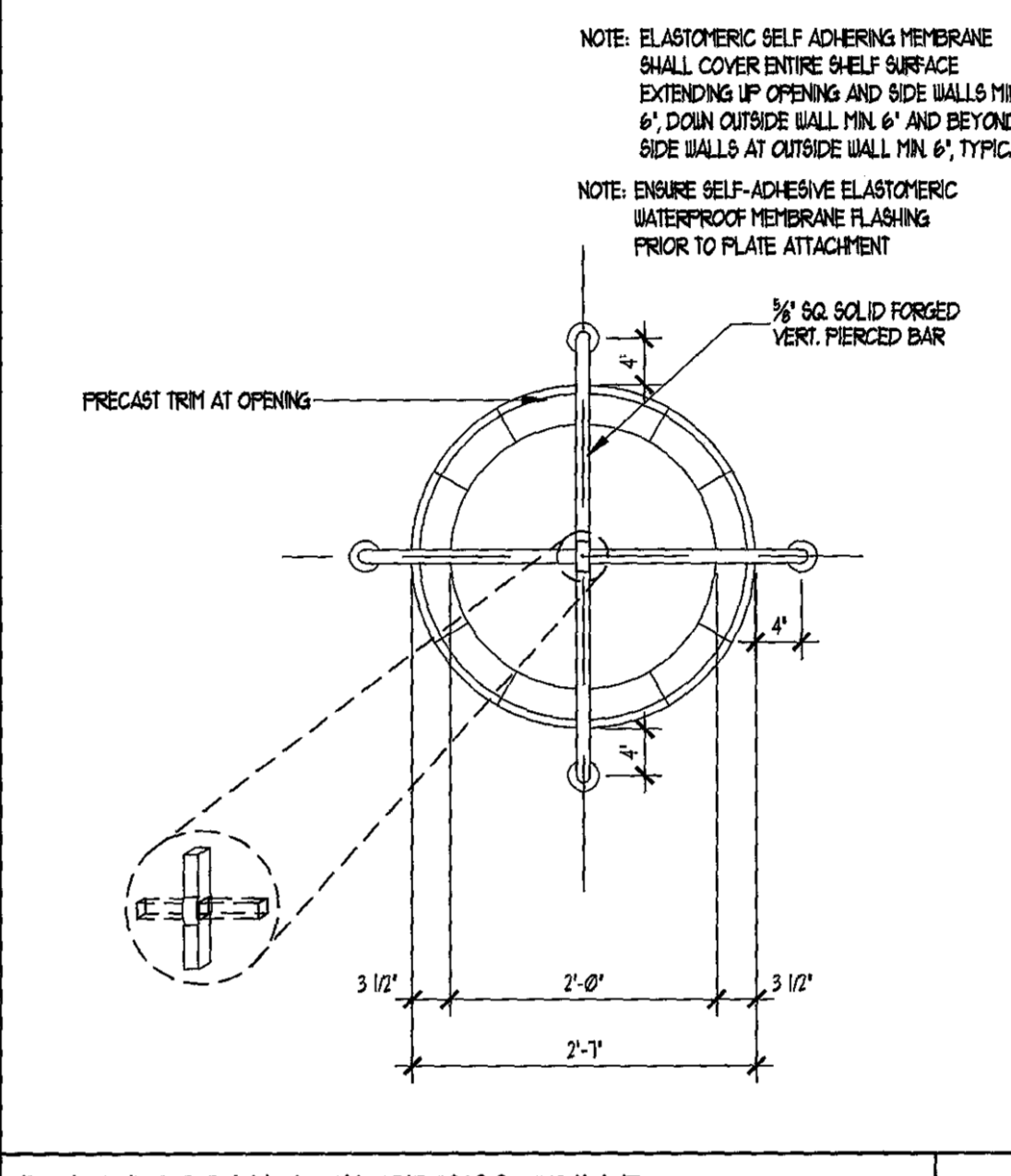
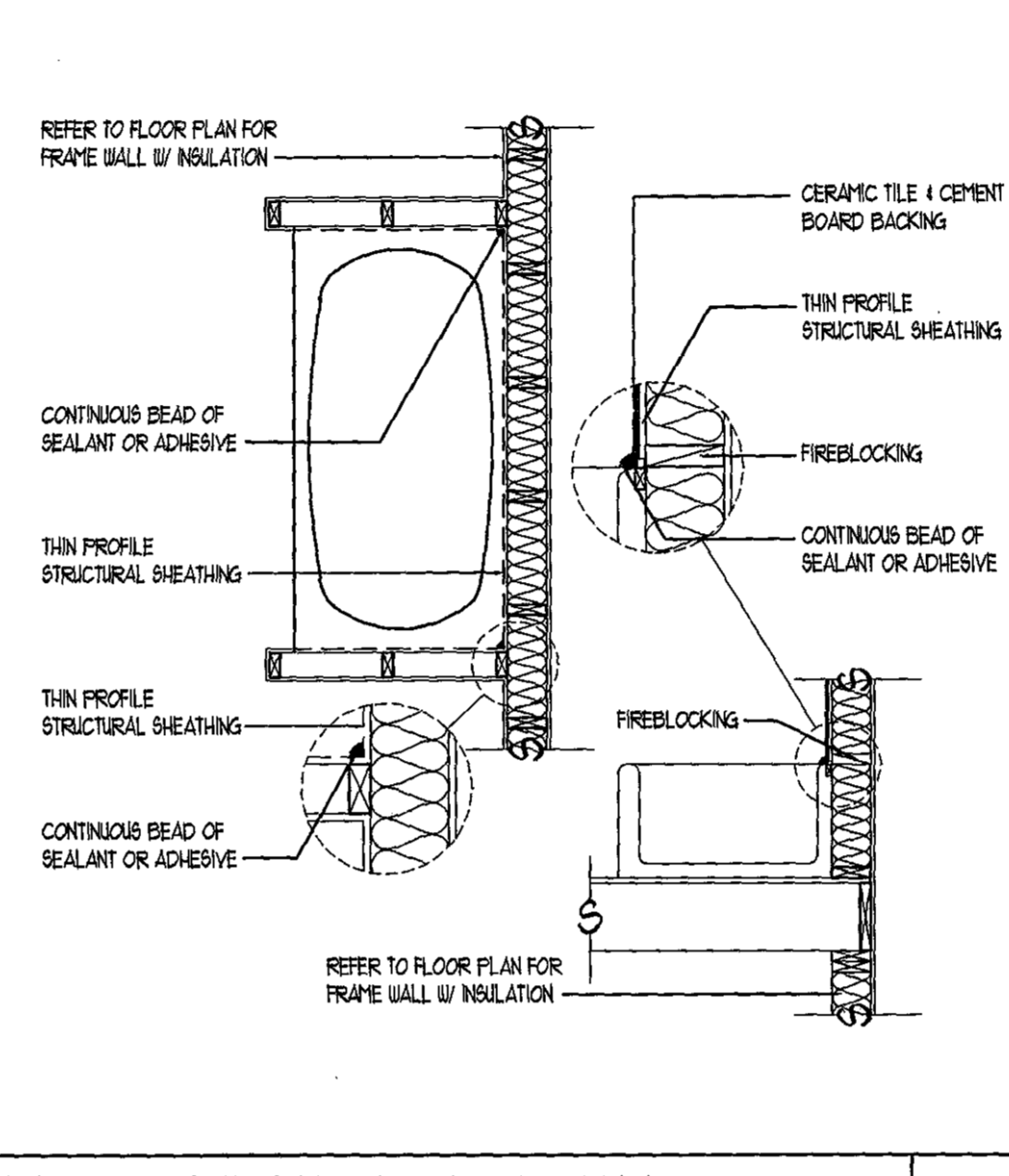
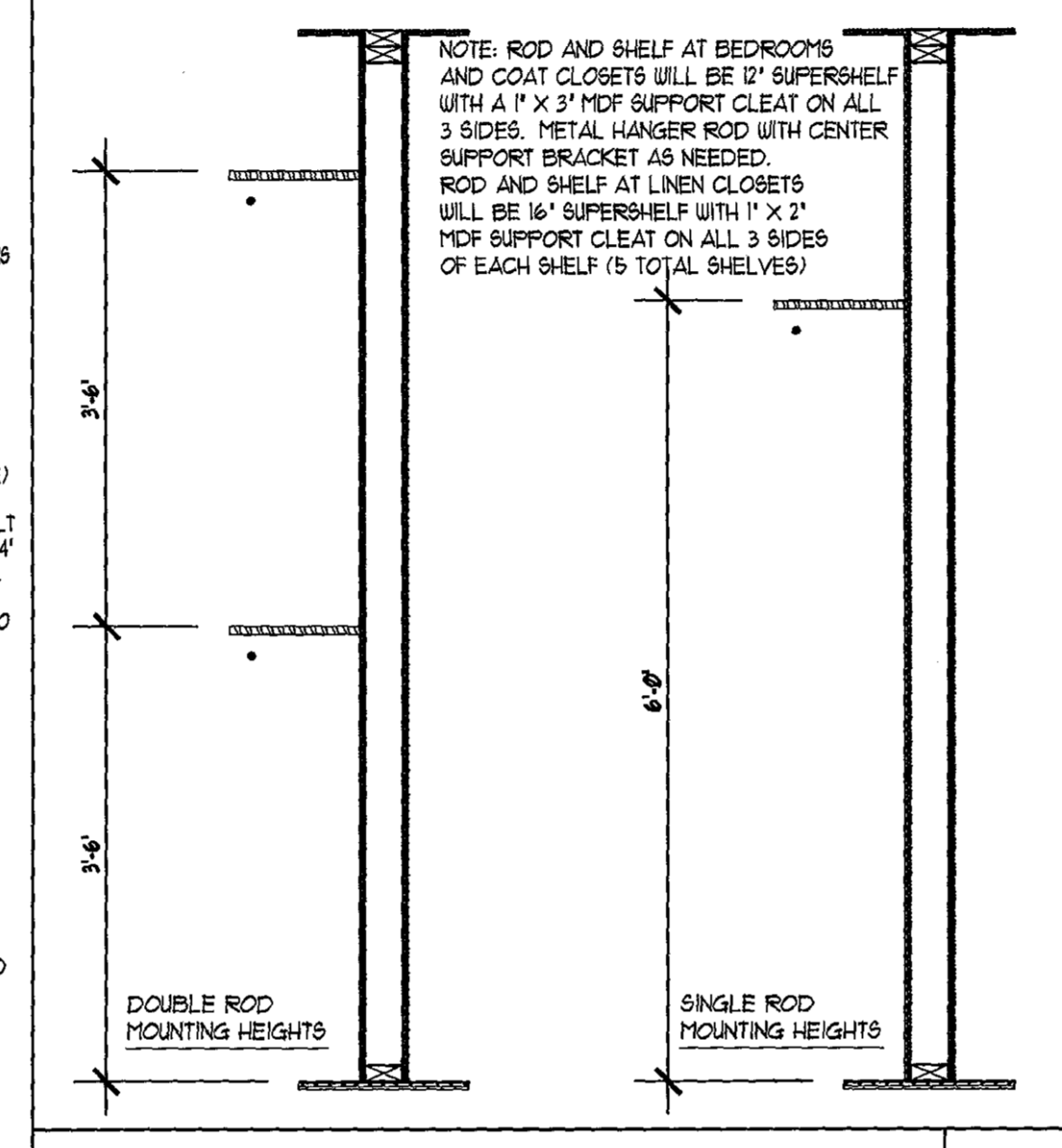
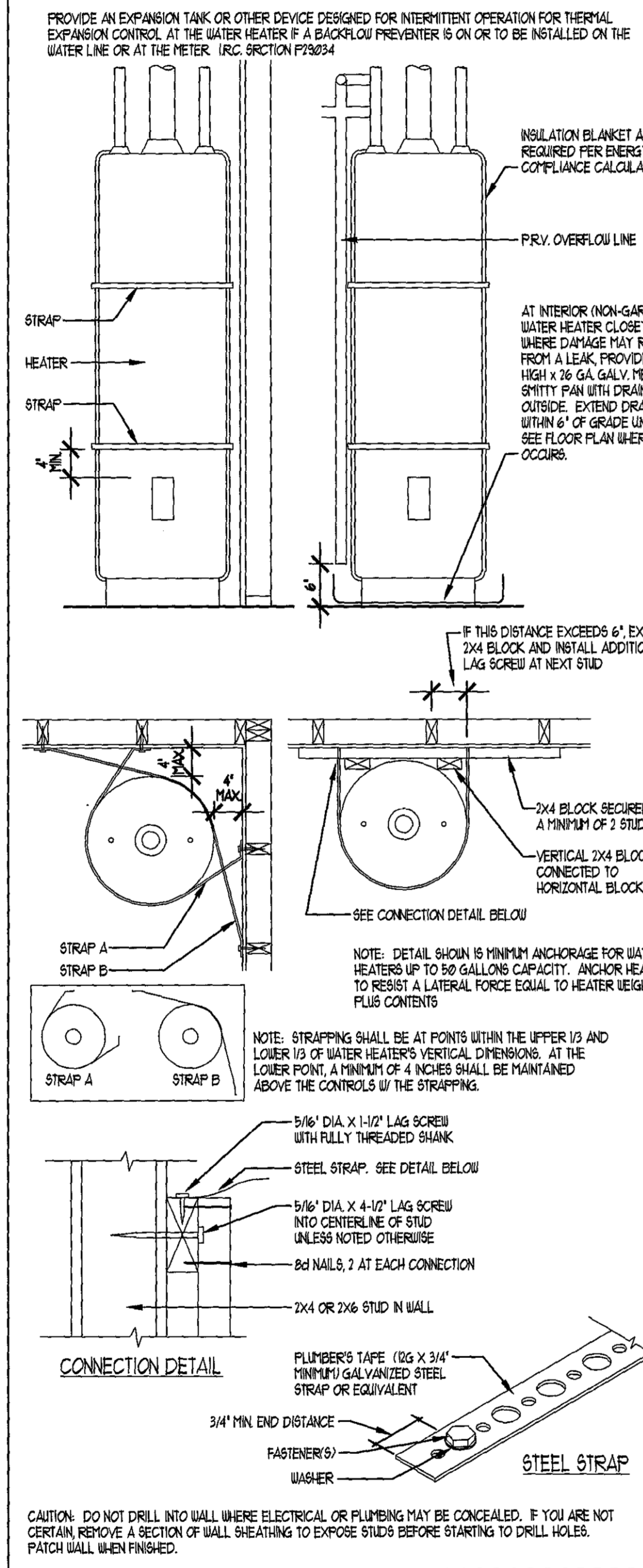
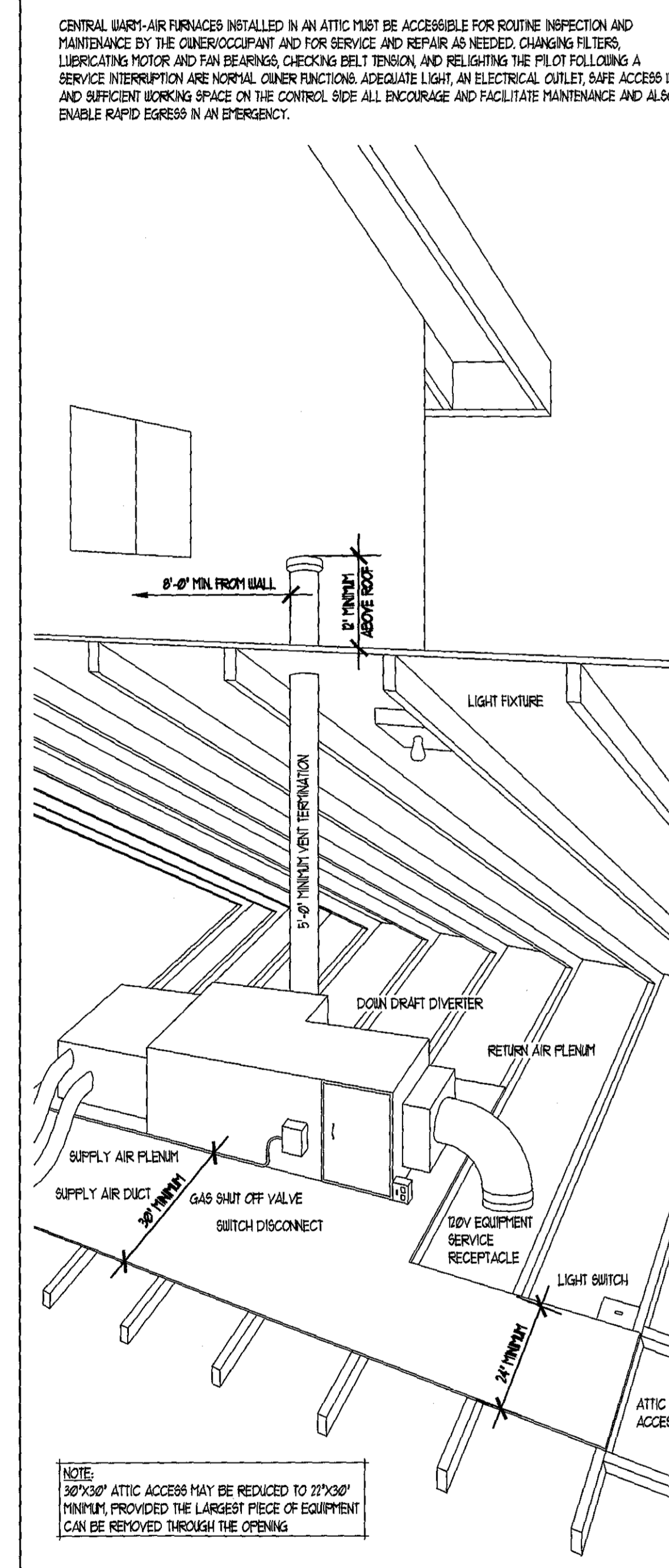
5 WALL AT TUB / SHOWER  
 WA-G-INT-5  
 ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 1'-1/2" x 1'-0"



4 INTERIOR LOW WALL  
 WA-G-INT-4  
 ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 1'-1/2" x 1'-0"

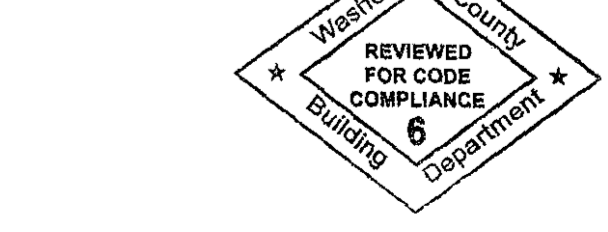


7 PRECAST CONCRETE FINIAL  
 WA-G-EXT-7  
 ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 1" x 1'-0"

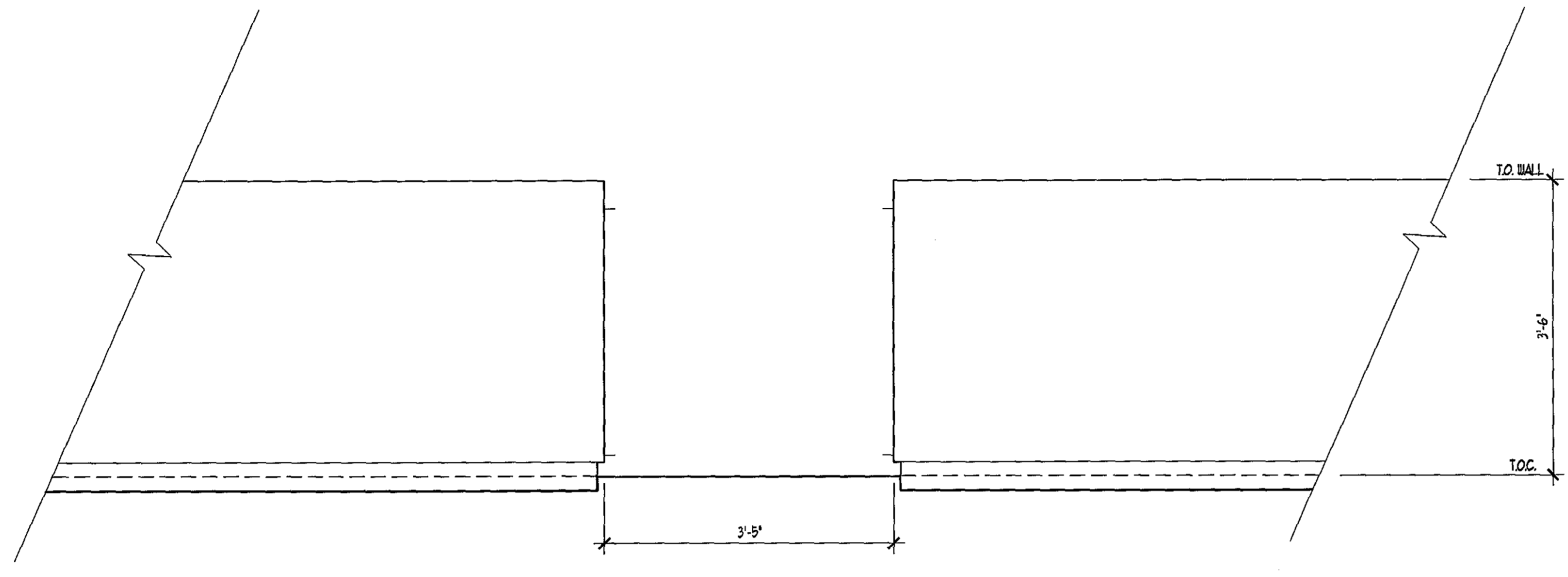


project no:  
 date: 02-17-14  
 first issue: 08-14-12

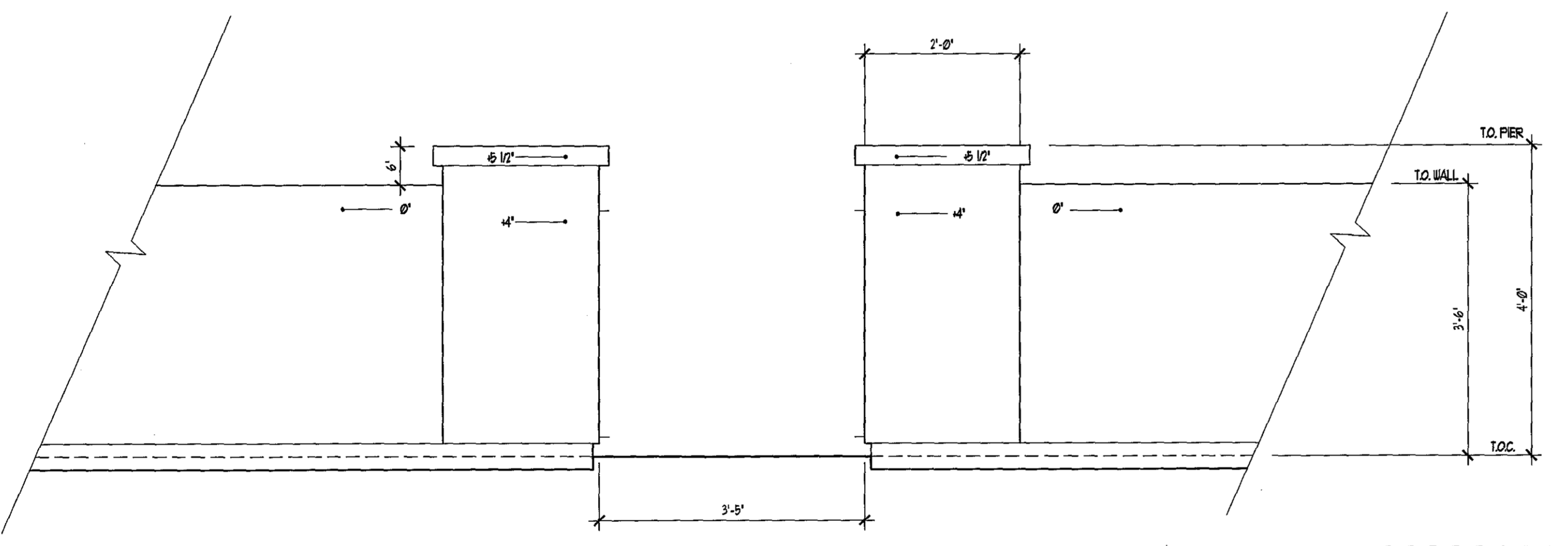
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| 04-11-11 | CLIENT CHANGE |
| 12-29-11 | CLIENT        |
| 08-14-12 | 2009 IECC     |
| 10-02-12 | FRAMING WALK  |
| 10-21-13 | 2009 CODE     |
| 02-11-14 | PLAN CHECK    |



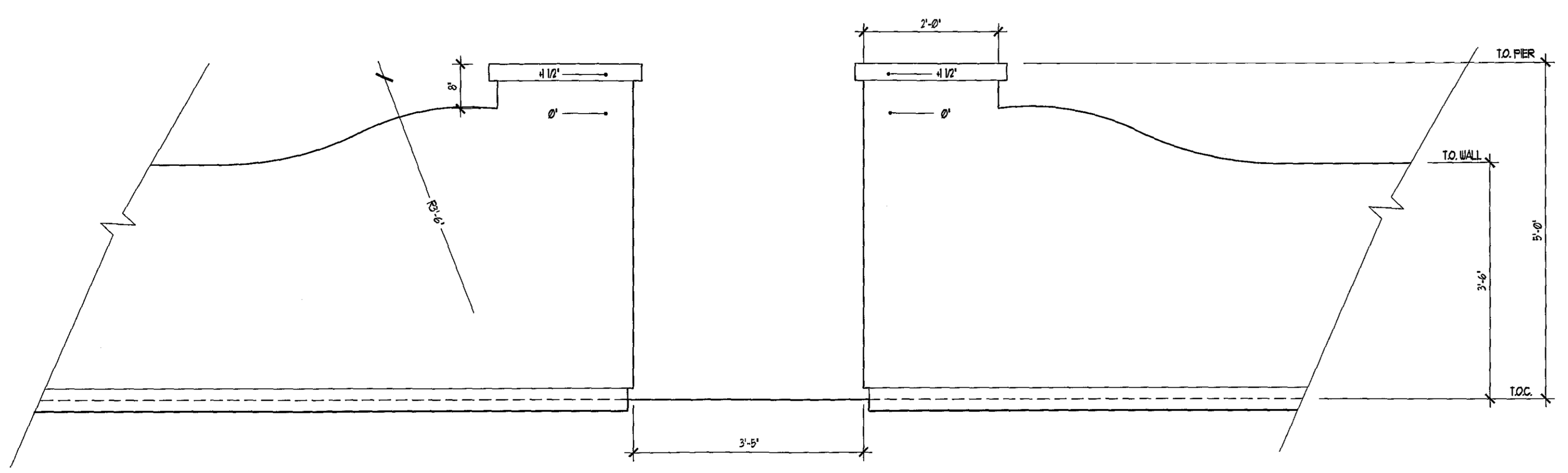




EXTERIOR WALL OPTION #1  
3/4" x 1'-0"

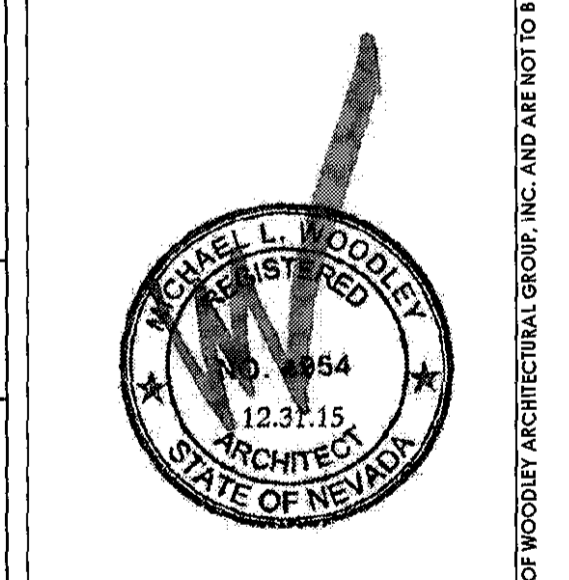


EXTERIOR WALL OPTION #2  
3/4" x 1'-0"



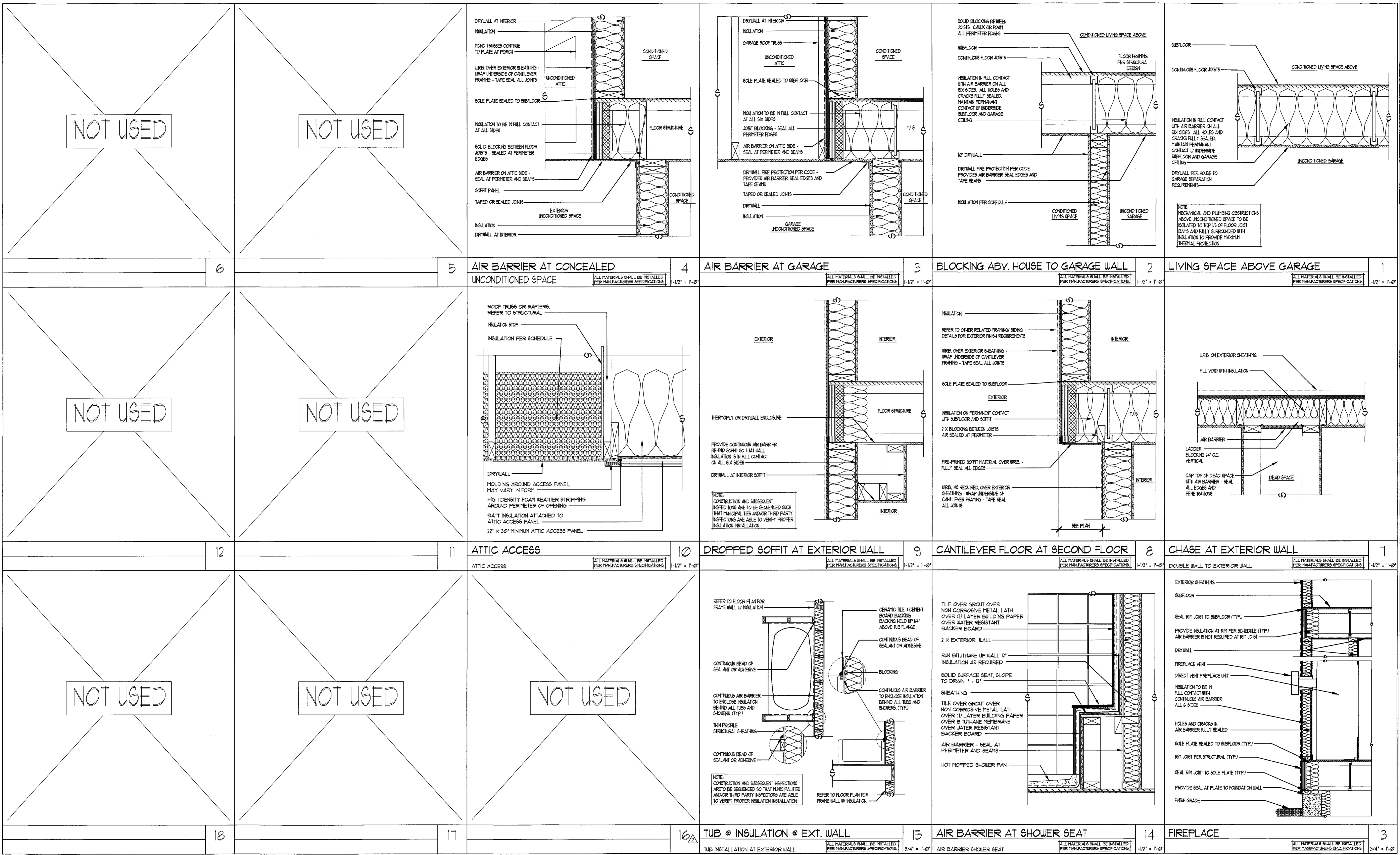
EXTERIOR WALL OPTION #3  
3/4" x 1'-0"

|  |   |
|--|---|
|  | <p>NOT USED</p>   |
|  | <p>NOT USED</p>   |
|  |   |
| <p>EXTERIOR DECORATIVE WROUGHT IRON GATE<br/>PLAN IS 1/4"=1'-0" SPANISH<br/>WAG-EXT-GATE-4</p> | <p>COURTYARD WALL W/ STUCCO O/ 2X4<br/>WAG-EXT-COURTYARD WALL STUCCO-FRAME-LOW SLOPE<br/>WASHOE COUNTY BUILDING DEPT.<br/>OFFICE COPY</p> |



project no: \_\_\_\_\_  
 date: 02-17-14  
 first issue: 08-14-12

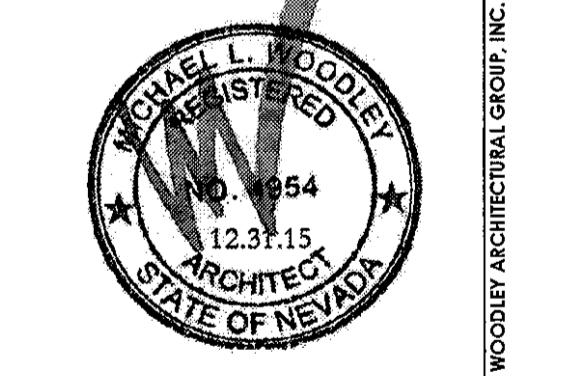
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| 04-11-11 | CLIENT CHANGES |
| 0-29-11  | CLIENT         |
| 09-14-12 | 2009 IECC      |
| 10-02-12 | WRAPPING WALL  |
| 10-21-12 | 2012 CODE      |
| 02-11-14 | PLAN CHECK     |



**colorado**  
731 Southpark Drive, Suite 9  
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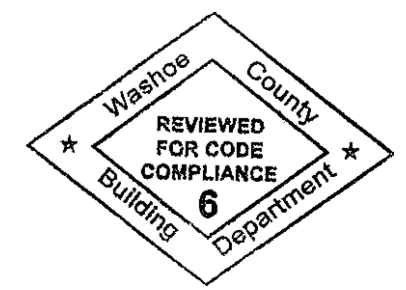
**california**  
2943 S. Pullman Street, Suite A  
Santa Ana, California 92705  
V. 949.553.8919 F. 949.553.8909

Silver Crest Homes, Inc.  
**Monte Vista at Mount Rose**



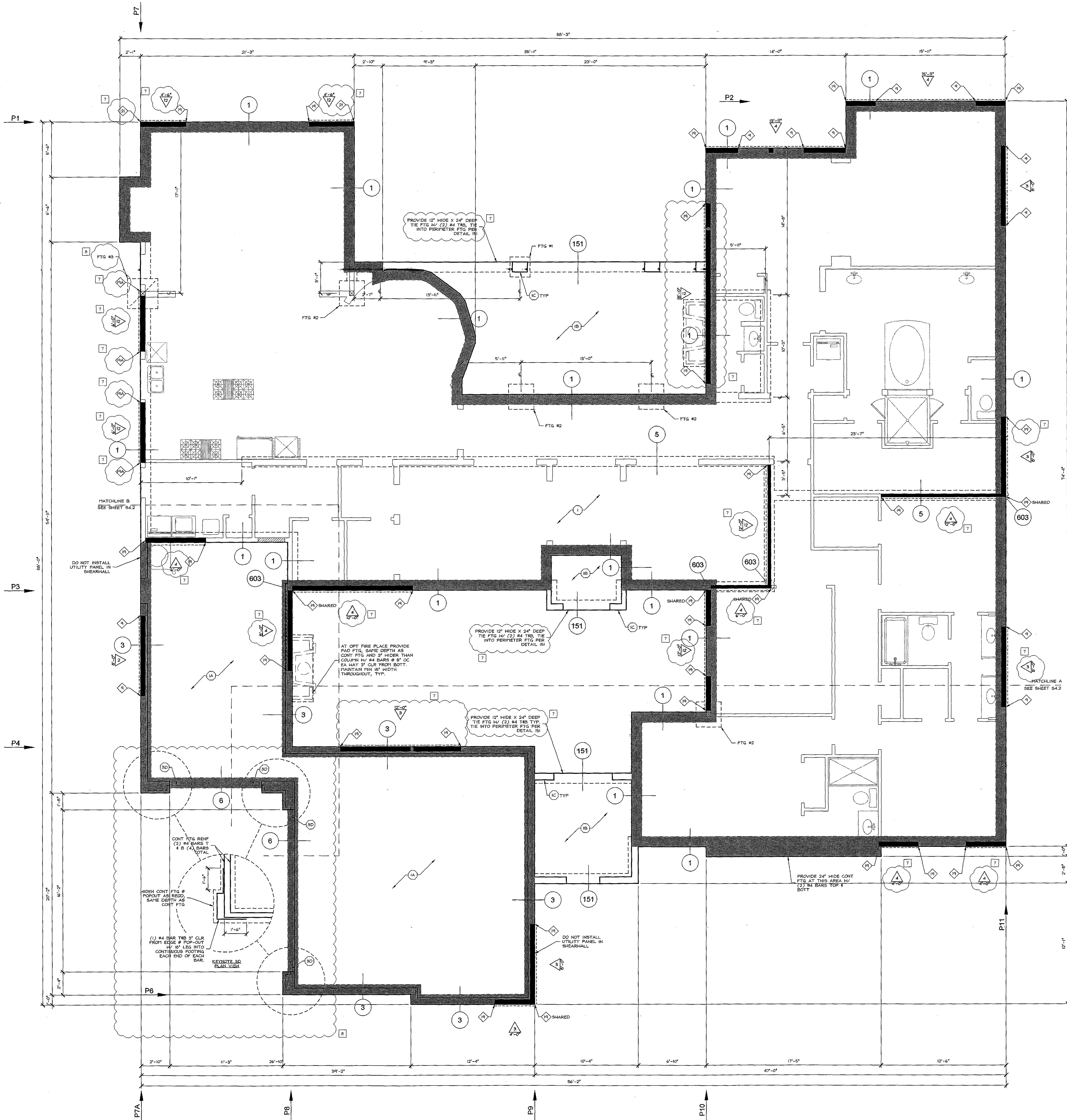
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| 08-14-12 | 2009 IECC      |
| 10-02-12 | FRAMING WALK   |
| 10-21-13 | 2012 CODE      |
| 01-11-14 | PLAN CHECK     |



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Plan Number  
Sheet Number  
**AD-8**



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**ELEVATION A**

**GENERAL NOTES**

SEE SHEET S41 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS FOUNDATION PLAN, INCLUDING FOOTING DEPTH & WIDTH.

IF THE CONTRACTOR OWNS DEVELOPER RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S41 AND ALL DETAILS SPECIFIED ON SHEET S42 AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**FOUNDATION SPECIFICATIONS**

PERIMETER FOOTING DEPTH.....24"  
INTERIOR FOOTING DEPTH.....12"  
FOOTING WIDTH.....12"  
STEM WIDTH AT GARAGE.....2"  
DESIGN SOIL PRESSURE.....3000 PSF

FOUNDATION DESIGNED PER SOILS REPORT PROVIDED BY:  
BLACK EAGLE CONSULTING, INC. REPORT #: 0292-06-9  
RMS CAPITAL BLVD, STE A DATE: 9/6/2009  
RNO, NV 89502

ALL CONCRETE SHALL USE TYPE II CEMENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH, F-4000 PSI, UNO.

CONCRETE SLAB WATER TO CEMENT RATIOS SHALL NOT EXCEED 0.46 UNO.

CONTINUOUS FOOTINGS SHALL BE REINFORCED WITH (2) #4 BARS TOP & BOTTOM, 12" TOTAL U.S.C.F. SPECIAL LOADS FOOTING WATER CEMENT RATIO SHALL BE SPECIFIED AS FOLLOWS:

**KEYNOTES**

(1) 4" CONCRETE SLAB 1/2" BARS @ 24" OC EA WAY, CENTERED IN SLAB, OVER OPTIONAL 1" OF FIBER-GLASS LAYER, OVER FINISH TO FILL VAPOR RETARDER, OVER 4" GRAVEL BASE, OVER PREPARED SUB-GRADE. REFER TO FOUNDATION NOTES #1-#15 ON SHEET S41 FOR ADDITIONAL RECOMMENDATIONS.

(A) 4" CONCRETE SLAB OVER FIN. 6 MIL VAPOR RETARDER, OVER 4" GRAVEL BASE, SLOPE 1/8" PER 1'-0" TO DRAINAGE. VAPOR RETARDER MAY BE OMITTED WITH BUILDING OFFICIAL APPROVAL.

(B) PROPER SLAB CURING PRACTICES ARE CRUCIAL FOR SLAB QUALITY AND PERFORMANCE. CONCRETE CONTRACTOR TO DETERMINE THE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND TIME OF POUR.

(C) CONCRETE FLOORS: MIN. 4" THICK, SLOPE 1/8" PER 1'-0" AWAY FROM STRUCTURE. FIN. & AIR ENTRAINMENT.

(D) MIN. 4" TALL CONCRETE CURB. VERIFY COLUMN DIMENSIONS TO DETERMINE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND TIME OF POUR.

(E) #4 BAR TYP. 3" CLR FROM EDGE @ POP-OUT W/ 18" LEG INTO CONTINUOUS FOOTING. EACH END OF EACH BAR.

**HOLDOWN SCHEDULE**

| TYPE   | SECTION TYPE | FIN. TO POST CONNECTION | HD TO POST CONNECTION | HOLDOWN ANCHOR            | MIN. ANCHOR FOUR  | MIN. ANCHOR FOUR  | MIN. ANCHOR FOUR  | MIN. ANCHOR FOUR  |
|--------|--------------|-------------------------|-----------------------|---------------------------|-------------------|-------------------|-------------------|-------------------|
| STHD10 | 4X           | (2) 1/4 SINKER          | N/A                   | N/A                       | N/A               | N/A               | N/A               | N/A               |
| HDUB   | 4X           | (2) 3/8 SINKER          | (2) 3/8 SINKER        | SST1020S1B34              | 24"               | 24"               | 24"               | 24"               |
| HDUI   | 4X           | (2) 3/8 SINKER          | (2) 3/8 SINKER        | S8B30                     | 24"               | 24"               | 24"               | 24"               |
| HDUI4  | 4X           | (2) 3/8 SINKER          | (2) 3/8 SINKER        | 1" x 3/8" ROD W/ DEL. NUT | 18" PER DETAIL 20 | 18" PER DETAIL 20 | 18" PER DETAIL 20 | 18" PER DETAIL 20 |

1. SEE DETAIL CC ON S42 FOR TYPICAL HOLDOWN INSTALLATION. SEE DETAIL S-ON-S42 FOR SHARED HOLDOWNS.

2. HOLDOWN POSTS TO MATCH WALL DEPTH.

3. WHERE 3X SILL PLATES ARE SPECIFIED PROVIDE 3X SILL PLATES IN LIEU OF 50% HOLDOWN ANCHOR.

4. WHERE EMBEDMENT IS GREATER THAN FOOTING DEPTH PROVIDE HOOKED ANCHOR OR DEEPER FOOTING ANCHOR ANCHOR. SEE DETAIL AA ON SHEET S42 FOR 50% SILL ANCHOR AND PLAN SPECIFIED DETAIL FOR 50% REQUIREMENTS.

**PAD FOOTING SCHEDULE**

| FOOTING #  | SIZE/TYPE  | REINFORCING |
|------------|------------|-------------|
| FOOTING #1 | 24" SQUARE | #4 BARS     |
| FOOTING #2 | 36" SQUARE | #4 BARS     |

1. TO BE SAME DEPTH AS CONTINUOUS FOOTING UNLESS SPECIFIED OTHERWISE.

2. REINFORCING TO BE AT 12" OC EA WAY, MIN. 3" CLEAR FROM BOTTOM OF FOOTING. SEE DETAIL I7.

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION     |
|----------|----------------------------------|
| 00-1R4   | FOUNDATION DETAILS               |
| 200-3R4  | FLOOR AND WALL FRAMING DETAILS   |
| 400-4R4  | ROOF FRAMING DETAILS             |
| 600-6R4  | CONSTRUCTIBILITY & PISC. DETAILS |

1. DETAILS ARE LOCATED ON THE 'SD' SHEETS (SD.1, SD.2, ETC.) BEGINNING WITH SD.1 AND ARE ARRANGED NUMERICALLY IN ASCENDING ORDER.

2. GENERAL FRAMING DETAILS (STANDARD WALL FRAMING CONNECTIONS, HOLDOWN INSTALLATION DETAILS, DRAINAGE LAYOUTS AND NAILING, ETC.) ARE LOCATED ON SHEET S42.

**SYMBOLS LEGEND**

| LENGTH | SYMBOLS LEGEND   |
|--------|--|
| ---    | DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.   |
| ---    | HERE OCCURS, DENOTES ALIGNMENT WITH HOLDOWN ABOVE.   |
| ---    | DENOTES HOLDOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLDOWN SCHEDULE ON THIS SHEET.   |
| ---    | DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.  |
| ---    | DENOTES DETAIL REFERENCE. REFER TO SO... SHEETS FOR DETAILS.   |
| ---    | DENOTES 2X PRESSURE TREATED SLEEPER EMBEDDED INTO CONCRETE. REFER TO DETAIL 20 FOR DESIGN CRITERIA ON SHEET S41 FOR NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4" OC. |
| ---    | DENOTES CONTINUOUS PERIMETER FOOTING. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 1.  |
| ---    | DENOTES CONTINUOUS FOOTING WITH STEPNAIL. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 3.  |
| ---    | DENOTES CONTINUOUS INTERIOR FOOTING. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 5.   |

**SHEARWALL SCHEDULE**

| TYPE | APA RATED SHEATHING                | SILL PLATE | ANCHOR SPACING         | FRAMING AT ADJOINING PANEL EDGE | SOLE PLATE CONNECTION                          |
|------|------------------------------------|------------|------------------------|---------------------------------|--|
| 1    | 3/8" ONE FACE W/ 84 @ 24" OC FIELD | 2X         | 5/8" x 10" AS @ 22" OC | 1X AS ANCHORS @ 24" OC          | 1X 1/2" x 4" OC                                |
| 2    | 3/8" ONE FACE W/ 84 @ 24" OC FIELD | 2X         | 5/8" x 10" AS @ 22" OC | 1X AS ANCHORS @ 24" OC          | (2) ROWS 1/2" x 4" OC L LTP @ 24" OC STAGGERED |
| 3    | 3/8" ONE FACE W/ 84 @ 24" OC FIELD | 2X         | 5/8" x 10" AS @ 22" OC | 1X AS ANCHORS @ 24" OC          | (2) ROWS 1/2" x 4" OC L LTP @ 24" OC STAGGERED |
| 4    | 3/8" ONE FACE W/ 84 @ 24" OC FIELD | 2X         | 5/8" x 10" AS @ 22" OC | 1X AS ANCHORS @ 24" OC          | 1X 1/2" x 4" OC                                |

1. SHEATHING TO BE 4'-0" X 8'-0" MIN EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE ANCHOR BOLTS TO BE 12" LONG.

2. 3X SILLS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING, AT 3X SILL PLATES ANCHOR BOLTS TO BE 12" LONG.

3. EITHER ANCHOR TYPE MAY BE USED. FIN (2) ANCHORS PER SHEARWALL. 1X AS ANCHORS TO BE INSTALLED WITH (4) 1/4" NAILS.

4. FIN. 7" EMBEDMENT INTO CONCRETE. PROVIDE PLATE WASHER PER S41 FOUNDATION NOTES #4 AT EACH BOLT. MAX 1/2" BETWEEN EDGE OF PLATE WASHER AND FACE OF SHEATHING.

5. 3X FRAMING MEMBERS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING.

6. SOLE PLATE TO BE 2X UNO ON PLAN. SOLE PLATE CONNECTION OCCURS ABOVE FOUNDATION PLATE LEVEL. AT RAISED FLOOR AND/OR SECOND FLOOR APPLICATIONS ONLY. ALL SHEARWALL NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4" OC.

7. SEE DETAIL D ON SHEET S42 FOR TYPICAL SHEARWALL FRAMING ILLUSTRATION.

WASHOE COUNTY BUILDING DEPT.  
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PROJECT MANAGER: KL  
DESIGNER: IDES  
DRAWN BY: IDES  
CHECKED BY: HH  
ISSUE DATE: 01-19-2011

REVISIONS:  
7 PLAN CHECK 02-21-2014  
8 PLAN CHECK 05-24-2014

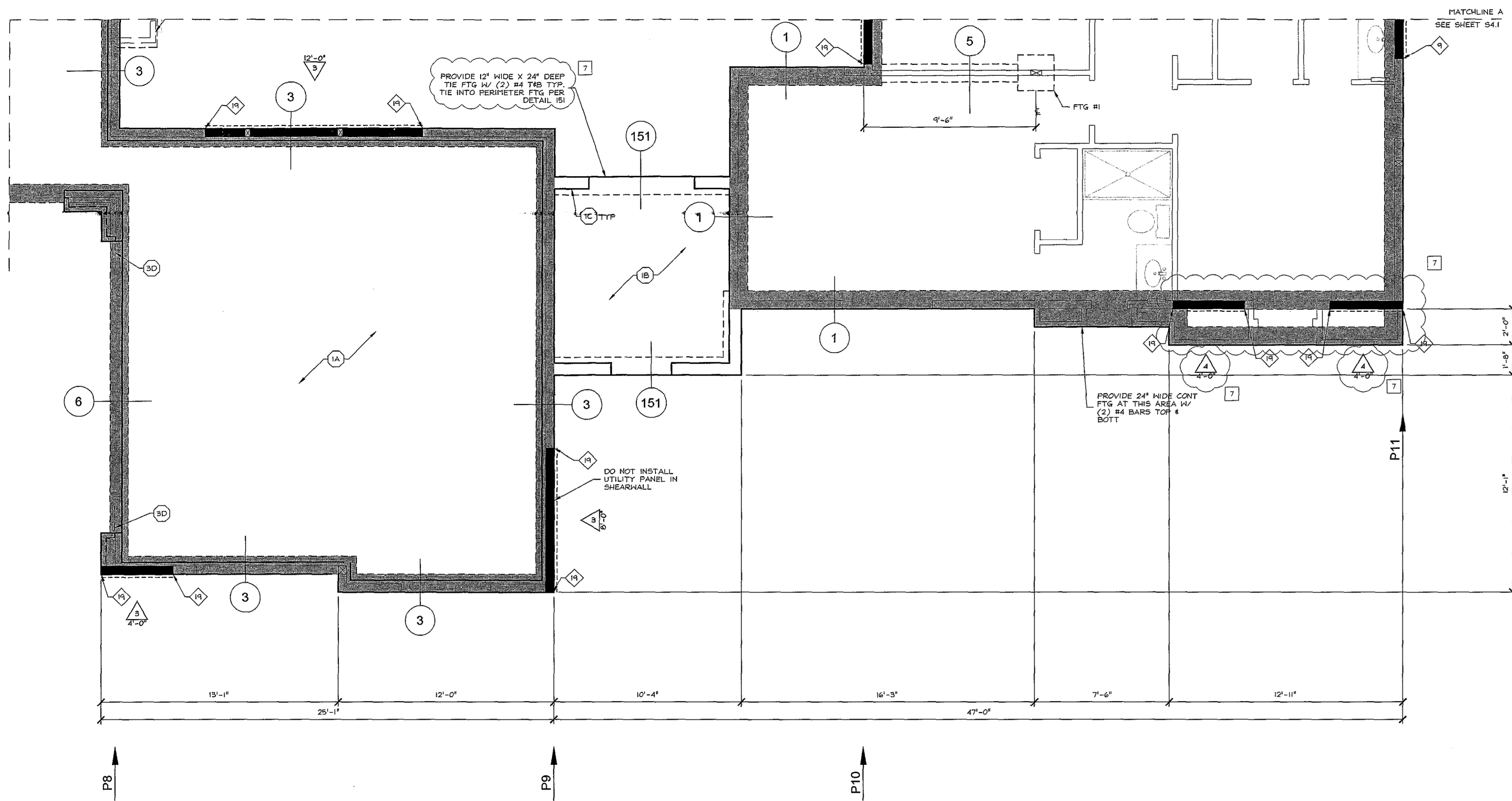
STAMP: REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA  
TIMOTHY J. BARNETT  
16315

PLAN NUMBER: 3-24711  
**PLAN 4**

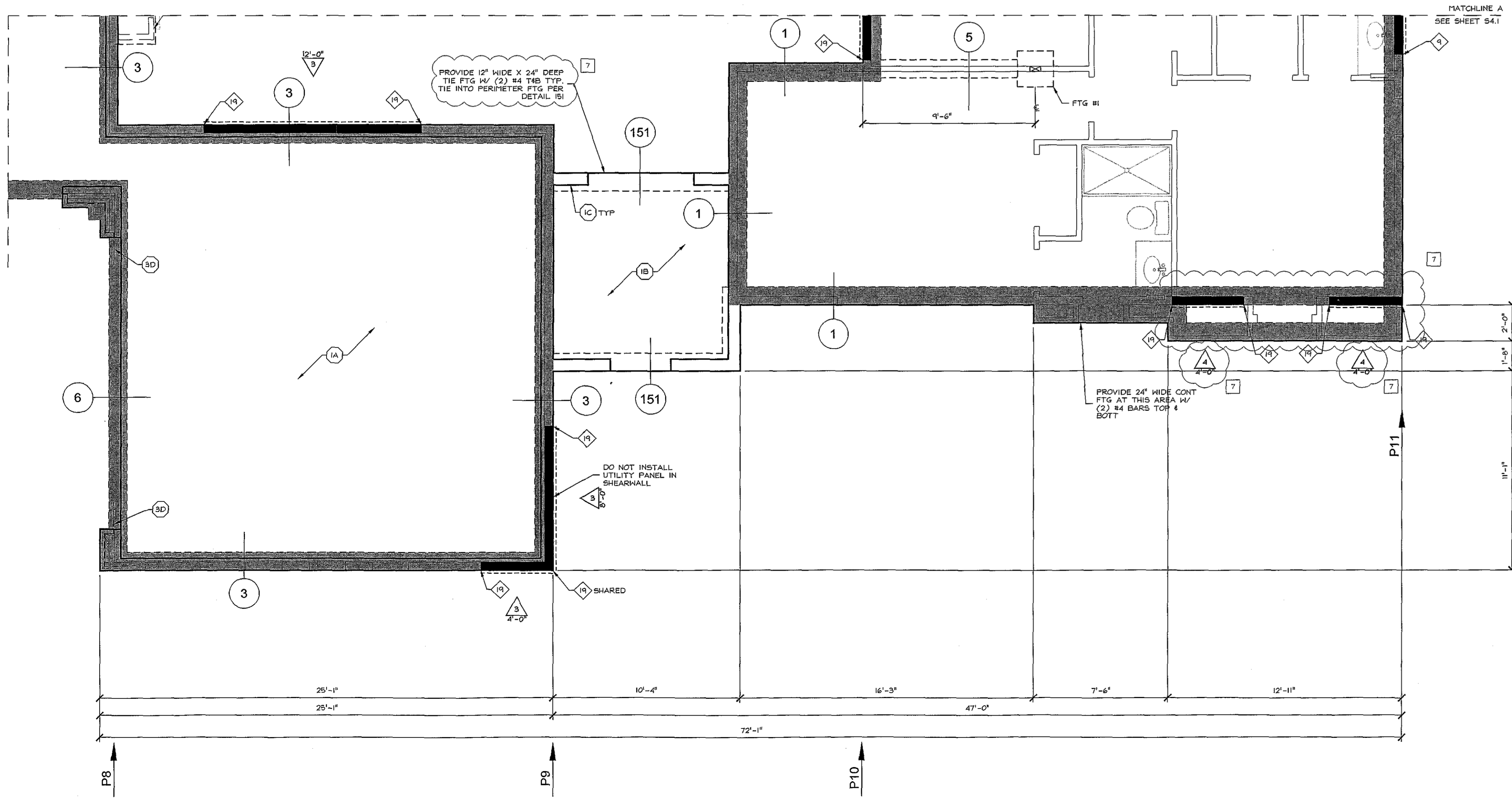
**FOUNDATION PLAN**

SHEET NUMBER: **S4.1**

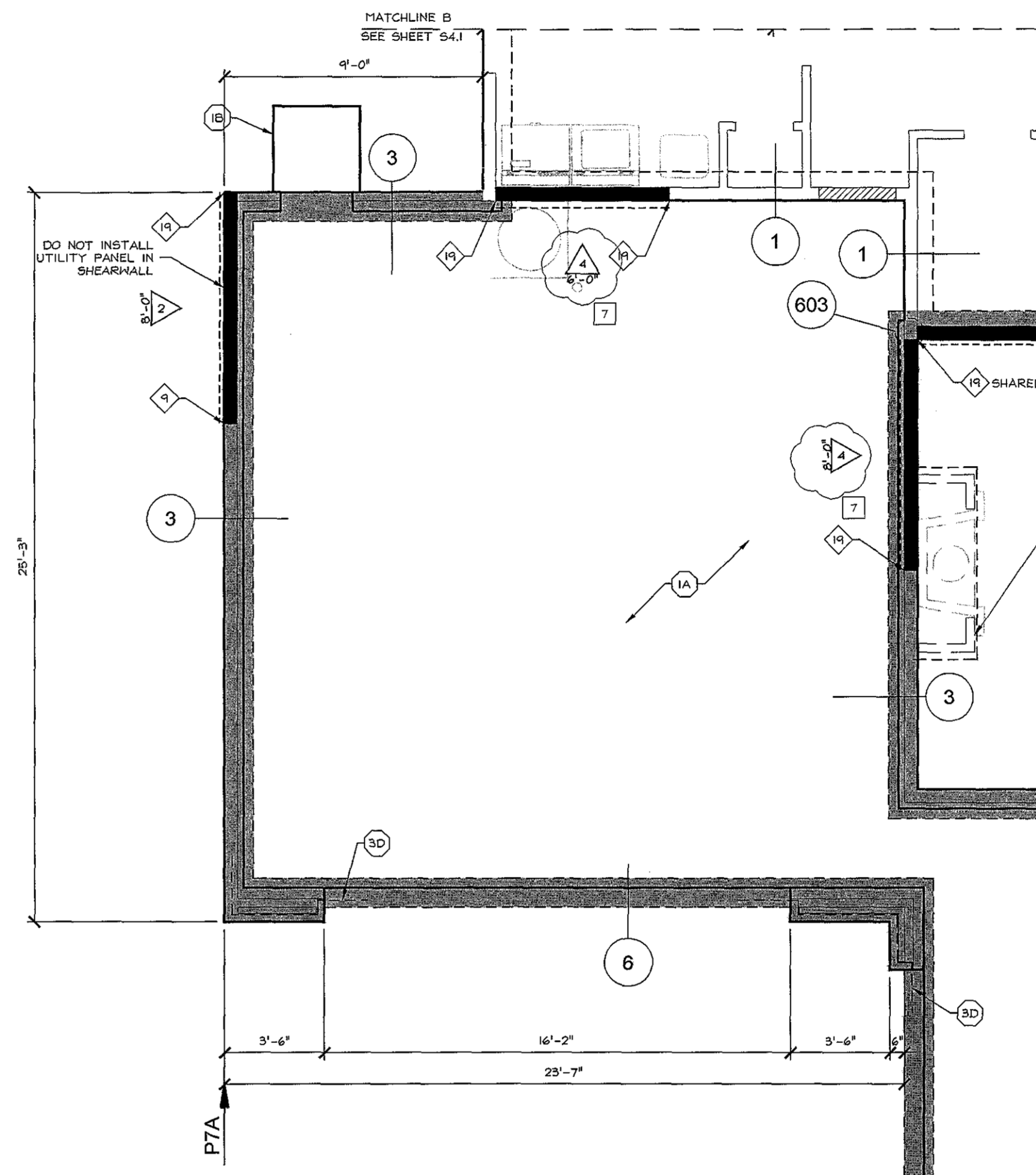
JOB NUMBER: H51048 3



FOUNDATION PLAN ELEVATION C  
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN ELEVATION B  
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN GARAGE OPT  
SCALE: 1/4" = 1'-0"  
ALL ELEVATIONS

**GENERAL NOTES**  
SEE SHEET S41 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS FOUNDATION PLAN, INCLUDING FOOTING DEPTH & WIDTH.  
IT IS THE CONTRACTOR'S OWNERS DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S41 AND ALL DETAILS SPECIFIED ON SHEET S41 AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**FOUNDATION SPECIFICATIONS**  
PERIMETER FOOTING DEPTH: 24"  
INTERIOR FOOTING DEPTH: 12"  
FOOTING WIDTH: 24"  
STEP WIDTH AT CHANGE: 24"  
DESIGN SOIL PRESSURE: 3000 PSF  
FOUNDATION DESIGNED PER SOILS REPORT PROVIDED BY:  
BLACK EAGLE CONSULTING, INC. REPORT #: 0232-06-05  
S&S CAPITAL BLVD, SITE A DATE: 9/6/2009  
RNO, NV 89502  
ALL CONCRETE SHALL USE TYPE II CEMENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH, F<sub>CD</sub> = 4000 PSI, U.N.O.  
CONCRETE SLAB WATER TO CEMENT RATIOS SHALL NOT EXCEED 0.45 U.N.O.  
CONTINUOUS FOOTINGS SHALL BE REINFORCED WITH (2) #4 BARS @ TOP, (4) TOTAL U.N.O. AT SPECIAL LOADS. FOOTING WATER CEMENT RATIO SHALL NOT EXCEED 0.45 U.N.O.

**KEYNOTES**  
1. 4" CONCRETE SLAB OVER FIN. 4" VAPOR RETARDER, OVER 4" GRAVEL BASE. SLOPE 1/8" PER 1'-0" TO DRAINAGE. VAPOR RETARDER MAY BE OMITTED WITH BUILDING OFFICIAL APPROVAL.  
2. PROPER SLAB CURING PRACTICES ARE CRUCIAL FOR SLAB QUALITY AND PERFORMANCE. CONCRETE CONTRACTOR TO DETERMINE THE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND TIME OF YEAR.  
3. CONCRETE FLATWORK FIN. 4" THICK, SLOPE 1/4" PER 1'-0" AWAY FROM STRUCTURE. FIN. AS AIR ENTRAINMENT.  
4. FIN. 4" TALL CONCRETE CURB. VERIFY COLUMN DIMENSIONS IN ARCHITECTURAL PLANS. SEE DETAIL 151 (DETAIL II # PAD FOOTING CONDITION).  
5. (1) #4 BAR TAB 3" CLR FROM EDGE @ TOP-OUT W/ 18" LEG INTO CONTINUOUS FOOTING EACH END OF EACH BAR.

**HOLD-DOWN SCHEDULE**

| TYPE | SIEMSON TYPE | MIN. 2" HD TO POST CONNECTION | MIN. ANCHOR EMBEDMENT FROM FOUR (4) INCHES | MIN. ANCHOR EMBEDMENT FROM FOUR (4) INCHES | MIN. ANCHOR EMBEDMENT FROM FOUR (4) INCHES | MIN. ANCHOR EMBEDMENT FROM FOUR (4) INCHES |
|------|--------------|-------------------------------|--|--|--|--|
| HD10 | 4X           | (2) 1/2" SINKER               | N/A  | N/A  | N/A  | N/A  |
| HD16 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD17 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD18 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD19 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD20 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD21 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD22 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD23 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |
| HD24 | 4X           | (2) SDR 226 SCREWS            | 3/8" X 3/8" X 2 1/2"                       | 3/8" X 3/8" X 2 1/2"                       | 24"  | 20"  |

**PAD FOOTING SCHEDULE**

| FOOTING #   | SIZE 1/2"  | REINFORCING |
|-------------|------------|-------------|
| FOOTING # 1 | 24" SQUARE | #4 BARS     |

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION     |
|----------|----------------------------------|
| 00-199   | FOUNDATION DETAILS               |
| 200-399  | FLOOR AND WALL FRAMING DETAILS   |
| 400-599  | ROOF FRAMING DETAILS             |
| 600-699  | CONSTRUCTABILITY & MISC. DETAILS |

**SYMBOLS LEGEND**

- DENOTES SHEARWALL TYPE 4 MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- WHERE OCCURS, DENOTES ALIGNMENT WITH THIS SHEET.
- DENOTES HOLD-DOWN POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLD-DOWN SCHEDULE ON THIS SHEET.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SHEET NUMBER FOR DETAILS.
- DENOTES 2X PRESSURE TREATED SLEEPER EMBEDDED INTO CONCRETE. PROVIDE (2) 20# AT EACH END AND AT 24" OC. TYP. AT DOORS WITH THRESHOLD.
- DENOTES CONTINUOUS FOOTING WITH STEERWALL. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 1.
- DENOTES CONTINUOUS INTERIOR FOOTING. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 5.

**SHEARWALL SCHEDULE**

| TYPE | APA RATED 1/2" SHEATHING        | SHEATHING | ANCHOR BOLTS        | FRAMING MEMBER AT ADJOINING PANEL EDGE | FRAMING MEMBER AT ADJOINING PANEL EDGE | SOLE PLATE CONNECTION TO BEAM/ BLOCKING TO RHT |
|------|---------------------------------|-----------|---------------------|--|--|--|
| 1    | 3/8" ONE FACE 1/4" @ 8" OC EDGE | 2X        | 5/8" X 10" @ 48" OC | MASA ANCHORS # 3/4"                    | 2X                                     | 1/4" @ 4" OC                                   |
| 2    | 3/8" ONE FACE 1/4" @ 8" OC EDGE | 2X        | 5/8" X 10" @ 24" OC | MASA ANCHORS # 3/4"                    | 3X OR (2) 3X @ 24" OC STAGGERED        | 1/4" @ 4" OC & LTPS @ 50" OC                   |
| 3    | 3/8" ONE FACE 1/4" @ 8" OC EDGE | 2X        | 5/8" X 10" @ 24" OC | MASA ANCHORS # 3/4"                    | 3X                                     | 1/4" @ 4" OC & LTPS @ 50" OC                   |
| 4    | 3/8" ONE FACE 1/4" @ 8" OC EDGE | 2X        | 5/8" X 10" @ 24" OC | MASA ANCHORS # 3/4"                    | 3X                                     | 1/4" @ 4" OC & LTPS @ 50" OC                   |
| 5    | 3/8" ONE FACE 1/4" @ 8" OC EDGE | 2X        | 5/8" X 10" @ 24" OC | MASA ANCHORS # 3/4"                    | 3X                                     | 1/4" @ 4" OC & LTPS @ 50" OC                   |

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PROJECT MANAGER: KL  
DESIGNER: JH  
DRAWN BY: IDES  
CHECKED BY: JH  
ISSUE DATE: 01-11-2011

REVISIONS:  
1 PLAN CHECK 04-05-2011  
2 PLAN CHECK 04-12-2011  
3 MODEL WALK 01-16-2012  
4 2012 IBC 08-25-2012  
5 PLAN CHECK 02-21-2014

STAMP: WASHINGTON COUNTY ENGINEER TIMOTHY E. SLOAN No. 16815

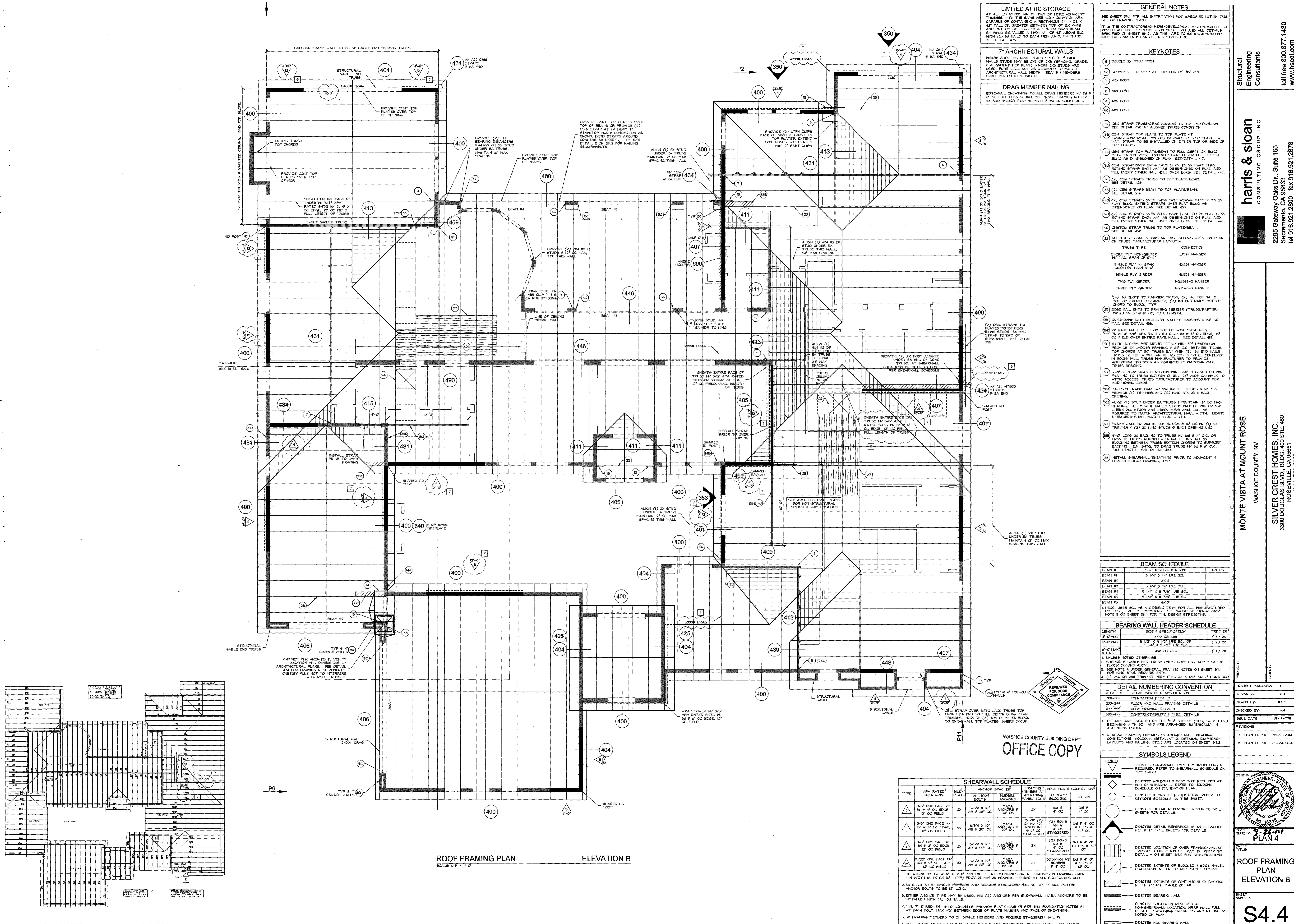
PLAN 4

FOUNDATION PLAN

S4.2

JOB NUMBER: H510140





**LIMITED ATTIC STORAGE**  
 AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGULAR 24" WIDE X 42" TALL OR GREATER BETWEEN TOP OF BEAMS AND BOTTOM OF T.C. AND A 1/4" DIA SCAB SHALL BE FIELD INSTALLED A MAXIMUM OF 42" ABOVE E.L.C. WITH (2) 8# NAILS TO EACH WEB U.N.O. ON PLANS. SEE DETAIL 475.

**7" ARCHITECTURAL WALLS**  
 WHERE ARCHITECTURAL PLANS SPECIFY 7" WIDE WALLS STUDS MAY BE 2X6 OR 2X8 (SPACING, GRADE, & ALIGNMENT PER PLAN). WHERE 2X6 STUDS ARE USED, FURR HALL CUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
 EDGE-NAIL SHEATHING TO DRAG MEMBERS 1/4" DIA @ 6" OC FULL LENGTH UNO. SEE "ROOF FRAMING NOTES" #8 AND "FLOOR FRAMING NOTES" #4 ON SHEET S4.1.

**GENERAL NOTES**

SEE SHEET S4.1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.  
 IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S4.1 AND ALL DETAILS CREDITED TO SHEET S4.2, AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

- KEYNOTES**
- (8) DOUBLE 2X STUD POST
  - (7) 4X6 POST
  - (8) 4X6 POST
  - (9) 4X6 POST
  - (10) 4X6 POST
  - (11) CSK STRAP TRUSS/DRAG MEMBER TO TOP PLATE/BEAM. SEE DETAIL 428 AT ALIGNED TRUSS CONDITION.
  - (12) CSK STRAP TOP PLATE TO TOP PLATE AT TRANSITION/BEAM. FIN (13) 8# NAILS TO TOP PLATE EA. WAY. STRAP TO BE INSTALLED ON EITHER TOP OR SIDE OF TOP PLATE.
  - (13) CSK STRAP TOP PLATE/BEAM TO FULL DEPTH 2X BULK BETWEEN TRUSSES. EXTEND STRAP UNDER FULL DEPTH BULK AS DIMENSIONED ON PLAN. SEE DETAIL 471.
  - (14) CSK STRAP OVER SHTG EAVE BLG TO 2X FLAT BLG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FILL EVERY OTHER NAIL HOLE OVER BLG. SEE DETAIL 447.
  - (15) CSK STRAPS TRUSS TO TOP PLATE/BEAM. SEE DETAIL 426.
  - (16) CSK STRAPS BEAM TO TOP PLATE/BEAM. SEE DETAIL 216.
  - (17) CSK STRAPS OVER SHTG TRUSS/DRAG RAFTER TO 2X FLAT BLG. EXTEND STRAP OVER SHTG TRUSS/DRAG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
  - (18) CSK STRAPS OVER SHTG EAVE BLG TO 2X FLAT BLG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FILL EVERY OTHER NAIL HOLE OVER BLG. SEE DETAIL 447.
  - (19) CHECK STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
  - (20) ALL TRUSS CONNECTIONS ARE AS FOLLOWS U.N.O. ON PLAN OR TRUSS MANUFACTURER LAYOUTS.

- TRUSS TYPE CONNECTION**
- SINGLE PLY NON-GIRDER LUS24 HANGER
  - SINGLE PLY NON-GIRDER HUS24 HANGER
  - SINGLE PLY GIRDER HUS24 HANGER
  - THO PLY GIRDER HUS26-2 HANGER
  - THREE PLY GIRDER HUS26-3 HANGER
- 1/4" 16# BLOCK TO CARRIER TRUSS, (2) 16# TOE NAILS BOTTOM CHORD TO CARRIER, (2) 16# END NAILS BOTTOM CHORD TO BLOCK, TYP.
- (25) EDGE NAIL SHTG TO FRAMING MEMBER (TRUSS/RAFTER/JOIST) 1/4" DIA @ 4" OC. FULL LENGTH.
- (26) OVERFRAME WITH HIGH-HEEL VALLEY TRUSSES @ 24" OC MAX. SEE DETAIL 493.
- (27) 2X RAISE HALL BUILT ON TOP OF ROOF SHEATHING. PROVIDE 1/4" APA RATED SHTG 1/4" DIA @ 12" OC. EDGE, 12" OC FIELD OVER ENTIRE RAISE HALL. SEE DETAIL 491.
- (28) ATTIC ACCESS PER ARCHITECT 1/4" DIA. 30" HEADROOM. PROVIDE 2X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS CHORDS AT 10" TRUSS BAY (MIN) (3) 16# END NAILS TRUSS TO EA 2X. WHERE ACCESS IS TO BE CENTERED IN ROOM ALL TRUSS MANUFACTURERS TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING.
- (29) 9'-0" X 10'-0" HVAC PLATFORM 1/4" DIA. 3/4" PLYWOOD ON 2X6 FRAMING TO TRUSS BOTTOM CHORD. 24" HIDE CATHALS TO ATTIC ACCESS. TRUSS MANUFACTURERS TO ACCOUNT FOR ADDITIONAL LOADS.
- (30) BALLOON FRAME HALL 1/4" DIA. 2X8 D.F. STUDS @ 16" O.C. PROVIDE (1) TRIMMER AND (2) KING STUDS @ EACH OPENING.
- (31) ALIGN (1) STUD UNDER EA TRUSS & MAINTAIN 1/4" OC MAX SPACING. AT 7" WIDE WALLS STUDS MAY BE 2X6 OR 2X8. WHERE 2X6 STUDS ARE USED, FURR HALL CUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.
- (32) FRAME HALL 1/4" DIA. 2X8 D.F. STUDS @ 16" O.C. 1/4" DIA. TRIMMER & (2) 2X KING STUDS @ EACH OPENING UNO.
- (33) 4'-0" LONG 2X BACKING TO TRUSS 1/4" DIA. @ 4" O.C. OR PROVIDE TRUSS ALIGNED WITH HALL. INSTALL 2X BLOCKING BETWEEN TRUSS BOTTOM CHORDS TO SUPPORT BACKING. EN SHTG TO DRAG TRUSS 1/4" DIA. @ 4" O.C. FULL LENGTH. SEE DETAIL 433.
- (34) INSTALL SHEARWALL SHEATHING PRIOR TO ADJACENT PERPENDICULAR FRAMING, TYP.

**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION | NOTES |
|---------|----------------------|-------|
| BEAM #1 | 5 1/4" X 14" L1R SCL |       |
| BEAM #2 | 5 1/4" X 14" L1R SCL |       |
| BEAM #3 | 5 1/4" X 14" L1R SCL |       |
| BEAM #4 | 5 1/4" X 14" L1R SCL |       |
| BEAM #5 | 5 1/4" X 14" L1R SCL |       |

**BEARING WALL HEADER SCHEDULE**

| LENGTH     | SIZE & SPECIFICATION                            | TRIMMER |
|------------|---|---------|
| 4'-0" MAX. | 4X10 OR 6X8                                     | (1) 2X  |
| 6'-0" MAX. | 5 1/2" X 9 1/2" L1R SCL OR 5 1/2" X 12" L1R SCL | (2) 2X  |
| 8'-0" MAX. | 6X8 OR 6X6                                      | (1) 2X  |

**DETAIL NUMBERING CONVENTION**

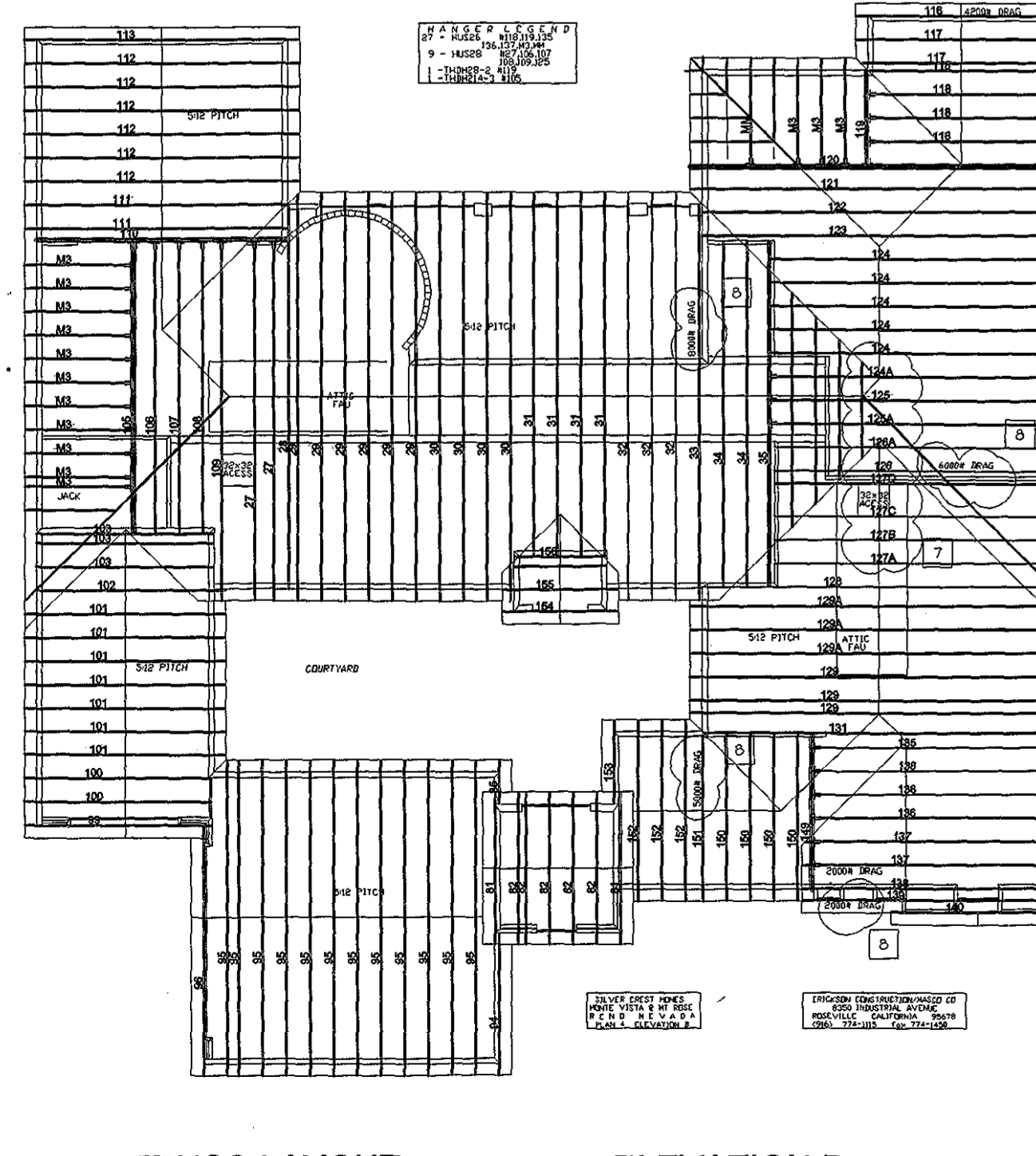
| DETAIL # | DETAIL SERIES CLASSIFICATION      |
|----------|-----------------------------------|
| 00-00    | FOUNDATION DETAILS                |
| 200-299  | FLOOR AND HALL FRAMING DETAILS    |
| 400-499  | ROOF FRAMING DETAILS              |
| 600-699  | CONSTRUCTIBILITY & FINISH DETAILS |

**SYMBOLS LEGEND**

- DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- DENOTES HOLDOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO FOUNDATION SCHEDULE ON FOUNDATION PLAN.
- DENOTES KEYNOTE SPECIFICATION REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SCHEDULE FOR DETAILS.
- DENOTES DETAIL REFERENCE IS AN ELEVATION. REFER TO SCHEDULE FOR DETAILS.
- DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSSES & DIRECTION OF FRAMING. REFER TO DETAIL A ON SHEET S4.2 FOR SPECIFICATIONS.
- DENOTES EXTENTS OF BLOCKED & EDGE NAILING DIAPHRAGM. REFER TO APPLICABLE KEYNOTE.
- DENOTES EXTENTS OF CONTINUOUS 2X BACKING. REFER TO APPLICABLE KEYNOTE.
- DENOTES BEARING WALL.
- DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. SHEAR WALL FULL HEIGHT SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.
- DENOTES NON-BEARING WALL.
- DENOTES BEAM OR HEADER. REFER TO BEAM SCHEDULE/DRAG MEMBER SCHEDULE ON THIS SHEET.

**SHEARWALL SCHEDULE**

| TYPE | APA RATED SHEATHING                               | SILL PLATE | ANCHOR SPACING         | FRAMING AT ADDING TO BEAM/ANCHORS | SOLE PLATE CONNECTION TO R1M |
|------|---|------------|------------------------|-----------------------------------|------------------------------|
| 1    | 3/8" ONE FACE 1/4" DIA @ 4" OC EDGE, 12" OC FIELD | 2X         | 5/8" X 10" AB @ 20" OC | MASA ANCHORS @ 24" OC             | 16# @ 4" OC                  |
| 2    | 3/8" ONE FACE 1/4" DIA @ 4" OC EDGE, 12" OC FIELD | 2X         | 5/8" X 10" AB @ 20" OC | MASA ANCHORS @ 24" OC             | 16# @ 4" OC                  |
| 3    | 3/8" ONE FACE 1/4" DIA @ 4" OC EDGE, 12" OC FIELD | 2X         | 5/8" X 10" AB @ 20" OC | MASA ANCHORS @ 24" OC             | 16# @ 4" OC                  |
| 4    | 3/8" ONE FACE 1/4" DIA @ 4" OC EDGE, 12" OC FIELD | 2X         | 5/8" X 10" AB @ 20" OC | MASA ANCHORS @ 24" OC             | 16# @ 4" OC                  |



**TRUSS LAYOUT**  
 SCALE: 1/4" = 1'-0"

**ELEVATION B**  
 SCALE: 1/4" = 1'-0"

**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**ELEVATION B**

WASHOE COUNTY BUILDING DEPT.  
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**MONTE VISTA AT MOUNT ROSE**  
 WASHOE COUNTY, NV

**SILVER CREST HOMES, INC.**  
 3300 DOUGLAS BLVD., BLDG. 400 STE. 460  
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 (916) 783-2900

PROJECT MANAGER: KL  
 DESIGNER: JHH  
 DRAWN BY: IDEB  
 CHECKED BY: JHH  
 ISSUE DATE: 08-19-2014  
 1 PLAN CHECK: 02-21-2014  
 2 PLAN CHECK: 03-24-2014

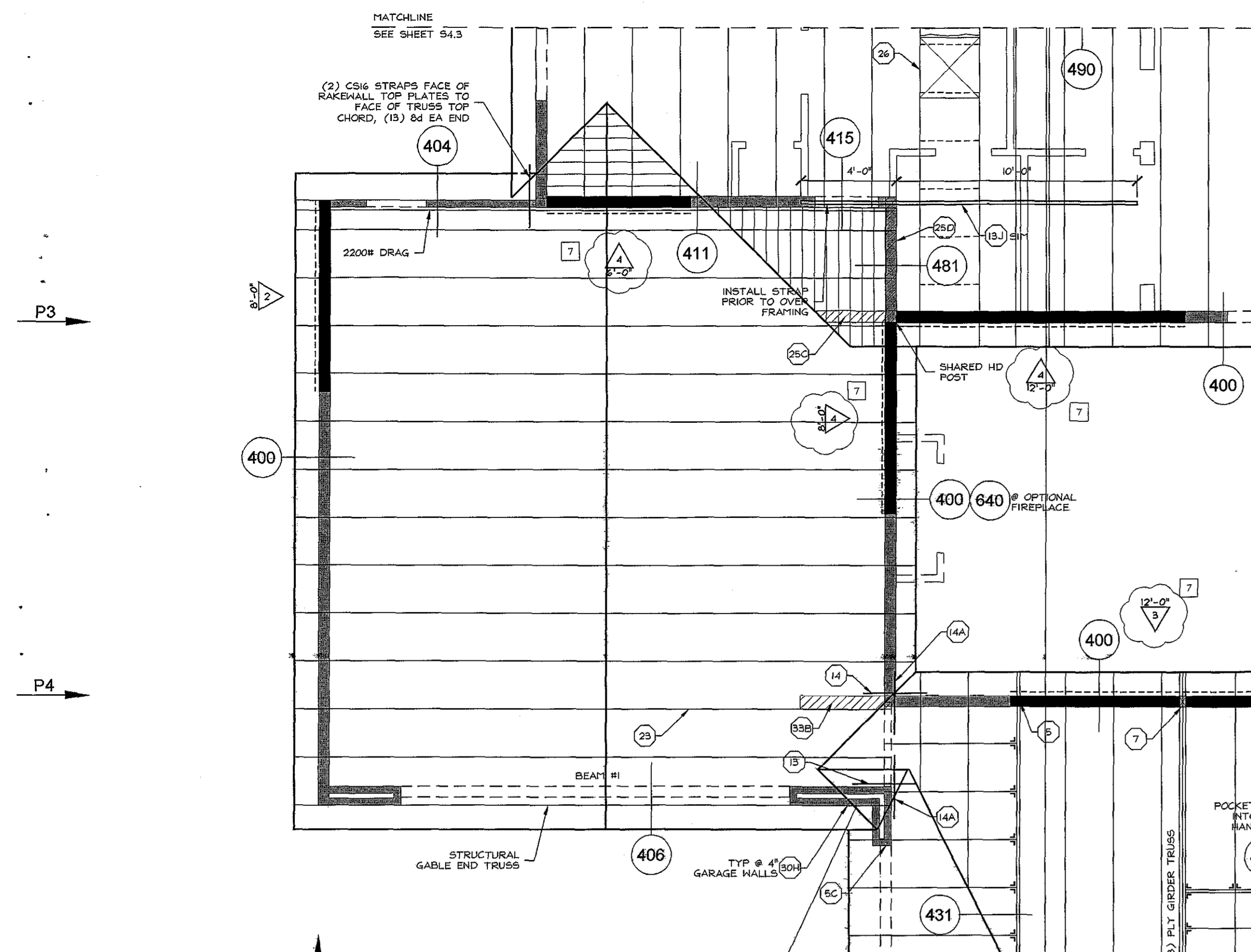
**WASHOE COUNTY BUILDING DEPT.**  
 REVIEWED FOR CODE COMPLIANCE  
 6  
 3-22-14  
**PLAN 4**

**ROOF FRAMING PLAN**  
**ELEVATION B**

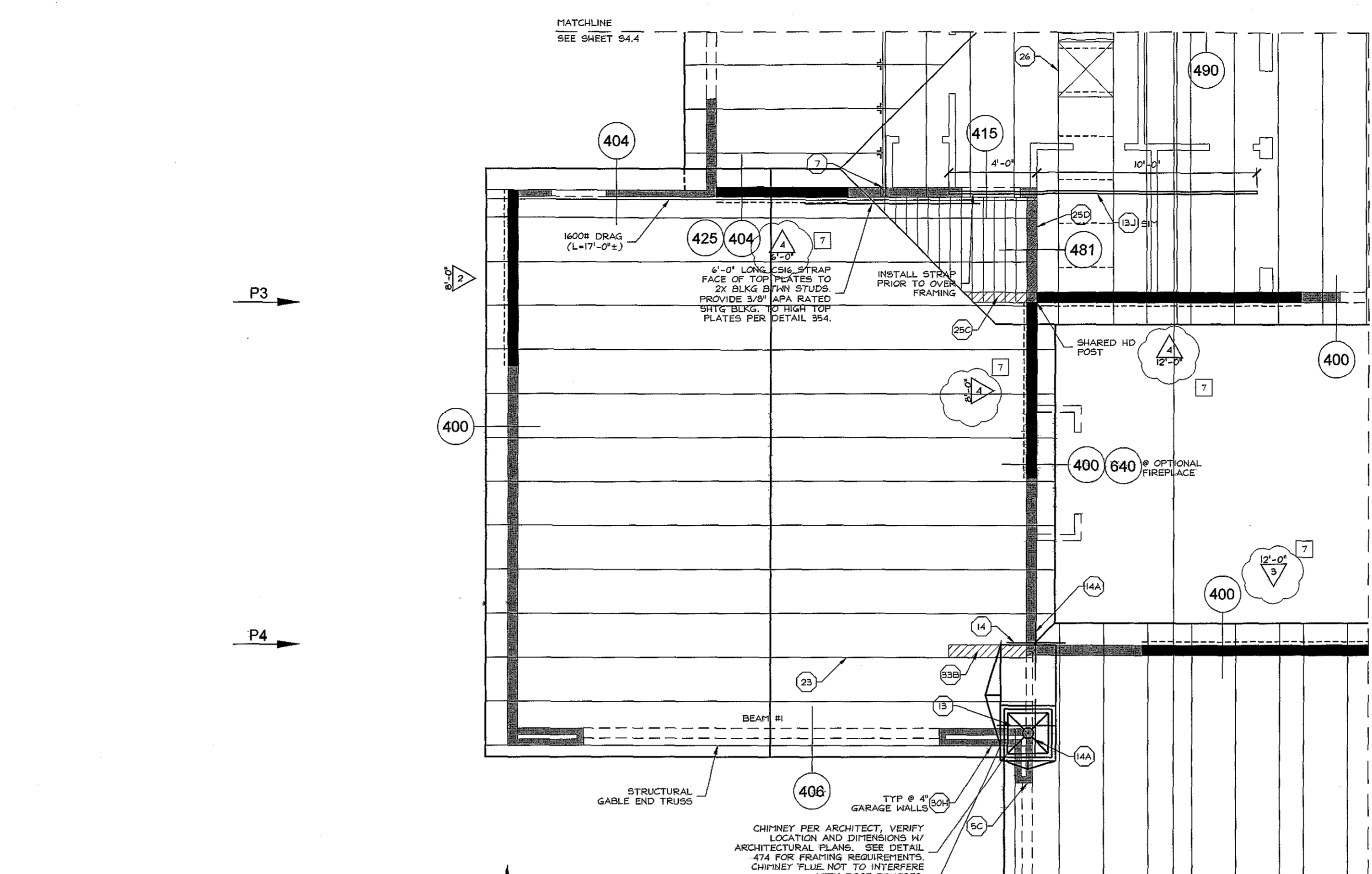
**S4.4**

JOB NUMBER: H50148





ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"  
GARAGE OPT ELEVATION A



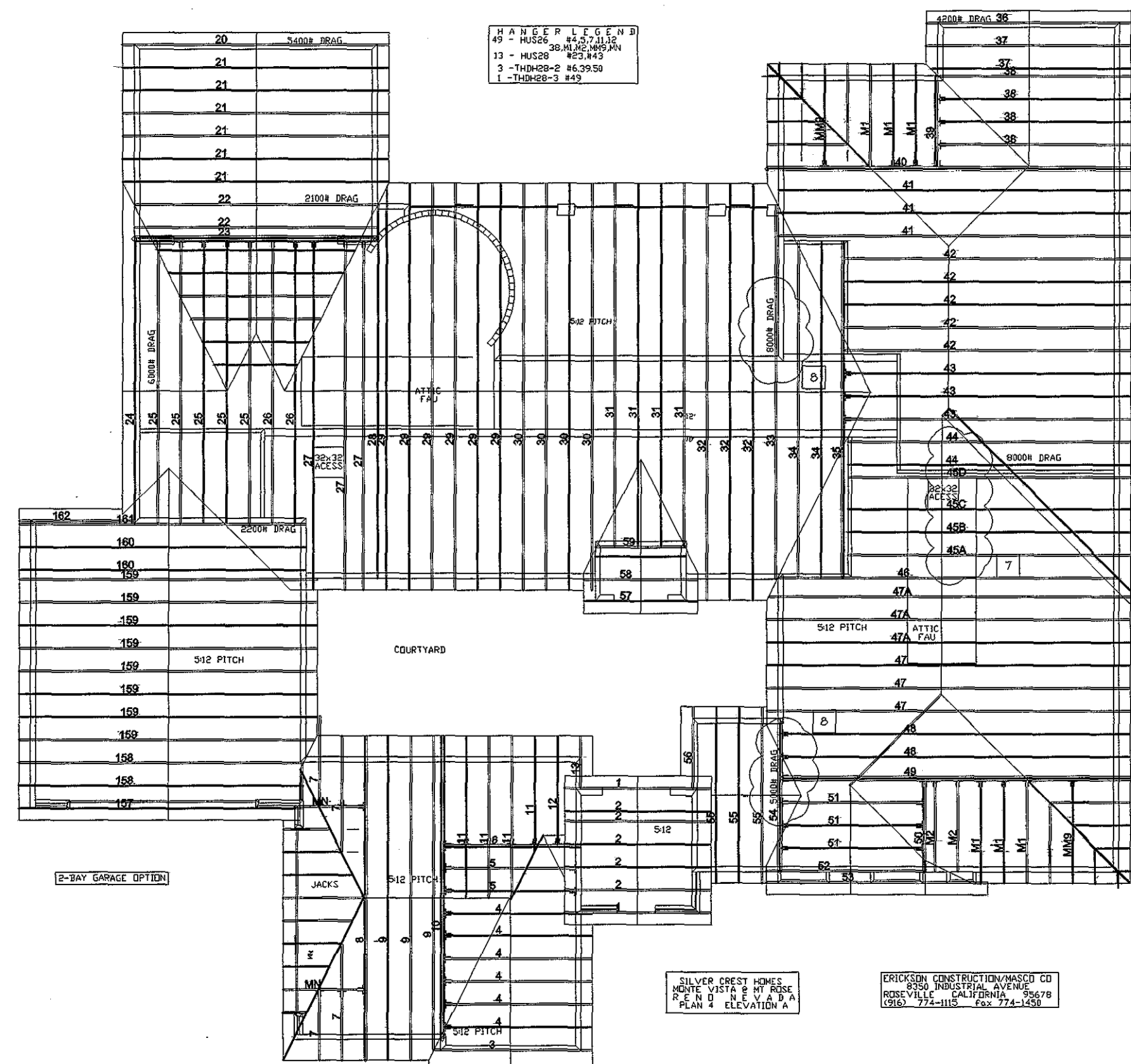
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"  
GARAGE OPT ELEVATION B

**LIMITED ATTIC STORAGE**  
AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGLE 24" WIDE X 42" TALL OR GREATER BETWEEN TOP OF B.C. WEB AND BOTTOM OF T.C. WEB A FIN. 1/4" X 3/8" SCAB SHALL BE FIELD INSTALLED A FAITHFUL 4" ABOVE B.C. WITH (2) #4 NAILS TO EACH WEB U.N.O. ON PLANS. SEE DETAIL 478.

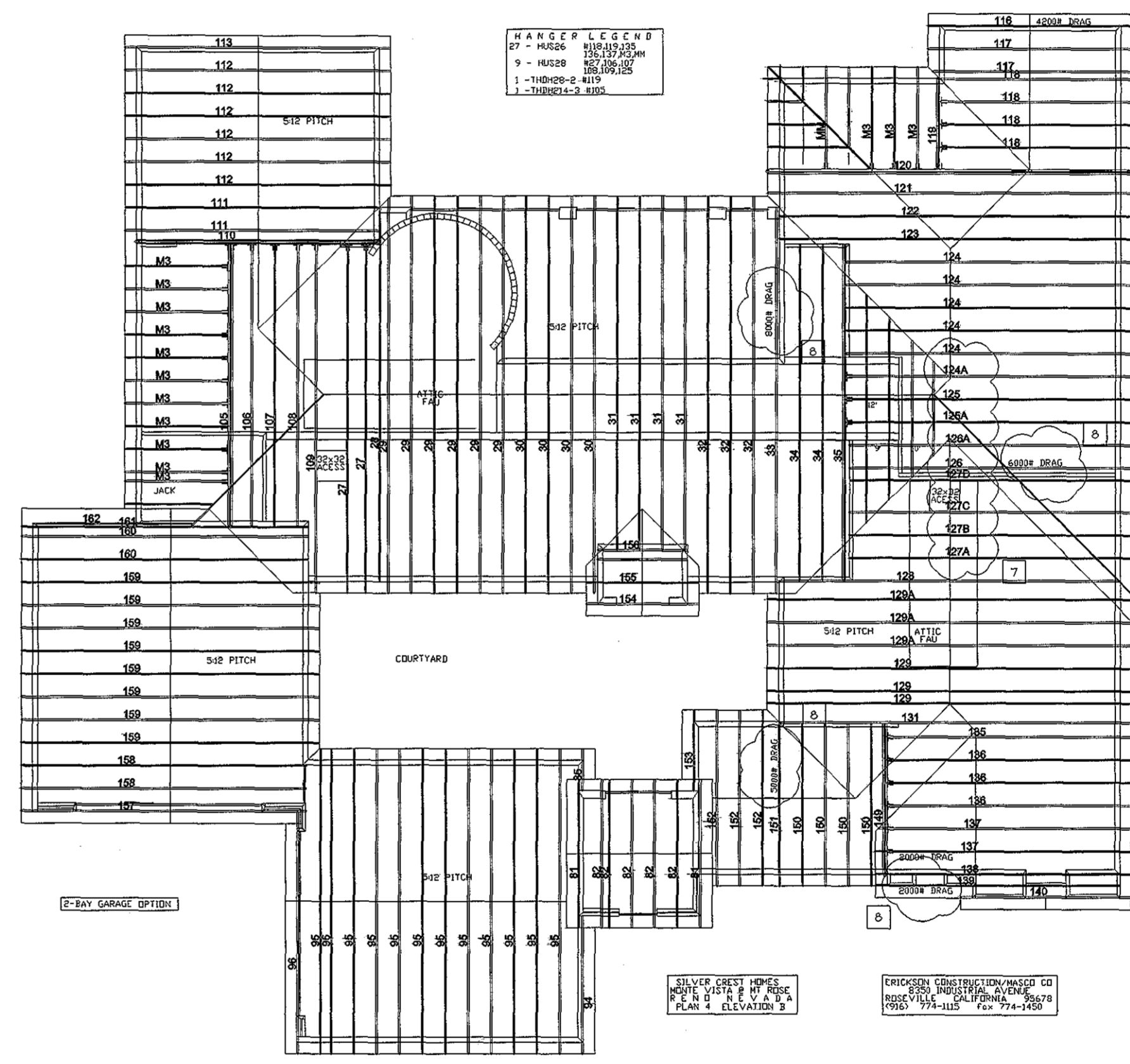
**7" ARCHITECTURAL WALLS**  
WHERE ARCHITECTURAL PLANS SPECIFY 7" HIDE WALLS STUDS MAY BE 2x6 OR 2x8 (SPACING) ARE ALLOWED PER PLAN, WHERE 2x6 STUDS ARE USED, FINISH WALL OUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH, BEATS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
EDGE-NAIL SHEATHING TO ALL DRAG MEMBERS W/ #6 @ 6" OC FULL LENGTH UNO, SEE "ROOF FRAMING NOTES" #5 AND "FLOOR FRAMING NOTES" #4 ON SHEET SN1.

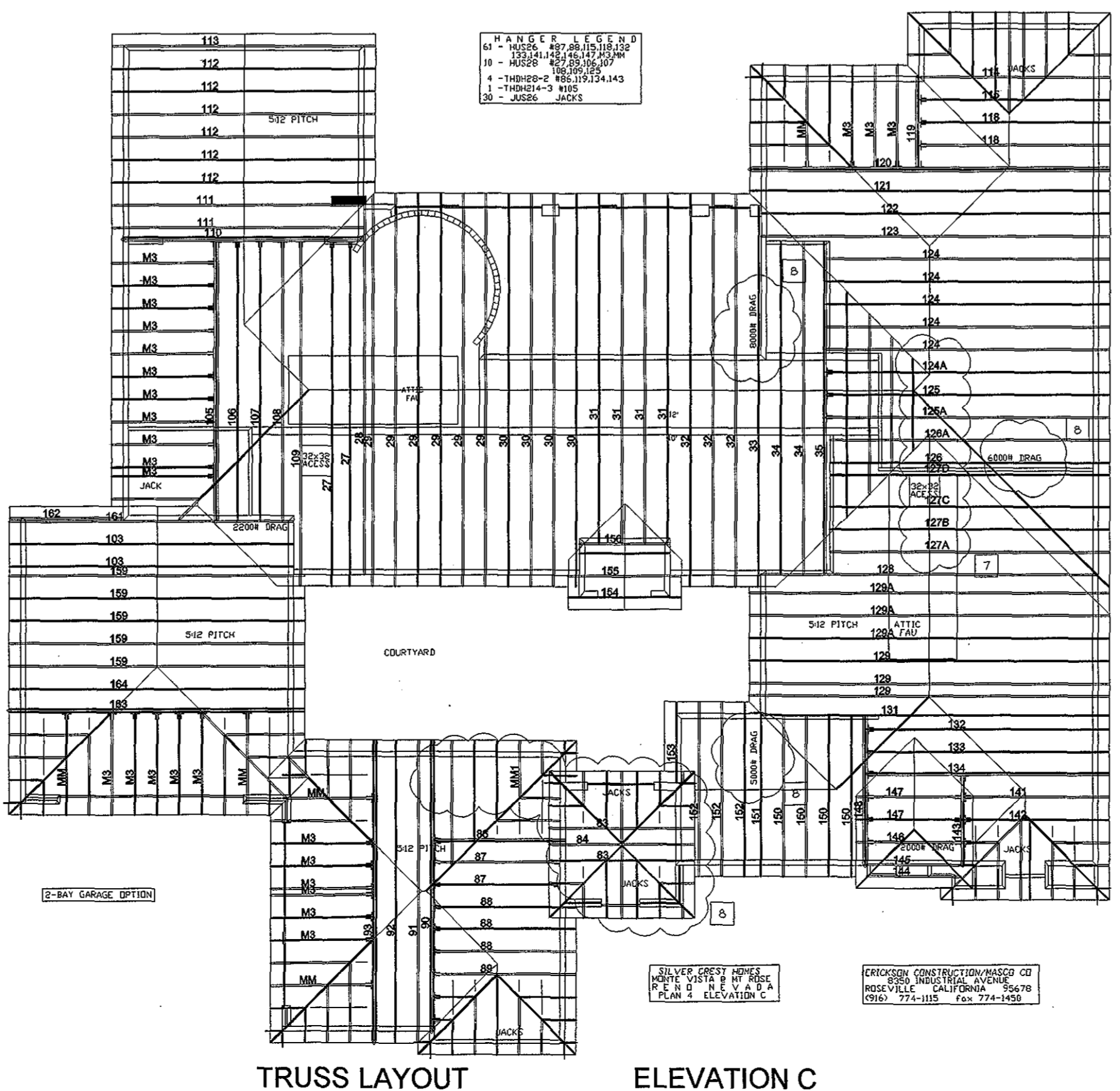
- GENERAL NOTES**
- SEE SHEET SN1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.
- IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET SN1 AND ALL DETAILS SPECIFIED ON SHEET SN1 AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.
- KEYNOTES**
- (1) DOUBLE 2X STUD POST
  - (2) DOUBLE 2X TRIMMER AT THIS END OF HEADER
  - (3) 4x6 POST
  - (4) 4x6 POST
  - (5) 4x6 POST
  - (6) 4x6 POST
  - (7) CSB STRAP TRUSS/DRAW MEMBER TO TOP PLATE/BEAM. SEE DETAIL 429 AT ALIGNED TRUSS CONDITION.
  - (8) CSB STRAP TOP PLATE TO TOP PLATE AT BRANT/TOURNAI. FIN (13) #4 NAILS TO TOP PLATE EA. WAY STRAP TO BE INSTALLED ON EITHER TOP OR SIDE OF TOP PLATE.
  - (9) CSB STRAP TOP PLATE/BEAM TO FULL DEPTH 2X BLKG BETWEEN TRUSSES. DRAG STRAP UNDER FULL DEPTH BLKG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
  - (10) CSB STRAP OVER SHTG LEAVE BLKG TO 2X PLAT BLKG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FILL EVERY OTHER NAIL HOLE OVER BLKG. SEE DETAIL 447.
  - (11) (2) CSB STRAPS TRUSS TO TOP PLATE/BEAM. SEE DETAIL 426.
  - (12) CSB STRAPS BEAM TO TOP PLATE/BEAM. SEE DETAIL 216.
  - (13) CSB STRAPS OVER SHTG TRUSS/DRAW RAFTER TO 2X PLAT BLKG. EXTEND STRAPS OVER PLAT BLKG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
  - (14) (2) CSB STRAPS OVER SHTG LEAVE BLKG TO 2X PLAT BLKG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FILL EVERY OTHER NAIL HOLE OVER BLKG. SEE DETAIL 447.
  - (15) CSB STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 426.
  - (16) ALL TRUSS CONNECTIONS ARE AS FOLLOWS U.N.O. ON PLAN OR TRUSS MANUFACTURER LAYOUTS.
- TRUSS TYPE CONNECTION**
- SINGLE PLY NON-GIRDER W/ MAX. SPAN OF 8'-0" LUS24 HANGER
  - SINGLE PLY W/ SPAN GREATER THAN 8'-0" HUS26 HANGER
  - SINGLE PLY GIRDER HUS26 HANGER
  - THO PLY GIRDER HUS26-2 HANGER
  - THREE PLY GIRDER HUS26-3 HANGER
- 1/4" 1x4 BLOCK TO CARRIER TRUSS, (2) 1x4 TOE NAILS BOTTOM CHORD TO CARRIER, (2) 1x4 END NAILS BOTTOM CHORD TO BLOCK, TYP.
- (2) EDGE NAIL SHTG TO FRAMING MEMBER (TRUSS/RAFTER/JOIST) W/ #4 @ 6" OC, FULL LENGTH.
- (2) OVERFRAME WITH HIGH-HEEL VALLEY TRUSSES @ 24" OC MAX. SEE DETAIL 483.
- (2) 2X RAKE WALL BUILT ON TOP OF ROOF SHEATHING. PROVIDE 3/4" APA RATED SHTG W/ #4 @ 3" OC EDGE, 12" OC FIELD OVER ENTIRE RAKE WALL. SEE DETAIL 481.
- (2) ATTIC ACCESS PER ARCHITECT W/ FIN. 3/4" HEADWORK. PROVIDE 2X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS. 1" SP TRUSS BEY (1) 1x4 END NAILS TRUSS TC TO EA 2X, WHERE ACCESS IS TO BE CENTERED IN ROOM/HALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING.
- (2) 9'-0" X 10'-0" HVAC PLATFORM FIN. 3/4" PLYWOOD ON 2x6 FRAMING TO TRUSS BOTTOM CHORD. 24" WIDE CATHAL TO ATTIC ACCESS. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.
- (2) BALLOON FRAME WALL W/ 2x6 @ 12" O.C. STUDS @ 16" O.C. PROVIDE (1) TRIMMER AND (2) KING STUDS @ EACH OPENING.
- (2) 1" STUD UNDER EA TRUSS & MAINTAIN 1/2" OC MAX SPACING. AT 7" HIDE WALLS STUDS MAY BE 2x6 OR 2x8. WHERE 2x8 STUDS ARE USED, MARK WALL OUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEATS & HEADERS SHALL MATCH STUD WIDTH.
- (2) FRAME-HALL W/ 2x4 @ 22" O.C. STUDS @ 16" OC W/ (1) 2X TRIMMER & (2) 2X KING STUDS @ EACH OPENING UNO.
- (2) 4'-0" LONG 2X BACKING TO TRUSS W/ 1x4 @ 4" O.C. OR BUCKLING BETWEEN TRUSS BOTTOM CHORDS TO SUPPORT BACKING. EA SHTG TO DRAG TRUSS W/ #6 @ 6" O.C. FULL LENGTH. SEE DETAIL 485.
- (2) INSTALL SHEARWALL SHEATHING PRIOR TO ADJACENT & PERPENDICULAR FRAMING, TYP.



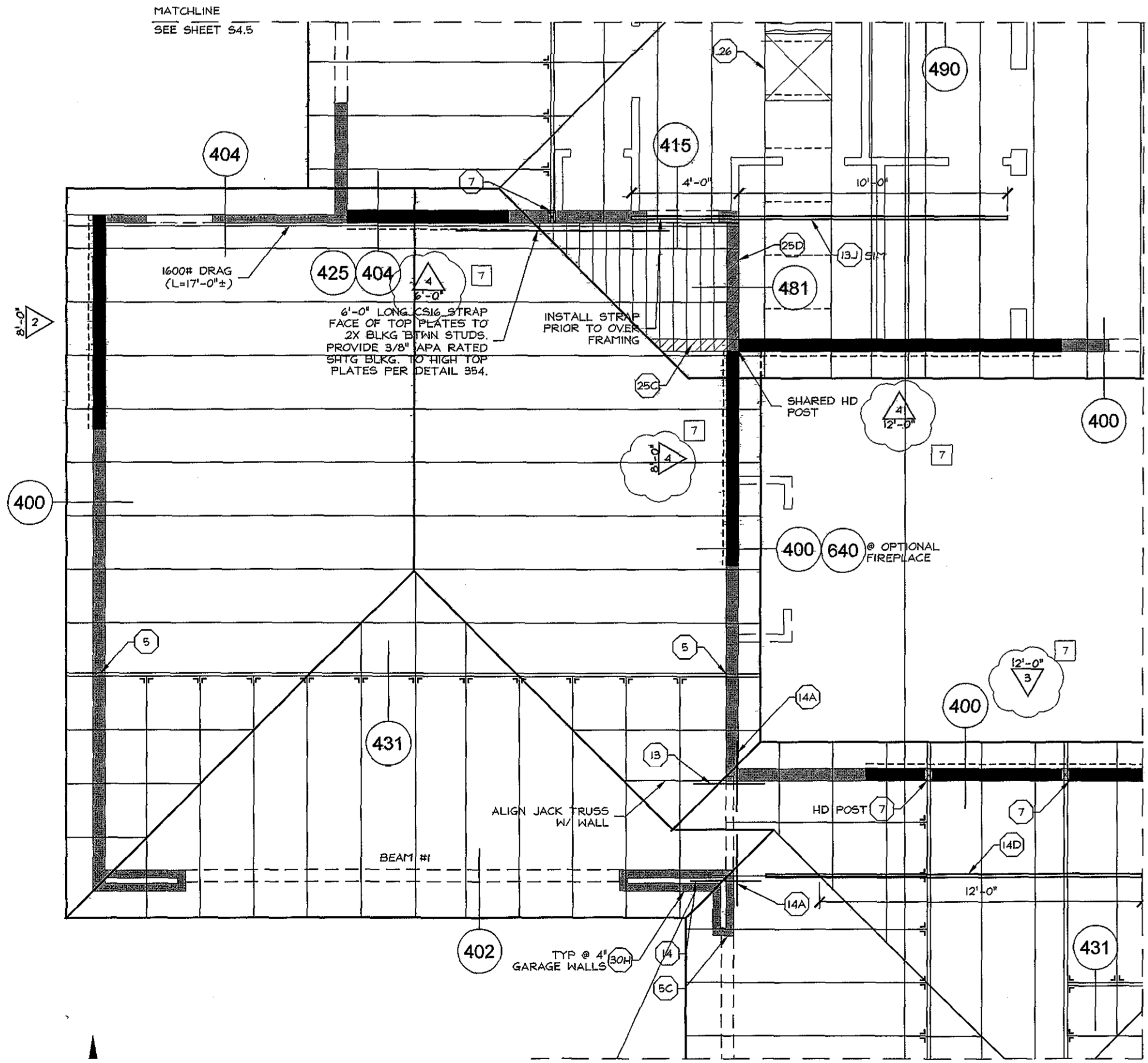
TRUSS LAYOUT ELEVATION A  
SCALE: NTS



TRUSS LAYOUT ELEVATION B  
SCALE: NTS



TRUSS LAYOUT ELEVATION C  
SCALE: NTS



ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"  
GARAGE OPT ELEVATION C

**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION     | NOTES |
|---------|--------------------------|-------|
| BEAM #1 | 9 1/4" X 14" IAE SCL     |       |
| BEAM #2 | 4x4                      |       |
| BEAM #3 | 5 1/2" X 12" IAE SCL     |       |
| BEAM #4 | 5 1/2" X 11 7/8" IAE SCL |       |
| BEAM #5 | 5 1/2" X 11 7/8" IAE SCL |       |

1. IAE SCL USED AS A GENERIC TERM FOR ALL MANUFACTURED LEL, OSL, LVL, FRM. MEMBERS. SEE "WOOD SPECIFICATIONS" NOTE 3 ON SHEET SN1 FOR TRUSS DESIGN STRENGTHS.

**BEARING WALL HEADER SCHEDULE**

| LENGTH     | SIZE & SPECIFICATION                               | TRIMMER |
|------------|--|---------|
| 4'-0" MAX. | 4x6 OR 4x8   | (1) 2X  |
| 6'-0" MAX. | 3 1/2" X 3 1/2" IAE SCL OR 5 1/2" X 3 1/2" IAE SCL | (2) 2X  |
| 8'-0" MAX. | 4x8 OR 4x6   | (1) 2X  |

1. UNLESS NOTED OTHERWISE  
2. SUPPORTS CABLE END TRUSS ONLY. DOES NOT APPLY WHERE FLOOR JOISTS ABOVE  
3. SEE NOTE 4 UNDER GENERAL FRAMING NOTES ON SHEET SN1 FOR KING STUD REQUIREMENTS  
4. (1) 2x6 OR 2x8 TRIMMER PERMITTED AT 5 1/2" OR 7" HDS UNO

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION     |
|----------|----------------------------------|
| 200-001  | FOUNDATION DETAILS               |
| 200-002  | FLOOR AND HALL FRAMING DETAILS   |
| 400-001  | ROOF FRAMING DETAILS             |
| 600-001  | CONSTRUCTABILITY & MISC. DETAILS |

1. DETAILS ARE LOCATED ON THE "100" SHEETS (SD1, SD2, ETC.) BEGINNING WITH SD1 AND ARE ARRANGED NUMERICALLY IN ASCENDING ORDER.  
2. GENERAL FRAMING DETAILS (STANDARD WALL FRAMING CONNECTIONS, HOLD-DOWN INSTALLATION DETAILS, DIAPHRAGM LAYOUTS AND NAILING, ETC.) ARE LOCATED ON SHEET SN2.

**SYMBOLS LEGEND**

- DENOTES SHEARWALL TYPE 4 FINISH LENGTH REQUIRED AT END OF SHEARWALL. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- DENOTES HOLD-DOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLD-DOWN SCHEDULE ON FOUNDATION PLAN.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SD-1 SHEETS FOR DETAILS.
- DENOTES DETAIL REFERENCE IS AN ELEVATION. REFER TO SD-1 SHEETS FOR DETAILS.
- DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSSES & DIRECTION OF FRAMING. REFER TO DETAIL A ON SHEET SN3 FOR SPECIFICATIONS.
- DENOTES EXTENTS OF BLOCKED & EDGE NAILED DIAPHRAGM. REFER TO APPLICABLE KEYNOTE.
- DENOTES EXTENTS OF CONTINUOUS 2X BACKING. REFER TO APPLICABLE DETAIL.
- DENOTES BEARING WALL.
- DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. HRPAP FULL HEIGHT SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.
- DENOTES NON-BEARING WALL.
- DENOTES BEAM OR HEADER. REFER TO BEAM1 SCHEDULE/BEARING WALL HEADER SCHEDULE ON THIS SHEET.

**SHEARWALL SCHEDULE**

| TYPE | APA RATED SHEATHING                            | BUILD. PLATE ANCHOR | ANCHOR SPACING      | FRAMING MEMBER AT ADJOINING PANEL EDGE | SOLE PLATE CONNECTION TO BEAM/ANCHOR TO RIM                |
|------|--|---------------------|---------------------|--|--|
| (1)  | 3/8" ONE FACE W/ 8 @ 4" OC EDGE                | 2X                  | 5/8" X 10" @ 24" OC | MASA ANCHORS @ 24" OC                  | 2X 1x4 @ 4" OC   |
| (2)  | 3/8" ONE FACE W/ 8 @ 4" OC EDGE, 12" OC FIELD  | 2X                  | 3/8" X 10" @ 24" OC | MASA ANCHORS @ 24" OC                  | (2) ROWS 2x4 @ 14" STAGGERED 1x4 @ 4" OC 4 LTRS @ 36" OC   |
| (3)  | 3/8" ONE FACE W/ 8 @ 4" OC EDGE, 12" OC FIELD  | 2X                  | 3/8" X 10" @ 24" OC | MASA ANCHORS @ 24" OC                  | (2) ROWS 1x4 @ 4" OC STAGGERED 1x4 @ 4" OC 4 LTRS @ 36" OC |
| (4)  | 1/2" ONE FACE W/ 10 @ 2" OC EDGE, 12" OC FIELD | 3X                  | 3/8" X 10" @ 24" OC | MASA ANCHORS @ 24" OC                  | SD/SHAK 1/2" SCHEDULE 1x4 @ 4" OC 4 LTRS @ 36" OC          |

1. SHEATHING TO BE 4'-0" X 8'-0" FIN EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE FIN WIDTH IS TO BE 1/2" (TYP) PROVIDE FIN 2X FRAMING MEMBER AT ALL BOUNDARIES UNO  
2. 3X SILL TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING. AT 3X SILL PLATES ANCHOR BOLTS TO BE 12" LONG.  
3. EITHER ANCHOR TYPE MAY BE USED. FIN (2) ANCHORS PER SHEARWALL. MASA ANCHORS TO BE INSTALLED WITH (4) 1x4 NAILS.  
4. FIN. 7" EMBEDMENT INTO CONCRETE. PROVIDE PLATE W/ 6" FIN FOUNDATION NOTES #4 AT EACH BOLT. MAX 1/2" BETWEEN EDGE OF PLATE MEMBER AND FACE OF SHEATHING.  
5. 3X FRAMING MEMBERS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING.  
6. SOLE PLATE TO BE 2X UNO ON PLAN. SOLE PLATE CONNECTION OCCURS ABOVE FOUNDATION PLATE LEVEL AT RAISED FLOOR AND/OR SECOND FLOOR APPLICATIONS ONLY. ALL SHEARWALL NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4" OC.  
7. SEE DETAIL D ON SHEET SN3 FOR TYPICAL SHEARWALL FRAMING ILLUSTRATION.

WASHOE COUNTY BUILDING DEPT.  
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Structural Engineering Consultants

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WASHOE COUNTY, NV

SILVER CREST HOMES, INC.  
3900 DOUGLAS BLVD., BLDG. 400, STE. 450  
ROSEVILLE, CA 95661  
(916) 785-2300

PROJECT MANAGER: KL  
DESIGNER: HH  
DRAWN BY: IDGS  
CHECKED BY: HH  
ISSUE DATE: 01-19-2011  
REVISIONS:  
1 PLAN CHECK 02-21-2014  
2 PLAN CHECK 05-24-2014

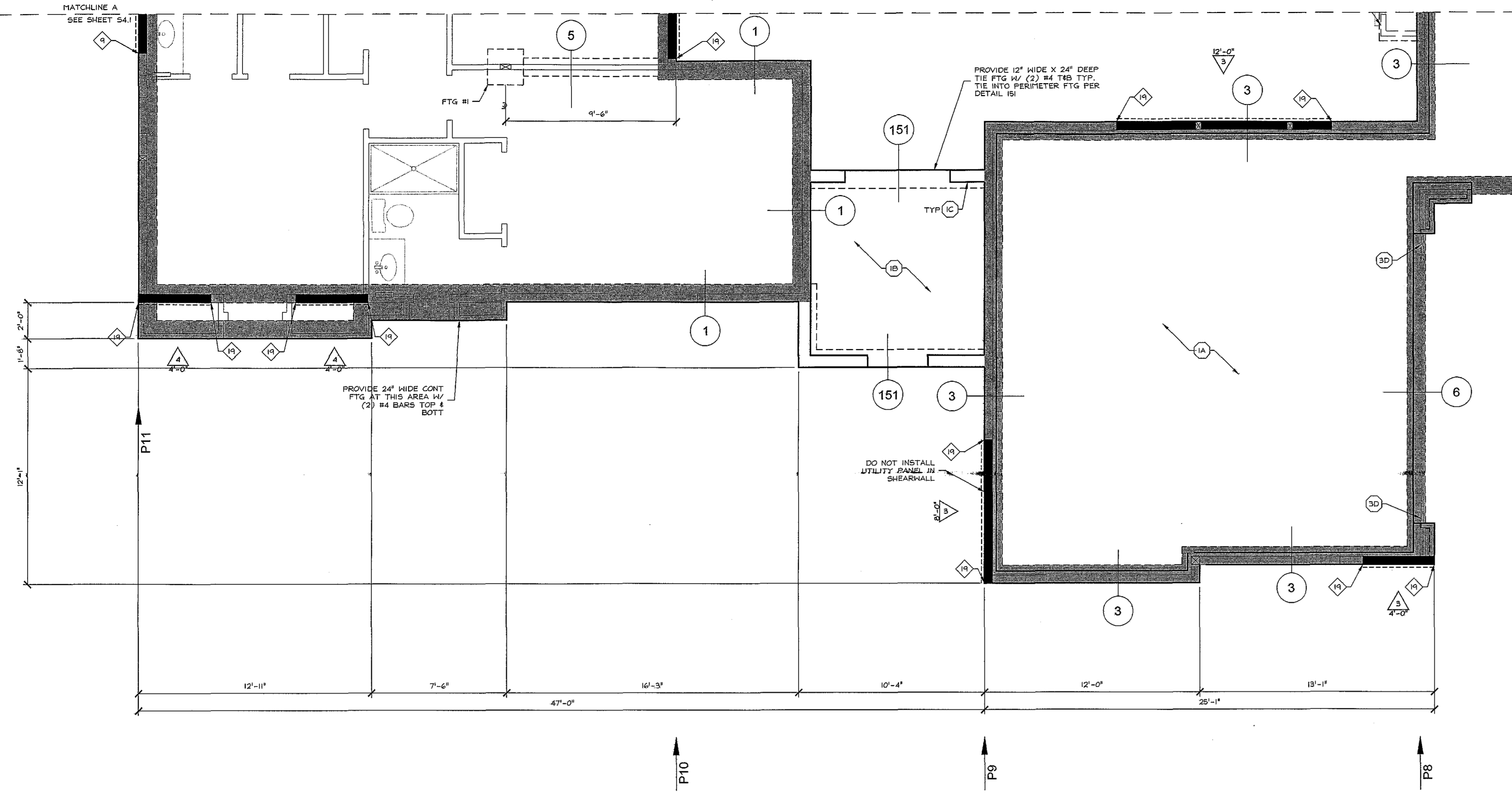
3-26-14  
PLAN 4

ROOF FRAMING PLAN ELEVATION A

S4.6

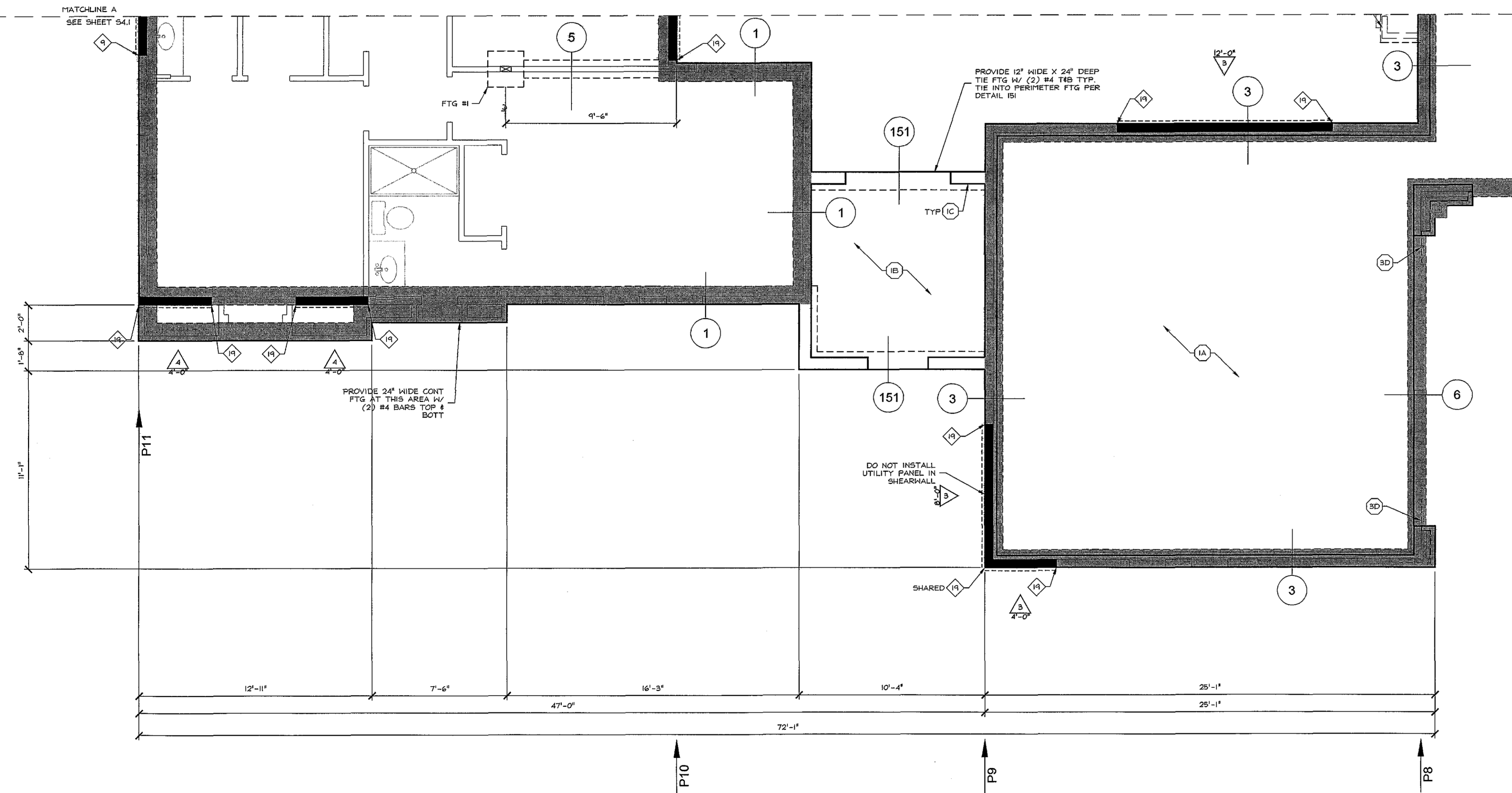
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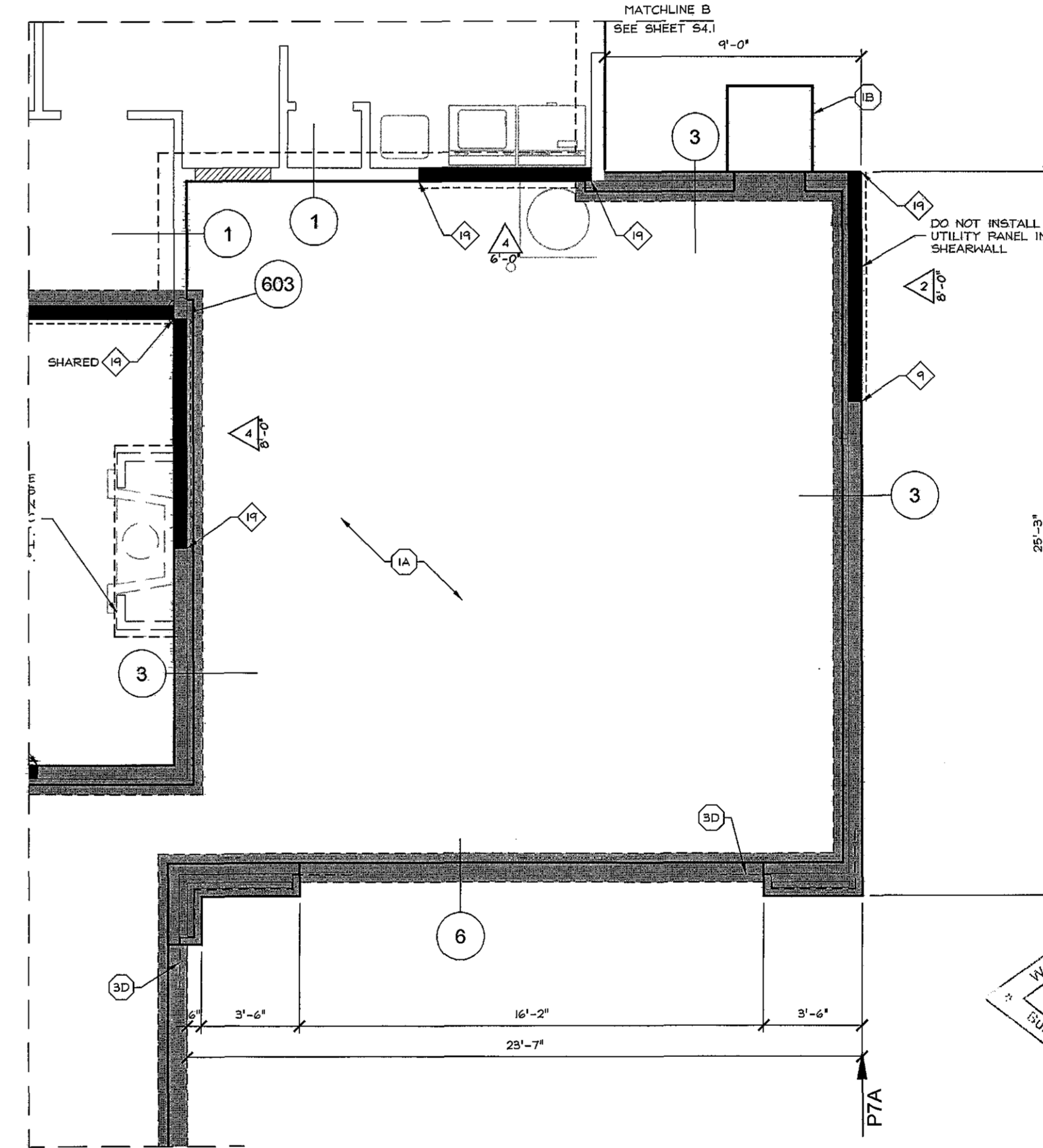
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

ELEVATION C



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

ELEVATION B



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

GARAGE OPT  
ALL ELEVATIONS

WASHOE COUNTY BUILDING DEPT.  
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**GENERAL NOTES**  
SEE SHEET S41 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS FOUNDATION PLAN, INCLUDING FOOTING DEPTH & WIDTH.  
IT IS THE CONTRACTOR/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S41 AND ALL DETAILS SPECIFIED ON SHEET S42. THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**FOUNDATION SPECIFICATIONS**  
PERIMETER FOOTING DEPTH: 24"  
INTERIOR FOOTING DEPTH: 24"  
FOOTING WIDTH: 24"  
STEP WIDTH AT GARAGE: 6"  
DESIGN SOIL PRESSURE: 3500 PSF  
FOUNDATION DESIGNED PER SOILS REPORT PROVIDED BY:  
BLACK SAGE CONSULTING, INC. REPORT #: 0292-08-0  
1840 CAPITAL BLVD, STE A DATE: 9/6/2005  
RENO, NV 89502  
ALL CONCRETE SHALL USE TYPE II CEMENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH, Fc=4000 PSI, UNF.  
CONCRETE SLAB WATER TO CEMENT RATIOS SHALL NOT EXCEED 0.45 UNF.  
CONTINUOUS FOOTINGS SHALL BE REINFORCED WITH (2) #4 BAR TOP & BOTTOM, (4) TOTAL UNF. AT SPECIAL LOADS. FOOTING WATER CEMENT RATIO SHALL NOT EXCEED 0.45 UNF.

**KEYNOTES**  
1. 4" CONCRETE SLAB W/ #3 BARS @ 24" OC EA WAY, CENTERED IN SLAB, OVER OPTIONAL 1"-2" FEA-GRAVEL LAYER, OVER FINISH TO THE VAPOR RETARDER, OVER 4" GRAVEL BASE, OVER PREPARED SUB-GRADE. REFER TO FOUNDATION NOTES B4-B6 ON SHEET S41 FOR ADDITIONAL RECOMMENDATIONS.  
2. 4" CONCRETE SLAB OVER FIN. & FILL VAPOR RETARDER, OVER 4" GRAVEL BASE, SLOPE 1/4" PER 1'-0" TO DRAINAGE. VAPOR RETARDER MAY BE OMITTED WITH BUILDING OFFICIAL APPROVAL.  
3. CONCRETE FLATWORK FIN. 4" THICK, SLOPE 1/4" PER 1'-0" AWAY FROM STRUCTURE. FIN. IS AIR ENTRAINMENT.  
4. FIN. 4" WALL CONCRETE CURB, VERIFY COLUMN DIMENSIONS TO ARCHITECTURAL PLANS. SEE DETAIL B1. CREST. II # PAD FOOTING CONDITION.  
5. #4 BAR 1/2" DIA. FROM 1" EDGE @ POP-OUT W/ 18" LEG INTO CONTINUOUS FOOTING EACH END OF EACH BAR.

**HOLDOWN SCHEDULE**

| TYPE | SHEARWALL TYPE | MIN. 2" HD CONNECTION | MIN. 2" HD TO POST        | HOLDOWN FROM 1" TO 4" POUR | MIN. ANCHOR EMBEDMENT |
|------|----------------|-----------------------|---------------------------|----------------------------|-----------------------|
| 1    | STD100         | 4X                    | (25) 1/4" SANKER          | N/A                        | N/A                   |
| 2    | HD18           | 4X                    | (30) SDB 1/2" X 2" SCREWS | SSTB25S1334                | 24"                   |
| 3    | HD11           | 4X                    | (30) SDB 1/2" X 2" SCREWS | S8X30                      | 24"                   |
| 4    | HD14           | 4X                    | (30) SDB 1/2" X 2" SCREWS | 1" ASOT ROD W/ ORL NUT     | 18" PER DETAIL D      |

**PAD FOOTING SCHEDULE**

| FOOTING #  | SIZE       | REINFORCING |
|------------|------------|-------------|
| FOOTING #1 | 24" SQUARE | #4 BARS     |
| FOOTING #2 | 30" SQUARE | #4 BARS     |

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION    |
|----------|---------------------------------|
| 00-99    | FOUNDATION DETAILS              |
| 100-199  | FLOOR AND HALL FRAMING DETAILS  |
| 200-299  | ROOF FRAMING DETAILS            |
| 300-399  | CONSTRUCTIBILITY & FINE DETAILS |

**SYMBOLS LEGEND**

| LENGTH | DESCRIPTION  |
|--------|--|
| —      | INDICATES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.   |
| —      | WHERE OCCURS, INDICATES ALIGNMENT WITH HOLDOWN ABOVE.  |
| —      | INDICATES HOLDOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLDOWN SCHEDULE ON THIS SHEET.                                     |
| —      | INDICATES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.  |
| —      | INDICATES DETAIL REFERENCE. REFER TO SHEETS FOR DETAILS.   |
| —      | INDICATES 2X PRESSURE TREATED SLEEPERS EMBEDDED INTO CONCRETE. PROVIDE (2) 20# AT EACH END AND AT 24" O.C. TYP. AT DOORS WITH THRESHOLD. |
| —      | INDICATES PLUMBING FIXTURE (VERIFY EXACT LOCATION TO ARCHITECTURAL PLANS).   |
| —      | INDICATES FINISH LINE. REFER TO SHEET S41 FOR FINISH SPECIFICATIONS. SEE DETAIL 1.   |
| —      | INDICATES CONTINUOUS FOOTING WITH STEPHALL. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 3.              |
| —      | INDICATES CONTINUOUS INTERIOR FOOTING. REFER TO DESIGN CRITERIA ON SHEET S41 FOR FOOTING SPECIFICATIONS. SEE DETAIL 5.                   |

**REVISIONS**

| NO. | DATE       | DESCRIPTION |
|-----|------------|-------------|
| 1   | 04-05-2011 | PLAN CHECK  |
| 2   | 04-12-2011 | PLAN CHECK  |
| 3   | 01-16-2012 | MODEL WALK  |
| 4   | 03-23-2012 | 2012 IBC    |
| 5   | 03-21-2014 | PLAN CHECK  |

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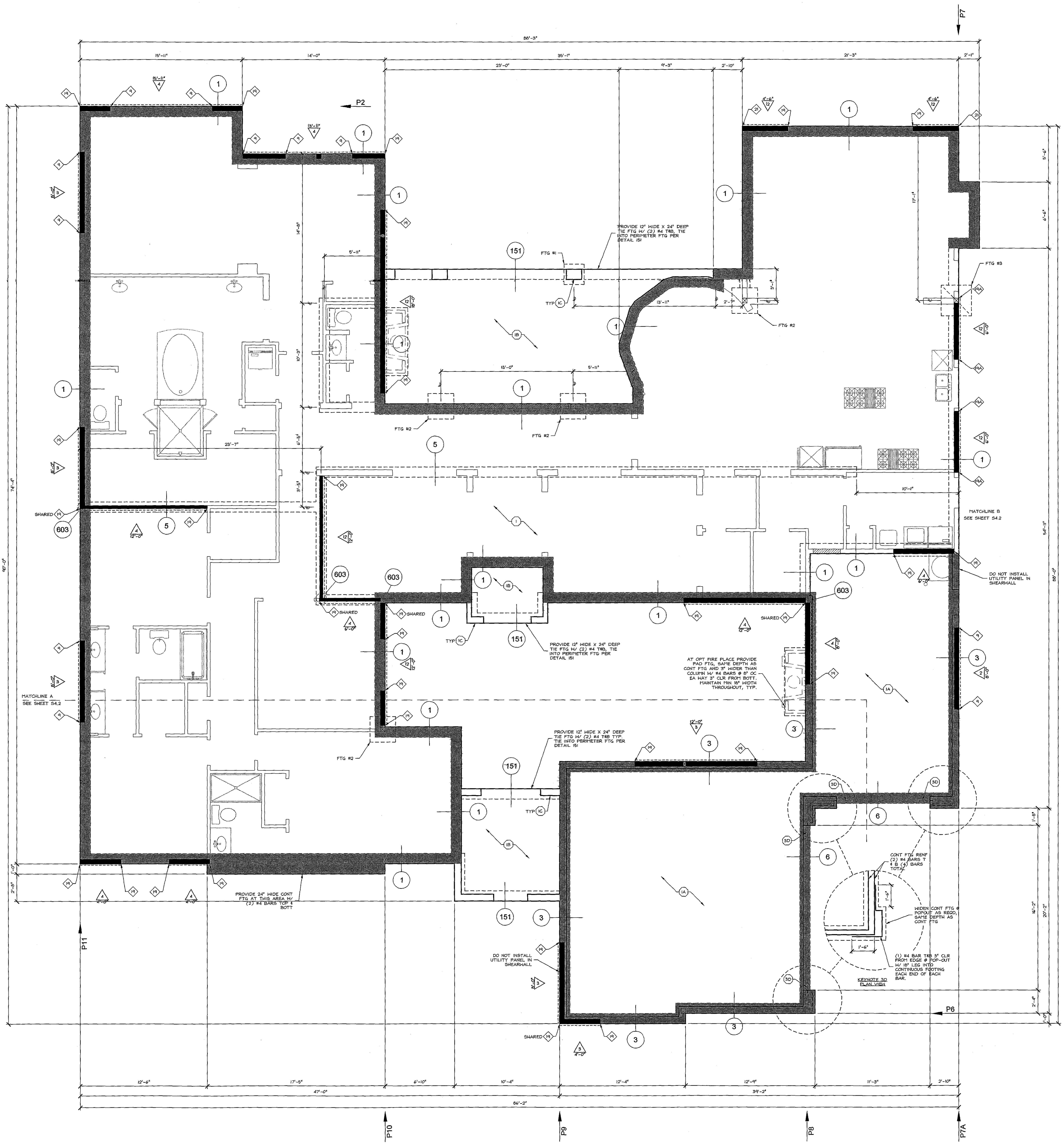
**MONTE VISTA AT MOUNT ROSE**  
WASHOE COUNTY, NV

**SILVER CREST HOMES, INC.**  
3300 DOUGLAS BLVD., BLDG. 400 STE. 450  
ROSEVILLE, CA 95661  
(916) 785-2530

PROJECT MANAGER: KL  
DESIGNER: IHH  
DRAWN BY: IDEB  
CHECKED BY: IHH  
ISSUE DATE: 01-19-2011

REVISIONS:  
1 PLAN CHECK 04-05-2011  
2 PLAN CHECK 04-12-2011  
3 MODEL WALK 01-16-2012  
4 2012 IBC 03-23-2012  
5 PLAN CHECK 03-21-2014

PLAN NUMBER: PLAN 4  
SHEET TITLE: FOUNDATION PLAN REVERSED  
SHEET NUMBER: S4.2R  
JOB NUMBER: H50408



SEE SHEET S4.1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS FOUNDATION PLAN, INCLUDING FOOTING DEPTH & WIDTH.  
 IT IS THE CONTRACTOR/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S4.1 AND ALL DETAILS SPECIFIED ON SHEET S4.1, AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**FOUNDATION SPECIFICATIONS**  
 PERIMETER FOOTING DEPTH.....24"  
 INTERIOR FOOTING DEPTH.....24"  
 FOOTING WIDTH AT GARAGE.....24"  
 STEP WIDTH AT GARAGE.....24"  
 DESIGN SOIL PRESSURE.....3000 PSF  
 FOUNDATION DESIGNED PER SOILS REPORT PROVIDED BY:  
 BLACK EAGLE CONSULTING, INC. REPORT #: 0232-06-0  
 1500 CAPITAL BLVD., STE. A DATE: 10/2009  
 RENO, NV 89502  
 ALL CONCRETE SHALL USE TYPE II CEMENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH, F<sub>c</sub>=4000 PSI, U.N.G.  
 CONCRETE SLAB WATER TO CEMENT RATIOS SHALL NOT EXCEED 0.45 U.N.G.  
 CONTINUOUS FOOTINGS SHALL BE REINFORCED WITH (2) #4 BAR TOP & BOTTOM, (4) TOTAL U.N.G. AT SPECIAL LONDS. FOOTING WATER CEMENT RATIO SHALL NOT EXCEED 0.45 U.N.G.

**KEYNOTES**

1. 4" CONCRETE SLAB W/ #5 BARS @ 24" OC EA WAY. CENTERED IN SLAB OVER OPTIONAL 1/2" PEEL-AWAY LAYER, OVER FINISH TO THE VAPOR RETARDER, OVER 4" GRAVEL BASE, OVER PREPARED SUB-GRADE. REFER TO FOUNDATION NOTES #1-#5 ON SHEET S4.1 FOR ADDITIONAL RECOMMENDATIONS.  
 2. 4" CONCRETE SLAB OVER FIN. 4 MIL VAPOR RETARDER, OVER 4" GRAVEL BASE, SLOPE 1/8" PER 1'-0" TO DRAINAGE. VAPOR RETARDER MAY BE OMITTED WITH BUILDING OFFICIAL APPROVAL.  
 3. PROPER SLAB CURING PRACTICES ARE CRUCIAL FOR SLAB QUALITY AND PERFORMANCE. CONCRETE CONTRACTOR TO DETERMINE THE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND TIME OF YEAR.  
 4. CONCRETE PLATHOOK MIN 4" THICK, SLOPE 1/4" PER 1'-0" AWAY FROM STRUCTURE. FIN & AIR ENTRAINMENT.  
 5. MIN 4" TALL CONCRETE CURB. VERIFY COLUMN DIMENSIONS W/ ARCHITECTURAL PLANS. SEE DETAIL 19 (DETAIL II @ PAD FOOTING CONDITION).  
 6. (1) #4 BAR TOP 3" CLR FROM EDGE @ 18" ON-CENT @ 18" LEG INTO CONTINUOUS FOOTING. EACH END OF EACH BAR.

**HOLDOWN SCHEDULE**

| TYPE | SHEARWALL TYPE | MIN. HD TO POST CONNECTION | HOLD-DOWN ANCHORS (P/N/O) (P/N/O) (P/N/O) (P/N/O) | MIN. ANCHOR EMBEDMENT (P/N/O) (P/N/O) (P/N/O) (P/N/O) |
|------|----------------|----------------------------|---|---|
| 1    | STW20          | 4X                         | (2) 1/2" SINKER                                   | N/A   |
| 2    | HD08           | 4X                         | (2) SDS 1/4" X 1/2" SCREWS                        | 24"   |
| 3    | HD01           | 4X                         | (2) SDS 1/4" X 1/2" SCREWS                        | 24"   |
| 4    | HD04           | 4X                         | (2) SDS 1/4" X 1/2" SCREWS                        | 24"   |
| 5    | HD04           | 4X                         | (2) SDS 1/4" X 1/2" SCREWS                        | 24"   |

**PAD FOOTING SCHEDULE**

| FOOTING #  | SIZE       | REINFORCING |
|------------|------------|-------------|
| FOOTING #1 | 24" SQUARE | #4 BARS     |
| FOOTING #2 | 30" SQUARE | #4 BARS     |
| FOOTING #3 | 36" SQUARE | #4 BARS     |

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION     |
|----------|----------------------------------|
| 001-100  | FOUNDATION DETAILS               |
| 200-300  | FLOOR AND WALL FRAMING DETAILS   |
| 400-500  | ROOF FRAMING DETAILS             |
| 600-699  | CONSTRUCTIBILITY & MISC. DETAILS |

**SYMBOLS LEGEND**

- LENGTH - DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- WHERE OCCURS, DENOTES ALIGNMENT WITH SHEARWALL.
- DENOTES HOLD-DOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLD-DOWN SCHEDULE ON THIS SHEET.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SO... SHEETS FOR DETAILS.
- DENOTES 2X PRESSURE TREATED SLEEPER EMBEDDED INTO CONCRETE. PROVIDE (2) 20# AT EACH END AND AT 24" O.C. TYP. AT DOORS WITH THRESHOLD.
- DENOTES PLUMBING FIXTURE (VERIFY EXACT LOCATION W/ ARCHITECTURAL PLANS).
- DENOTES CONTINUOUS PERIMETER FOOTING. REFER TO DESIGN CRITERIA ON SHEET S4.1 FOR FOOTING SPECIFICATIONS. SEE DETAIL 1.
- DENOTES CONTINUOUS FOOTING WITH STEPS/WALL. REFER TO DESIGN CRITERIA ON SHEET S4.1 FOR FOOTING SPECIFICATIONS. SEE DETAIL 5.
- DENOTES CONTINUOUS INTERIOR FOOTING. REFER TO DESIGN CRITERIA ON SHEET S4.1 FOR FOOTING SPECIFICATIONS. SEE DETAIL 5.

**SHEARWALL SCHEDULE**

| TYPE | APA RATED SHEATHING                       | SIL-2 PLATE | ANCHOR SPACING         | FRAMING               | SOLE PLATE CONNECTION                            |
|------|---|-------------|------------------------|-----------------------|--|
| 1    | 3/8" ONE FACE W/ 1/4" @ 24" OC EDGES      | 2X          | 5/8" X 10" AB @ 24" OC | MASA ANCHORS @ 34" OC | 3X OR (2) 2X W/ (2) ROWS 1/4" @ 24" OC STAGGERED |
| 2    | 3/8" ONE FACE W/ 1/4" @ 24" OC EDGES      | 2X          | 5/8" X 10" AB @ 24" OC | MASA ANCHORS @ 34" OC | 3X OR (2) 2X W/ (2) ROWS 1/4" @ 24" OC STAGGERED |
| 3    | 3/8" ONE FACE W/ 1/4" @ 24" OC EDGES      | 2X          | 5/8" X 10" AB @ 24" OC | MASA ANCHORS @ 34" OC | 3X OR (2) 2X W/ (2) ROWS 1/4" @ 24" OC STAGGERED |
| 4    | 1/2" X 2" ONE FACE W/ 1/4" @ 24" OC EDGES | 3X          | 5/8" X 10" AB @ 24" OC | MASA ANCHORS @ 34" OC | SDS/MSK 1/2" SCREWS @ 4" OC                      |

**FOUNDATION PLAN ELEVATION A**  
 SCALE: 1/4" = 1'-0"

**harris & sloan**  
 CONSULTING GROUP, INC.  
 2295 Gateway Oaks Dr., Suite 165  
 Sacramento, CA 95833  
 tel 916.921.2800 fax 916.921.2878  
 www.hsgc.com

**MONTE VISTA AT MOUNT ROSE**  
 WASHOE COUNTY, NV

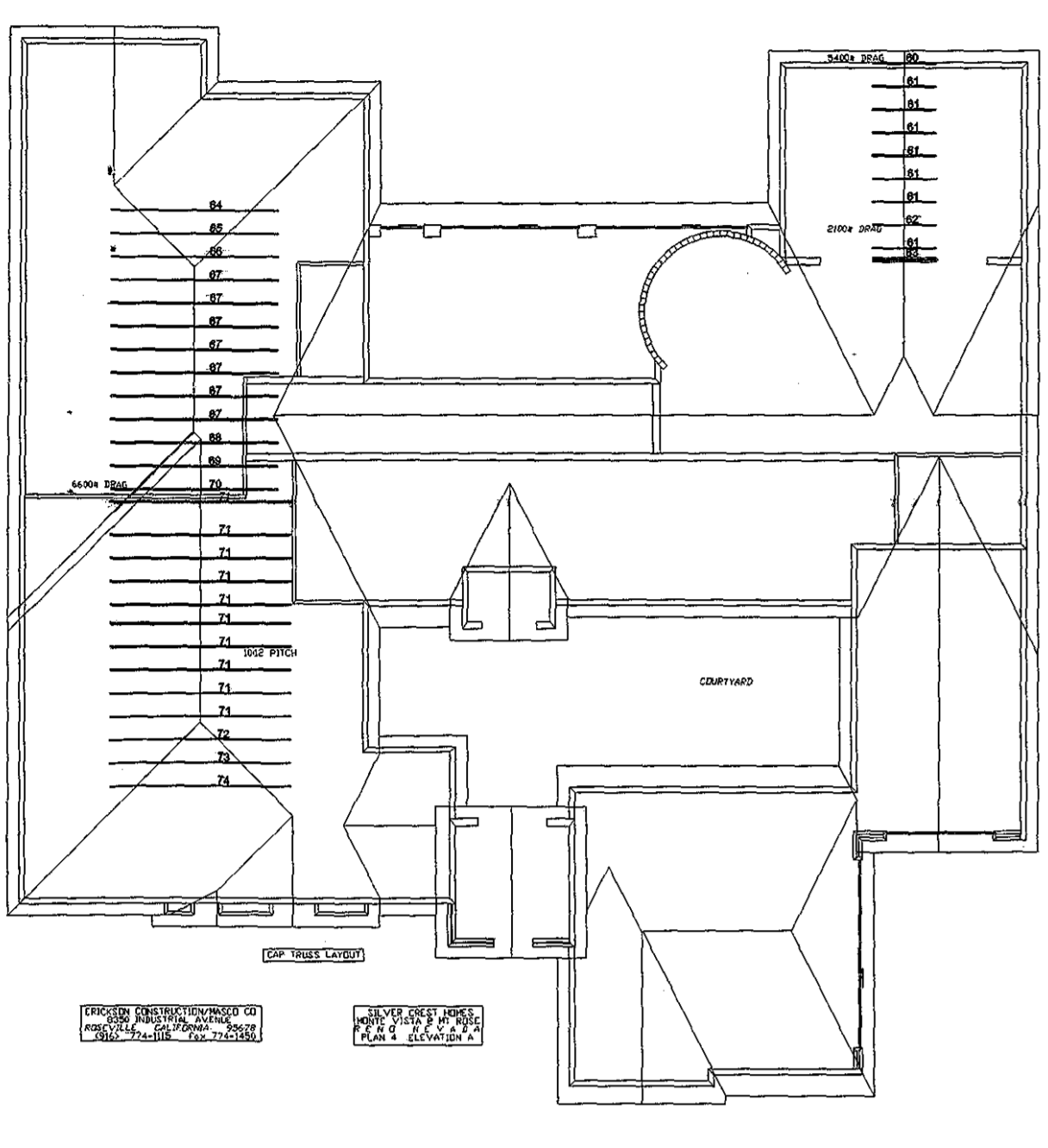
**SILVER CREST HOMES, INC.**  
 3300 DOUGLAS BLVD., BLDG. 400 STE. 450  
 ROSEVILLE, CA 95661  
 (916) 785-2900

**PROJECT MANAGER:** KL  
**DESIGNER:** LHM  
**DRAWN BY:** UDES  
**CHECKED BY:** UDES  
**ISSUE DATE:** 01-18-2011  
**REVISIONS:**  
 1. PLAN CHECK 02-21-2014  
 2. PLAN CHECK 03-24-2014

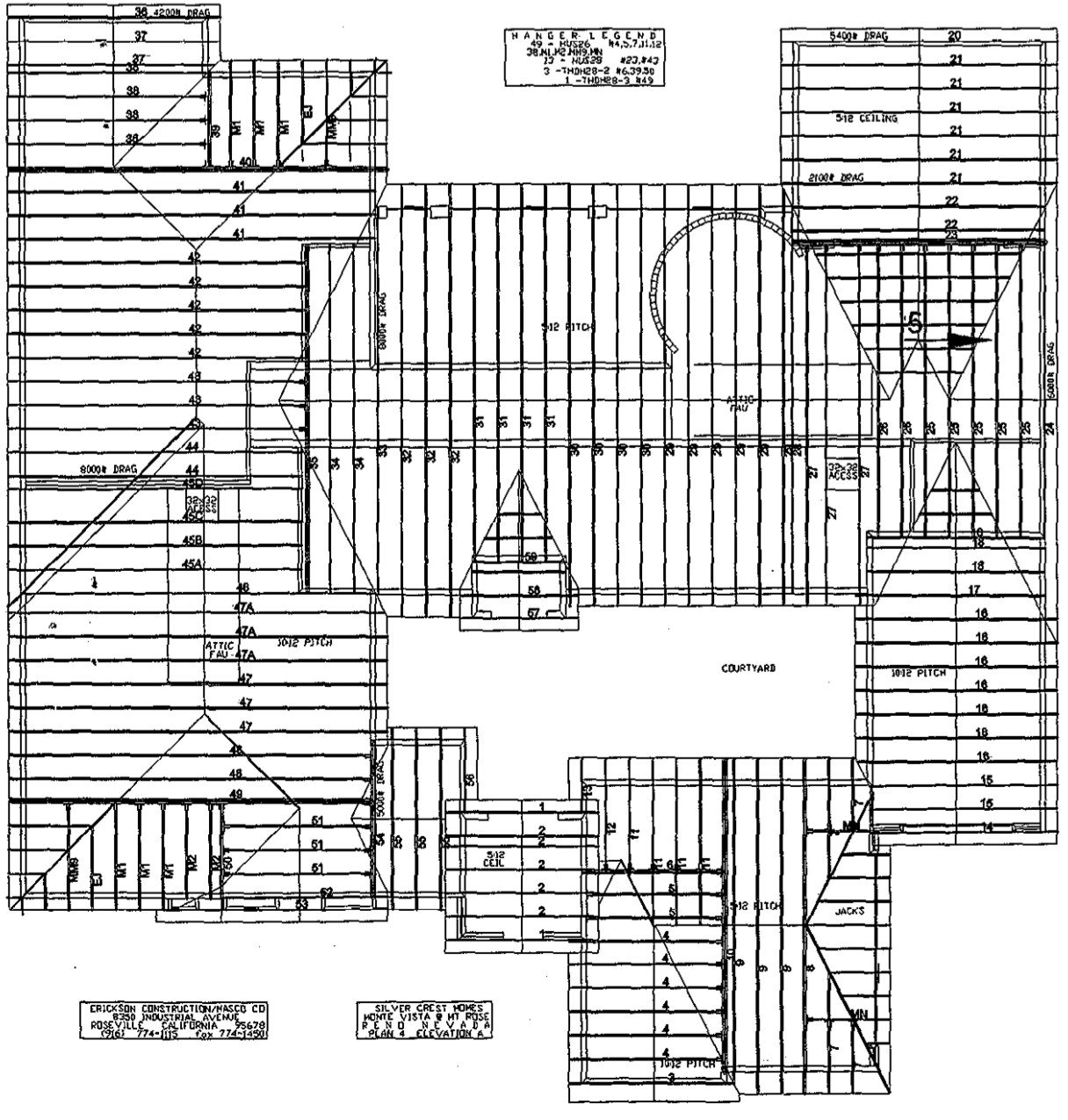
**WASHOE COUNTY BUILDING DEPT.**  
**OFFICE COPY**

**FOUNDATION PLAN REVERSED**

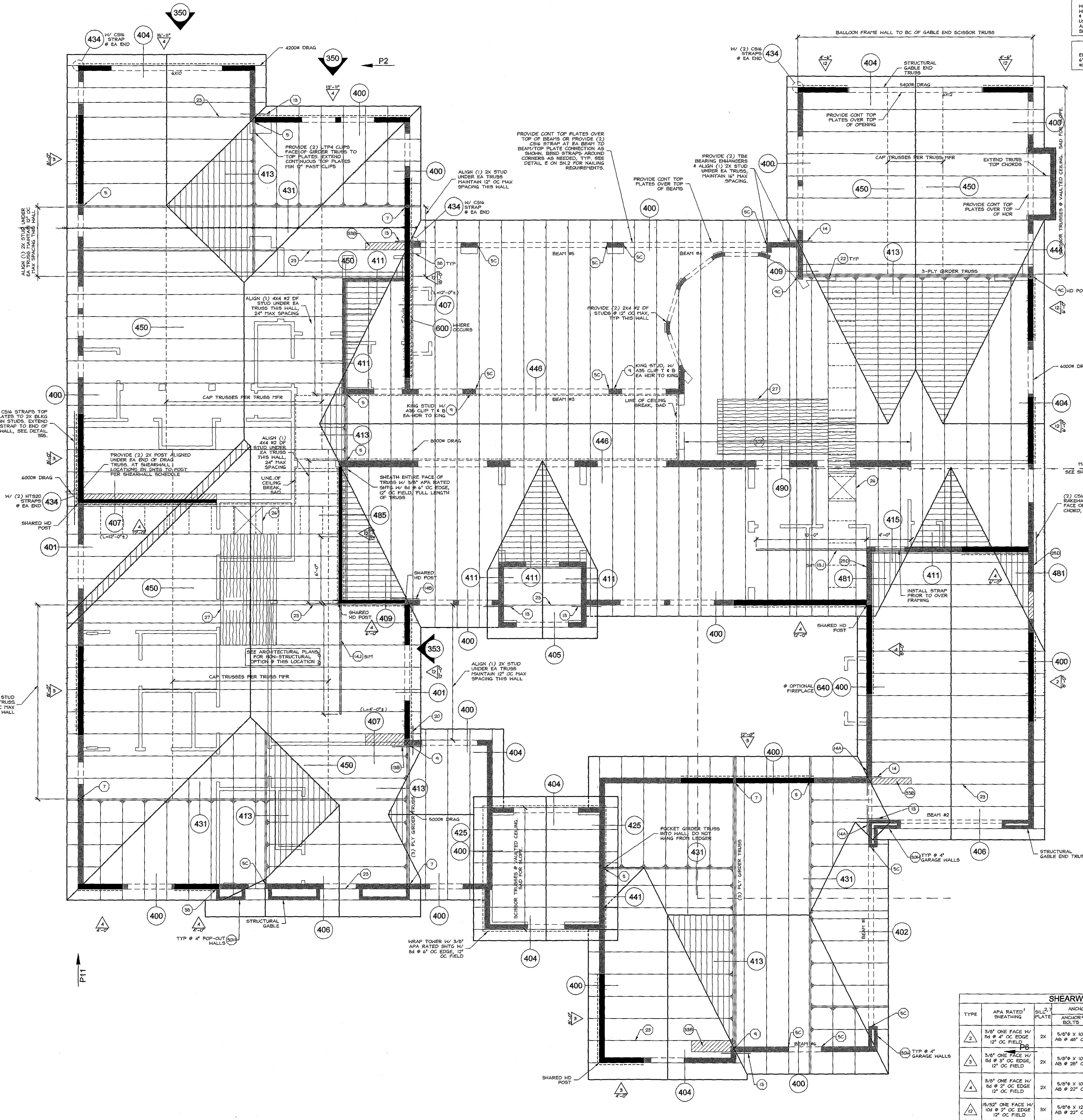
**S4.1R**



CAP TRUSS LAYOUT ELEVATION A  
SCALE: NTS



TRUSS LAYOUT ELEVATION A  
SCALE: NTS



ROOF FRAMING PLAN ELEVATION A  
SCALE: 1/4" = 1'-0"

**LIMITED ATTIC STORAGE**  
AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGLE 24" WIDE X 42" TALL OR GREATER BETWEEN TOP OF B.C. WEB AND BOTTOM OF T.C. WEB A FIN. 1/4" SCAB SHALL BE FIELD INSTALLED A MINIMUM OF 4" ABOVE EACH WITH (2) #4 NAILS TO EACH WEB U.O. OR PLANS. SEE DETAIL 475.

**7" ARCHITECTURAL WALLS**  
WHERE ARCHITECTURAL PLANS SPECIFY 7" WIDE WALLS STUDS MAY BE 2X6 OR 2X8 (SPACING, GRADE, & ALIGNMENT PER PLAN) WHERE 2X6 STUDS ARE USED, FLOOR WALL CUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
EDGE-NAIL SHEATHING TO ALL DRAG MEMBERS W/ #8 @ 4" OC FULL LENGTH UNO. SEE "ROOF FRAMING NOTES" #5 AND "FLOOR FRAMING NOTES" #4 ON SHEET S.N.1.

**GENERAL NOTES**  
SEE SHEET S.N.1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.  
IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S.N.1 AND ALL DETAILS SPECIFIED ON SHEET S.N.2, AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**KEYNOTES**

- (A) DOUBLE 2X STUD POST
- (B) DOUBLE 2X TRIMMER AT THIS END OF HEADER
- (C) 4X6 POST
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- (ZX) 6X6 POST
- (ZY) 6X6 POST
- (ZZ) 6X6 POST

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**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION     | NOTES |
|---------|--------------------------|-------|
| BEAM #1 | 5 1/2" X 14" L1E SCL     |       |
| BEAM #2 | 4X4                      |       |
| BEAM #3 | 5 1/2" X 14" L1E SCL     |       |
| BEAM #4 | 5 1/2" X 11 7/8" L1E SCL |       |
| BEAM #5 | 5 1/2" X 11 7/8" L1E SCL |       |
| BEAM #6 | 6X6                      |       |

**BEARING WALL HEADER SCHEDULE**

| LENGTH    | SIZE & SPECIFICATION                               | TRIMMER |
|-----------|--|---------|
| 4'-0" MAX | 4X6 OR 6X6   | (1) 2X  |
| 6'-0" MAX | 5 1/2" X 8 1/2" L1E SCL OR 5 1/2" X 8 1/2" L1E SCL | (2) 2X  |
| 6'-0" MAX | 6X6  | (1) 2X  |

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION      |
|----------|-----------------------------------|
| 00-01    | FOUNDATION DETAILS                |
| 200-299  | FLOORING WALL FRAMING DETAILS     |
| 400-599  | ROOF FRAMING DETAILS              |
| 600-699  | CONSTRUCTIBILITY & FINISH DETAILS |

1. DETAILS ARE LOCATED ON THE "RFD" SHEETS (R01, R02, ETC.) BEGINNING WITH R01 AND ARE ARRANGED NUMERICALLY IN ASCENDING ORDER.  
2. GENERAL FRAMING DETAILS (STANDARD WALL FRAMING, NON-SHEARWALL LOCATION, HEAD HALL, FULL HEIGHT SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN)  
3. DETAILS (A) THROUGH (Z) ARE LOCATED ON SHEET S.N.2.

**SYMBOLS LEGEND**

- DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- DENOTES HOLDOWN & POST SIZE REQUIRED AT SHEARWALL LOCATION. REFER TO SHEARWALL SCHEDULE ON FOUNDATION PLAN.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO S.D. SHEETS FOR DETAILS.
- △ DENOTES DETAIL REFERENCE IS AN ELEVATION. REFER TO S.D. SHEETS FOR DETAILS.
- DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSS. REFER TO GENERAL FRAMING NOTES ON SHEET S.N.1 FOR DETAIL A ON SHEET S.N.2 FOR SPECIFICATIONS.
- DENOTES EXTENTS OF BLOCKED & EDGE NAILING (DARKHALL). REFER TO APPLICABLE KEYNOTE.
- DENOTES BEARING WALL.
- DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. HEAD HALL, FULL HEIGHT SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.
- DENOTES NON-BEARING WALL.
- DENOTES BEAM OR HEADER. REFER TO BEAM SCHEDULE/BEARING WALL HEADER SCHEDULE ON THIS SHEET.

**WASHOE COUNTY BUILDING DEPT.**

**WASHOE COUNTY**

**3-22-11**

**PLAN 4**

**ROOF FRAMING PLAN ELEVATION A REVERSED**

**S4.3R**

JOB NUMBER: H50146

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PROJECT MANAGER: KL  
DESIGNER: HH  
DRAWN BY: IDB  
CHECKED BY: HH  
ISSUE DATE: 04-19-2011  
REVISIONS:  
7 PLAN CHECK 02-21-2014  
8 PLAN CHECK 03-24-2014

**WASHOE COUNTY BUILDING DEPT.**

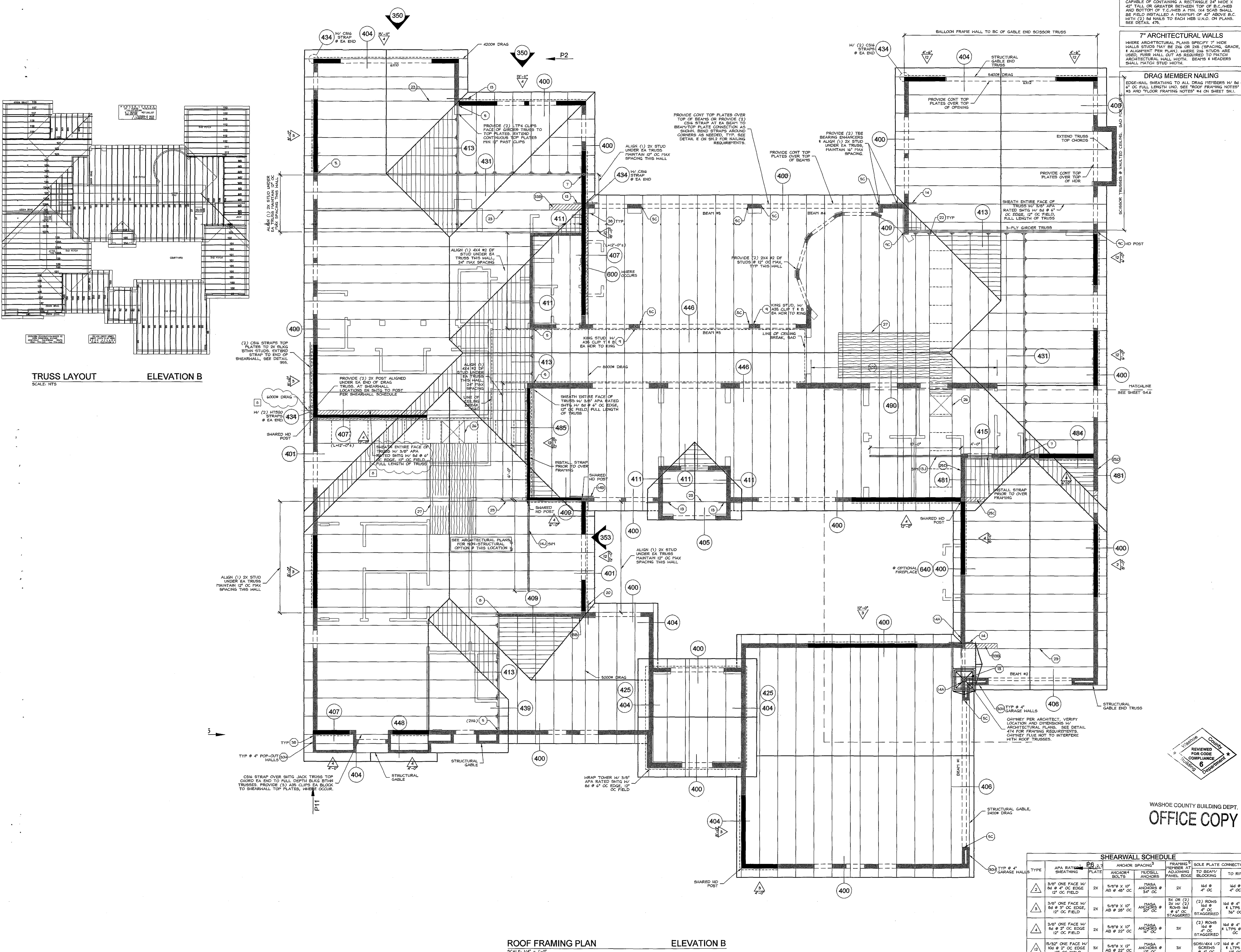
**3-22-11**

**PLAN 4**

**ROOF FRAMING PLAN ELEVATION A REVERSED**

**S4.3R**

JOB NUMBER: H50146



**LIMITED ATTIC STORAGE**  
 AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGULAR 24" WIDE X 24" TALL OR GREATER BETWEEN TOP OF B.C. WEB AND BOTTOM OF T.C. WEB A MIN. 1/4" SCAB SHALL BE FIELD INSTALLED A MINIMUM OF 12" ABOVE B.C. WITH (2) #4 NAILS TO EACH WEB U.N.O. ON PLANS. SEE DETAIL 478.

**7" ARCHITECTURAL WALLS**  
 WHERE ARCHITECTURAL PLANS SPECIFY 7" WIDE WALLS STUDS MAY BE 2x6 OR 2x8 (SPACING, GRADE, & ALIGNMENT PER PLAN). WHERE 2x6 STUDS ARE USED, RUBER WALL GUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEATS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
 EDGE-NAIL SHEATHING TO ALL DRAG MEMBERS W/ #6 @ 4" O.C. FULL LENGTH UNO. SEE ROOF FRAMING NOTES #3 AND "FLOOR FRAMING NOTES" #4 ON SHEET S.N.I.

**GENERAL NOTES**

SEE SHEET S.N.I. FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.  
 IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S.N.I. AND ALL DETAILS SPECIFIED ON SHEET S.N.I. AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**KEYNOTES**

- 1 DOUBLE 2X STUD POST
- 2 DOUBLE 2X TRIMMER AT THIS END OF HEADER
- 3 4X6 POST
- 4 4X6 POST
- 5 4X6 POST
- 6 4X6 POST
- 7 4X6 POST
- 8 CSB STRAP TRUSS/DRAW MEMBERS TO TOP PLATE/BEAM. SEE DETAIL 424 AT UNBARRICADED TRUSS CONDITION.
- 9 CSB STRAP TOP PLATE TO TOP PLATE AT TRANSITION/BREAK. FIN (3) #6 NAILS TO TOP PLATE EA. MAY STRAP TO BE INSTALLED ON EITHER TOP OR SIDE OF TOP PLATES.
- 10 CSB STRAP TOP PLATE TO FULL DEPTH 2X BLAG BETWEEN TRUSSES. EXTEND STRAP UNDER FULL DEPTH BLAG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
- 11 CSB STRAP OVER SHGTS SAVE BLAG TO 2X FLAT BLAG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FULL EVERY OTHER NAIL HOLE OVER BLAG. SEE DETAIL 427.
- 12 (2) CSB STRAPS TRUSS TO TOP PLATE/BEAM. SEE DETAIL 426.
- 13 (2) CSB STRAPS BEAM TO TOP PLATE/BEAM. SEE DETAIL 426.
- 14 (2) CSB STRAPS OVER SHGTS TRUSS/DRAW RAFTER TO 2X FLAT BLAG. EXTEND STRAPS OVER FLAT BLAG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
- 15 (2) CSB STRAPS OVER SHGTS SAVE BLAG TO 2X FLAT BLAG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FULL EVERY OTHER NAIL HOLE OVER BLAG. SEE DETAIL 427.
- 16 CRUSH STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 426.
- 17 ALL TRUSS CONNECTIONS ARE AS FOLLOWS U.N.O. ON PLAN OR TRUSS MANUFACTURER LAYOUTS.

**TRUSS TYPE CONNECTION**

| TRUSS TYPE                                  | CONNECTION     |
|---|----------------|
| SINGLE PLY NON-GIRDER W/ MAX. SPAN OF 8'-0" | HUS24 HANGER   |
| SINGLE PLY W/ SPAN GREATER THAN 8'-0"       | HUS26 HANGER   |
| SINGLE PLY GIRDER                           | HUS26 HANGER   |
| TWO PLY GIRDER                              | HUS26-2 HANGER |
| THREE PLY GIRDER                            | HUS26-3 HANGER |

1/4" #4 BLOCK TO CARRIER TRUSS, (2) #4 TOE NAILS BOTTOM CHORD TO CARRIER, (2) #4 END NAILS BOTTOM CHORD TO BLOCK, TYP.

2/3 2X RAKE HALL BUILT ON TOP OF ROOF SHEATHING. PROVIDE 2X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS AT 30" TRUSS BAY (FIN (3) #6 END NAILS TRUSS TO EA 2X). WHERE ACCESS IS TO BE OBTAINED IN ROOM/HALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING.

2/4 1" X 4" X 1/2" HANG BRACKET MIN. 3/4" PLYWOOD ON 2X6 FRAMING TO TRUSS BOTTOM CHORD, 2" WIDE CATWALK TO ATTIC ACCESS. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS.

2/5 BALLOON FRAME HALL W/ 2X6 @ 24" O.C. STUDS @ 16" O.C. PROVIDE (1) TRIMMER AND (2) KING STUDS @ EACH OPENING.

2/6 ALIGN (1) STUD UNDER EA TRUSS & MAINTAIN 1/2" O.C. MAX SPACING. AT WIDE HALLS STUDS MAY BE 2X6 OR 2X8. WHERE STUDS ARE USED UNDER RAKE HALL, STUDS ARE REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH.

2/7 FRAMING HALL W/ 2X4 @ 24" O.C. STUDS @ 16" O.C. W/ (1) 2X TRIMMER & (2) 2X KING STUDS @ EACH OPENING UNO.

2/8 4'-0" LONG 2X BACKING TO TRUSS W/ #4 @ 4" O.C. OR 2X TRUSS ALIGNED WITH WALL. INSTALL 2X BLOCKING BETWEEN TRUSS BOTTOM CHORDS TO SUPPORT BRACING EA. STUDS TO DRAG TRUSS W/ #6 @ 6" O.C. FULL LENGTH. SEE DETAIL 483.

2/9 INSTALL SHEARWALL SHEATHING PRIOR TO ADJACENT & PERPENDICULAR FRAMING, TYP.

**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION      | NOTES  |
|---------|---------------------------|--------|
| BEAM #1 | 5 1/2" X 14" 1.8E SCL     |        |
| BEAM #2 | 4X14                      |        |
| BEAM #3 | 3 1/2" X 14" 1.8E SCL     | (1) 2X |
| BEAM #4 | 5 1/2" X 11 7/8" 1.8E SCL | (2) 2X |
| BEAM #5 | 5 1/2" X 11 7/8" 1.8E SCL | (1) 2X |
| BEAM #6 | 6X10                      |        |

1. BEAMS USED AS A GENERAL REFERENCE FOR ALL MANUFACTURED LSL, OSB, LVL, PSL MEMBERS. SEE "WOOD SPECIFICATIONS" NOTE 3 ON SHEET S.N.I. FOR FIN. DESIGN STRENGTHS.

**BEARING WALL HEADER SCHEDULE**

| LENGTH             | SIZE & SPECIFICATION                                 | TRIMMER |
|--------------------|--|---------|
| 4'-0" MAX.         | 4X10 OR 2X10   | (1) 2X  |
| 6'-0" MAX.         | 3 1/2" X 8 1/2" 1.8E SCL OR 5 1/2" X 8 1/2" 1.8E SCL | (2) 2X  |
| 6'-0" MAX. & GABLE | 4X10 OR 2X10   | (1) 2X  |

1. UNLESS NOTED OTHERWISE  
 2. SUPPORTS GABLE END TRUSS ONLY. DOES NOT APPLY WHERE FLOOR OCCURS ABOVE  
 3. SEE NOTE # UNDER GENERAL FRAMING NOTES ON SHEET S.N.I. FOR KING STUD REQUIREMENTS  
 4. (1) 2X OR 2X TRIMMER PERMITTED AT 1 1/2" OR 7" HDRS UNO

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION     |
|----------|----------------------------------|
| 200-199  | FOUNDATION DETAILS               |
| 200-200  | FLOOR AND WALL FRAMING DETAILS   |
| 400-599  | ROOF FRAMING DETAILS             |
| 600-699  | CONSTRUCTIBILITY & MISC. DETAILS |

1. DETAILS ARE LOCATED ON THE "SD" SHEETS (SD1, SD2, ETC.) BEGINNING WITH SD1 AND ARE ARRANGED NUMERICALLY IN ASCENDING ORDER.  
 2. GENERAL FRAMING DETAILS (STANDARD WALL FRAMING, CONNECTIONS, HOLDOWN INSTALLATION DETAILS, DIAPHRAGM LAYOUTS AND NAILING, ETC.) ARE LOCATED ON SHEET S.N.2.

**SYMBOLS LEGEND**

- △ DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- ◇ DENOTES HOLDOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLDOWN SCHEDULE ON FOUNDATION PLAN.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SD... SHEETS FOR DETAILS.
- DENOTES DETAIL REFERENCE IN AN ELEVATION. REFER TO SD... SHEETS FOR DETAILS.
- DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSSES & DIRECTION OF FRAMING. REFER TO DETAIL A ON SHEET S.N.2 FOR SPECIFICATIONS.
- ▨ DENOTES EXTENTS OF BLOCKED & EDGE NAILED DIAPHRAGM. REFER TO APPLICABLE KEYNOTE.
- ▨ DENOTES EXTENTS OF CONTINUOUS 2X BLOCKING. REFER TO APPLICABLE KEYNOTE.
- ▨ DENOTES BEARING WALL.
- ▨ DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. HEAR WALL FULL HEIGHT. SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.
- ▨ DENOTES NON-BEARING WALL.
- ▨ DENOTES BEAM OR HEADER. REFER TO BEAM SCHEDULE/BEARING WALL HEADER SCHEDULE ON THIS SHEET.

**SHEARWALL SCHEDULE**

| APA RATING | FACE  | PLATE | ANCHOR SPACING        | FRAMING                 | ANCHOR             | FRAMING            | SOLE PLATE CONNECTION |
|------------|---|-------|-----------------------|-------------------------|--------------------|--------------------|-----------------------|
| △          | 3/4" ONE FACE W/ 84 @ 3' O.C. EDGE 12" O.C. FIELD | 2X    | 5/8" X 10" @ 48" O.C. | MASA ANCHORS @ 24" O.C. | FRAMING @ 24" O.C. | FRAMING @ 24" O.C. | 164 @ 4" O.C.         |
| △          | 3/4" ONE FACE W/ 84 @ 3' O.C. EDGE 12" O.C. FIELD | 2X    | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C. | FRAMING @ 24" O.C. | FRAMING @ 24" O.C. | 164 @ 4" O.C.         |
| △          | 3/4" ONE FACE W/ 84 @ 2' O.C. EDGE 12" O.C. FIELD | 2X    | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C. | FRAMING @ 24" O.C. | FRAMING @ 24" O.C. | 164 @ 4" O.C.         |
| △          | 3/4" ONE FACE W/ 84 @ 2' O.C. EDGE 12" O.C. FIELD | 2X    | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C. | FRAMING @ 24" O.C. | FRAMING @ 24" O.C. | 164 @ 4" O.C.         |
| △          | 3/4" ONE FACE W/ 84 @ 2' O.C. EDGE 12" O.C. FIELD | 3X    | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C. | FRAMING @ 24" O.C. | FRAMING @ 24" O.C. | 164 @ 4" O.C.         |

1. SHEATHING TO BE 4'-0" X 8'-0" FIN EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE FIN WIDTH IS TO BE 1/2" (TYP) PROVIDE FIN 2X FRAMING MEMBER AT ALL BOUNDARIES UNO  
 2. 3X SILL TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING. AT 3X SILL PLATES ANCHOR BOLTS TO BE 12" LONG.  
 3. EITHER ANCHOR TYPE MAY BE USED. FIN (2) ANCHORS PER SHEARWALL. MASA ANCHORS TO BE INSTALLED WITH (3) #4 NAILS.  
 4. FIN. 7" EMBEDMENT INTO CONCRETE. PROVIDE PLATE WASHER PER S.N.I. FOUNDATION NOTES #4 AT EACH BOLT. MAX 1/2" BETWEEN EDGE OF PLATE WASHER AND FACE OF SHEATHING.  
 5. 3X FRAMING MEMBERS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING.  
 6. SOLE PLATE TO BE 2X UNO ON PLAN. SOLE PLATE CONNECTION OCCURS ABOVE FOUNDATION PLATE LEVEL AT BASED FLOOR AND/OR SECOND FLOOR APPLICATIONS ONLY. ALL SHEARWALL NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4' O.C.  
 7. SEE DETAIL D ON SHEET S.N.2 FOR TYPICAL SHEARWALL FRAMING ILLUSTRATION.

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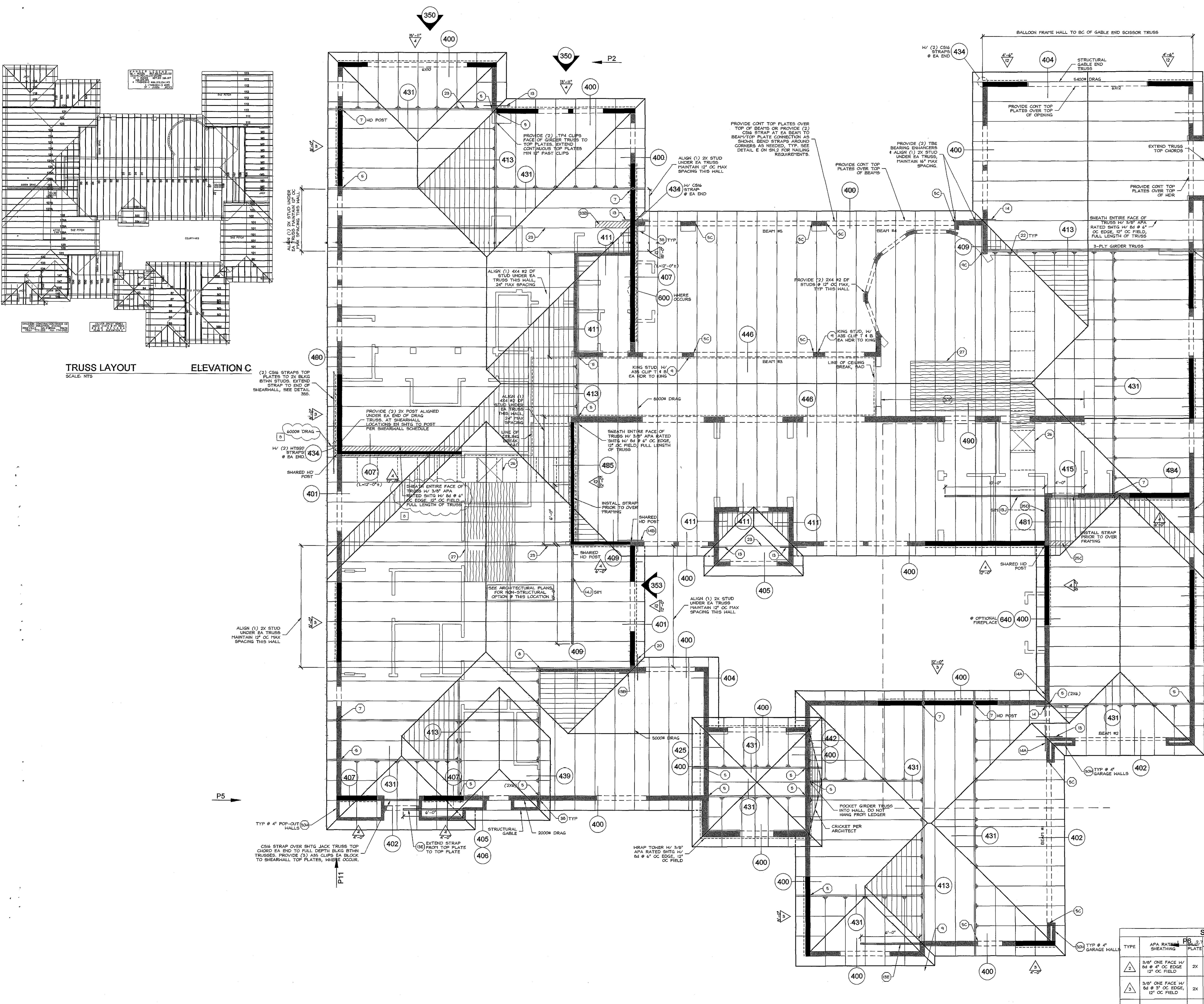
PROJECT MANAGER: KL  
 DESIGNER: IWH  
 DRAWN BY: IDBS  
 CHECKED BY: IWH  
 ISSUE DATE: 01-19-2011  
 REVISIONS:  
 1 PLAN CHECK 02-21-2014  
 2 PLAN CHECK 03-24-2014

3-26-14  
**PLAN 4**

**ROOF FRAMING PLAN ELEVATION B REVERSED**

**S4.4R**

JOB NUMBER: H5046



**LIMITED ATTIC STORAGE**  
 AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGLE 24" HIGH X 48" TALL OR GREATER BETWEEN TOP OF E.C. AND BOTTOM OF T-C/WED A FIN. 1/4" SCL. SHALL BE FIELD INSTALLED A MAXIMUM OF 48" ABOVE E.C. WITH (2) 2x4 HALLS TO EACH WEB UNO. ON PLANS. SEE DETAIL 475.

**7" ARCHITECTURAL WALLS**  
 WHERE ARCHITECTURAL PLANS SPECIFY 7" WIDE WALLS STUDS MAY BE 2x4 OR 2x6 (SPACING, GRADE, & ALIGNMENT PER PLAN). WHERE 2x6 STUDS ARE USED, FURNISH HALL OUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
 EDGE-NAIL SHEATHING TO ALL DRAG MEMBERS 1/4" @ 4" O.C. FULL LENGTH UNO. SEE "ROOF FRAMING NOTES" 83 AND "FLOOR FRAMING NOTES" 84 ON SHEET S4.5R.

**GENERAL NOTES**

SEE SHEET S4.1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.  
 IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET S4.1 AND ALL DETAILS SPECIFIED ON SHEET S4.2, AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

**KEYNOTES**

- (1) DOUBLE 2X STUD POST
- (2) DOUBLE 2X TRIMMER AT THIS END OF HEADER
- (3) 4X8 POST
- (4) 4X8 POST
- (5) 4X8 POST
- (6) 4X8 POST
- (7) CS16 STRAP TRUSS/DRAW MEMBER TO TOP PLATE/BEAM. SEE DETAIL 428 AT ALIGNED TRUSS CONDITION.
- (8) CS16 STRAP TOP PLATE TO TOP PLATE AT TRANSITION/BEAM. FIN. (3) 1/4" HALLS TO TOP PLATE EA. HALL STRAP TO BE INSTALLED ON EITHER TOP OR SIDE OF TOP PLATE.
- (9) CS16 STRAP OVER SHTG/BEAM TO FULL DEPTH 2X PLAT. B/LG. BETWEEN TRUSSES. EXTEND STRAP UNDER FULL DEPTH B/LG. OF OVERHANG ON 2X PLAT. SEE DETAIL 427.
- (10) CS16 STRAP OVER SHTG EAVE B/LG. TO 2X PLAT. B/LG. EXTEND STRAP UNDER SHTG OVERHANG ON 2X PLAT. AND FULL EVERY OTHER HALL-HOLE OVER B/LG. SEE DETAIL 447.
- (11) CS16 STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (12) CS16 STRAP BEAM TO TOP PLATE/BEAM. SEE DETAIL 216.
- (13) CS16 STRAP OVER SHTG TRUSS/RAG RAFTER TO 2X PLAT. B/LG. EXTEND STRAP OVER SHTG OVER FULL B/LG. AS DIMENSIONED ON PLAN. SEE DETAIL 427.
- (14) CS16 STRAP OVER SHTG EAVE B/LG. TO 2X PLAT. B/LG. EXTEND STRAP UNDER SHTG OVERHANG ON 2X PLAT. AND FULL EVERY OTHER HALL-HOLE OVER B/LG. SEE DETAIL 447.
- (15) CS16 STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (16) ALL TRUSS CONNECTIONS ARE AS FOLLOWS UNO. ON PLAN OR TRUSS MANUFACTURER LAYOUTS:  
 TRUSS TYPE CONNECTION  
 SINGLE PLY NON-GIRDER LUS24 HANGER  
 1/2" MAX. SPAN OF 8'-0"  
 SINGLE PLY W/ SPAN LUS26 HANGER  
 GREATER THAN 8'-0"  
 SINGLE PLY GIRDER HUS26 HANGER  
 TH40 GIRDER HGU26-2 HANGER  
 THREE PLY GIRDER HGU26-3 HANGER
- (17) 1/4" HALL BLOCK TO CARRIER TRUSS, (2) 1/4" HALLS BOTTOM CHORD TO CARRIER, (2) 1/4" HALLS NAILS BOTTOM CHORD TO BLOCK. TYP.
- (18) EDGE NAIL SHTG TO FRAMING MEMBER (TRUSS/RAFTER/POST) 1/4" @ 8" O.C. FULL LENGTH.
- (19) OVERHANG WITH HIGH-HEEL VALLEY TRUSSES @ 24" O.C. SEE DETAIL 428.
- (20) 2X RAKE NAIL BUILT ON TOP OF ROOF SHEATHING. PROVIDE 5/8" APA RATED SHTG 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD OVER ENTIRE RAISE HALL. SEE DETAIL 481.
- (21) ATTIC ACCESS PER ARCHITECT 1/4" FIN. 30" HEADROOM. PROVIDE 2X LADDER FRAMING @ 24" O.C. BETWEEN TRUSS TOP CHORDS AT 10' TRUSS RAY (FIN. (3) 1/4" HALLS UNO TRUSS TO EA 2X). WHERE ACCESS IS TO BE CENTERED IN ROOFHALL, TRUSS MANUFACTURER TO PROVIDE ADDITIONAL TRUSSES AS REQUIRED TO MAINTAIN MAX. TRUSS SPACING.
- (22) 8'-0" X 12'-0" HVAC PLATFORM FIN. 3/4" PLYWOOD ON 2X6 FRAMING TO TRUSS BOTTOM CHORD. 24" HIGH CATHKALK TO ATTIC ACCESS. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL TRUSSES.
- (23) BALLOON FRAME HALL 1/4" 2x6 @ 24" D.P. STUDS @ 16" O.C. PROVIDE (1) TRIMMER AND (2) KING STUDS @ EACH OPENING.
- (24) ALIGN (1) STUD UNDER EA TRUSS & MAINTAIN 1/2" O.C. MAX. SPACING. AT 7" WIDE WALLS STUDS MAY BE 2x4 OR 2x6. WHERE 2x6 STUDS ARE USED, FURNISH HALL OUT AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.
- (25) 4'-0" LONG 2X BACKING TO TRUSS 1/4" @ 4" O.C. OR PROVIDE TRUSS ALIGNED WITH WALL. INSTALLED TO BLOCKING BETWEEN TRUSS BOTTOM CHORDS TO SUPPORT BACKING. EA SHTG TO DRAG TRUSS 1/4" @ 4" O.C. FULL LENGTH. SEE DETAIL 483.
- (26) INSTALL SHEARWALL SHEATHING PRIOR TO ADJACENT & PERPENDICULAR FRAMING. TYP.

**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION  | NOTES |
|---------|-----------------------|-------|
| BEAM #1 | 6 1/4" X 14" 1.8E SCL | 401   |
| BEAM #2 | 6 1/4" X 14" 1.8E SCL | 401   |
| BEAM #3 | 5 1/4" X 14" 1.8E SCL | 401   |
| BEAM #4 | 5 1/4" X 14" 1.8E SCL | 401   |
| BEAM #5 | 5 1/4" X 14" 1.8E SCL | 401   |
| BEAM #6 | 5 1/4" X 14" 1.8E SCL | 401   |

**BEARING WALL HEADER SCHEDULE**

| LENGTH     | SIZE & SPECIFICATION                              | TRIMMER  |
|------------|---|----------|
| 4'-0" MAX. | 4X8 OR 6X8  | 401      |
| 6'-0" MAX. | 5 1/2" X 9 1/2" 1.8E SCL OR 5 1/2" X 12" 1.8E SCL | (2) 2X 4 |
| 8'-0" MAX. | 6 1/2" X 12" 1.8E SCL                             | (1) 2X 4 |

1. UNLESS NOTED OTHERWISE  
 2. SUPPORTS GABLE END TRUSS ONLY. DOES NOT APPLY WHERE FLOOR OCCURS ABOVE  
 3. SEE NOTE 4 UNDER GENERAL FRAMING NOTES ON SHEET S4.1 FOR KING STUD REQUIREMENTS.  
 4. (1) 2X OR 2X8 TRIMMER PERMITTED AT 5 1/2" OR 7" HORS UNO.

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION   |
|----------|--------------------------------|
| 001-999  | FOUNDATION DETAILS             |
| 200-399  | FLOOR AND HALL FRAMING DETAILS |
| 400-599  | ROOF FRAMING DETAILS           |
| 600-999  | CONSTRUCTIONAL & TRIC. DETAILS |

1. DETAILS ARE LOCATED ON THE "SD" SHEETS (SD.1, SD.2, ETC.) BEGINNING WITH SD.1 AND ARE ARRANGED NUMERICALLY IN ASCENDING ORDER.  
 2. GENERAL FRAMING DETAILS (STANDARD HALL FRAMING CONNECTIONS, HOLD-DOWN INSTALLATION DETAILS, DIAPHRAGM LAYOUTS AND NAILING, ETC.) ARE LOCATED ON SHEET S4.2.

**SYMBOLS LEGEND**

|        |   |
|--------|---|
| LENGTH | DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.                                |
| ◇      | DENOTES HOLD-DOWN & POST SIZE REQUIRED AT END OF SHEARWALL. REFER TO HOLD-DOWN SCHEDULE ON FOUNDATION PLAN.                 |
| ○      | DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.   |
| ○      | DENOTES DETAIL REFERENCE. REFER TO SD... SHEETS FOR DETAILS.  |
| ○      | DENOTES DETAIL REFERENCE IS AN ELEVATION. REFER TO SD... SHEETS FOR DETAILS.  |
| ▨      | DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSSES & DIRECTION OF FRAMING. REFER TO DETAIL A ON SHEET S4.2 FOR SPECIFICATIONS. |
| ▨      | DENOTES EXTENTS OF BLOCKED & EDGE NAILED DIAPHRAGM. REFER TO APPLICABLE KEYNOTE.  |
| ▨      | DENOTES EXTENTS OF CONTINUOUS 2X BACKING. REFER TO APPLICABLE DETAIL.   |
| ▨      | DENOTES BEARING WALL.   |
| ▨      | DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. HALL FULL HEIGHT, SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.   |
| ▨      | DENOTES NON-BEARING WALL.   |
| ▨      | DENOTES BEAM OR HEADER. REFER TO BEAM SCHEDULE/BEARING WALL HEADER SCHEDULE ON THIS SHEET.                                  |

**SHEARWALL SCHEDULE**

| TYPE | APA RATED SHEATHING                               | ANCHOR BOLTS | ANCHOR SPACING        | FRAMING MEMBER AT ADJOINING PANEL EDGE | SOLE PLATE CONNECTION           |
|------|---|--------------|-----------------------|--|---------------------------------|
| 1    | 3/8" ONE FACE 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD | 2X           | 5/8" X 10" @ 48" O.C. | MASA ANCHORS @ 24" O.C.                | 164 @ 4" O.C.                   |
| 2    | 3/8" ONE FACE 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD | 2X           | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C.                | (2) 8045 @ 4" O.C. STAGGERED    |
| 3    | 3/8" ONE FACE 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD | 2X           | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C.                | 164 @ 4" O.C. & LTPS @ 24" O.C. |
| 4    | 3/8" ONE FACE 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD | 2X           | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C.                | 164 @ 4" O.C. & LTPS @ 24" O.C. |
| 5    | 3/8" ONE FACE 1/4" @ 8" O.C. EDGE, 12" O.C. FIELD | 2X           | 5/8" X 10" @ 24" O.C. | MASA ANCHORS @ 24" O.C.                | 164 @ 4" O.C. & LTPS @ 24" O.C. |

- 1. SHEATHING TO BE 4'-0" X 8'-0" MIN EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE MIN WIDTH IS TO BE 14" (TYP) PROVIDE MIN 2X FRAMING MEMBER AT ALL BOUNDARIES UNO
- 2. 3X SILLS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING. AT 3X SILL PLATES ANCHOR BOLTS TO BE 12" LONG.
- 3. EITHER ANCHOR TYPE MAY BE USED. FIN. (2) ANCHORS PER SHEARWALL. MASA ANCHORS TO BE INSTALLED WITH (4) 108 NAILS.
- 4. FIN. 7" EMBEDMENT INTO CONCRETE. PROVIDE PLATE W/ASHER PER S4.1 FOUNDATION NOTES #4 AT EACH BOLT. MAX 1/2" BETWEEN EDGE OF PLATE W/ASHER AND FACE OF SHEATHING.
- 5. 3X FRAMING MEMBERS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING.
- 6. SOLE PLATE TO BE 2X UNO ON PLAN. SOLE PLATE CONNECTION OCCURS ABOVE FOUNDATION PLATE LEVEL AT BASED FLOOR AND/OR SECOND FLOOR APPLICATIONS ONLY. SHEARWALL NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4" O.C.
- 7. SEE DETAIL D ON SHEET S4.2 FOR TYPICAL SHEARWALL FRAMING ILLUSTRATION.

**TRUSS LAYOUT**  
 SCALE: NTS

**ELEVATION C**

**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**ELEVATION C**

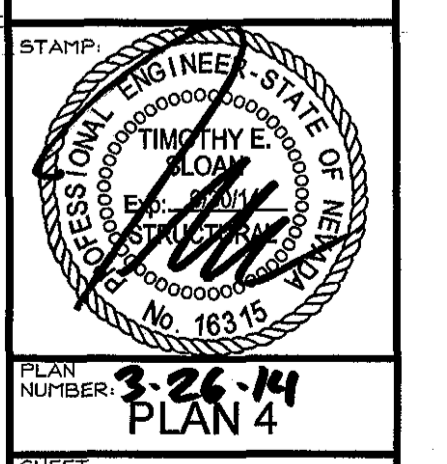
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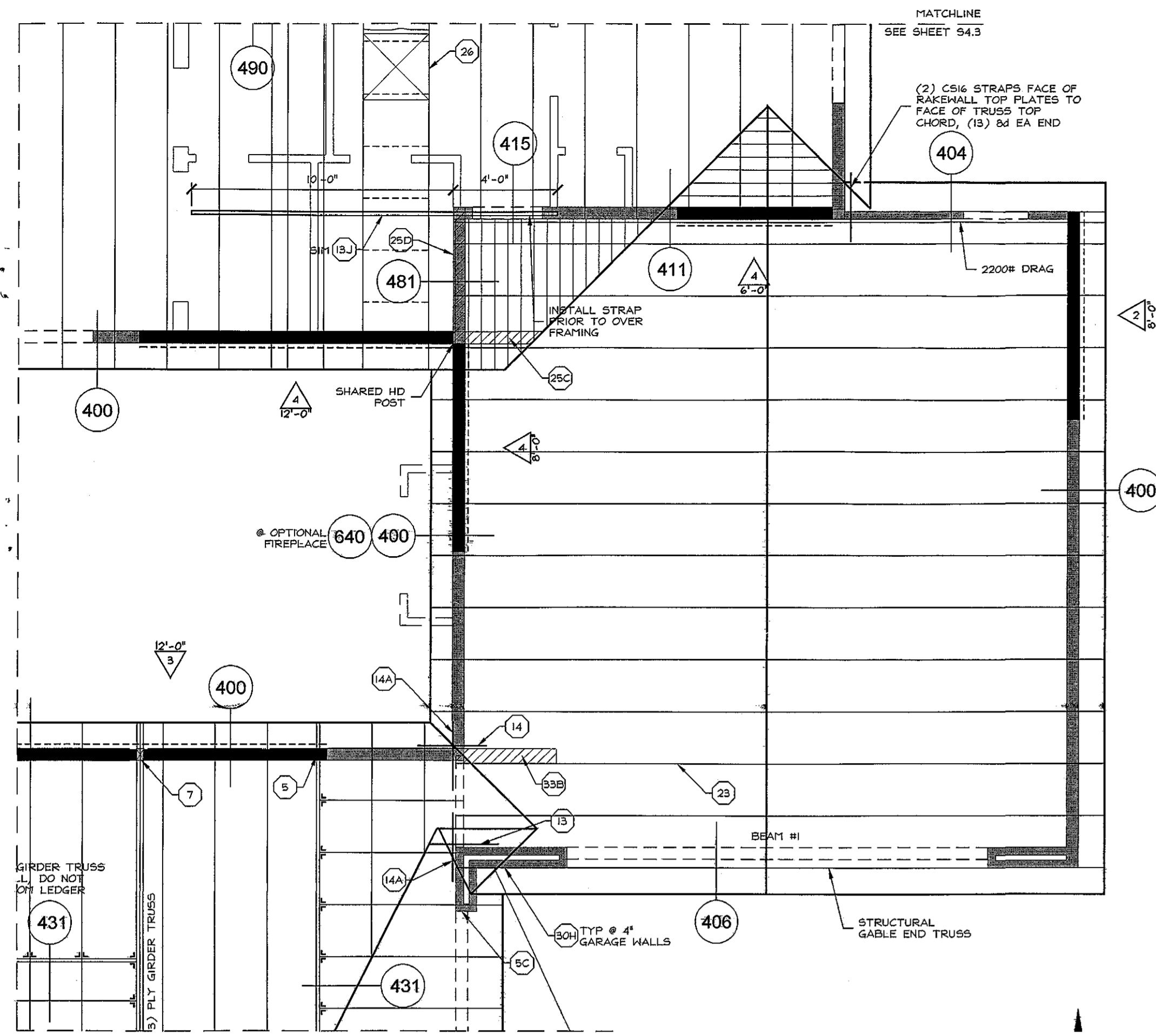
**MONTTE VISTA AT MOUNT ROSE**  
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PROJECT MANAGER: KL  
 DESIGNER: HH  
 DRAFTER: IDES  
 CHECKED BY: HH  
 ISSUE DATE: 01-18-2011  
 REVISIONS:  
 [1] PLAN CHECK 02-21-2014  
 [2] PLAN CHECK 03-24-2014



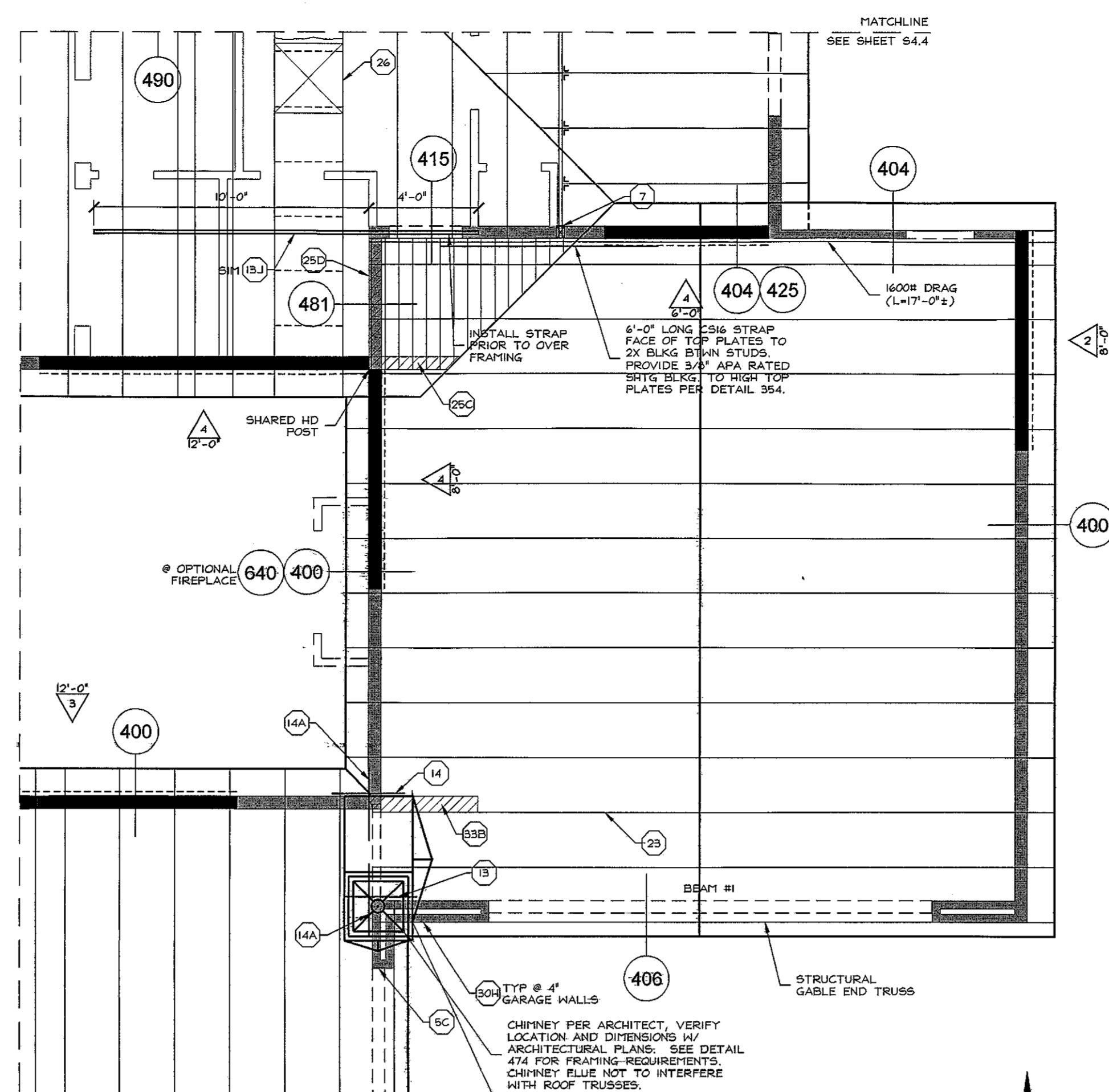
PLAN NUMBER: **S4.5R**  
 PLAN 4

**ROOF FRAMING PLAN**  
**ELEVATION C**  
**REVERSED**  
 SHEET TITLE:  
 SHEET NUMBER:  
 JOB NUMBER: H51045



ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

GARAGE OPT  
ELEVATION A



ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

GARAGE OPT  
ELEVATION B

**LIMITED ATTIC STORAGE**  
AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION ARE CAPABLE OF CONTAINING A RECTANGULAR 24" WIDE X 42" TALL OR GREATER BETWEEN TOP OF B.L.G./RIB AND BOTTOM OF T.C./RIB A MIN. 1/4" SCAB SHALL BE FIELD INSTALLED A MINIMUM OF 42" ABOVE B.C. WITH (2) #8 NAILS TO EACH WEB U.N.O. ON PLANS. SEE DETAIL 478.

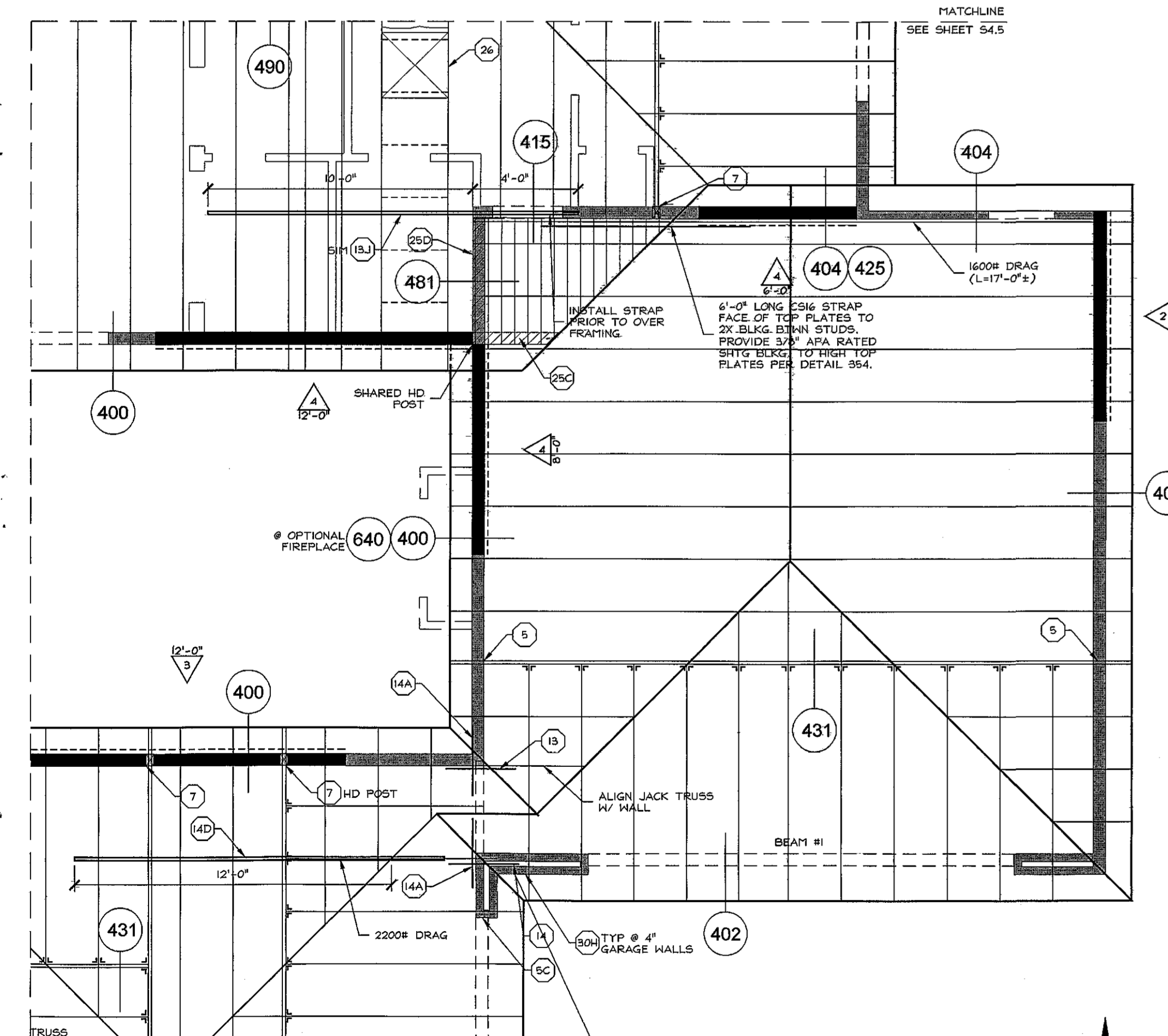
**7" ARCHITECTURAL WALLS**  
WHERE ARCHITECTURAL PLANS SPECIFY 7" WIDE WALLS STUDS MAY BE 2X6 OR 2X8 (SPACING, GRADE, & ALIGNMENT PER PLAN), WHERE 2X6 STUDS ARE USED, PART WALLS, E.T.C. AS REQUIRED TO MATCH ARCHITECTURAL WALL WIDTH. BEAMS & HEADERS SHALL MATCH STUD WIDTH.

**DRAG MEMBER NAILING**  
EDGE-NAIL SHEATHING TO ALL DRAG MEMBERS W/ #4 @ 4" OC FULL LENGTH UNO. SEE "ROOF FRAMING NOTES" #3 AND "FLOOR FRAMING NOTES" #4 ON SHEET 5N1.

**GENERAL NOTES**  
SEE SHEET 5N1 FOR ALL INFORMATION NOT SPECIFIED WITHIN THIS SET OF FRAMING PLANS.  
IT IS THE CONTRACTOR'S/OWNER'S/DEVELOPER'S RESPONSIBILITY TO REVIEW ALL NOTES SPECIFIED ON SHEET 5N1 AND ALL DETAILS DESCRIBED ON SHEET 5N1 AS THEY ARE TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS STRUCTURE.

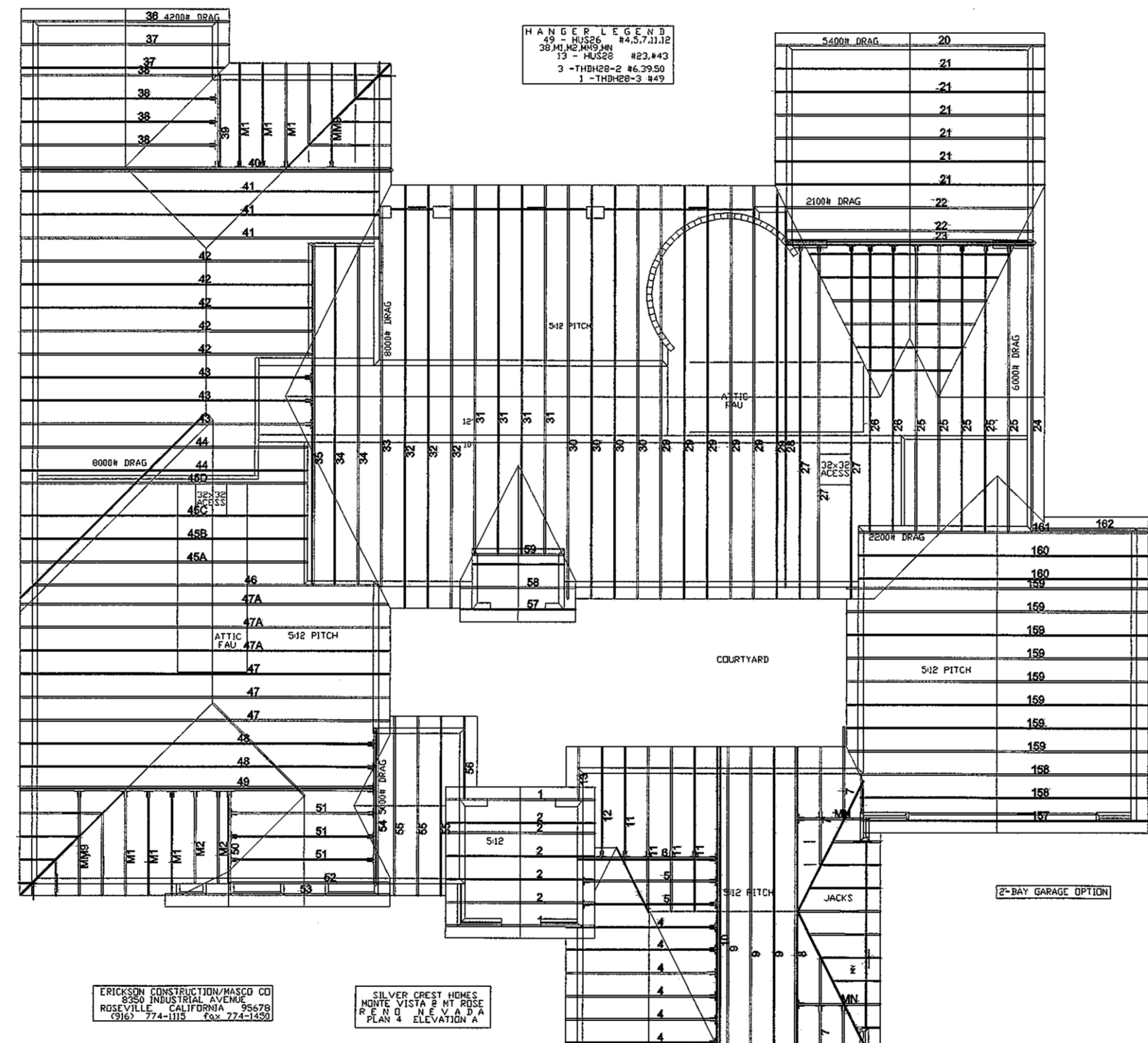
**KEYNOTES**

- (8) DOUBLE 2X STUD POST
- (9) DOUBLE 2X TRIMMER AT THIS END OF HEADER
- (10) 4X6 POST
- (11) 4X6 POST
- (12) 4X6 POST
- (13) 4X6 POST
- (14) 2X STRAP TRUSS/DRAW MEMBER TO TOP PLATE/BEAM. SEE DETAIL 428 AT ALIGNED TRUSS CONDITION.
- (15) 2X STRAP TOP PLATE TO TOP PLATE AT TRANSITION/BREAK. MIN. (3) #8 NAILS TO TOP PLATE EA. MAY STRAP TO BE INSTALLED ON EITHER TOP OR SIDE OF TOP PLATE.
- (16) 2X STRAP TOP PLATE/BEAM TO FULL DEPTH 2X BLKG BETWEEN TRUSSES. EXTEND STRAP UNDER FULL DEPTH BLKG AS DIMENSIONED ON PLAN. SEE DETAIL 427.
- (17) 2X STRAP OVER SHTG EAVE BLKG TO 2X FLAT BLKG. EXTEND STRAP EACH WAY AS DIMENSIONED ON PLAN AND FILL EVERY OTHER NAIL HOLE OVER BLKG. SEE DETAIL 447.
- (18) (2) 2X STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (19) 2X STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (20) 2X STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (21) 2X STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.
- (22) 2X STRAP TRUSS TO TOP PLATE/BEAM. SEE DETAIL 428.



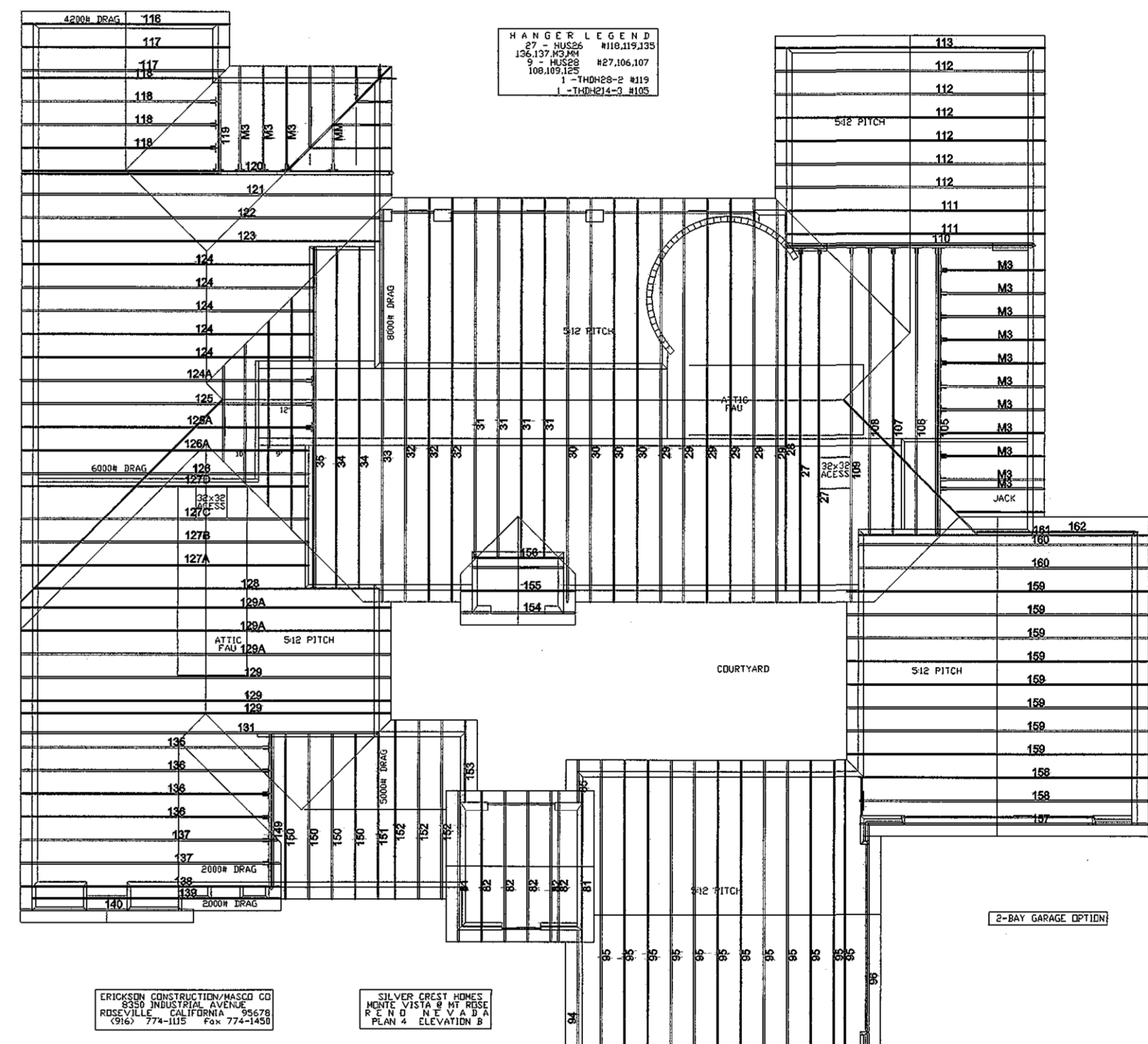
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

GARAGE OPT  
ELEVATION C



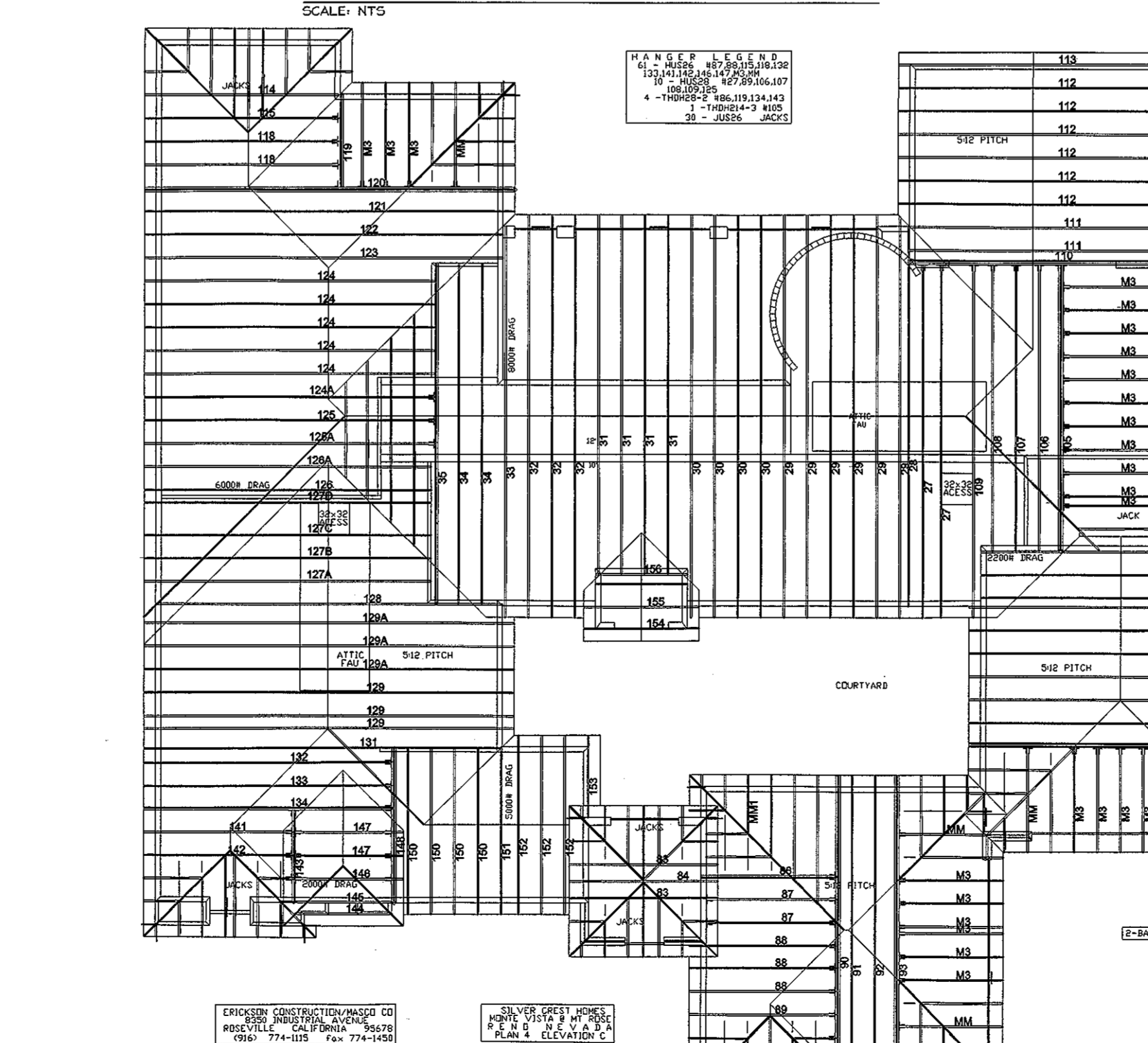
TRUSS LAYOUT  
SCALE: NTS

ELEVATION A



TRUSS LAYOUT  
SCALE: NTS

ELEVATION B



TRUSS LAYOUT  
SCALE: NTS

ELEVATION C

**BEAM SCHEDULE**

| BEAM #  | SIZE & SPECIFICATION     | NOTES |
|---------|--------------------------|-------|
| BEAM #1 | 5 1/4" X 14" L1E SCL     | 428A  |
| BEAM #2 | 5 1/4" X 14" L1E SCL     |       |
| BEAM #3 | 5 1/4" X 14" L1E SCL     |       |
| BEAM #4 | 5 1/4" X 11 7/8" L1E SCL |       |
| BEAM #5 | 5 1/4" X 11 7/8" L1E SCL |       |
| BEAM #6 | 6X6                      |       |

1. HSCG USES SCL AS A GENERIC TERM FOR ALL MANUFACTURED L1E, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000.

**BEARING WALL HEADER SCHEDULE**

| LENGTH    | SIZE & SPECIFICATION                               | TRIMMER |
|-----------|--|---------|
| 4'-0" MAX | 4X6 OR 4X8   | (1) 2X  |
| 6'-0" MAX | 3 1/2" X 8 1/2" L1E SCL OR 5 1/4" X 8 1/2" L1E SCL | (2) 2X  |
| 6'-0" MAX | 4X8 OR 4X6   | (1) 2X  |

1. UNLESS NOTED OTHERWISE  
2. SUPPORT GABLE END TRUSS ONLY; DOES NOT APPLY WHERE FLOOR OCCURS ABOVE  
3. SEE NOTE 5 UNDER GENERAL FRAMING NOTES ON SHEET 5N1 FOR KING STUD REQUIREMENTS  
4. (1) 2X6 OR 2X8 TRIMMER PERMITTED AT 6 1/2" OR 7" HDS UNO

**DETAIL NUMBERING CONVENTION**

| DETAIL # | DETAIL SERIES CLASSIFICATION      |
|----------|-----------------------------------|
| 000-099  | FOUNDATION DETAILS                |
| 100-199  | FLOOR AND HALL FRAMING DETAILS    |
| 200-299  | ROOF FRAMING DETAILS              |
| 300-399  | CONSTRUCTIBILITY & FINISH DETAILS |

1. DETAILS ARE LOCATED ON THE 1ST SHEETS (SD, SD2, ETC.) BEGINNING WITH SD1 AND ARE ARRANGED ALPHABETICALLY BY ASCENDING ORDER.  
2. GENERAL FRAMING DETAILS (STANDARD HALL FRAMING CONNECTIONS, HOLDOWN INSTALLATION DETAILS, DIAPHRAGM LAYOUTS AND NAILING, ETC.) ARE LOCATED ON SHEET 5N2.

**SYMBOLS LEGEND**

- DENOTES SHEARWALL TYPE & MINIMUM LENGTH REQUIRED. REFER TO SHEARWALL SCHEDULE ON THIS SHEET.
- DENOTES HOLDOWN & POST SIZE REQUIRED AT END OF SHEARWALL REFER TO HOLDOWN SCHEDULE ON FOUNDATION PLAN.
- DENOTES KEYNOTE SPECIFICATION. REFER TO KEYNOTE SCHEDULE ON THIS SHEET.
- DENOTES DETAIL REFERENCE. REFER TO SD... SHEETS FOR DETAILS.
- DENOTES DETAIL REFERENCE IS AN ELEVATION. REFER TO SD... SHEETS FOR DETAILS.
- DENOTES LOCATION OF OVER FRAMING/VALLEY TRUSSES & DIRECTION OF FRAMING. REFER TO DETAIL A ON SHEET 5N2 FOR SPECIFICATIONS.
- DENOTES EXTENTS OF BLOCKED & EDGE NAILING DIAPHRAGM. REFER TO APPLICABLE KEYNOTE.
- DENOTES EXTENTS OF CONTINUOUS 2X BACKING. REFER TO APPLICABLE KEYNOTE.
- DENOTES BEARING WALL.
- DENOTES SHEATHING REQUIRED AT NON-SHEARWALL LOCATION. WRAP HALL FULL 7' MIN. SHEATHING THICKNESS AND NAILING AS NOTED ON PLAN.
- DENOTES BEAM OR HEADER. REFER TO BEAM SCHEDULE/BEARING WALL HEADER SCHEDULE ON THIS SHEET.
- DENOTES NON-BEARING WALL.

**SHEARWALL SCHEDULE**

| TYPE | APA RATED 1/2" SHEATHING         | SILL PLATE | ANCHOR BOLTS        | ANCHOR SPACING      | FRAMING             | SOLE PLATE CONNECTION |
|------|----------------------------------|------------|---------------------|---------------------|---------------------|-----------------------|
| 1    | 5/8" ONE FACE 1/2" @ 4" OC EDGE  | 2X         | 5/8" X 10" @ 40" OC | 5/8" X 10" @ 40" OC | MASA ANCHORS 20' OC | 164 @ 4" OC           |
| 2    | 5/8" ONE FACE 1/2" @ 8" OC EDGE  | 2X         | 5/8" X 10" @ 20" OC | 5/8" X 10" @ 20" OC | MASA ANCHORS 20' OC | 164 @ 4" OC           |
| 3    | 5/8" ONE FACE 1/2" @ 12" OC EDGE | 2X         | 5/8" X 10" @ 20" OC | 5/8" X 10" @ 20" OC | MASA ANCHORS 20' OC | 164 @ 4" OC           |
| 4    | 5/8" ONE FACE 1/2" @ 12" OC EDGE | 2X         | 5/8" X 10" @ 20" OC | 5/8" X 10" @ 20" OC | MASA ANCHORS 20' OC | 164 @ 4" OC           |
| 5    | 5/8" ONE FACE 1/2" @ 12" OC EDGE | 2X         | 5/8" X 10" @ 20" OC | 5/8" X 10" @ 20" OC | MASA ANCHORS 20' OC | 164 @ 4" OC           |

1. SHEATHING TO BE 4'-0" X 8'-0" MIN EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE MIN WIDTH IS TO BE 16" (TYP) PROVIDE MIN 2X FRAMING MEMBER AT ALL BOUNDARIES UNO  
2. 3X SCLs TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING. AT 3X SILL PLATES ANCHOR BOLTS TO BE 12" LONG.  
3. EITHER ANCHOR TYPE MAY BE USED. MIN (2) ANCHORS PER SHEARWALL. MASA ANCHORS TO BE INSTALLED WITH (8) 10# NAILS.  
4. MIN. 7" FIBERGLASS INTO CONCRETE. PROVIDE PLATE WASHER PER 5N1 FOUNDATION NOTES #4 AT EACH BOLT. MAX 1/2" BETWEEN EDGE OF PLATE WASHER AND FACE OF SHEATHING.  
5. 3X FRAMING MEMBERS TO BE SINGLE MEMBERS AND REQUIRE STAGGERED NAILING.  
6. SOLE PLATE TO BE 2X UNO ON PLAN. SOLE PLATE CONNECTION OCCURS ABOVE FOUNDATION PLATE LEVEL AT RAISED FLOOR AND/OR SECOND FLOOR APPLICATIONS ONLY. ALL SHEARWALL NAILING TO SOLE PLATE TO BE STAGGERED WHEN SPACING IS LESS THAN 4" OC.  
7. SEE DETAIL D ON SHEET 5N2 FOR TYPICAL SHEARWALL FRAMING ILLUSTRATION.

WASHOE COUNTY BUILDING DEPT.  
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PROJECT MANAGER: KL  
DESIGNER: WH  
DRAWN BY: IDEB  
CHECKED BY: WH  
ISSUE DATE: 01-11-2011  
REVISIONS:  
1. PLAN CHECK 02-21-2014  
2. PLAN CHECK 03-24-2014

STAMP: WASHINGTON COUNTY BUILDING DEPARTMENT  
REVIEWED FOR CODE COMPLIANCE: 6

PLAN NUMBER: 3-26-11 PLAN 4  
SHEET TITLE: ROOF FRAMING PLAN ELEVATION A REVERSED  
SHEET NUMBER: S4.6R  
JOB NUMBER: H51046

STANDARD NOTES AND SPECIFICATIONS

GENERAL FRAMING NOTES

- STUDS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS OF BUILDING NOT MORE THAN TWO STORIES IN HEIGHT SHALL BE 2 INCHES BY 4 INCHES NOMINAL SIZE. FIRST FLOOR WALLS OF A THREE STORY BUILDING OR CRIPPLE WALL AT A TWO STORY BUILDING SHALL BE NOT LESS THAN 2 INCHES BY 6 INCHES OR 3X4 NOMINAL IN SIZE, UNLESS CALCULATED AND SPECIFIED ON PLANS.
- MINIMUM ALLOWABLE HEIGHT FOR STUDS SHALL BE 10'-0" FOR 2 INCH BY 4 INCH NOMINAL AND 3 INCH BY 4 INCH NOMINAL, AND 17'-0" FOR 2 INCH BY 6 INCH NOMINAL STUDS.
- BEARING AND SHEARWALLS TO HAVE DOUBLE TOP PLATES, LAPPED AT WALL AND PARTITION INTERSECTIONS W/ (3) 16d NAILS. SPLICE UPPER AND LOWER PLATES BY LAPPING 48" MINIMUM WITH (2) 16d NAILS IN EA. SIDE OF EA. LAP AND AT ENDS OF WALLS. SEE DETAIL B ON SHEET SN-2.
- STUDS IN EXTERIOR, BEARING, AND SHEARWALLS SHALL NOT BE SPACED NOT MORE THAN 16" OC STUDS IN INTERIOR NON-BEARING WALLS SHALL BE SPACED NOT MORE THAN 24" OC, UNO ON FRAMING PLANS.
- CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT LESS IN SIZE THAN THE STUDS ABOVE.
- IF FINGER JOINTED STUDS ARE USED, THEY MUST BE DOUGLAS FIR STRESS RATED AND STAMPED BY AN APPROVED ICC INSPECTION AGENCY. FINGER JOINTED STUDS ARE NOT TO BE USED IN HORIZONTAL APPLICATIONS.
- PROVIDE FIRE BLOCKING AT 10'-0" INTERVALS AND AT ALL FLOOR AND CEILING LEVELS.
- PROVIDE DOUBLE TRIMMERS AT ALL OPENINGS GREATER THAN 6'-0".
- PROVIDE KING STUDS AT ALL OPENINGS PER THE FOLLOWING TABLES:

| 2X4 KING STUDS        |        |        |        |        |        | 2X6 KING STUDS        |       |        |        |        |        |
|-----------------------|--------|--------|--------|--------|--------|-----------------------|-------|--------|--------|--------|--------|
| OPENING PLATE BEARING | 3'-0"  | 4'-0"  | 5'-0"  | 6'-0"  | 8'-0"  | OPENING PLATE BEARING | 3'-0" | 4'-0"  | 5'-0"  | 6'-0"  | 8'-0"  |
| 8'-1 1/2"             | (2) 2X | (2) 2X | (2) 2X | (3) 2X | (3) 2X | 8'-1 1/2"             | 2X    | 2X     | 2X     | (2) 2X | (2) 2X |
| 9'-1 1/2"             | (2) 2X | (2) 2X | (2) 2X | (3) 2X | (3) 2X | 9'-1 1/2"             | 2X    | 2X     | (2) 2X | (2) 2X | (2) 2X |
| 10'-1 1/2"            | (2) 2X | (3) 2X | (3) 2X | (4) 2X | (5) 2X | 10'-1 1/2"            | 2X    | (2) 2X | (2) 2X | (2) 2X | (3) 2X |

- PROVIDE 2X KING STUDS AT GARAGE DOOR HEADERS, ALL OTHER OPENINGS, INSTALL KING STUDS PER PLAN
- \* WHERE HEADER IS CONTINUOUS OVER TRIMMERS, OPENING WIDTH TO BE MEASURED FROM KING STUD(S) TO KING STUD(S)
  - ALL FLOOR JOISTS CARRIED THROUGH TO FOUNDATION OR BEAM/HEADER BELOW. PROVIDE SQUASH BLOCKING IN FLOOR CAVITY. MIN BEARING WIDTH TO BE SAME AS POST ABOVE. SQUASH BLOCK MAY BE OMITTED AT DOUBLE 2X4 STUDS WHERE RIM IS PRESENT.
  - ALL BEARING HEADERS AND BEAMS TO BE AS SPECIFIED ON THE PLAN. INTERIOR NON-BEARING HEADERS TO BE AS FOLLOWS UNO:
 

| HALL     | TRUSS | 3'-0"          | 6'-0" | 12'-0" | 16'-0" |
|----------|-------|----------------|-------|--------|--------|
| 2X4 HALL | 2X4   | 4X4 OR (2) 2X4 | 4X6   | 4X8    | 4X10   |
| 2X6 HALL | 2X6   | 4X6 FLAT       | 6X6   | 6X6    | 6X8    |
  - ALL JOIST HANGERS, STRAPS, HOLD-DOWNS, CLIPS, ANCHORS, ETC., TO BE SHIPPON STRIPS THE (AS NOTED ON DRAWINGS) OR UNITED STEEL PRODUCTS (USP) WITH EQUAL OR GREATER TENSILE AND TENSILE REDUCTION VALUES. INSTALL ALL HARDWARE AND FASTENERS PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED TO ACHIEVE FULL LOAD VALUES, UNO
  - ALL HUDSILLS IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED DOUGLAS FIR.
  - SEE WOOD SPECIFICATIONS.
  - ALL ANCHOR BOLTS SHALL HAVE, AS A MINIMUM, PLATE WASHERS PER FOUNDATION NOTE #4.
  - ALL FRAMING MATERIAL SHALL BE DOUGLAS-FIR 4 MEET OR EXCEED GRADE SPECIFIED IN WOOD SPECIFICATIONS.

WOOD SPECIFICATIONS

- TRUSS LAYOUTS SHOWN ON PLANS ARE APPROXIMATE. GIRDER/DIAG/HIP/COLLECTOR TRUSSES ARE TO BE PLACED AS SHOWN ON THE PLANS. SUPPORT/POIN/CLACK TRUSSES SHOWN @ 24" OC MAY BE ADJUSTED AS REQUIRED PROVIDED THAT TRUSSES MAINTAIN A MAXIMUM SPACING OF 24" OC UNO
- ROOF SHEATHING TO BE APA RATED SHTG, EXPOSURE 1, 23/32" MINIMUM (PANEL ID 48/24) FOR PLYWOOD, 1/4" MINIMUM (PANEL ID 40/20) FOR OSB. NAIL @ 6" OC EDGE, 12" OC FIELD MINIMUM. FACE GRAIN PERPENDICULAR TO FRAMING.
- NAIL SHEATHING AT ALL DRAG TRUSSES/RAFTERS W/ 6d @ 6" OC TYP UNO
- PROVIDE 2X RIDGE BLOCKING BETWEEN TRUSSES AT ALL RIDGES.
- DO NOT CUT ANY TRUSS.
- BRACE ROOF FRAMING TO BEARING WALLS AND BEAMS DESIGNED FOR SUCH LOADS UNO.
- PROVIDE MINIMUM DOUBLE 2X POST UNDER EACH END AND ALL INTERIOR BEARING POINTS (WHERE APPLICABLE) OF GIRDER/HIP TRUSSES UNO
- PROVIDE CLIP AT ALL TRUSS/RAFTER TO TOP PLATE/BEAM CONNECTIONS  
SINGLE PLY TRUSS/RAFTER ..... H CLIP UNO  
MULTI-PLY TRUSS/RAFTER 4 GABLE END TRUSS/RAFTER ..... H2.5A CLIP UNO
- AT INTERIOR BEARING WALLS SUPPORTING 3-PT BEARING TRUSSES, PROVIDE STUDS PER THE TABLE BELOW:
 

| ALL TRUSSES | TRUSS | STUDS @ 12" OC | STUDS @ 12" OC    | (2) STUDS ALIGNED |
|-------------|-------|----------------|-------------------|-------------------|
| 9'-1"       | 2X4   | STUDS @ 16" OC | STUDS @ 16" OC    | STUDS @ 12" OC    |
|             | 2X6   | STUDS @ 16" OC | #2 STUDS @ 12" OC | (2) STUDS ALIGNED |
| 10'-1"      | 2X4   | STUDS @ 16" OC | STUDS @ 16" OC    | STUDS @ 12" OC    |
|             | 2X6   | STUDS @ 16" OC | STUDS @ 16" OC    | STUDS @ 12" OC    |
- ALIGN STUD(S) WITH TRUSS. STUD SPACING NOT TO EXCEED SPECIFIED IN GENERAL FRAMING NOTES.
- PROVIDE PURLINS OF SAME SIZE AS SUPPORTED RAFTERS. BRACE RIDGES AND PURLINS TO BEARING LOCATIONS PER PLAN W/ 2x #2 D.F. STRUTS @ 48" OC MAX BRACE STRUTS WHEN LENGTHS EXCEED 6'-0".
- CONTINUE ROOF SHTG UNDER OVERFRAMING.
- WITH CONVENTIONAL ROOF FRAMING, FRAME INTERIOR SHEARWALLS TO UNDERSIDE OF ROOF SHTG OR TO BOTTOM OF ROOF RAFTER.
- PROVIDE RESTRAINT AT ENDS OF ALL MEMBERS TO PREVENT ROTATION.
- DEPTH OF RIDGE BEAMS AND HIPS/VALLEYS NOT TO BE LESS THAN CUT EDGE OF RAFTERS.

FLOOR FRAMING NOTES

- FLOOR SHEATHING TO BE 3/4" T&G OR 23/32" APA RATED SHEATHING GLUED AND NAILED W/ 6d @ 6" OC EDGE, 12" OC FIELD MINIMUM. PANEL ID 48/24. EXPOSURE 1 FACE GRAIN PERPENDICULAR TO FRAMING, AND AS NOTED ON PLAN.
- JOIST LAYOUTS SHOWN ON PLANS ARE APPROXIMATE. DRAG/COLLECTOR AND DOUBLE JOISTS ARE TO BE PLACED AS SHOWN ON PLANS. SUPPORT/POIN/CLACK TRUSSES SHOWN @ 24" OC MAY BE ADJUSTED AS REQUIRED PROVIDED THAT JOISTS MAINTAIN MAXIMUM SPACING AS NOTED ON PLANS.
- WHERE A NON-BEARING WALL PARALLEL TO JOISTS EXCEEDS 10'-0" IN LENGTH AND OCCURS 3' OR MORE FROM THE FACE OF A JOIST, PROVIDE AN ADDITIONAL JOIST UNDER THE WALL.
- NAIL SHEATHING AT ALL DRAG JOISTS/TRUSSES W/ 6d @ 6" OC TYP
- DO NOT CUT OR MODIFY ANY FLOOR JOIST/TRUSS WITHOUT WRITTEN CONSENT OF MANUFACTURER AND PROJECT ENGINEER

FOUNDATION NOTES

- ALL FOOTING DEPTH DIMENSIONS ARE INTO UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. DEPTH SHALL BE MEASURED FROM LOWEST ADJACENT GRADE OR BOTTOM OF UNAPPROVED FILL.
- MINIMUM 6" BETWEEN WOOD AND EARTH AROUND BUILDING PER IBC 2304.1.2.2
- OBSERVATION OF SITE PREPARATION, GRADING, PLACEMENT AND COMPACTION OF FILL OPERATIONS BY THE GEOTECHNICAL ENGINEER. ALL FILL SHALL BE TESTED BY GEOTECHNICAL ENGINEER PRIOR TO POURING. PROVIDE MIN 3 DAYS NOTICE TO GEOTECHNICAL ENGINEER.
- ATTACH PRESSURE TREATED SILL PLATE TO FOUNDATION WITH EITHER ANCHOR BOLTS OR HUDSILL ANCHORS PER THE FOLLOWING SPECIFICATIONS:
  - PROVIDE 3/32" OR EQUIVALENT 5/8" X 10" ANCHOR BOLTS AND 3/8" X 10" PLATE WASHERS (PLATE WASHER HOLE MAY BE 3/16" LARGER THAN BOLT DIAMETER). HOLE MAY BE SLOTTED WITH LENGTH OF SLOT NOT EXCEEDING 1/4" PROVIDED STANDARD CUT WASHER IS INSTALLED BETWEEN PLATE WASHER & NUT) AT PRESSURE TREATED SILL PLATE. MIN (2) BOLTS PER HALL AND (1) BOLT MINIMUM 4" AND MAXIMUM 12" FROM END OF SILL. MAX 6'-0" OC AT ONE & TWO STORY BLDGS, 4'-0" OC OTHERWISE. MINIMUM 7" INTO CONCRETE AND PER SHEARWALL SPECIFICATIONS (CAST-IN-PLACE HUDSILL ANCHOR SPECIFICATIONS).
  - PROVIDE 3/32" ANCHOR BOLTS AND 3/8" X 10" PLATE WASHERS (PLATE WASHER HOLE MAY BE 3/16" LARGER THAN BOLT DIAMETER). HOLE MAY BE SLOTTED WITH LENGTH OF SLOT NOT EXCEEDING 1/4" PROVIDED STANDARD CUT WASHER IS INSTALLED BETWEEN PLATE WASHER & NUT) AT PRESSURE TREATED SILL PLATE. MIN (2) BOLTS PER HALL AND (1) BOLT MINIMUM 4" AND MAXIMUM 12" FROM END OF SILL. MAX 6'-0" OC AT ONE & TWO STORY BLDGS, 4'-0" OC OTHERWISE. MINIMUM 7" INTO CONCRETE AND PER SHEARWALL SPECIFICATIONS (CAST-IN-PLACE HUDSILL ANCHOR SPECIFICATIONS).
  - LOCATIONS MAS ANCHOR SPACING TO BE 4'-0" OC MAX & MASA ANCHOR SPACING TO BE 6'-0" MAX.\*
  - REDUCE MAXIMUM MASA SPACING TO 4'-0" OC WHERE ANCHOR BOLTS ARE REQUIRED.
  - POWDER DRIVEN NAILS (PDR) DRIVEN NAILS (SPOT DRIVEN NAILS) (SPOT DRIVEN NAILS) MAY BE USED TO ANCHOR SILL TO FOUNDATION AT NON-SHEARWALL LOCATIONS UNO. POWDER DRIVEN NAILS MAY NOT BE USED IN STEPS WALLS LESS THAN 1/2" HIGH. SHOT PINS ARE TO BE 0.46" WITH MIN 3/8" PENETRATION INTO CONCRETE. AT BEARING WALLS INSTALL PINS @ 16" OC WITH (1) PIN WITH 12" FROM EACH END OF EACH SILL. AT NON-BEARING WALLS INSTALL PINS @ 24" OC
- STEEL GRADES SHALL MEET OR EXCEED THE FOLLOWING UNO:
  - ANCHOR BOLTS ..... F1554 GRADE 36
  - NUTS ..... A490 OR A492 GRADE 5
  - PLATE WASHERS ..... A36 (Fy=36 ksi)
  - HEAVY HEX NUTS ..... A490 OR A492 GRADE 5
- SLOPE GRADE AND FLATNESS SHALL BE IN ACCORDANCE WITH 2X MINIMUM SLOPE FOR FLATWOOD, 5% MIN SLOPE FOR GRADE. 7% SOIL BEARING CONDITION IS CLASSIFIED BY SLOPS REPORT INDICATED IN DESIGN CRITERIA, IF REPORT IS PROVIDED. ALL FOOTINGS SHALL BE INSTALLED ON NATURAL SOILS OR COMPACTED ENGINEERED FILL.
- SPREAD FOOTINGS ARE TO BE CENTERED UNDER WALLS AND COLUMNS, UNO
- FOUNDATIONS SHALL BE PLACED IN NEATLY CUT EXCAVATIONS. EXCAVATIONS SHALL BE CLEANED OF ALL DEBRIS. RETURN WATER SHALL BE REMOVED PRIOR TO CONCRETE PLACEMENT
- AT CLIENT/CONTRACTOR OPTION AND WITH CONSENT FROM THE BUILDING OFFICIAL, (AS REQUIRED BY CAL GREEN 4.505.21 (1) AND (2)), A 1" LAYER OF POLYETHYLENE TEREPHTHALATE (PET) BLOTTER LAYER SHALL BE PLACED BETWEEN THE SLAB AND VAPOR RETARDER TO AID IN SLAB CURING. SAND IS NOT AN ACCEPTABLE ALTERNATIVE. WHERE MOISTURE VAPOR TRANSMISSION IS A CONCERN, INSTALL EXTERNAL MOISTURE TRANSMISSION BARRIER OUTSIDE THE SCOPE OF THESE PLANS
- REFER TO THE PROJECT GEOTECHNICAL REPORT FOR GRAVEL BASE SPECIFICATIONS. WHERE NO RECOMMENDATIONS ARE PROVIDED, GRAVEL SHALL BE GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND NONE PASSES A #4 SIEVE.
- PROPER SLAB CURING PRACTICES ARE CRUCIAL FOR SLAB QUALITY AND PERFORMANCE. CONCRETE CONTRACTOR TO DETERMINE THE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND THE FOUR ACCELERATED CONSTRUCTION SCHEDULES MAY REQUIRE ADJUSTMENTS TO THE DESIGN MIX AND/OR METHODS OF CONSTRUCTION.

RETROFIT SPECIFICATIONS

- FOR MISPLACED/UNINSTALLED ANCHOR BOLTS AND ALL-THREAD ROD CONFORMING TO ASTM F1554, GRADE 36, EPOXY ROD INTO CONCRETE MIN. 5" W/ SHIPPON SET-UP EPOXY (ICC ESR-2505). DIAMETER AND SPACING OF ROD TO BE AS SPECIFIED ON PLANS PER SHEARWALL SPECIFICATIONS
- SHIPPON TITEN HD ANCHOR BOLTS MAY BE USED IN PLACE OF MISSED 1/2" ANCHOR BOLTS. 5/8" ANCHOR BOLTS OR HD ANCHORS IN BOTH BEARING AND NON-BEARING WALLS. INSTALL (1) TITEN HD FOR EACH MISSED ANCHOR BOLT OR HAS ANCHOR. PROVIDE 5/8" X 6" TITENS AT 2X SILL PLATES AND 5/8" X 6" TITENS AT 3X SILL PLATES. TITEN HD TO BE INSTALLED WITH ONE PLATE WASHER (SAME SIZE & SPECIFICATIONS AS ANCHOR BOLT PER FOUNDATION NOTES) AND ANCHOR BOLT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER ICC ESR-2713. TITEN HD MAY ONLY BE INSTALLED IN SBX-DOT (SODIUM BORATE) TREATED SILL PLATES
- POST-INSTALLED ANCHORS MAY BE USED IN ACCORDANCE WITH 30 DAYS AFTER CONCRETE POUR. INSTALLATION MUST BE PERFORMED BY TRAINED PERSONNEL AND IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S INSTRUCTIONS. MANUFACTURER'S INSTRUCTIONS ARE CRUCIAL FOR SLAB QUALITY AND PERFORMANCE. CONCRETE CONTRACTOR TO DETERMINE THE APPROPRIATE METHODS OF CONSTRUCTION BASED ON THE DESIGN MIX, PROJECT LOCATION AND THE FOUR ACCELERATED CONSTRUCTION SCHEDULES MAY REQUIRE ADJUSTMENTS TO THE DESIGN MIX AND/OR METHODS OF CONSTRUCTION.
- HARDWARE SUBSTITUTIONS NAIL ON HOLD-DOWN STRAPS BETWEEN FLOORS MAY BE REPLACED WITH (2) HOLD-DOWNS, (1) ABOVE FLOOR SYSTEM BEARING FLOOR SYSTEM, USE A307 ALL-THREAD ROD BETWEEN HOLD-DOWNS, USE HOLD-DOWN POST SPECIFIED ON PLANS, ABOVE AND BELOW FLOOR SYSTEM. PERMISSIBLE SUBSTITUTIONS:
 

|                                 |                          |
|---------------------------------|--------------------------|
| CSM, (2) CS16, OR CHSTC16 STRAP | H2/4 OR HTTS W/ 5/8" ROD |
| POST-INSTALLED HOLD-DOWN STRAP  | H2/4 W/ 7/8" ROD         |
| HTTS                            | HTTS W/ 7/8" ROD         |

PRE-MANUFACTURED TRUSS NOTES

- DESIGN AND FABRICATE USING CODE CRITERIA, LOAD SPECIFICATIONS, AND LOAD DURATION INCREASE SPECIFIED IN DESIGN CRITERIA ON THIS SHEET
- TRUSS SPACING TO BE 24" OC MAXIMUM UNO
- MINIMUM MEMBER SIZES: TOP CHORD 2X4, BOTTOM CHORD 2X4, WEBB 2X4. MINIMUM GRADE OF LUMBER SHALL BE SET BY THE TRUSS DESIGN ENGINEER. LUMBER SPECIES TO BE DF (NO HET FIR)
- TRUSS PLATE CONNECTIONS SHALL BE IN ACCORDANCE WITH PUBLISHED APPROVALS OF ICC 4 TPI 1-2007.
- PROVIDE COMPLETE TRUSS CALCULATION PACKAGE WITH TRUSS IDENTIFICATION NUMBERS CLEARLY IDENTIFIED ON LAYOUT. SPECIFY TRUSS MANUFACTURER ON TRUSS DRAWINGS. PROVIDE COPIES OF ICC APPROVALS FOR METAL CONNECTOR PLATES USED.
- TRUSS DRAWINGS AND CALCULATIONS SHALL HAVE ORIGINAL SIGNATURE BY CIVIL OR STRUCTURAL ENGINEER LICENSED IN THE STATE AND SHALL BE SUBMITTED TO THE PROJECT ENGINEER AND LOCAL BUILDING DEPARTMENT FOR REVIEW BEFORE FABRICATION.
- TRUSS MANUFACTURER TO CLEARLY INDICATE ALL BRACING AND BRIDGING. MEMBERS SHALL BE ADEQUATELY BRACED DURING ERECTION. MEMBERS SHALL BE ALIGNED AND ALL CONNECTIONS COMPLETED BEFORE REMOVAL OF BRACING.
- ALL TRUSSES WHICH SUPPORT MECHANICAL UNITS ON THE TOP CHORDS SHALL BE DESIGNED TO SUPPORT A 300# POINT LOAD FOR ROOF SURFACES SUBJECT TO MAINTENANCE WORKERS
- GABLE STUDS @ NON-STRUCTURAL GABLE ENDS TO BE 2X4 STANDARD DF MIN WHERE HEIGHT EXCEEDS 72" BRACE PER DETAIL G ON SHEET SN-2.
- MAXIMUM TRUSS TO TRUSS TOTAL LOAD DIFFERENTIAL DEFLECTION SHALL NOT EXCEED 1/4" & MAXIMUM TOTAL LOAD DEFLECTION IN ANY TRUSS SHALL NOT EXCEED 3/4".
- TRUSS TOP CHORD PANEL TO PANEL SPANS SHALL NOT EXCEED 7'-6" FOR 2X4 MEMBERS & 10'-6" FOR 2X6 MEMBERS. TRUSS BOTTOM CHORD PANEL TO PANEL SPAN SHALL NOT EXCEED 9'-6" FOR 2X4 OR 2X6 MEMBERS.
- AT ALL LOCATIONS WHERE TWO OR MORE ADJACENT TRUSSES WITH THE SAME BEAM CONFIGURATION ARE CAPABLE OF BEING BRACED TO A COMMON POINT, BRACING SHALL BE PROVIDED BETWEEN THE TOP OF B.C. AND BOTTOM OF T.C. A MIN 1/4" SCAB SHALL BE INSTALLED A MAXIMUM OF 42" ABOVE T.C. WITH (2) 8d NAILS TO EA. WEB UNO ON PLANS. WHERE SCAB IS NOT INSTALLED AFFECTED TRUSSES SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 10' UNO
- TRUSS TRUSS SHALL BE SHAP: CLEAN AND WELL GRADED AND FREE OF INJURIOUS AMOUNTS OF LOST, LUMPS, AGGREGATE, EXCEPT WHEN OTHER GRADINGS ARE SPECIFICALLY APPROVED BY THE ENGINEER. ALL AGGREGATE FOR FORTAR AND GROUT SHALL BE SHAP: CLEAN AND WELL GRADED AND FREE OF INJURIOUS AMOUNTS OF LOST, LUMPS, ALKALI, SULFATE COATINGS AND ORGANIC MATTER.
- CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150. IF PLASTIC CEMENT IS USED, IT SHALL HAVE LESS THAN 1% OF THE TOTAL CEMENT VOLUME IN APPROVED TYPES OF PLASTICIZING AGENTS AND SHALL CONFORM TO ALL REQUIREMENTS OF THE PORTLAND CEMENT ASTM C150 AND ONLY 1/4" PART LINE MAY BE USED IN THE PORTLAND. MISCELLANEOUS ITEMS, SUCH AS ROUGH HARDWARE, ANCHORS, BOLTS, TIES, ETC., REQUIRED FOR ITEMS TO BE ANCHORED TO OR EMBEDDED IN CONSTRUCTION SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AND INSTALLED BY THE MASONRY CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- WATER USED FOR FORTAR AND GROUT SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNTS OF ACIDS, SALTS, ALKALI, AND ORGANIC MATERIALS, AND SHALL COME FROM A DOMESTIC SUPPLY.
- THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF THE MASONRY WALL ASSEMBLY (Fm) AT 28 DAYS SHALL BE 1800 PSI (124.8 KPA). IN ADDITION TO THE ABOVE REQUIREMENTS, MASONRY CONSTITUENTS SHALL POSSESS THE REQUIRED PROPERTIES TO ACHIEVE THIS REQUIRED STRENGTH.
- REINFORCING STEEL SHALL CONFORM TO ASTM A618. REINFORCEMENT SHALL BE FULLY EMBEDDED IN GROUT. SEE STRUCTURAL DETAILS/NOTES FOR SIZE, GRADE, LAPS, ETC.
- BEFORE BLOCKING OR GROUTING CONCRETE, THOROUGHLY CLEAN CONCRETE OF ALL LAITANCE AND ALL LOOSE MATERIAL. ROUGHEN AS IN A CONCRETE CONSTRUCTION JOINT.
- PLACE ALL HORIZONTAL REINFORCEMENT BARS IN BOND BEAM UNITS. WHEN 2 BARS ARE USED, STAGGER LAPS A MINIMUM OF 5'-0" VERTICAL REINFORCING SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 200 BAR DIAMETERS.
- ALL EMBEDDED ITEMS (BOLTS, ETC.) SHALL BE SECURED IN PLACE PRIOR TO GROUTING. PROVIDE A MINIMUM OF 1" GROUT AROUND ALL BOLTS IN MASONRY.
- CLEAN ALL CELLS AND BOND BEAMS OF EXCESSIVE MORTAR PROTRUSIONS AND OTHER DEBRIS BEFORE GROUTING.
- MAXIMUM GROUT WITHOUT CLEANOUTS SHALL BE 5'-0" IN BLOCK WALLS. IF REQUIRED, CLEANOUTS SHALL NOT BE SEALED BEFORE INSPECTION. THE THICKNESS OF GROUT BETWEEN BLOCK AND REINFORCING STEEL SHALL NOT BE LESS THAN 1/2" AND BETWEEN PARALLEL BARS NOT LESS THAN 3/4".
- ALL CELLS SHALL BE SOLIDLY GROUTED.
- ALL GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION USING A 3/4" HEAD LOW VELOCITY VIBRATOR. RECONSOLIDATION BY VIBRATION MUST BE DONE AFTER THE INITIAL WATER LOSS AND BEFORE INITIAL SET.
- CONSTRUCTION JOINTS: WHEN GROUTING IS STOPPED FOR A PERIOD OF 1 HOUR OR LONGER, FORM HORIZONTAL CONSTRUCTION JOINTS BY STOPPING THE GROUT POUR 1 1/2" MINIMUM BELOW THE UPPER-POST JOINT, EXCEPT AT TOP OF WALL.
- SEE ARCHITECTURAL DRAWINGS FOR EXPANSION AND CONTROL JOINTS. PROVIDE AT A MAX OF 40'-0" OC.

| PITCH            | INCREASE FACTOR |
|------------------|-----------------|
| 5/12 TO 5.9/12   | .....1.08       |
| 6/12 TO 6.9/12   | .....1.12       |
| 7/12 TO 7.9/12   | .....1.16       |
| 8/12 TO 8.9/12   | .....1.20       |
| 9/12 TO 9.9/12   | .....1.25       |
| 10/12 TO 10.9/12 | .....1.30       |
| 11/12 TO 11.9/12 | .....1.36       |
| 12/12 AND ABOVE  | .....1.41       |

TYPICAL ABBREVIATIONS

|       |                             |      |                             |
|-------|-----------------------------|------|-----------------------------|
| AB    | ANCHOR BOLT                 | ICC  | INTERNATIONAL CODE COUNCIL  |
| ABV   | ABOVE                       | IGG  | LIGHT GAUGE STEEL           |
| ALT   | ALTERNATE                   | LL   | LIVE LOAD                   |
| APA   | AMERICAN PLYWOOD ASSN       | LSL  | LAMINATED STRAND VENEER     |
| B     | BOTTOM                      | LVL  | LAMINATED VENEER LUMBER     |
| BOTT  | BOTTOM                      | MFR  | MANUFACTURER                |
| BC    | BOTTOM CHORD                | MAX  | MAXIMUM                     |
| BLKG  | BLOCKING                    | MB   | MACHINE BOLT                |
| BLM   | BELOW                       | MIN  | MINIMUM                     |
| BRG   | BEARING                     | (N)  | NB4                         |
| BTN   | BETWEEN                     | NHR  | NO HOLD-DOWNS REQUIRED      |
| BHP   | BRACED HALL PANEL           | NBS  | NOT TO SCALE                |
| CBC   | CALIFORNIA BUILDING CODE    | OC   | ON CENTER                   |
| CL    | CENTERLINE                  | OSB  | ORIENTED STRAND BOARD       |
| CLR   | CLEAR                       | PL   | PLATE                       |
| CMU   | CONCRETE MASONRY UNIT       | PLF  | POUNDS PER LINEAR FOOT      |
| CONC  | CONCRETE                    | PSF  | POUNDS PER SQUARE FOOT      |
| CONT  | CONTINUOUS                  | PSI  | POUNDS PER SQUARE INCH      |
| DBL   | DOUBLE                      | PSL  | PARALLEL STRAND LUMBER      |
| DF    | DOUGLAS FIR LARCH           | PT   | PRESSURE TREATED            |
| DL    | DEAD LOAD                   | SCL  | SEE ARCHITECTURAL DRAWINGS  |
| (E)   | EXISTING                    | SCD  | STRUCTURAL COMPOSITE LUMBER |
| EA    | EACH                        | SGL  | SHEATHING                   |
| EN    | EDGE NAIL                   | SIM  | SITILAR                     |
| FTG   | FOOTING                     | SOG  | SLAB ON GRADE               |
| GA    | GAUGE                       | SO   | SQUARE                      |
| GALV  | GALVANIZED                  | SH   | SHEARWALL                   |
| GLB   | GLUE-LAMINATED BEAM         | T    | TOP                         |
| HD    | HOLD-DOWN                   | TC   | TOP CHORD                   |
| HDR   | HEADER                      | TU   | TUBE STEEL                  |
| HORIZ | HORIZONTAL                  | TYP  | TYPICAL                     |
| HSS   | HOLLOW STRUCTURAL STEEL     | UNO  | UNLESS NOTED OTHERWISE      |
| IBC   | INTERNATIONAL BUILDING CODE | VERT | VERTICAL                    |
|       |                             | WKR  | WELDED WIRE REINFORCING     |

ENGINEER'S NOTES

- SHEATHING USED IN THE CONSTRUCTION OF SHEARWALLS TO BE 4'-0" X 8'-0" MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS TO BE 16". TYP
- FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEARWALLS.
- DO NOT BREAK FACE PLY WHEN NAILING ANY SHEARWALLS.
- ALL NAILS SPECIFIED IN PLANS SHOULD HAVE PROPERTIES NOTED AS FOLLOWS:
  - 8d TO HAVE SHANK DIAMETER OF 0.31" AND HEAD DIAMETER OF 0.28" W/ 2 1/2" MIN LENGTH
  - 10d TO HAVE SHANK DIAMETER OF 0.1485" AND HEAD DIAMETER OF 0.3025" W/ 3" MIN LENGTH
  - 16d TO HAVE SHANK DIAMETER OF 0.148", HEAD DIAMETER OF 0.348", AND LENGTH OF 3 1/4"
- ALL NAILS SPECIFIED FOR USE IN SHEARWALLS TO BE OF SUFFICIENT LENGTH TO PROVIDE 1 5/8" PENETRATION INTO FRAMING MEMBERS.
- ALL FRAMING MEMBERS USED IN THE CONSTRUCTION OF THE SHEAR WALLS MUST BE DOUGLAS FIR. NO HETI
- ALL SHEAR PLATES OR SILL PLATES ARE TO BE USED
- ALL NAILS IN HARDWARE SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS AS NEEDED TO ACHIEVE THE MAXIMUM HARDWARE VALUE.
- ALL NAILING NOT SPECIFIED ON PLANS OR IN TABLE BELOW TO BE PER IBC TABLE 2304.4.1

| NAILING SCHEDULE (PARTIAL)                               |   |
|--|---|
| CONNECTION   | NAILING   |
| JOIST TO SILL OR GIRDER, TOENAIL                         | (3) 8d  |
| BRIDGING TO JOIST, TOENAIL EA. END                       | (2) 8d  |
| 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL      | (2) 16d   |
| SOLE PLATE TO JOIST OR BLOCKING, TYP FACE NAIL           | 16d @ 16" OC  |
| SOLE PLATE TO JOIST OR BLOCKING, AT BRACED HALL PANELS   | (3) 16d @ 16"   |
| TOP PLATE TO STUD, END NAIL                              | (3) 16d   |
| TOP PLATE TO POST, END NAIL                              | (4) 16d   |
| STUD/POST TO SILL/SOLE PLATE                             | (4) 8d, TOENAIL OR (3) 16d END NAIL<br>(2) 20d END NAILS AT 3X SILL PLATE |
| DOUBLE STUDS, FACE NAIL                                  | 16d @ 24" OC  |
| DOUBLE TOP PLATES, TYP FACE NAIL                         | 16d @ 16" OC  |
| BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL | (3) 8d  |
| RIM JOIST TO TOP PLATE, TOENAIL                          | 8d @ 6" OC  |
| TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL            | (3) 16d   |
| CONTINUOUS HEADER, TWO PIECES                            | 16d @ 16" OC ALONG EACH EDGE  |
| CEILING JOISTS TO PLATE, TOENAIL                         | (3) 8d  |
| CONTINUOUS HEADER TO STUD, TOENAIL                       | 2 1/2" DIA. x 5/16"   |
| CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL          | (4) 16d   |
| CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL            | (4) 16d   |
| RAFTER TO PLATE, TOENAIL                                 | (3) 8d  |
| BUILT-UP CORNER STUDS                                    | 16d @ 16" OC  |
| BUILT-UP GIRDER AND BEAMS                                | 20d @ 32" OC STAGGERED AT TOP & BOTTOM, (2) 20d AT ENDS @ EA. SPLICE      |
| 2" PLATES  | (2) 16d AT EA. BEARING  |

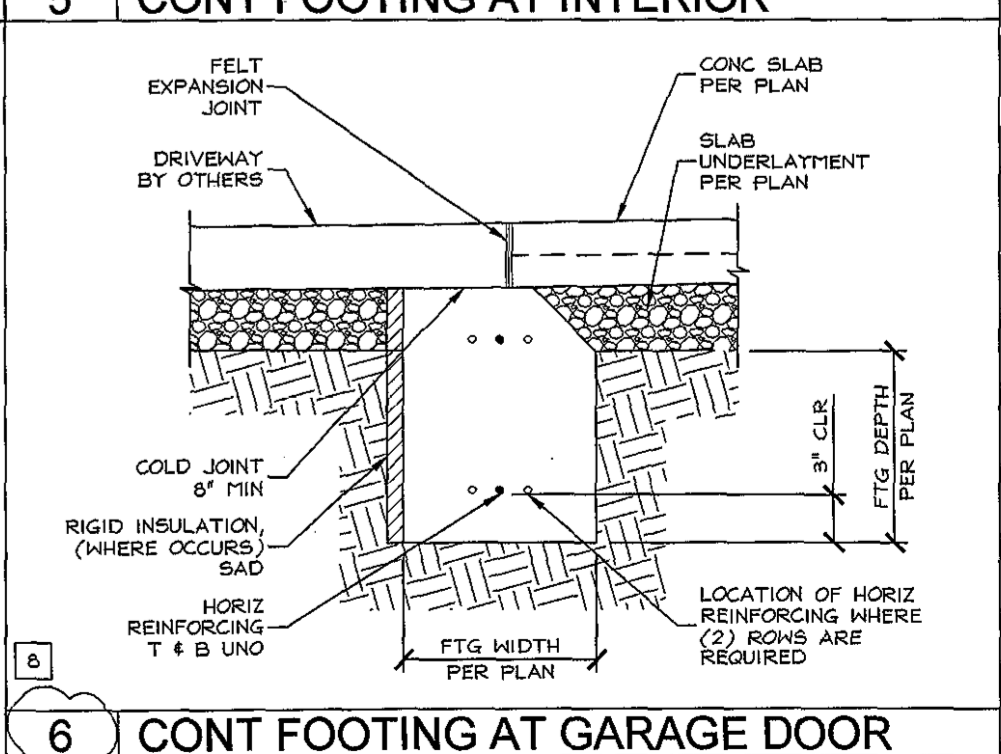
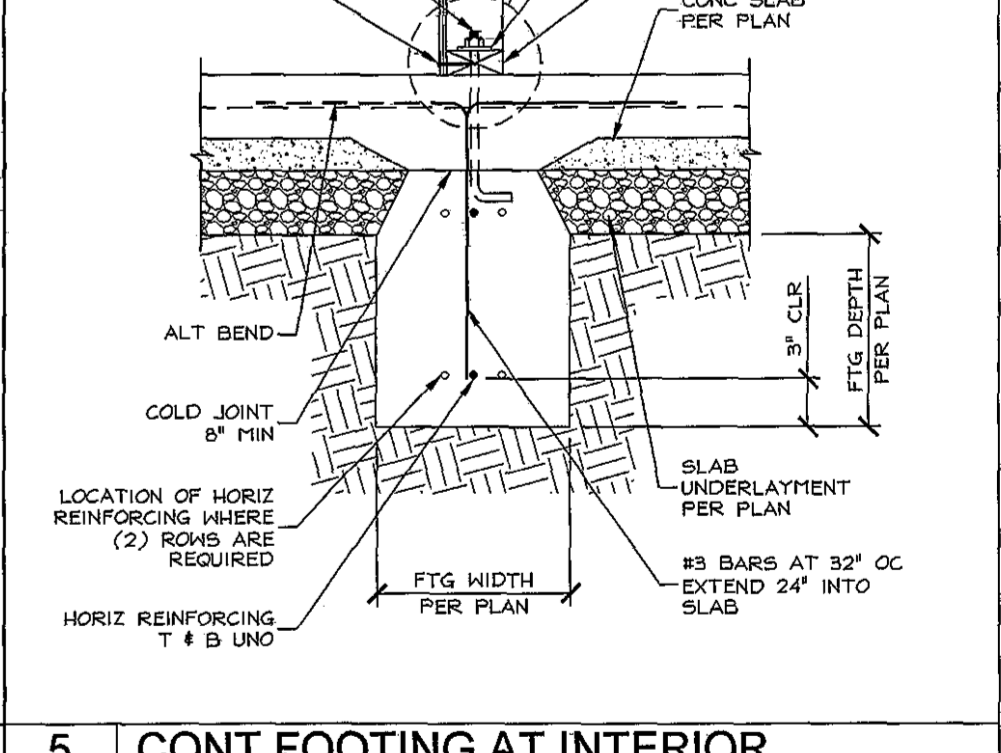
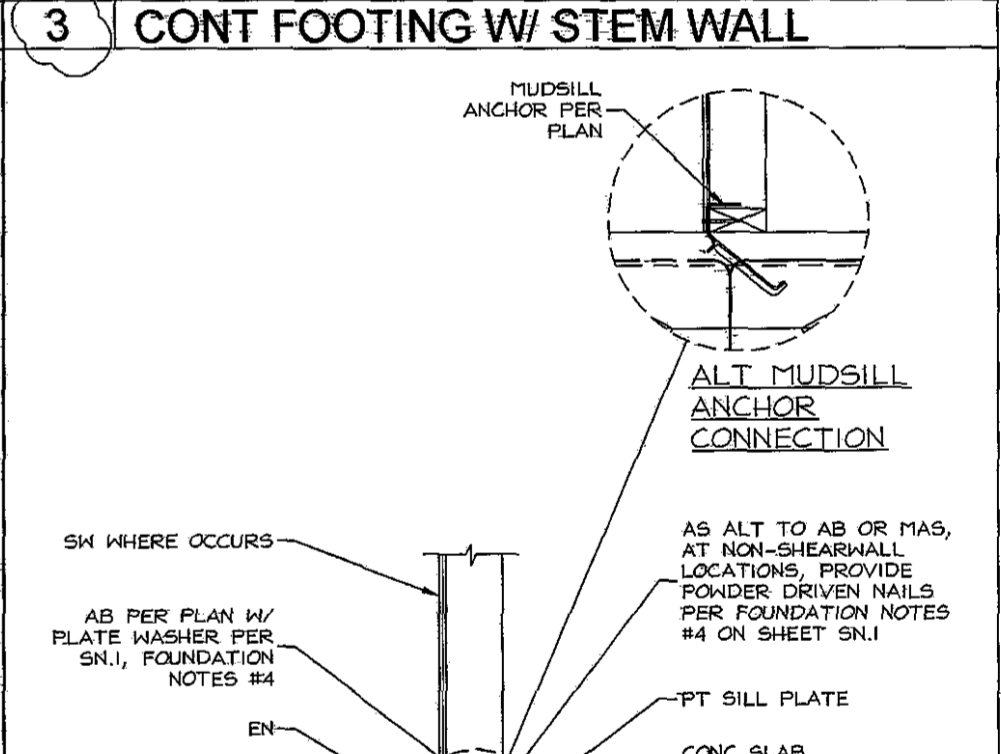
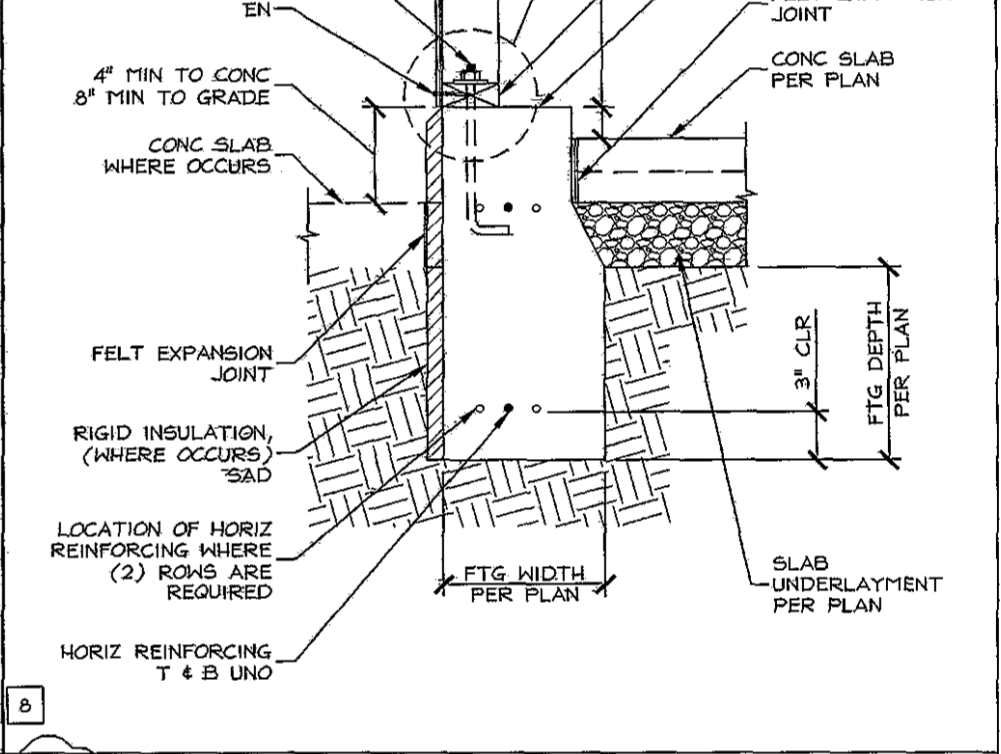
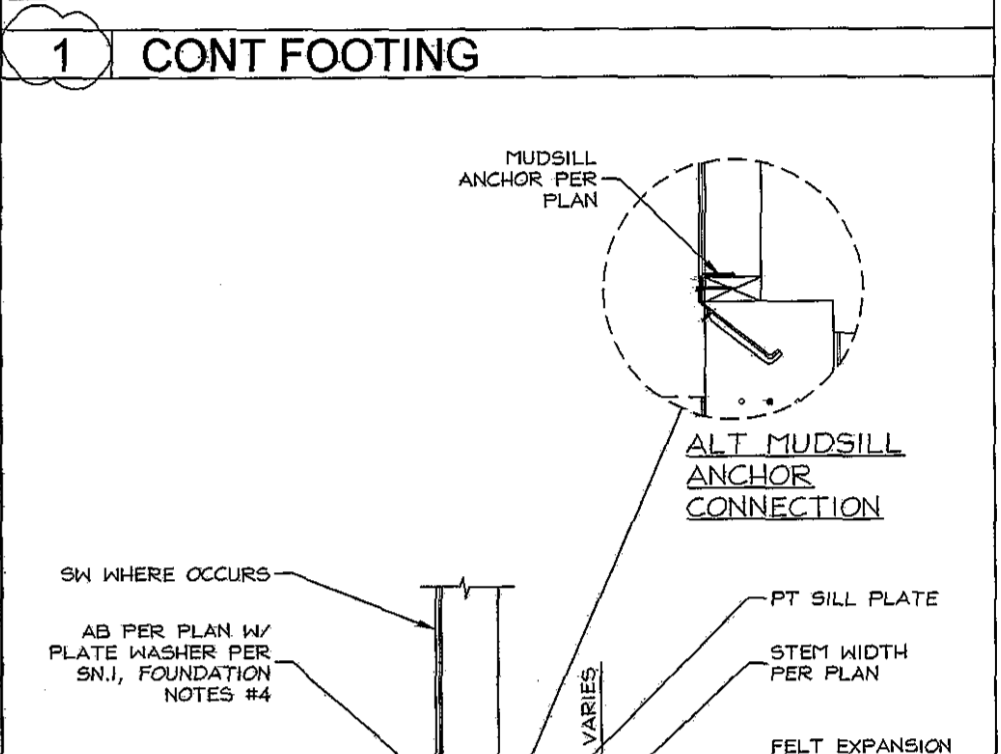
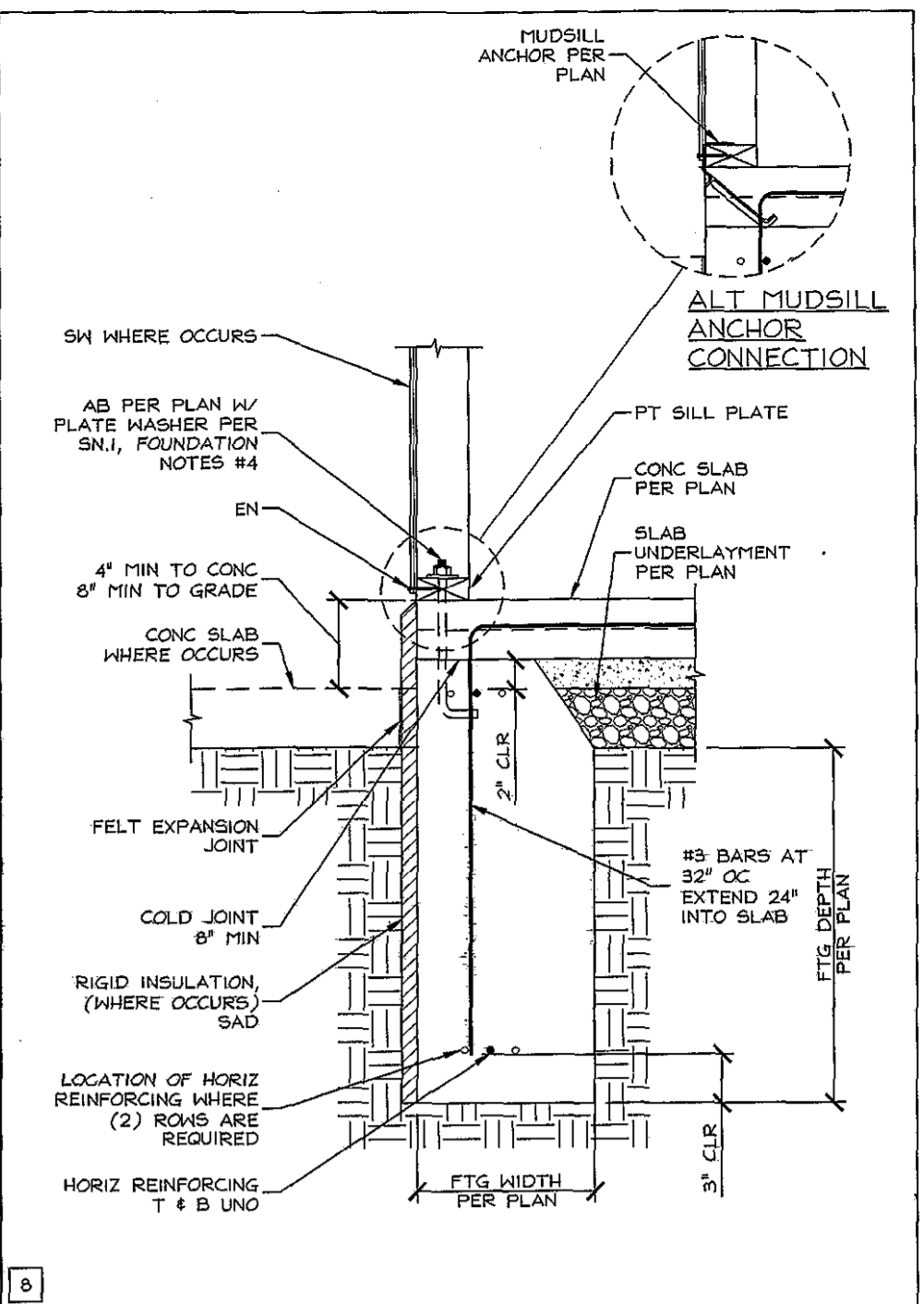
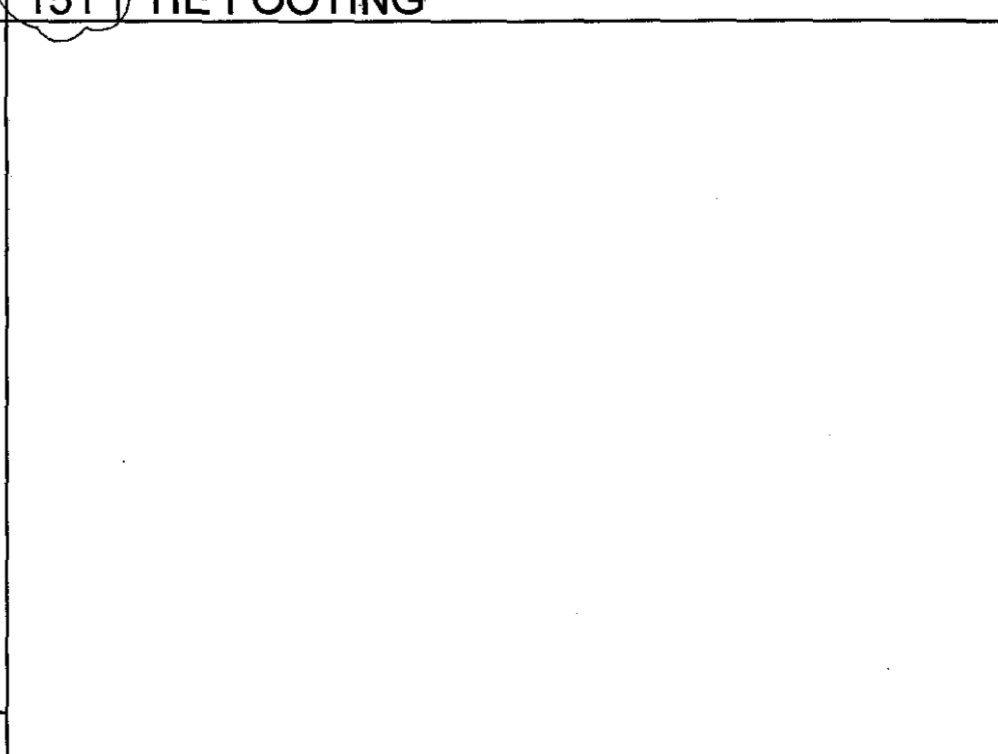
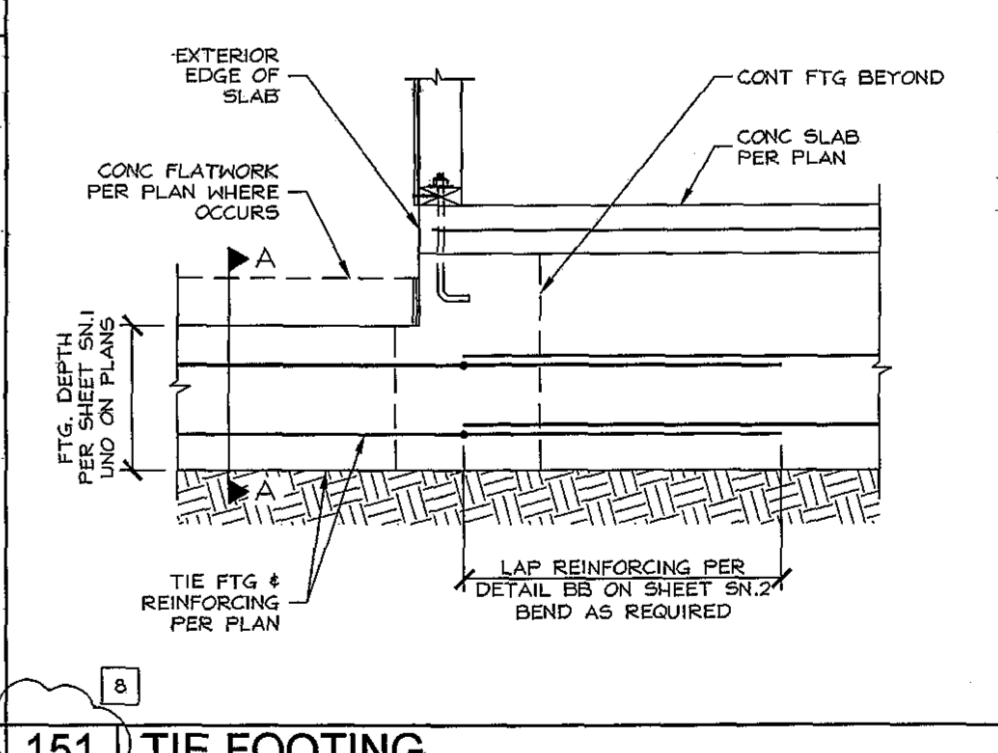
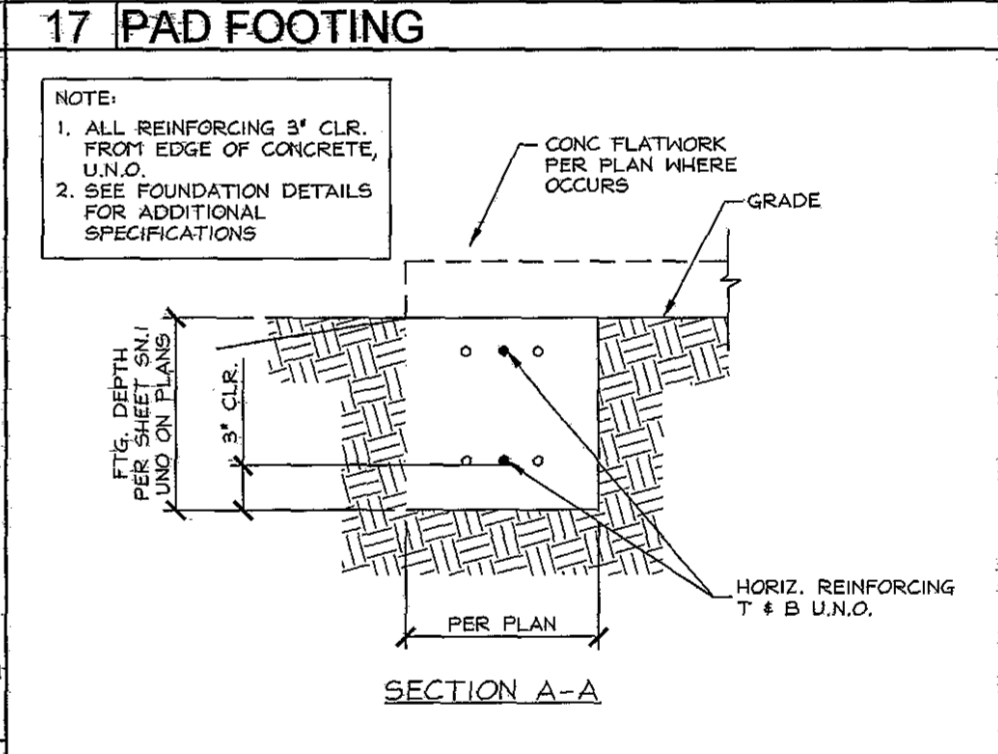
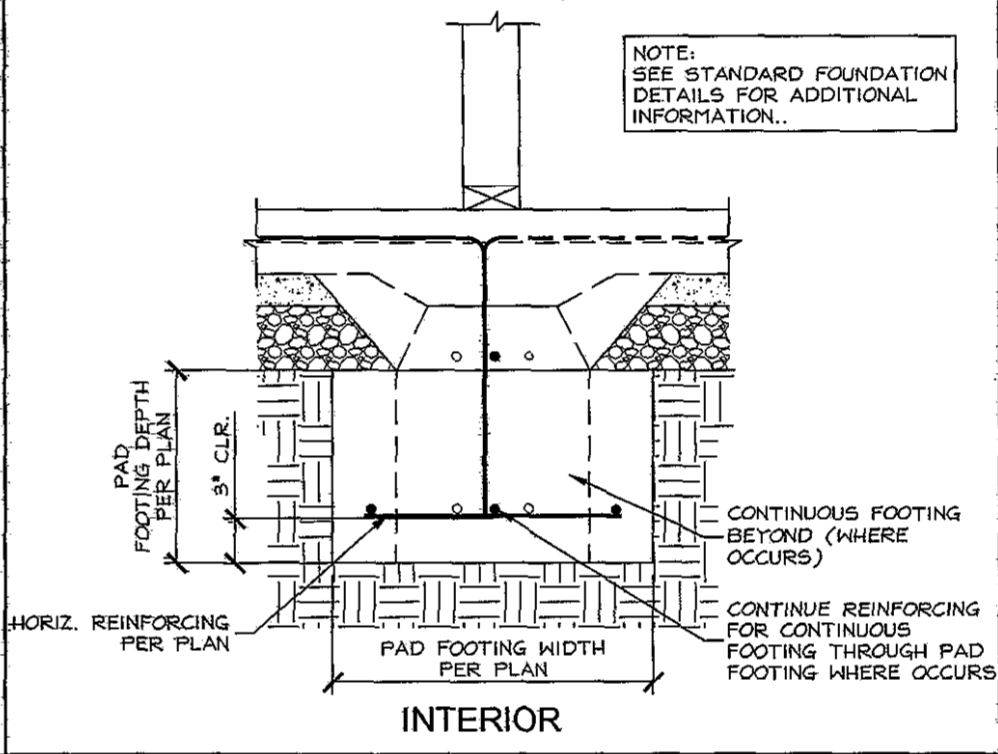
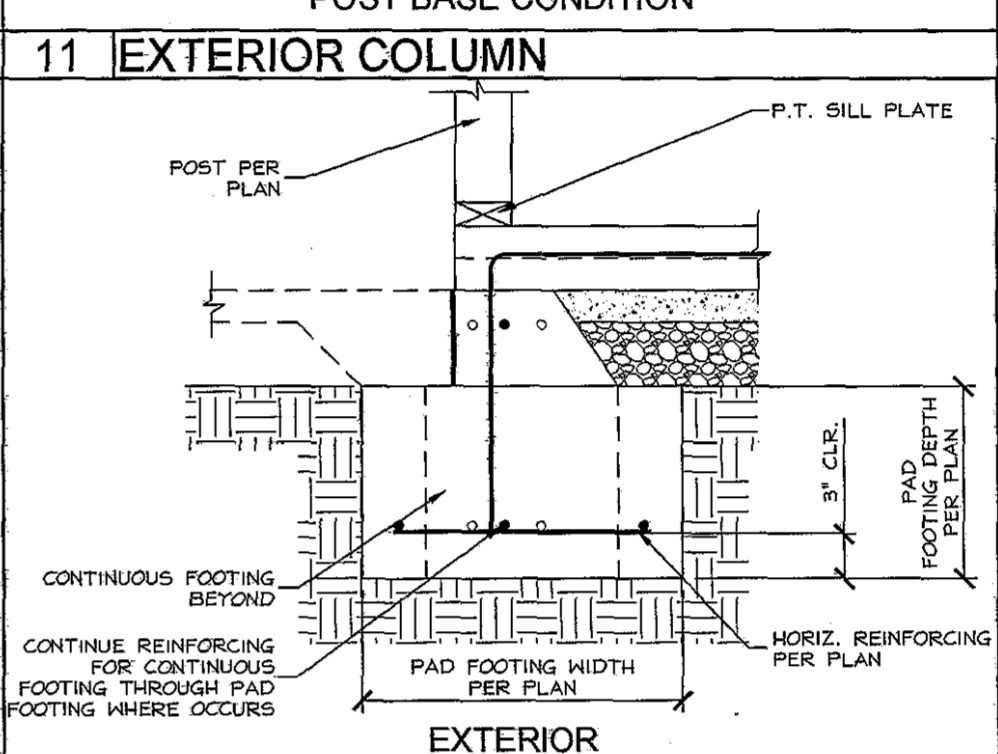
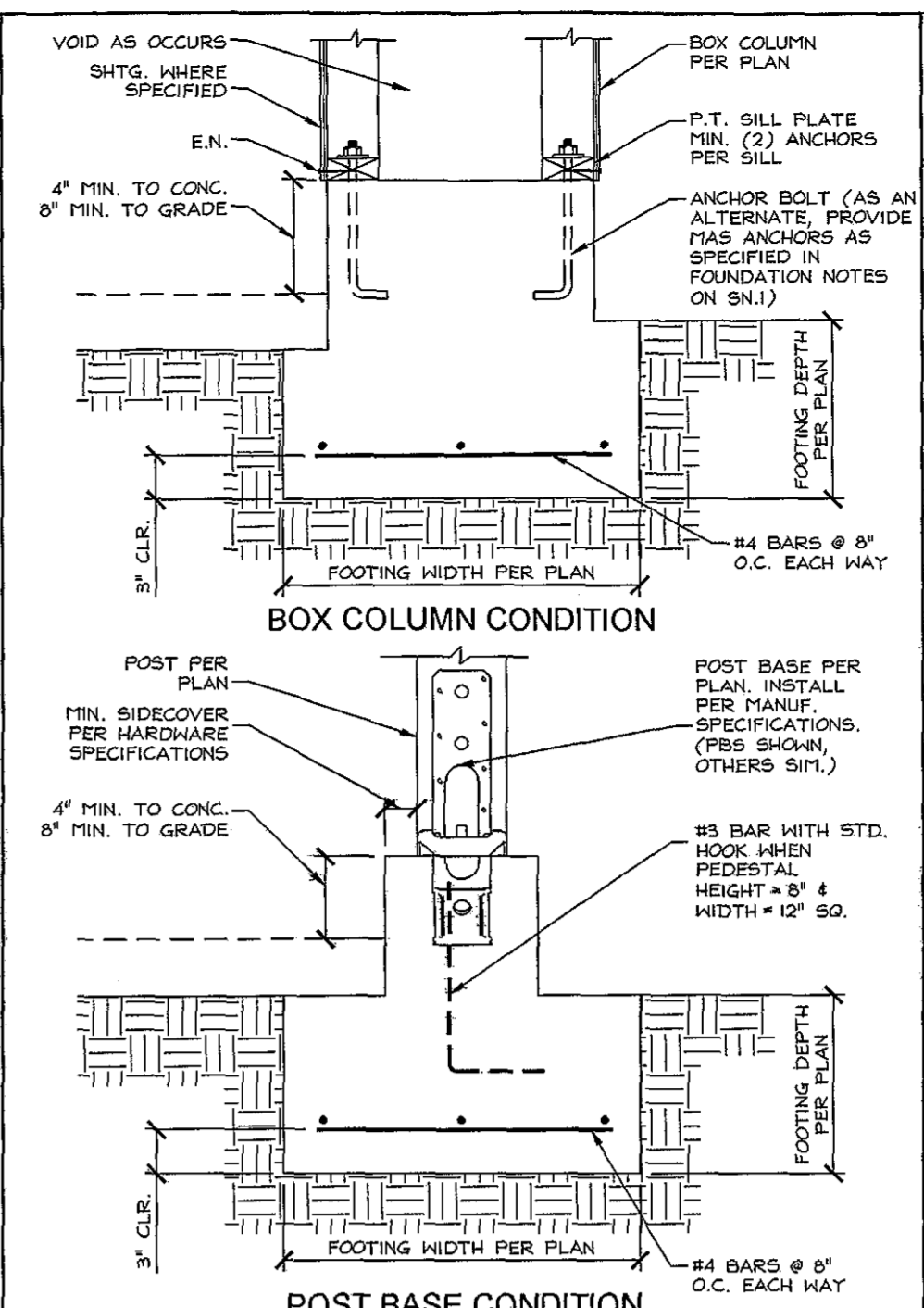
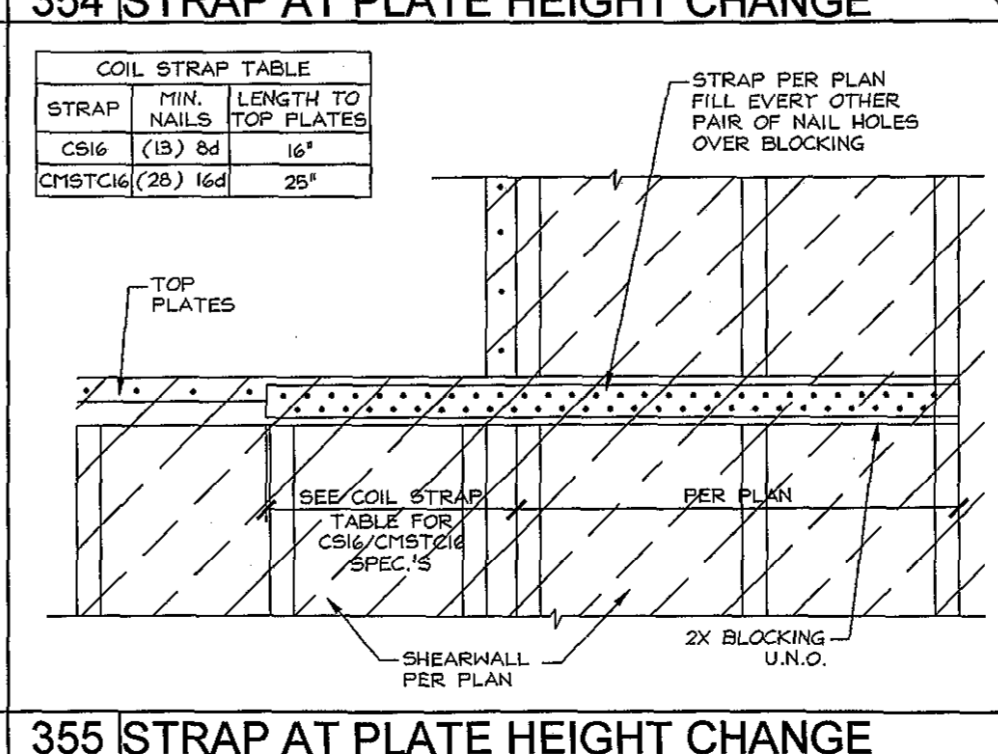
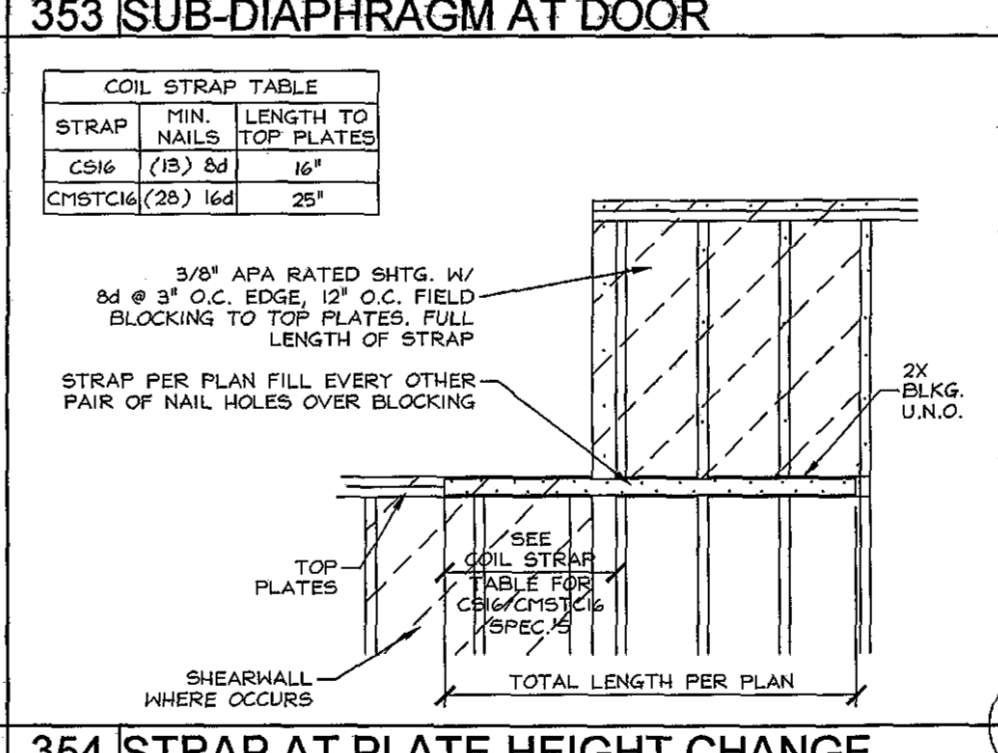
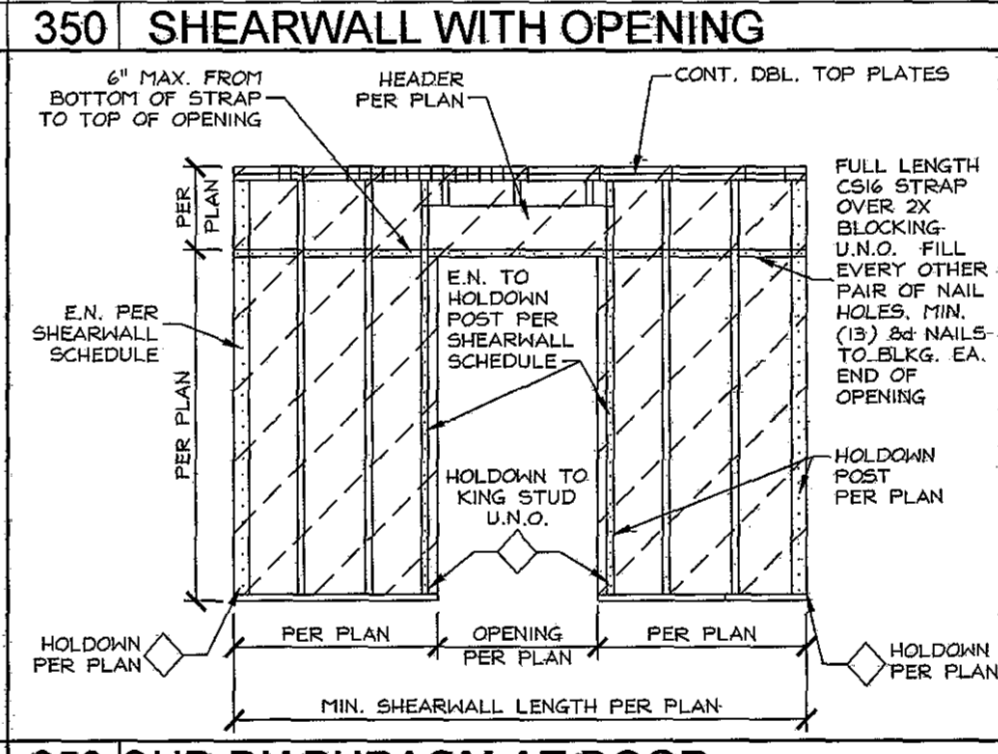
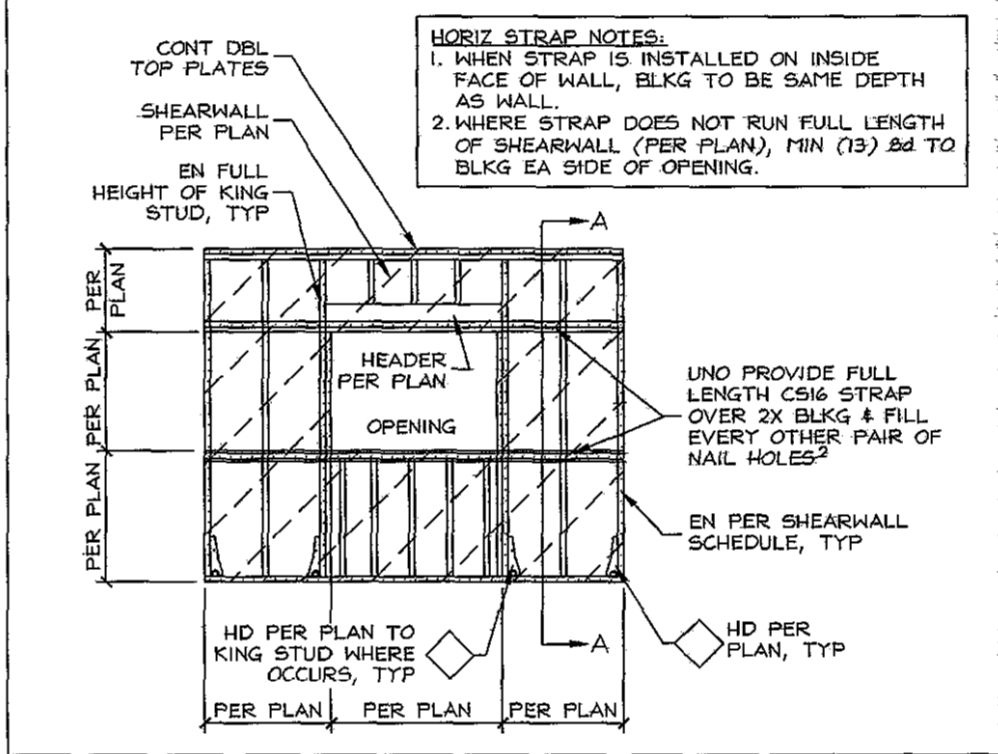
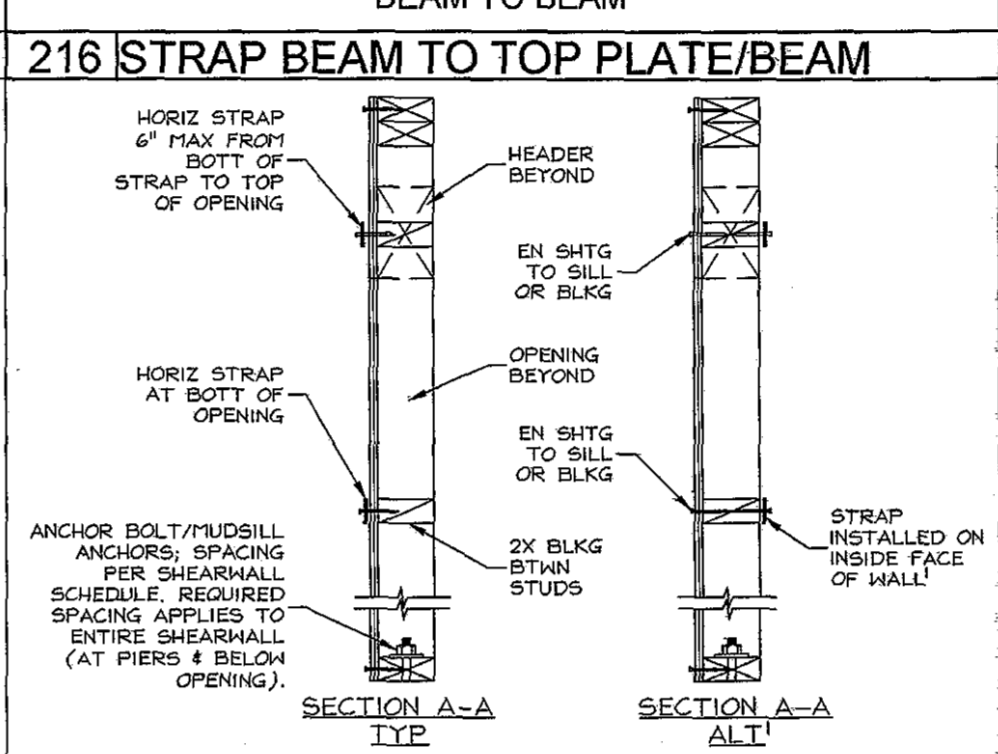
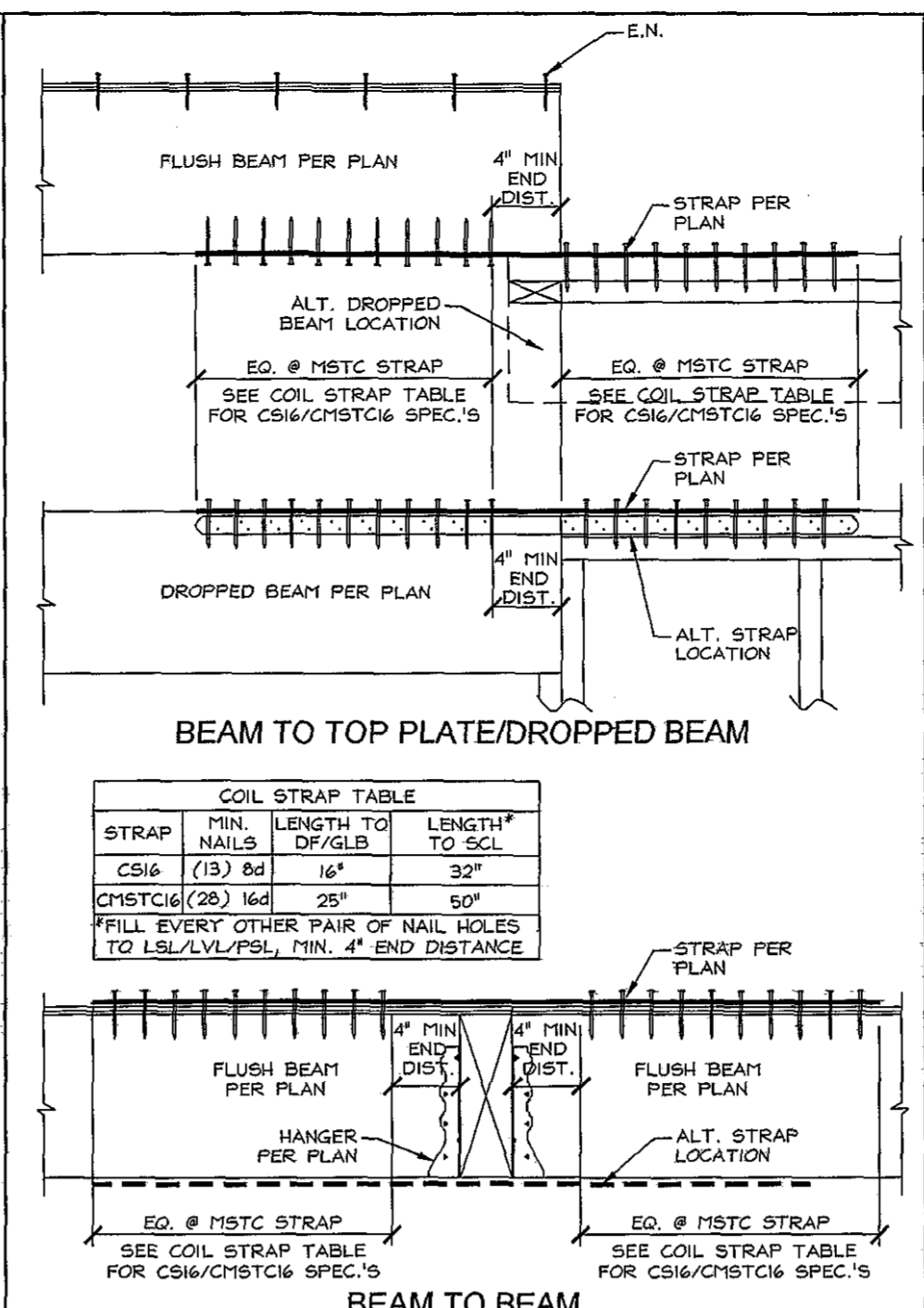
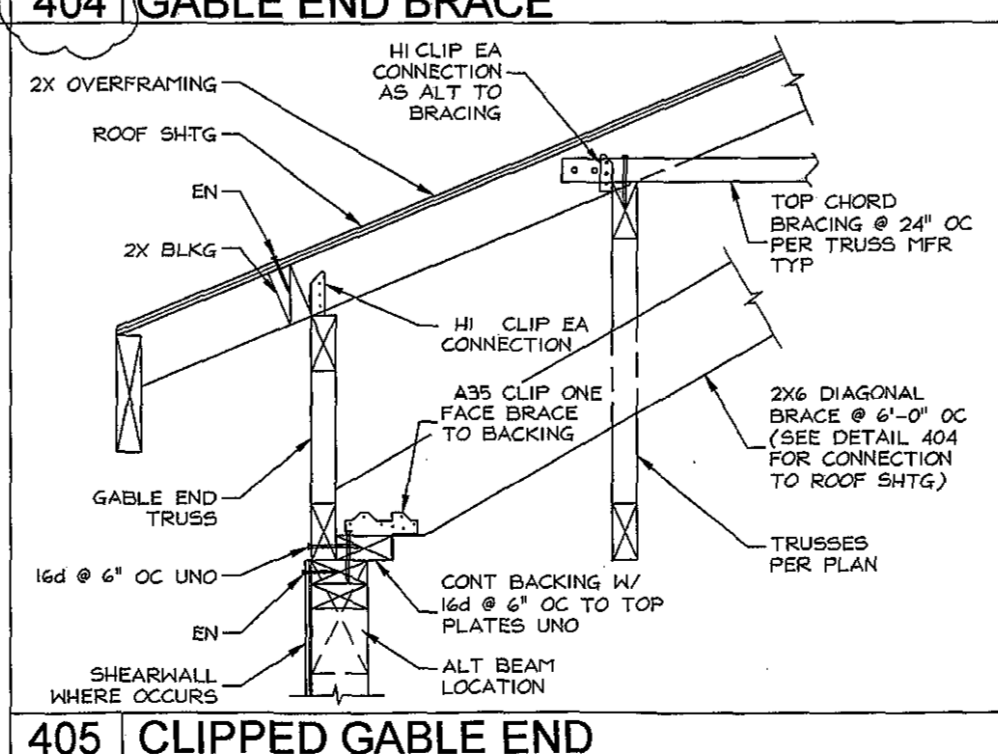
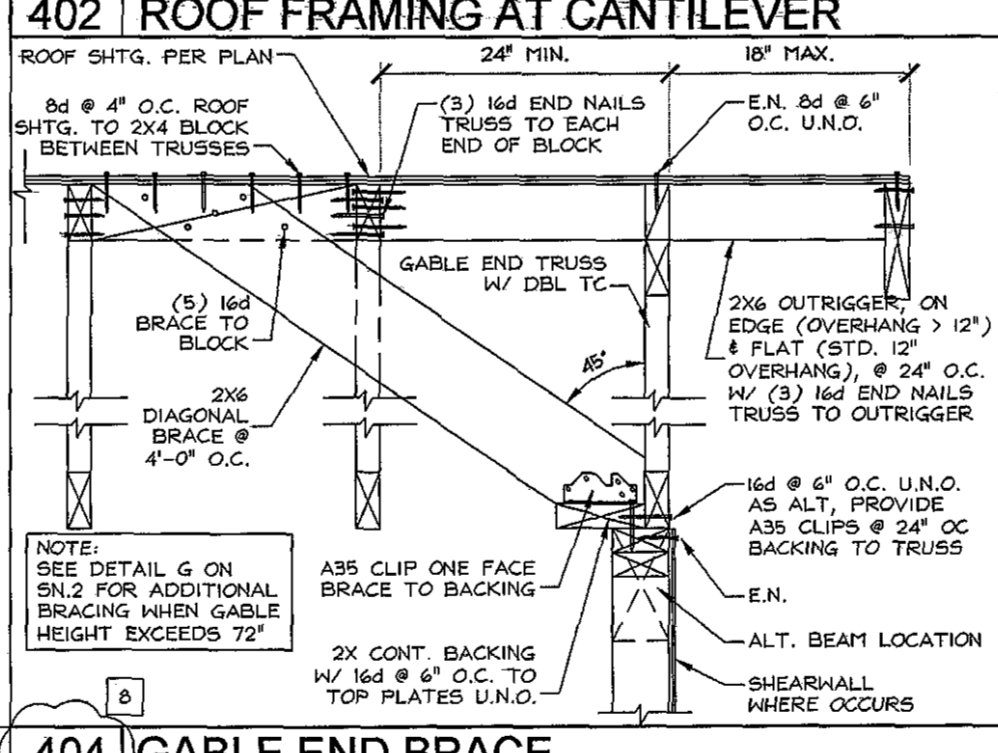
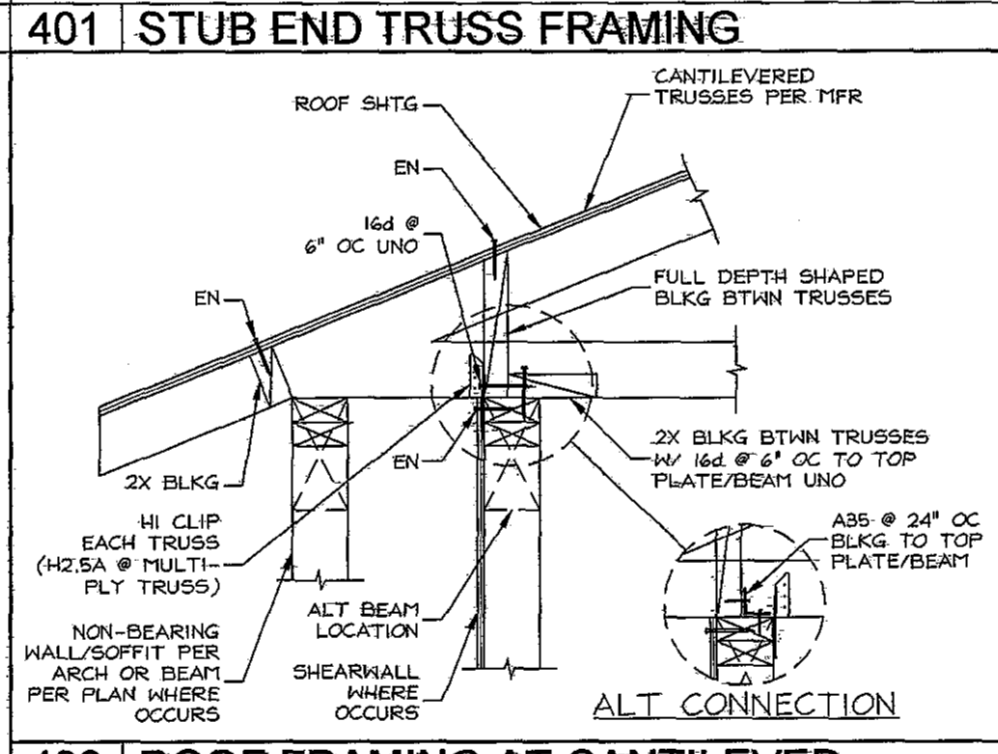
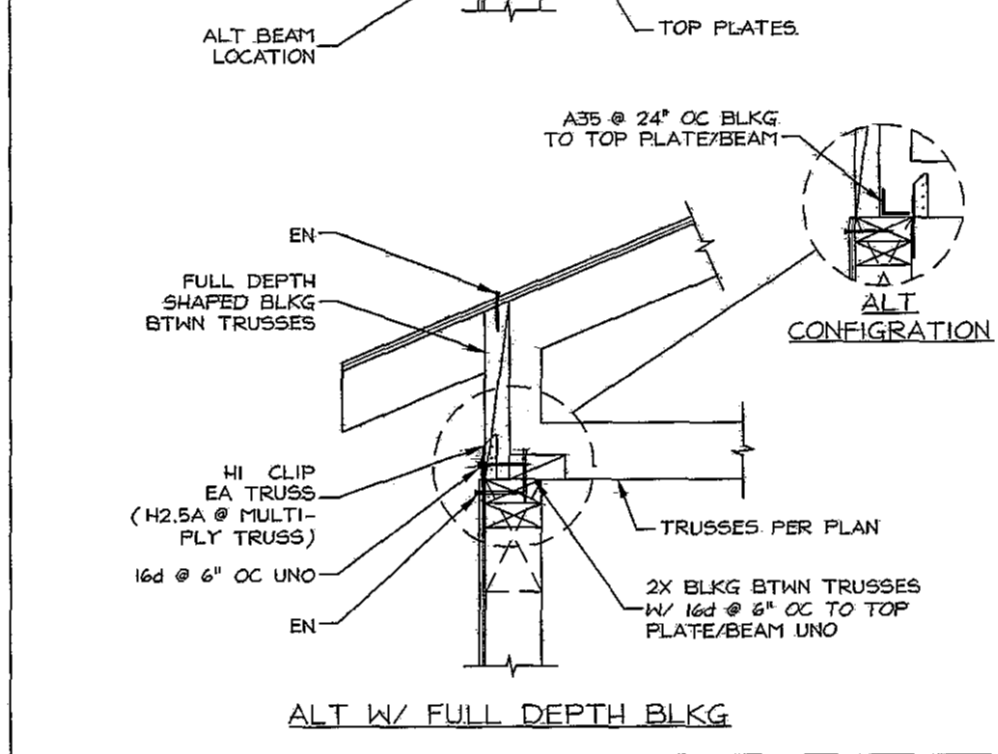
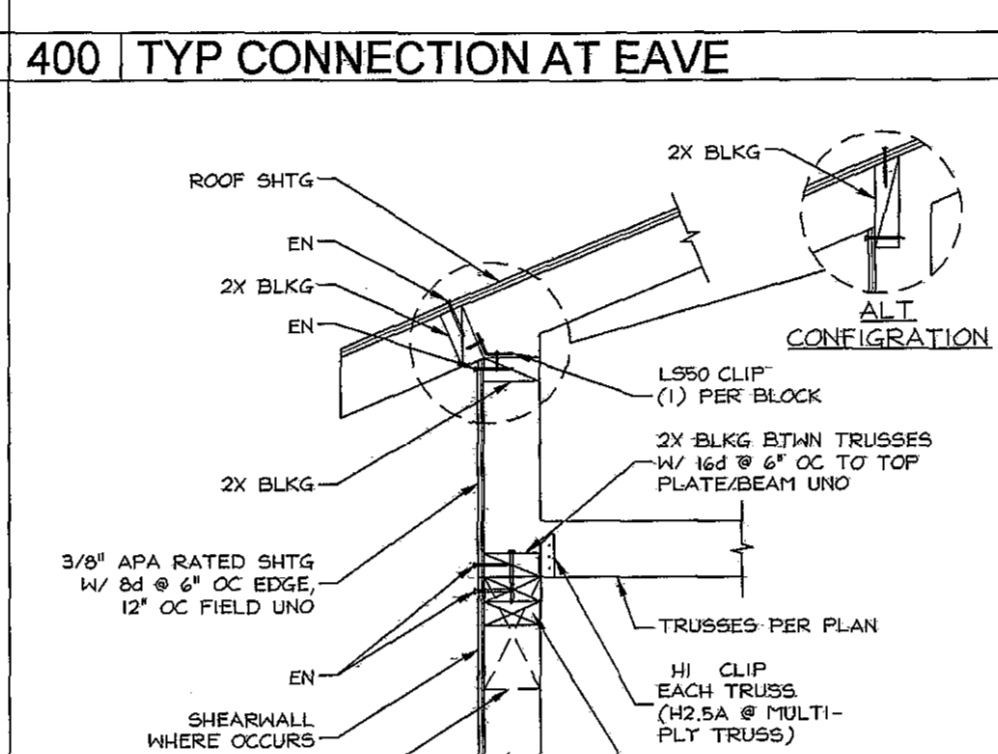
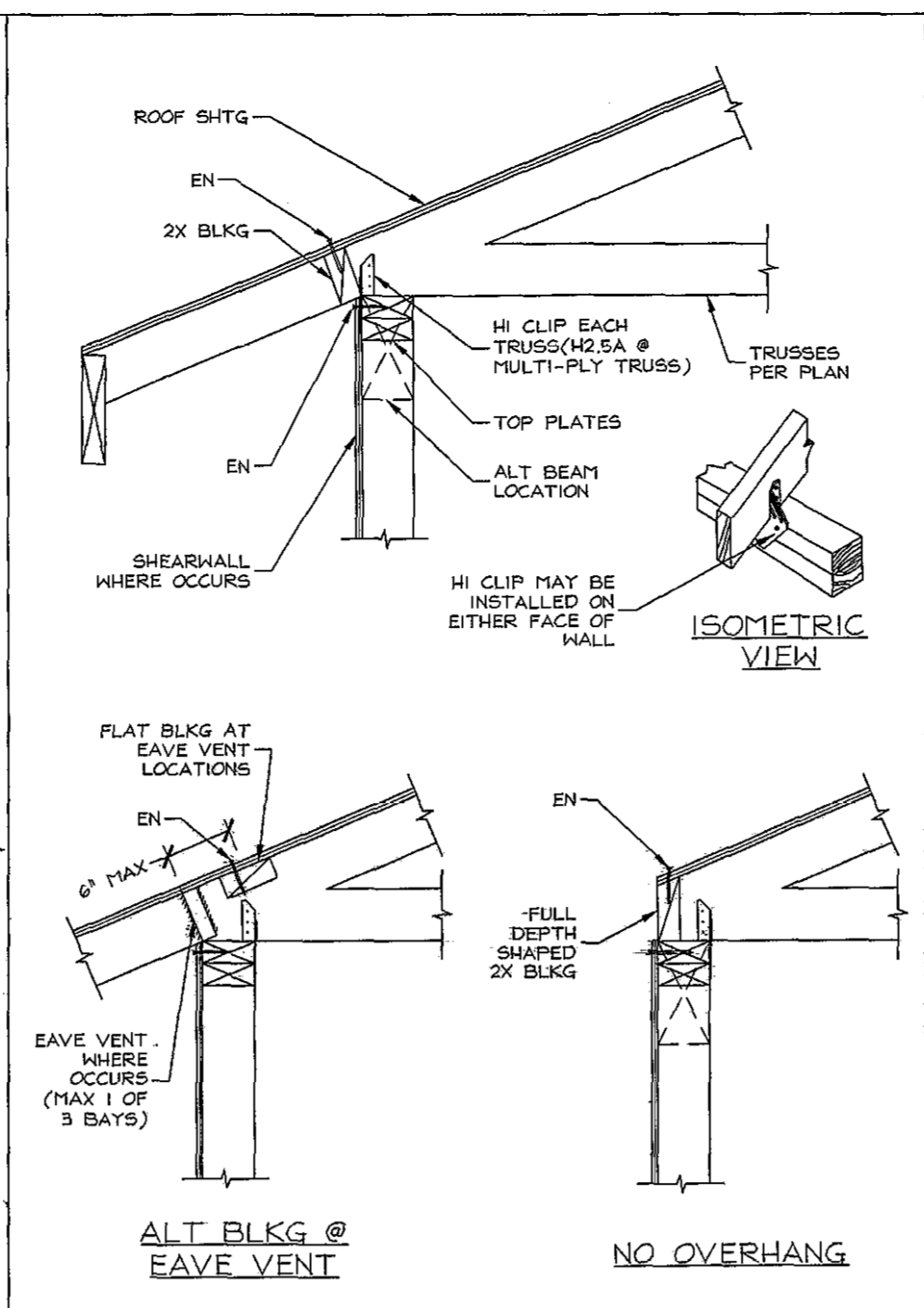
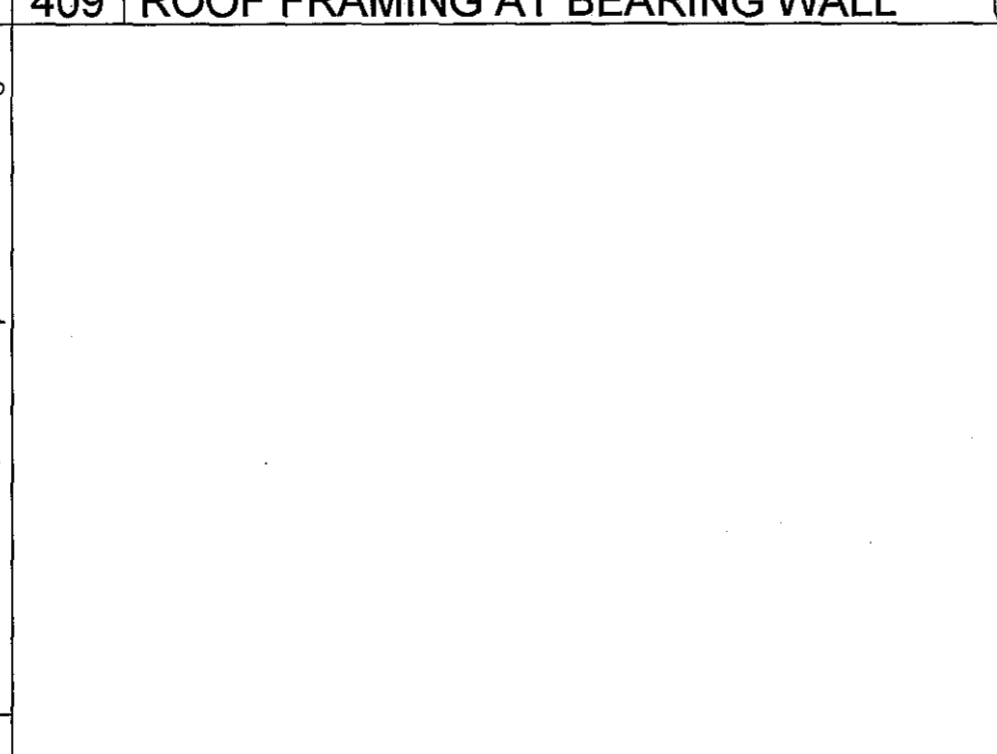
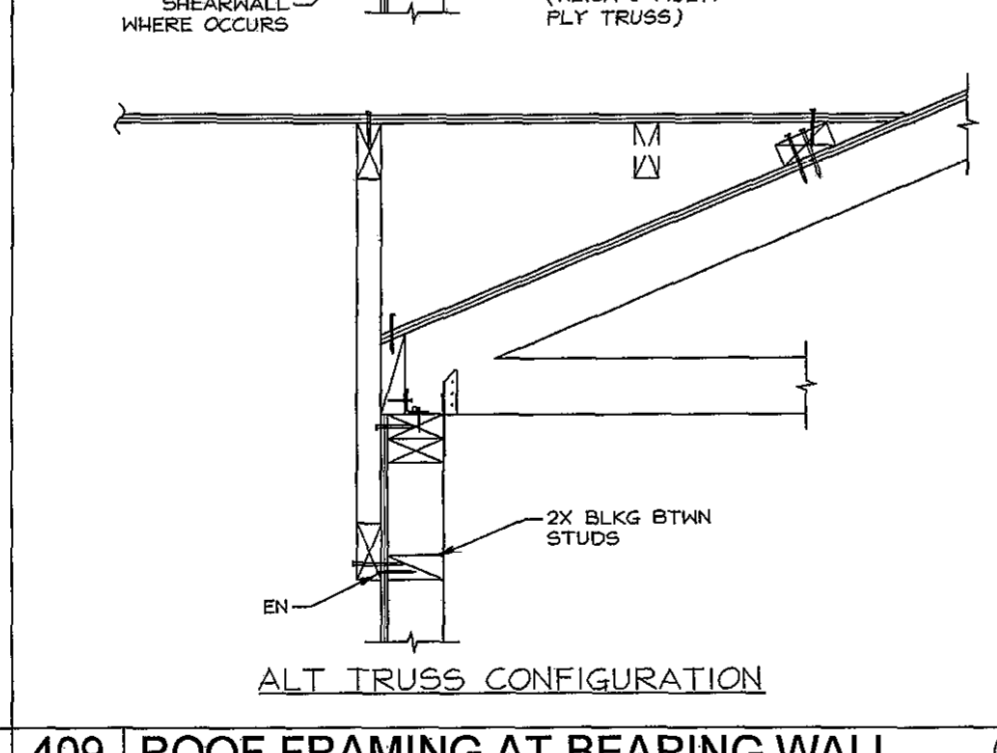
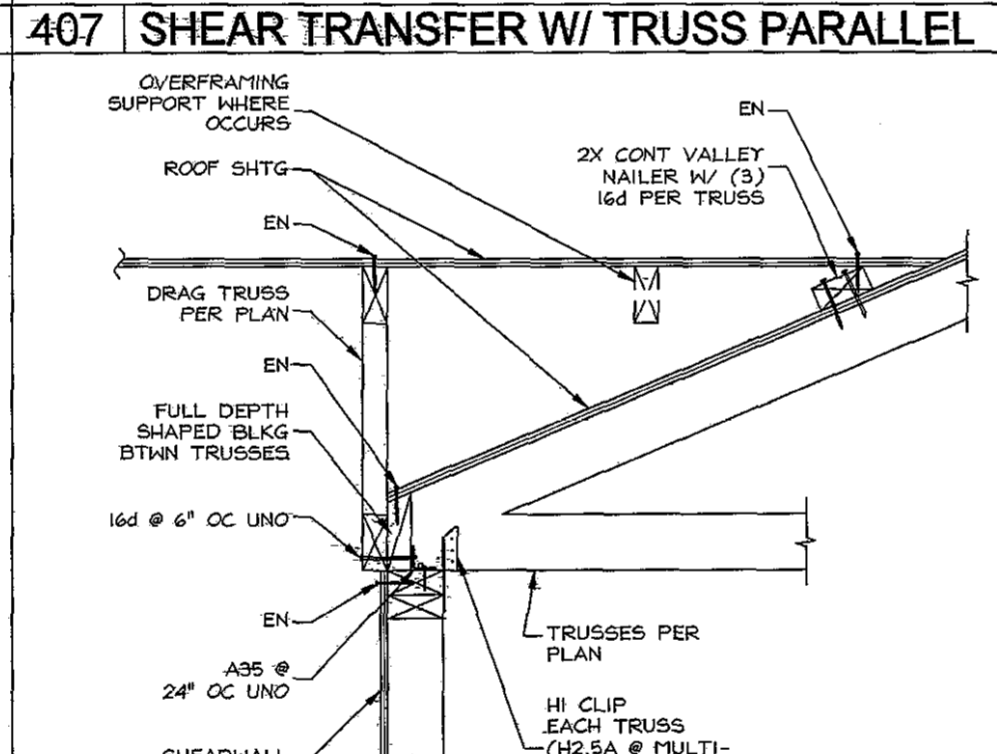
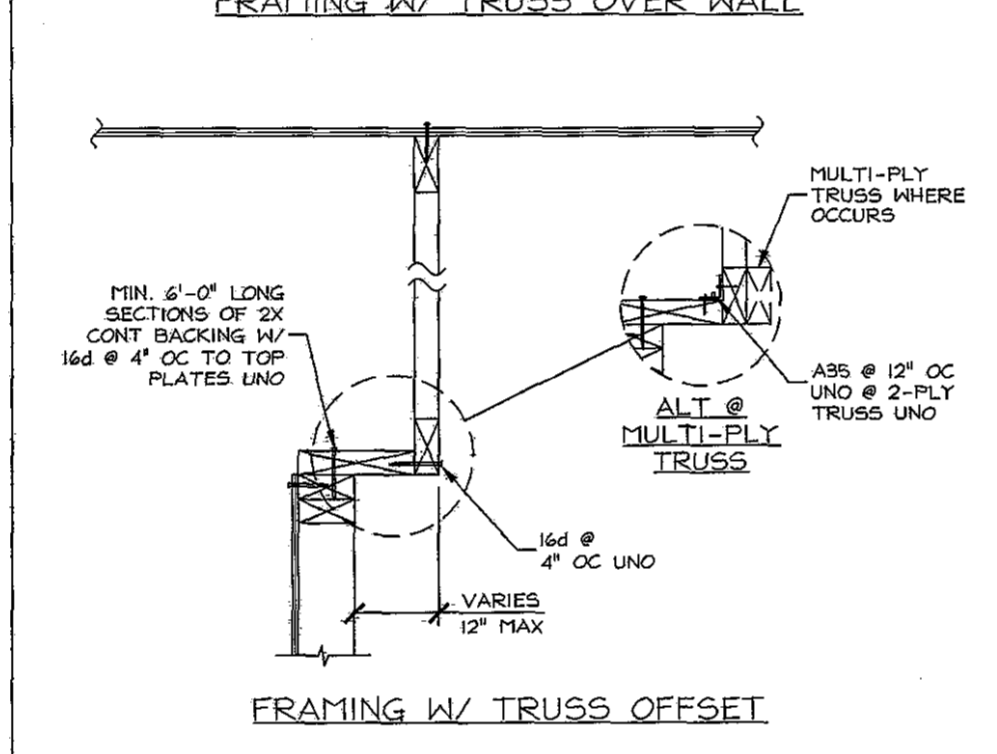
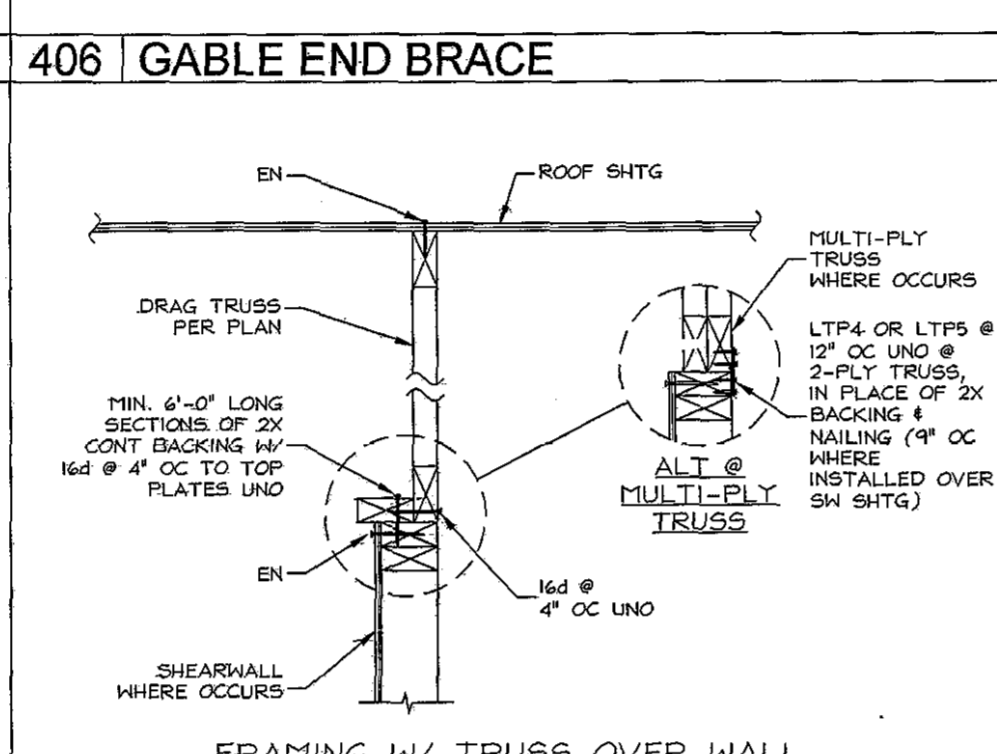
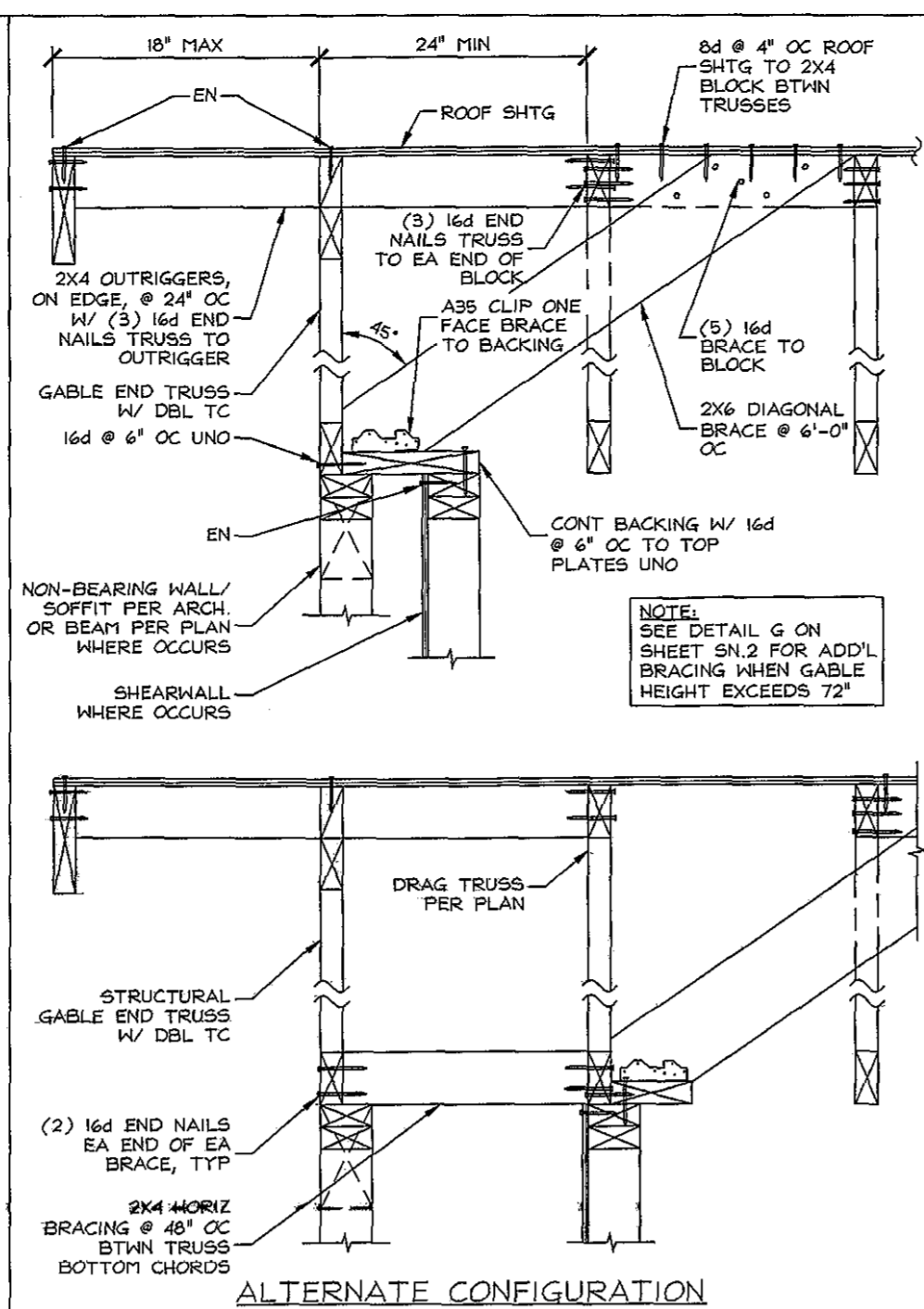
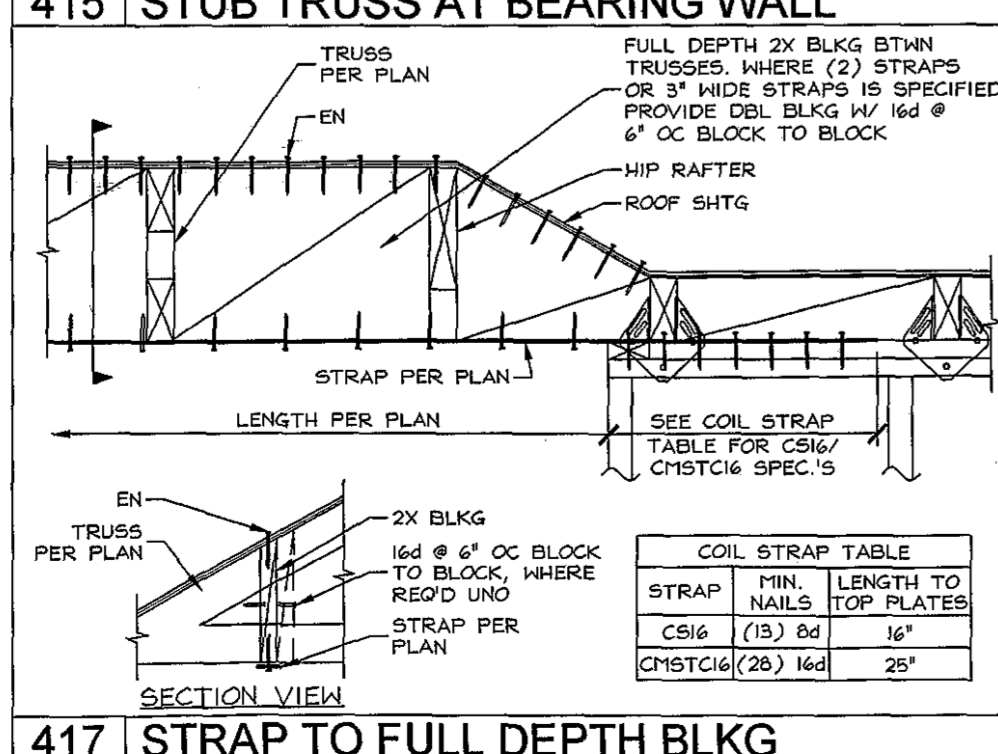
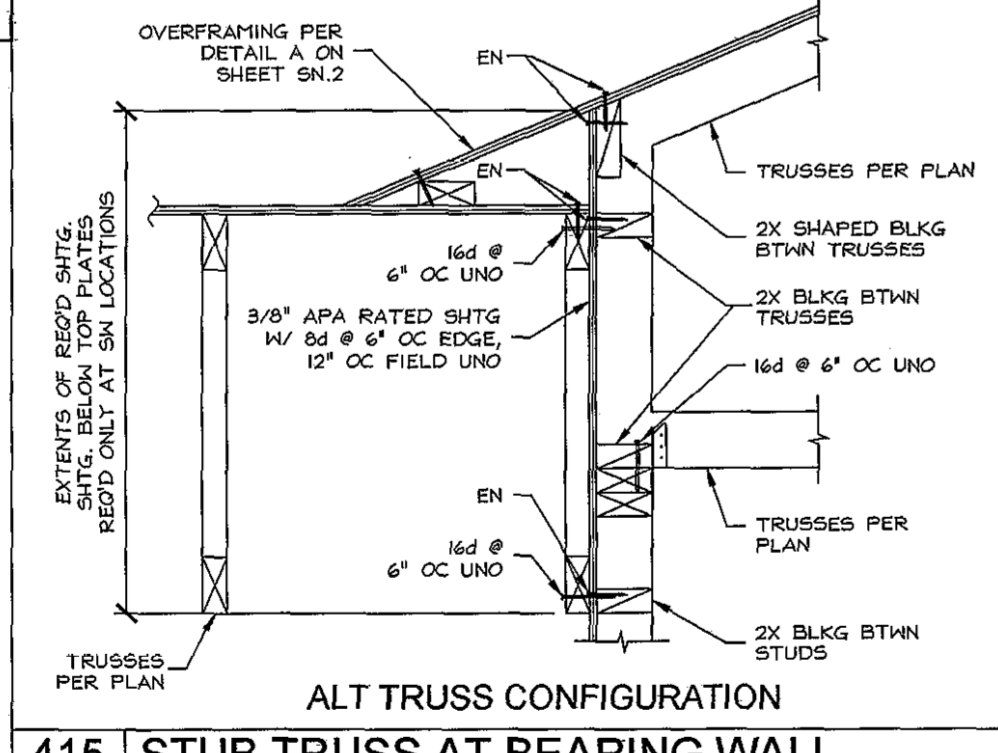
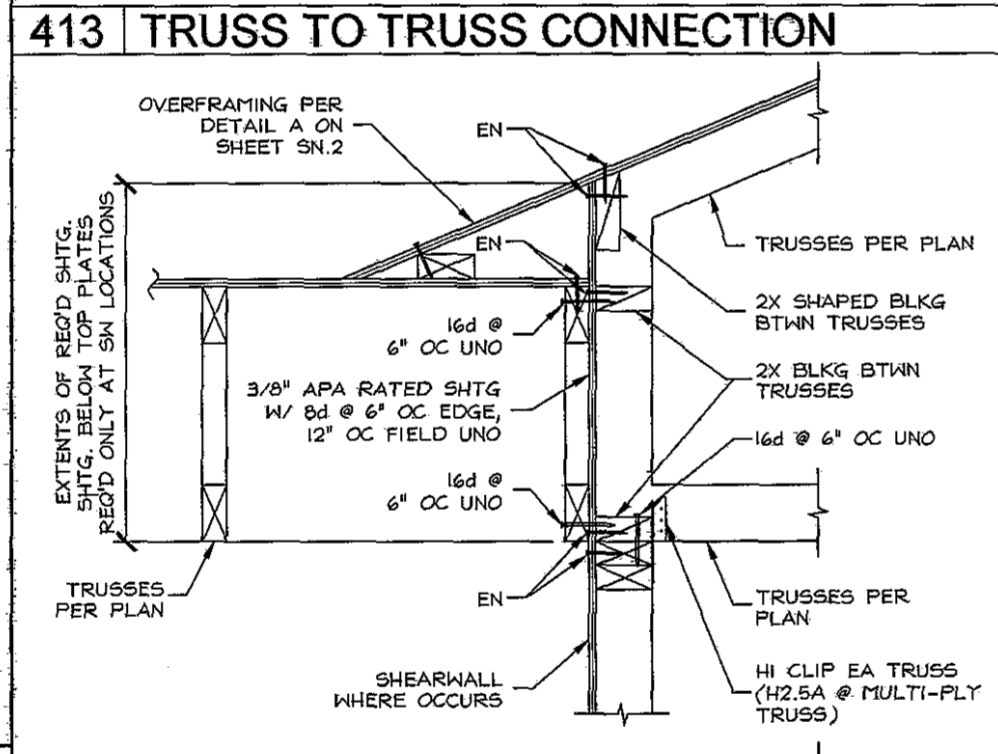
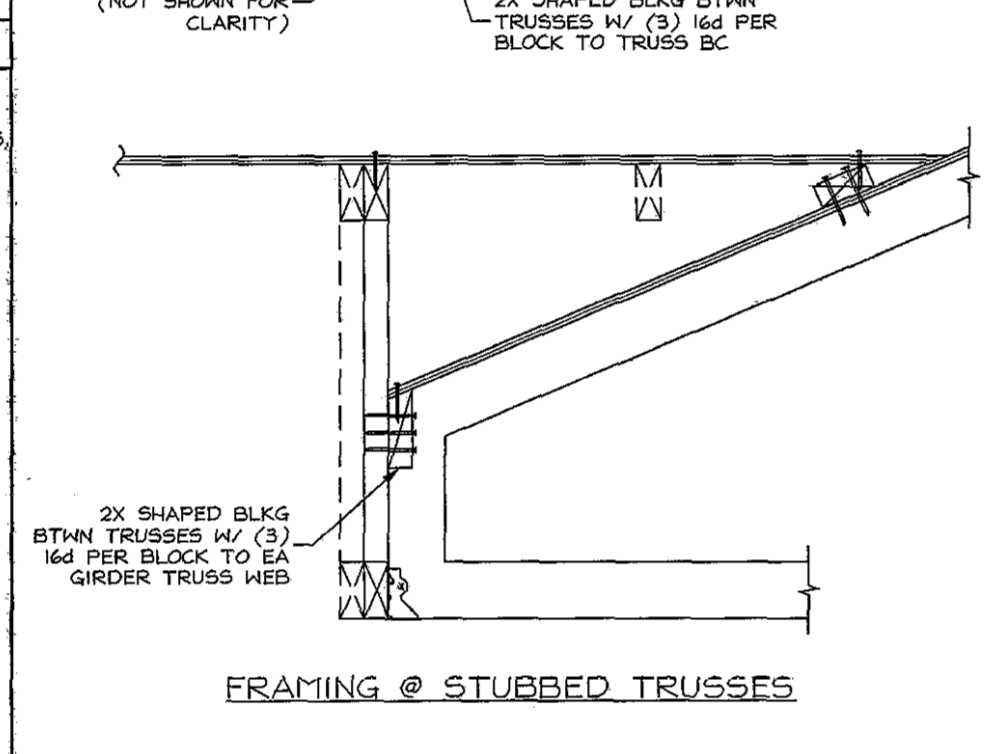
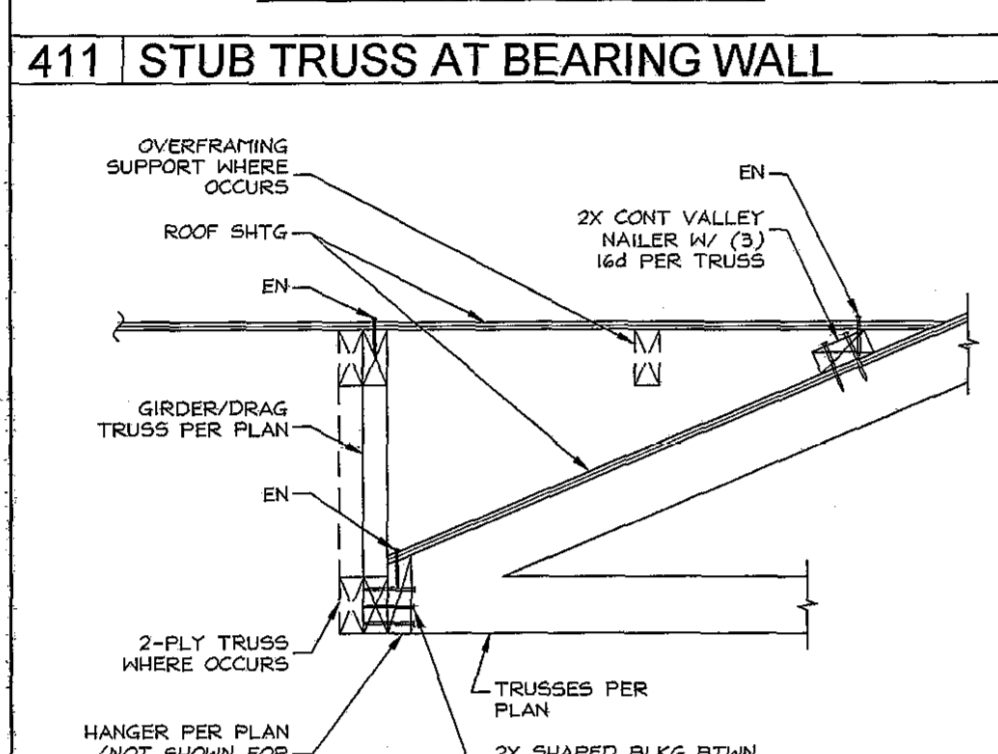
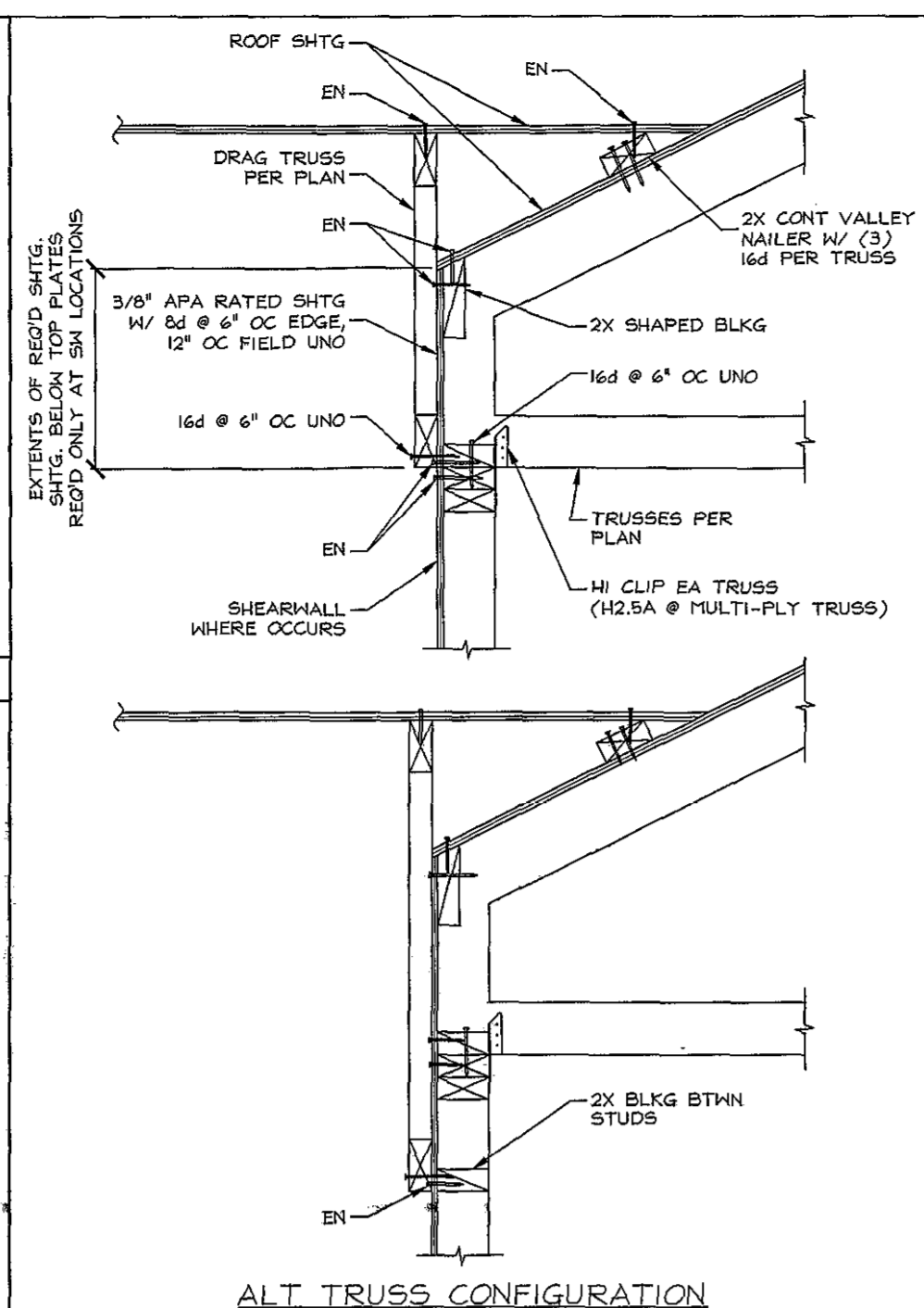
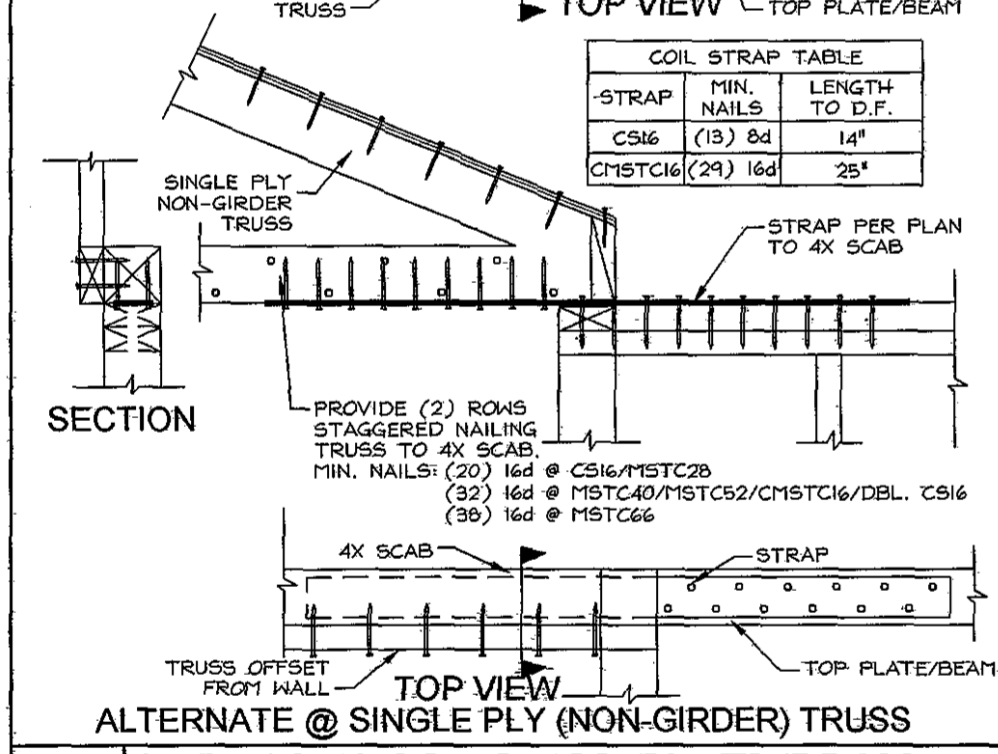
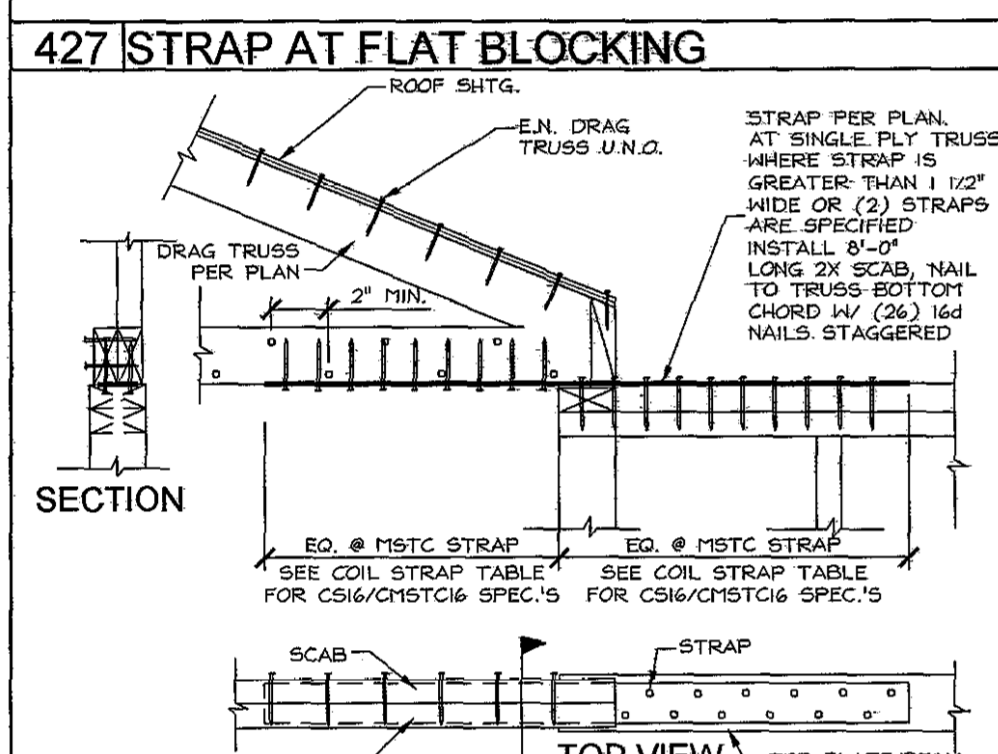
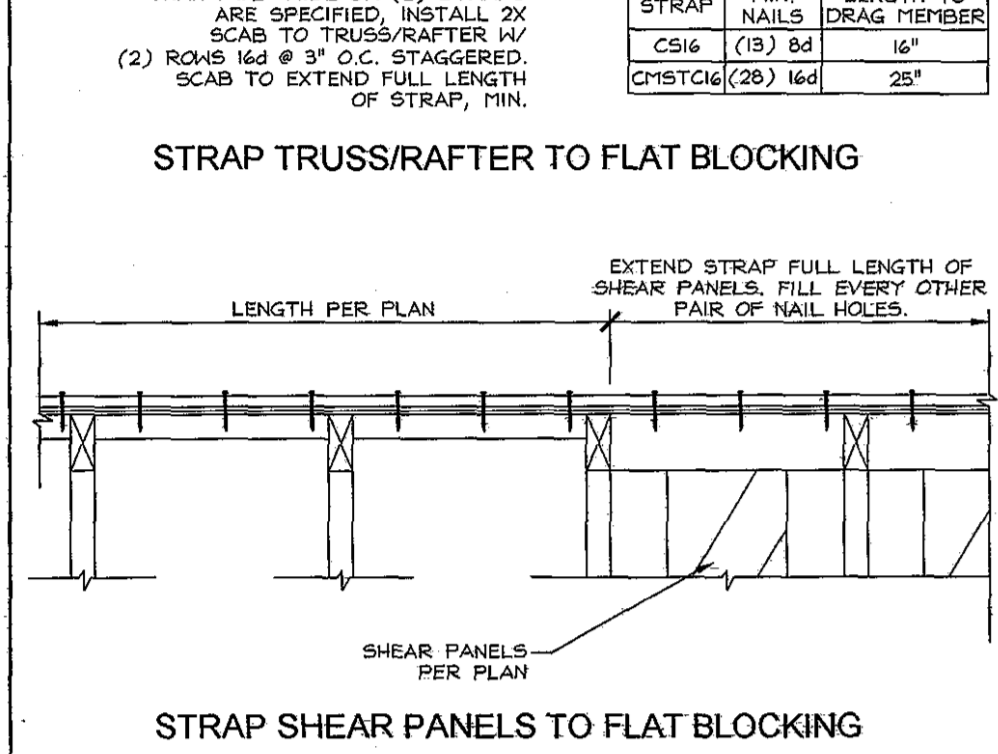
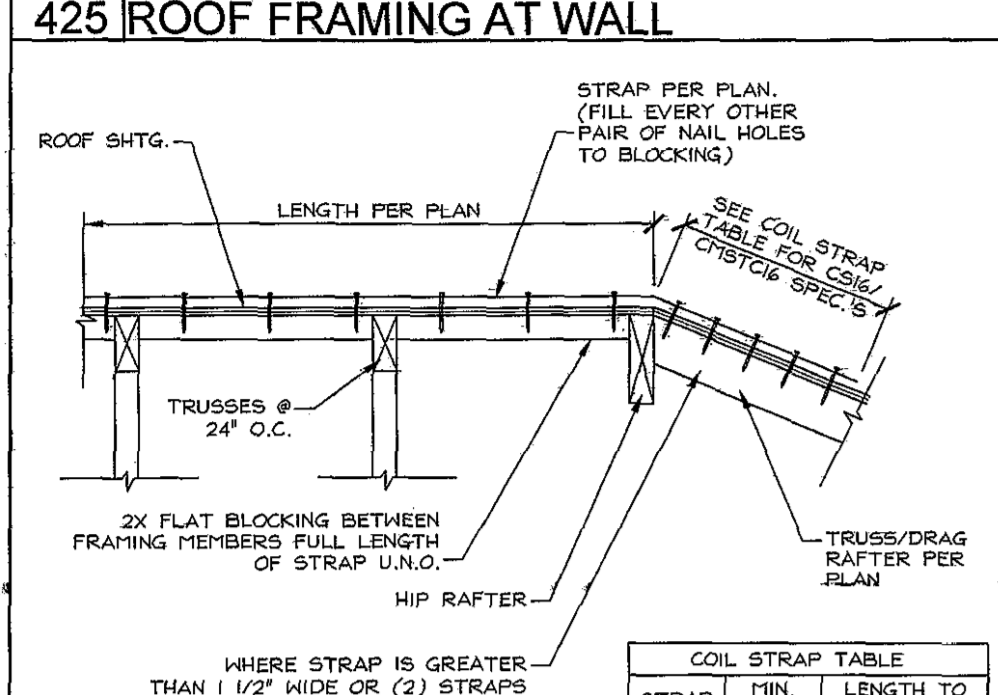
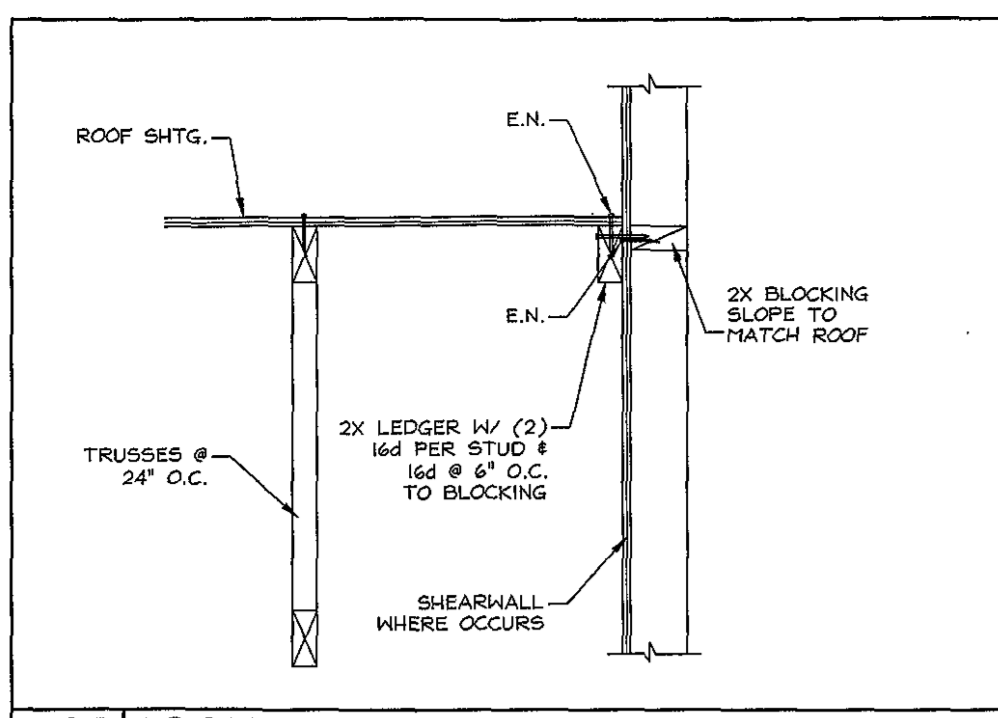
- COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED. SEE ENGINEER'S NOTE #4 ON THIS SHEET FOR NAILING PROPERTIES.
- REPRESENTS HARRIS & SLOAN CONSULTING GROUP, INC. NAILING REQUIREMENT, DOES NOT REPRESENT MIN CODE REQUIREMENT.

MASONRY NOTES

- ALL CONCRETE MASONRY UNIT BLOCKS SHALL CONFORM TO ASTM C90, LATEST EDITION. HOLLOW CMU UNITS SHALL CONFORM TO 2. ALL CONCRETE MASONRY UNIT BLOCKS SHALL BE GRADE N NORMAL-HEIGHT UNITS, AND SHALL HAVE A DESIGN COMPRESSIVE STRENGTH OF 1800 PSI.
- MORTAR SHALL BE PROPORTIONED AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF ASTM C270 FOR TYPE M MORTAR. THE MINIMUM COMPRESSIVE STRENGTH OF MORTAR SHALL BE 1800 PSI. THE USE OF FIRE CLAY, ROCK DUST, SIFT AND OTHER DELETERIOUS MATERIALS IS PROHIBITED IN MORTAR.
- GROUT SHALL HAVE A MINIMUM STRENGTH OF 2000 PSI. CEMENT CONTENT OF THE GROUT SHALL BE INCREASED, AS NECESSARY TO ACHIEVE THE SPECIFIED MASONRY ASSEMBLY STRENGTH (Fm) AND ADEQUATE WORKABILITY. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150. GROUT COMPRESSIVE STRENGTH, WHEN TESTED PER IBC STANDARD NO 21-18 SHALL BE EQUAL TO OR EXCEED THE CONCRETE MASONRY UNIT STRENGTH. PSI. FINE GROUT SHALL CONFORM TO ASTM C476, EXCEPT THAT NATURAL SAND, CONFORMING TO ASTM C33 SHALL BE USED AND LIME SHALL NOT BE USED. ALL GROUT ADDITIVES SHALL RECEIVE THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER AND THE BUILDING OFFICIAL. SLUMP SHALL BE 8 TO 11 INCHES.
- THE USE OF ADVERTISEMENTS SHALL NOT BE PERMITTED IN MORTAR OR GROUT UNLESS SUSTAINING DATA HAS BEEN SUBMITTED TO AND APPROVED BY THE ENGINEER.
- AGGREGATES: SAND FOR MORTAR SHALL CONFORM TO ASTM C144 EXCEPT THAT NOT LESS THAN 3% OF THE SAND SHALL PASS THE NUMBER 100 SIEVE. SAND AND PEA GRAVEL FOR GROUT SHALL CONFORM TO ASTM C434, TABLE 1, COARSE AGGREGATE, EXCEPT WHEN OTHER GRADINGS ARE SPECIFICALLY APPROVED BY THE ENGINEER. ALL AGGREGATE FOR FORTAR AND GROUT SHALL BE SHAP: CLEAN AND WELL GRADED AND FREE OF INJURIOUS AMOUNTS OF LOST, LUMPS, ALKALI, SULFATE COATINGS AND ORGANIC MATTER.
- CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150. IF PLASTIC CEMENT IS USED, IT SHALL HAVE LESS THAN 1% OF THE TOTAL CEMENT VOLUME IN APPROVED TYPES OF PLASTICIZING AGENTS AND SHALL CONFORM TO ALL REQUIREMENTS OF THE PORTLAND CEMENT ASTM C150 AND ONLY 1/4" PART LINE MAY BE USED IN THE PORTLAND. MISCELLANEOUS ITEMS, SUCH AS ROUGH HARDWARE, ANCHORS, BOLTS, TIES, ETC., REQUIRED FOR ITEMS TO BE ANCHORED TO OR EMBEDDED IN CONSTRUCTION SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AND INSTALLED BY THE MASONRY CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- WATER USED FOR MORTAR AND GROUT SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNTS OF ACIDS, SALTS, ALKALI, AND ORGANIC MATERIALS, AND SHALL COME FROM A DOMESTIC SUPPLY.
- THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF THE MASONRY WALL ASSEMBLY (Fm) AT 28 DAYS SHALL BE 1800 PSI (124.8 KPA). IN ADDITION TO THE ABOVE REQUIREMENTS, MASONRY CONSTITUENTS SHALL POSSESS THE REQUIRED PROPERTIES TO ACHIEVE THIS REQUIRED STRENGTH.
- REINFORCING STEEL SHALL CONFORM TO ASTM A618. REINFORCEMENT SHALL BE FULLY EMBEDDED IN GROUT. SEE STRUCTURAL DETAILS/NOTES FOR SIZE, GRADE, LAPS, ETC.
- BEFORE BLOCKING OR GROUTING CONCRETE, THOROUGHLY CLEAN CONCRETE OF ALL LAITANCE AND ALL LOOSE MATERIAL. ROUGHEN AS IN A CONCRETE CONSTRUCTION JOINT.
- PLACE ALL HORIZONTAL REINFORCEMENT BARS IN BOND BEAM UNITS. WHEN 2 BARS ARE USED, STAGGER LAPS A MINIMUM OF 5'-0" VERTICAL REINFORCING SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 200 BAR DIAMETERS.
- ALL EMBEDDED ITEMS (BOLTS, ETC.) SHALL BE SECURED IN PLACE PRIOR TO GROUTING. PROVIDE A MINIMUM OF 1" GROUT AROUND ALL BOLTS IN MASONRY.
- CLEAN ALL CELLS AND BOND BEAMS OF EXCESSIVE MORTAR PROTRUSIONS AND OTHER DEBRIS BEFORE GROUTING.
- MAXIMUM GROUT WITHOUT CLEANOUTS SHALL BE 5'-0" IN BLOCK WALLS. IF REQUIRED, CLEANOUTS SHALL NOT BE SEALED BEFORE INSPECTION. THE THICKNESS OF GROUT BETWEEN BLOCK AND REINFORCING STEEL SHALL NOT BE LESS THAN 1/2" AND BETWEEN PARALLEL BARS NOT LESS THAN 3/4".
- ALL CELLS SHALL BE SOLIDLY GROUTED.
- ALL GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION USING A 3/4" HEAD LOW VELOCITY VIBRATOR. RECONSOLIDATION BY VIBRATION MUST BE DONE AFTER THE INITIAL WATER LOSS AND BEFORE INITIAL SET.
- CONSTRUCTION JOINTS: WHEN GROUTING IS STOPPED FOR A PERIOD OF 1 HOUR OR LONGER, FORM HORIZONTAL CONSTRUCTION JOINTS BY STOPPING THE GROUT POUR 1 1/2" MINIMUM BELOW THE UPPER-POST JOINT, EXCEPT AT TOP OF WALL.
- SEE ARCHITECTURAL DRAW





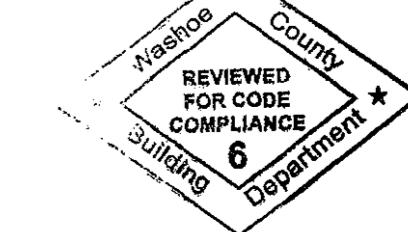


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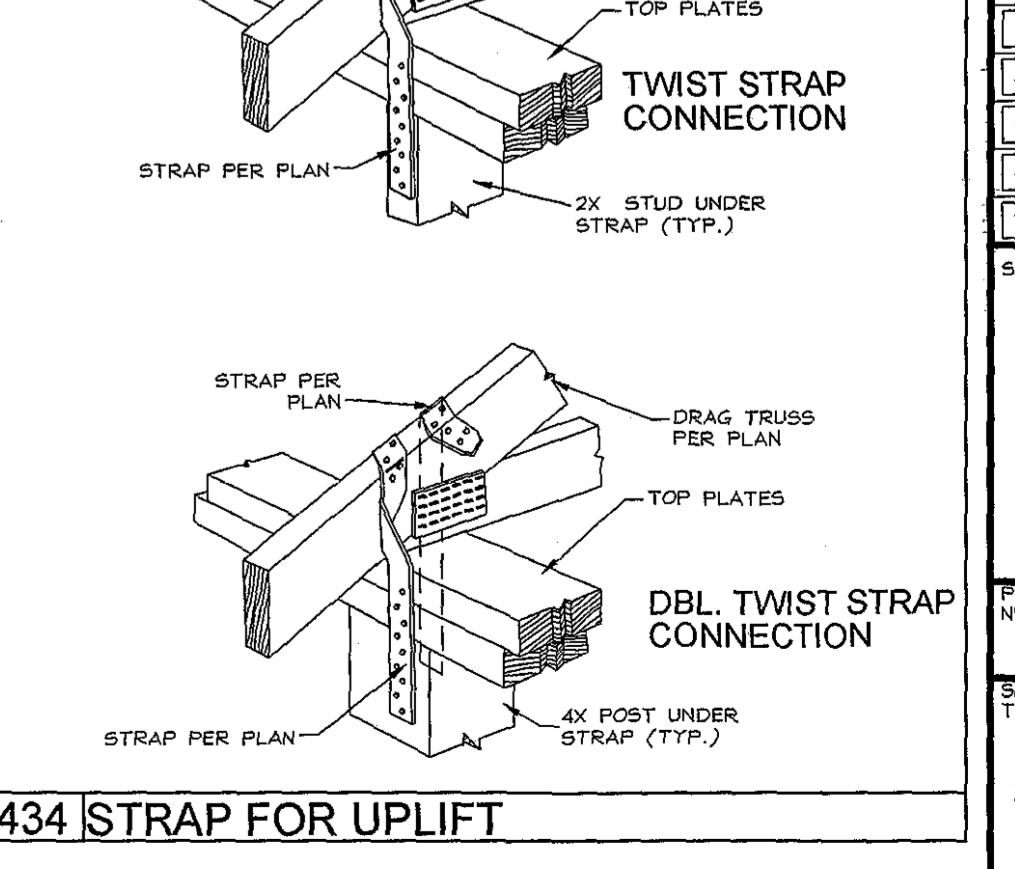
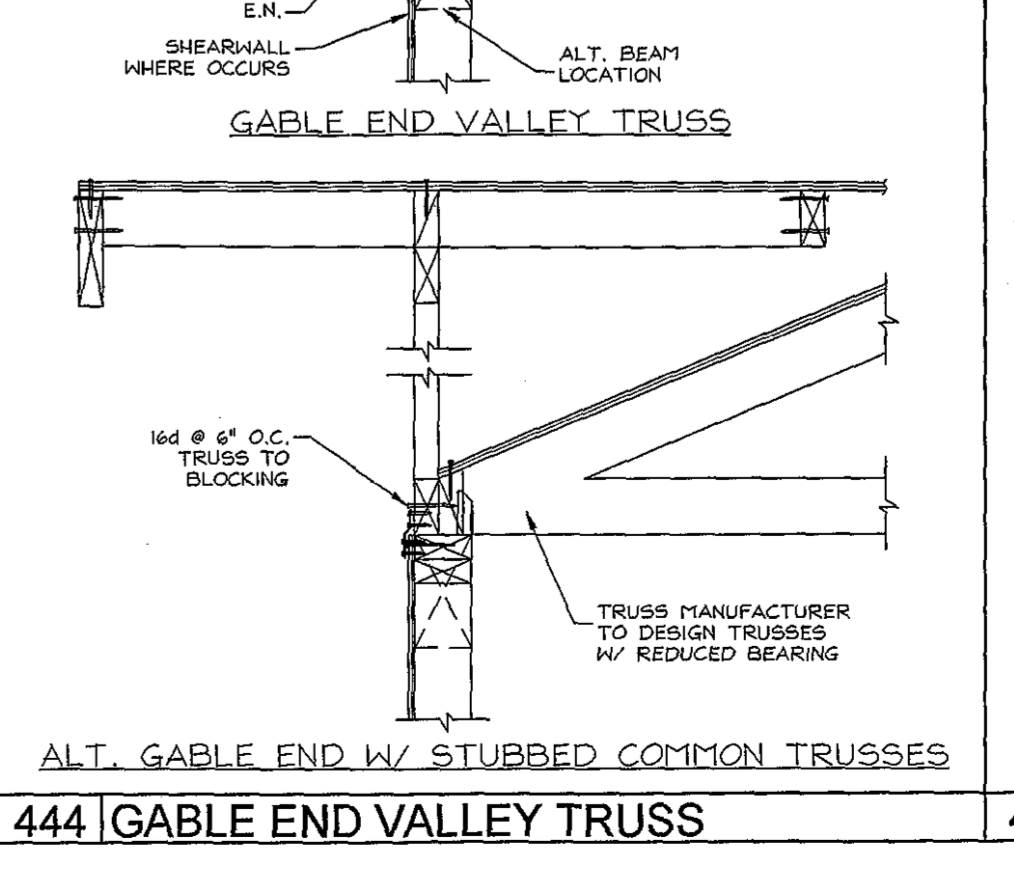
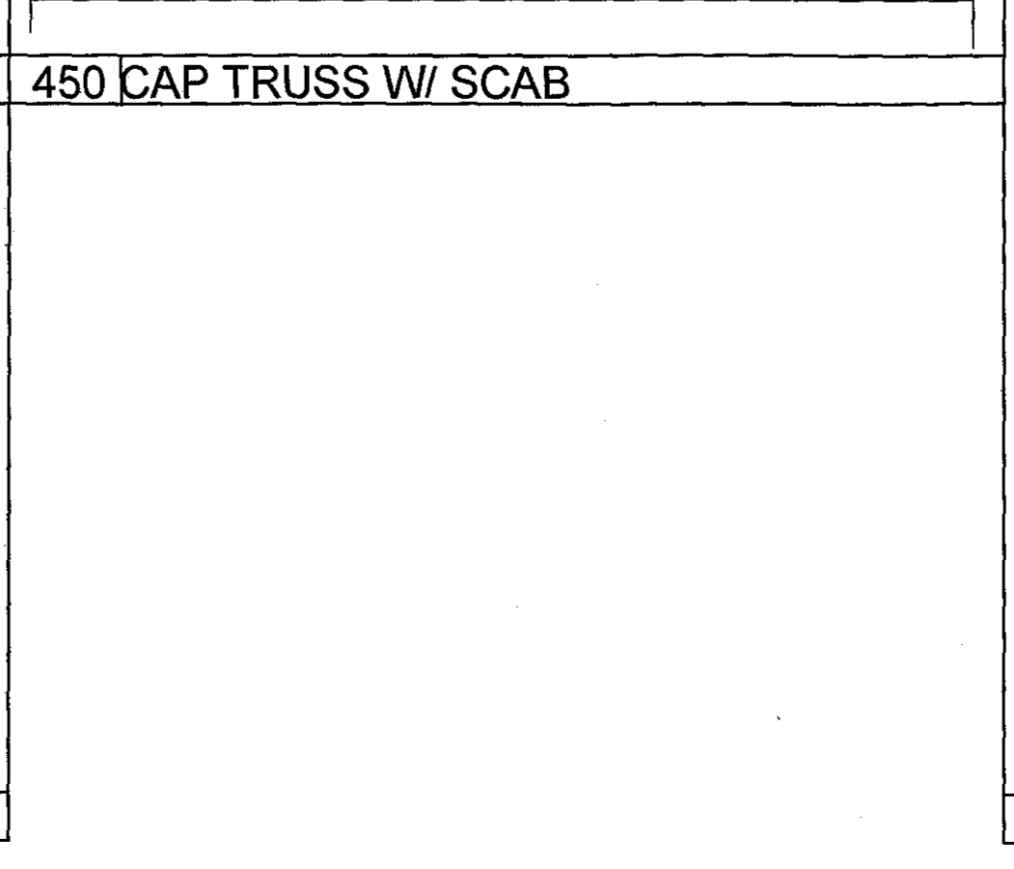
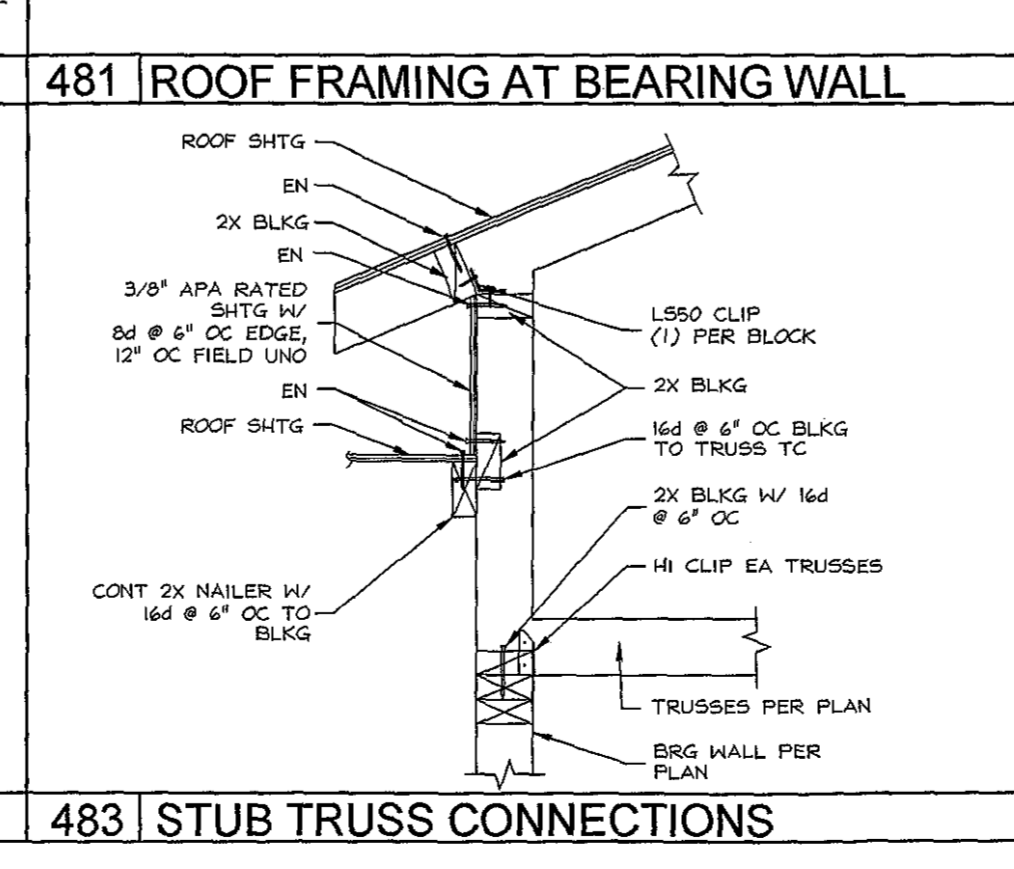
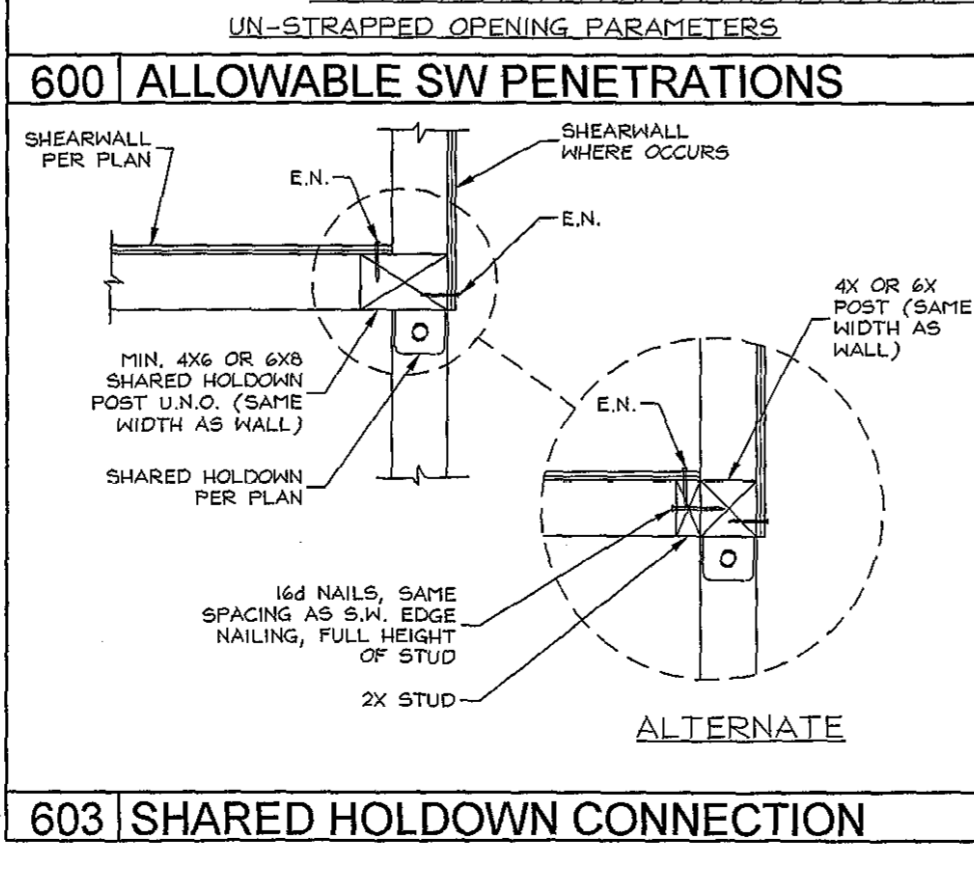
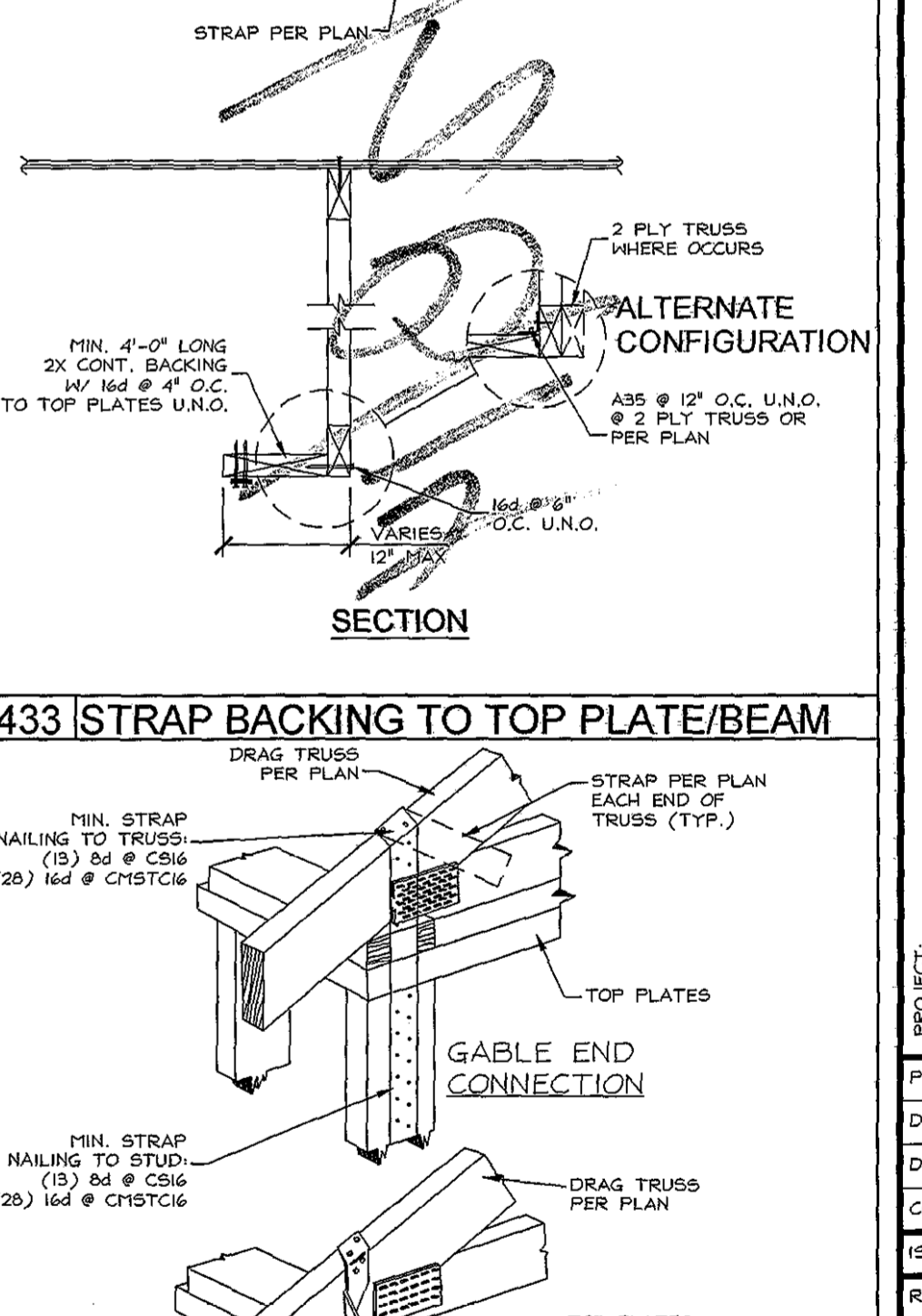
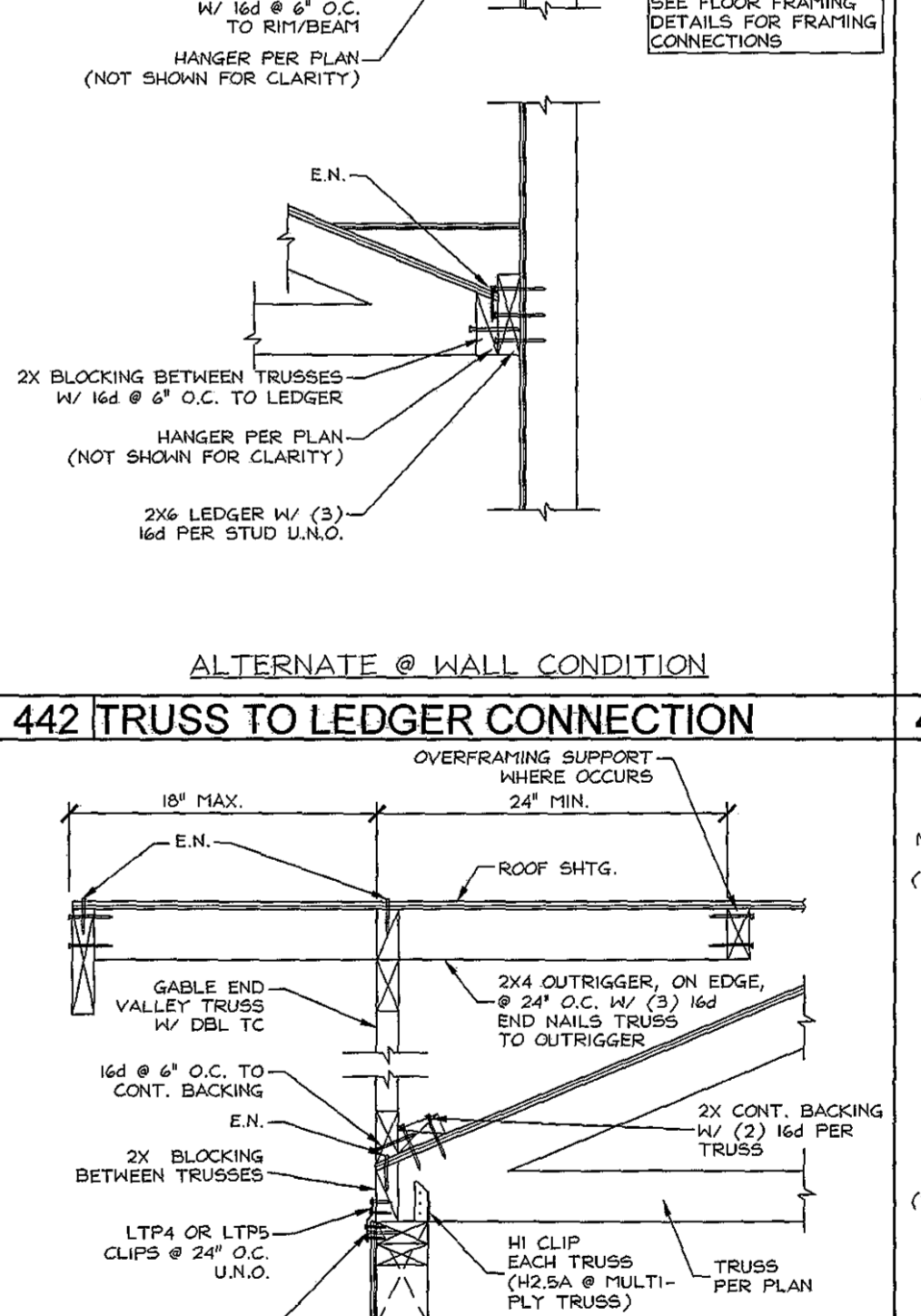
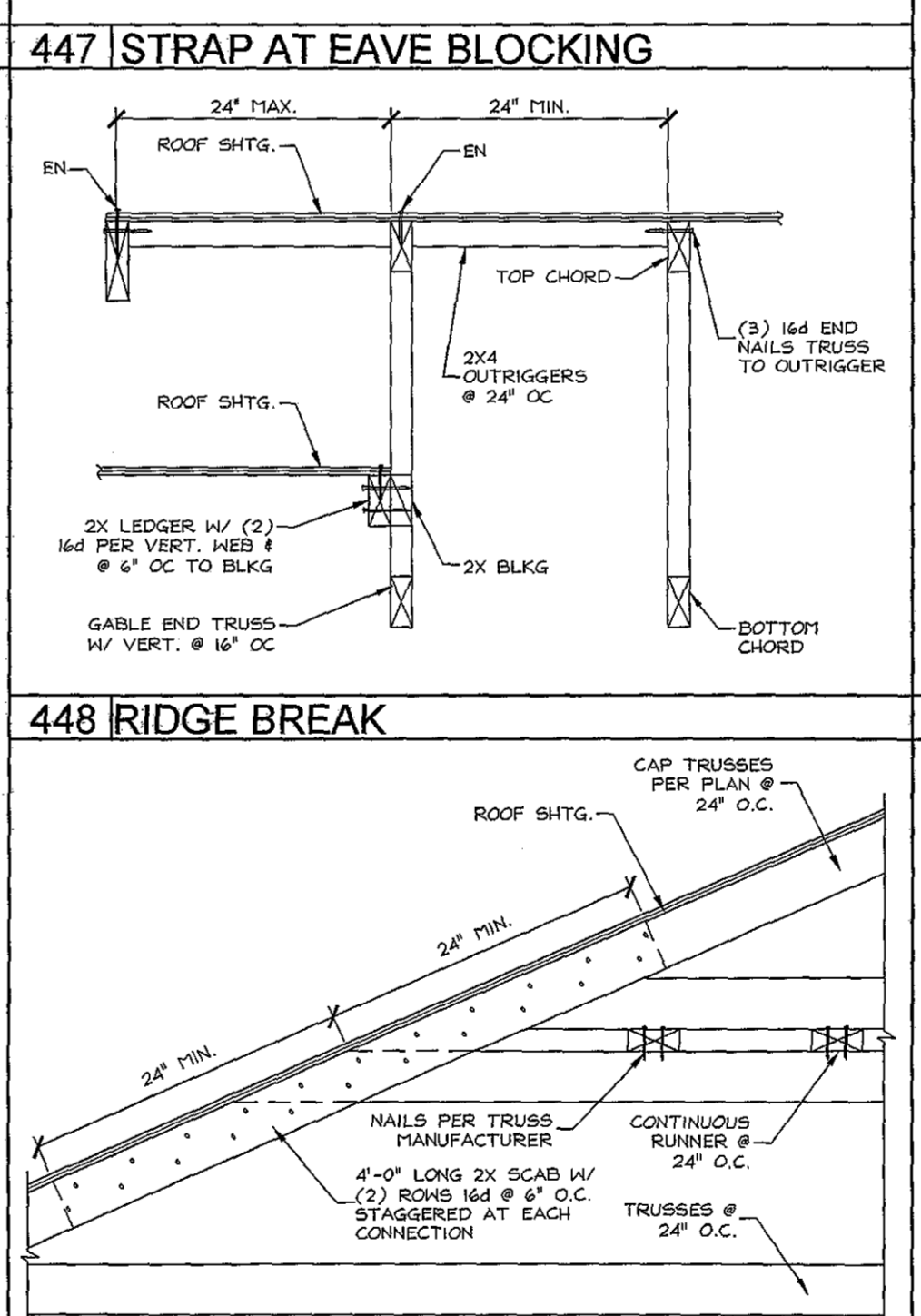
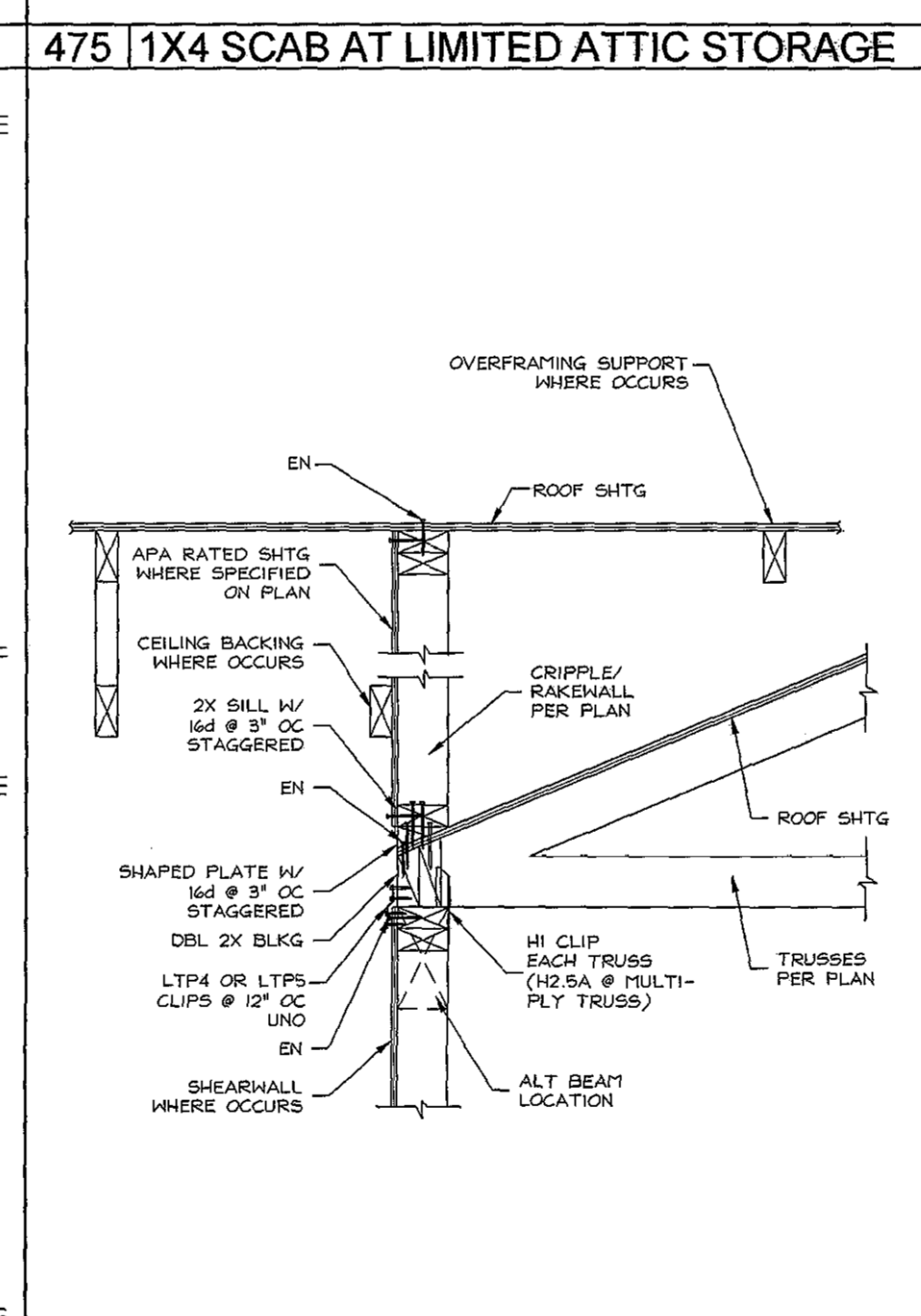
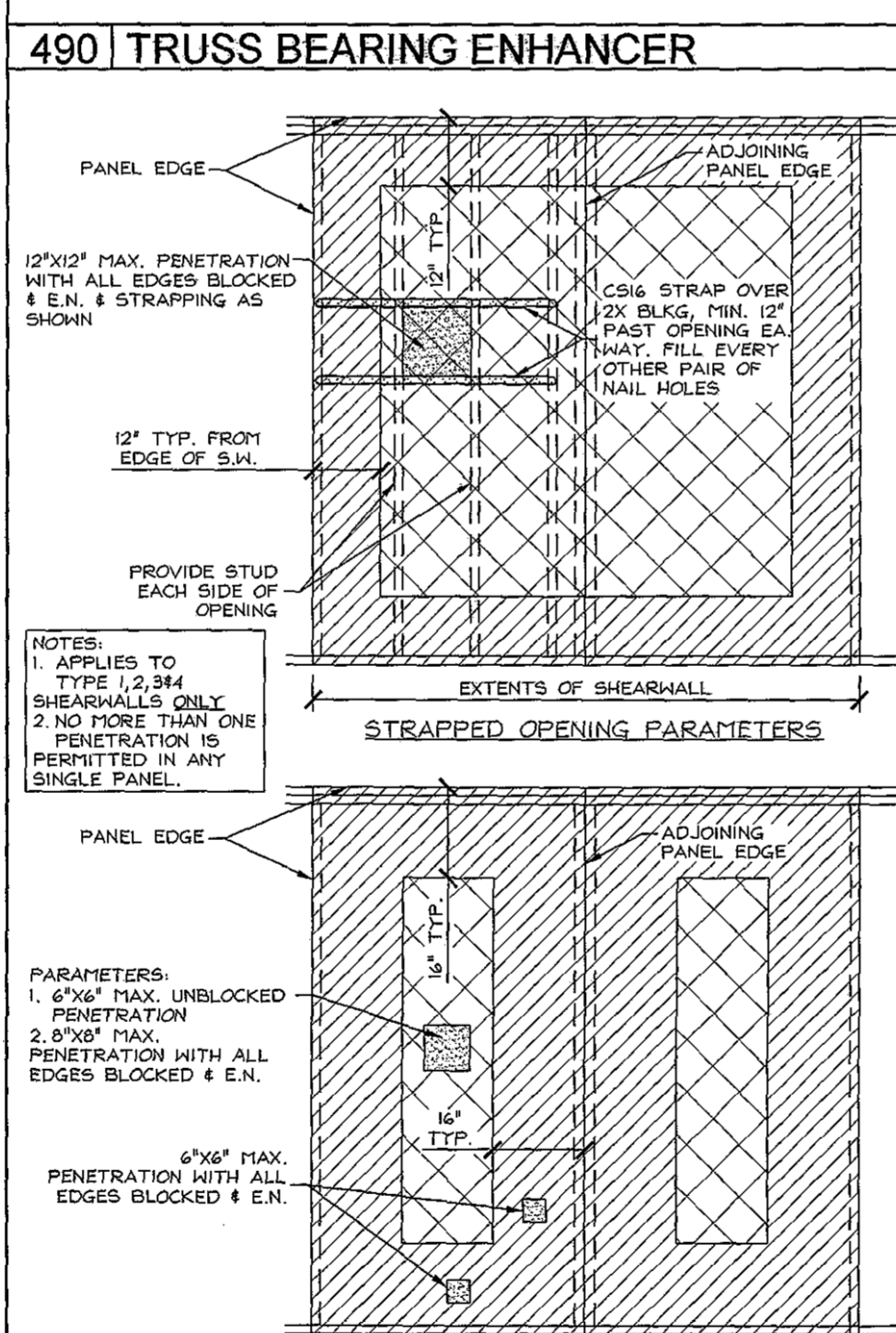
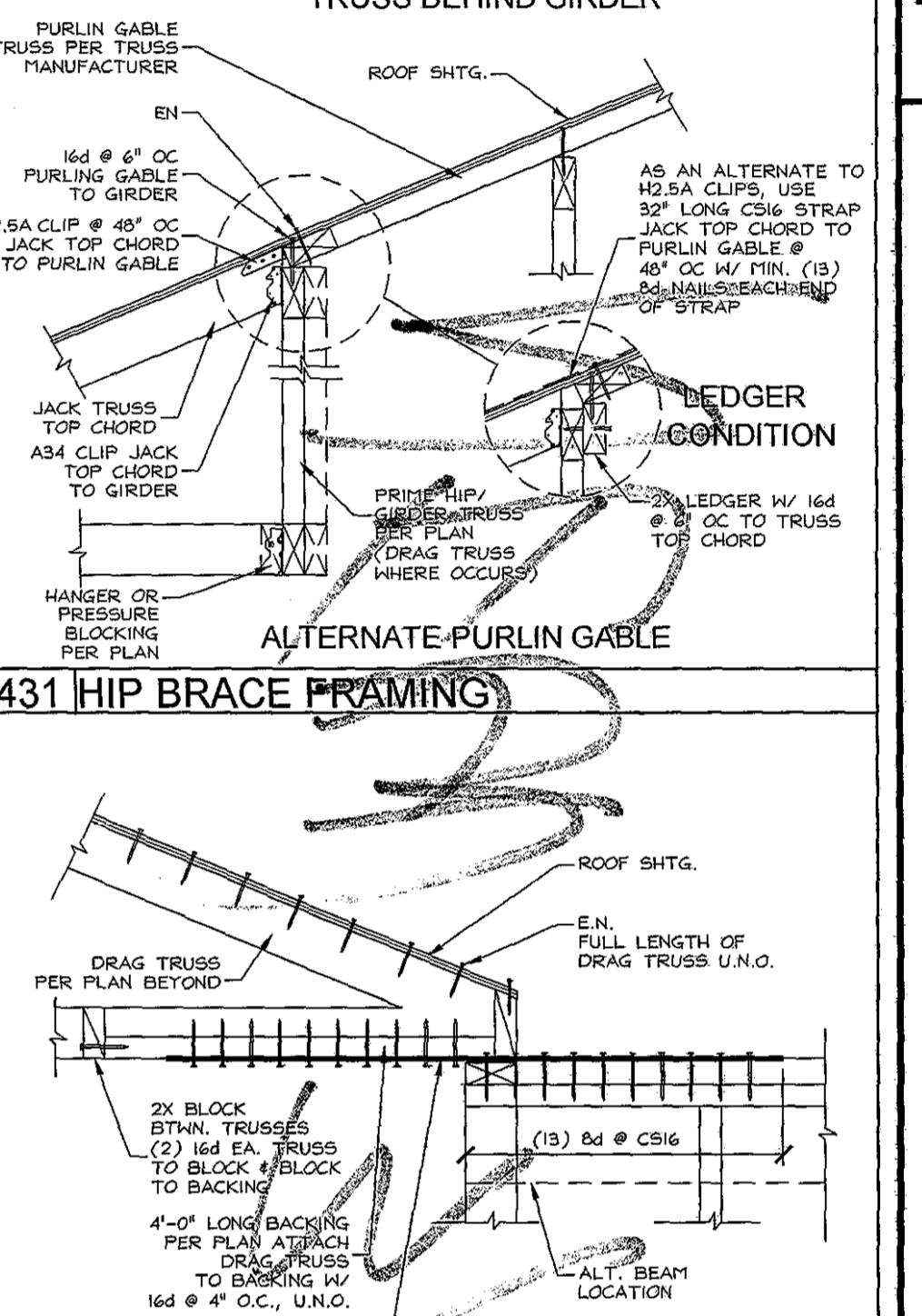
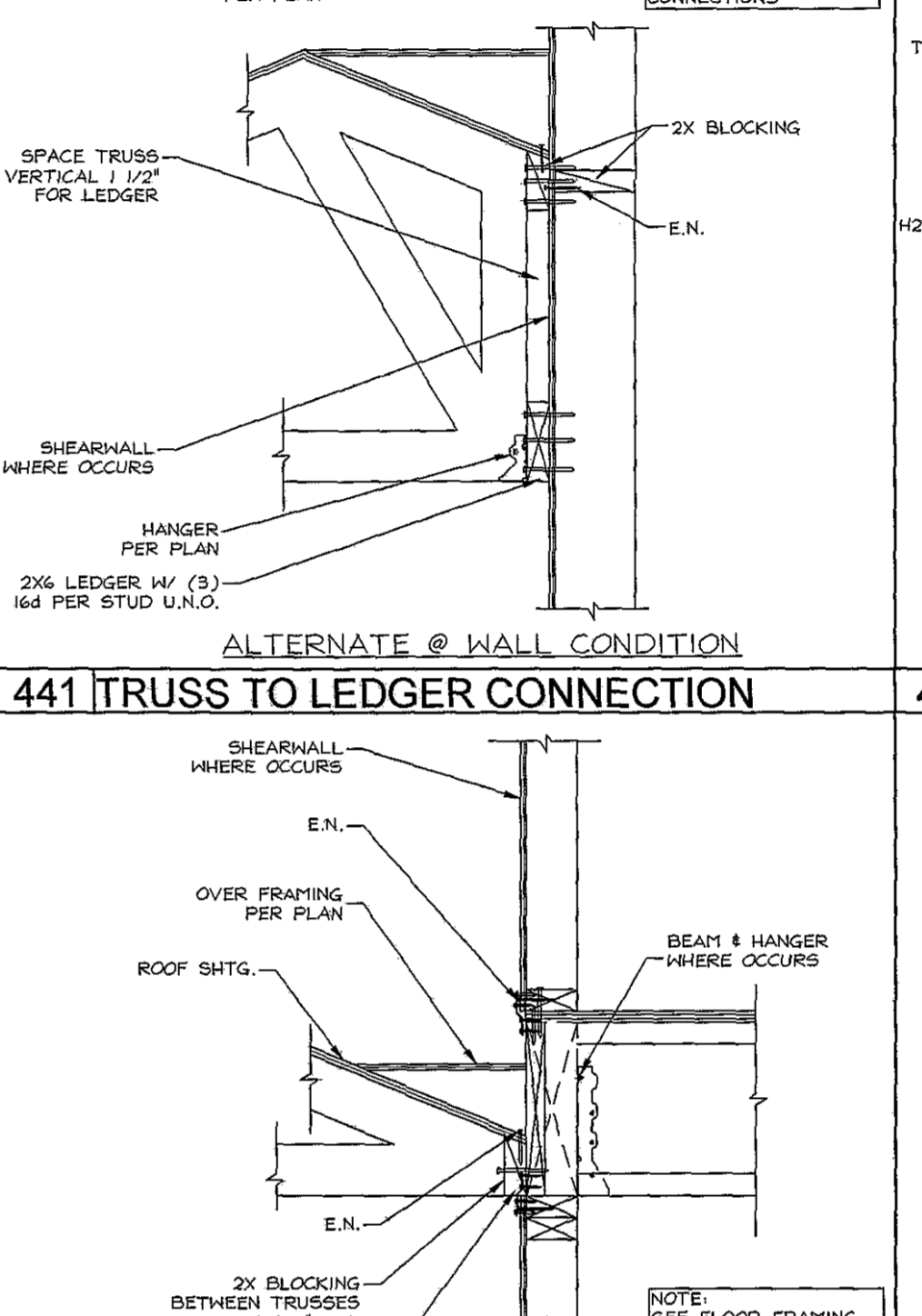
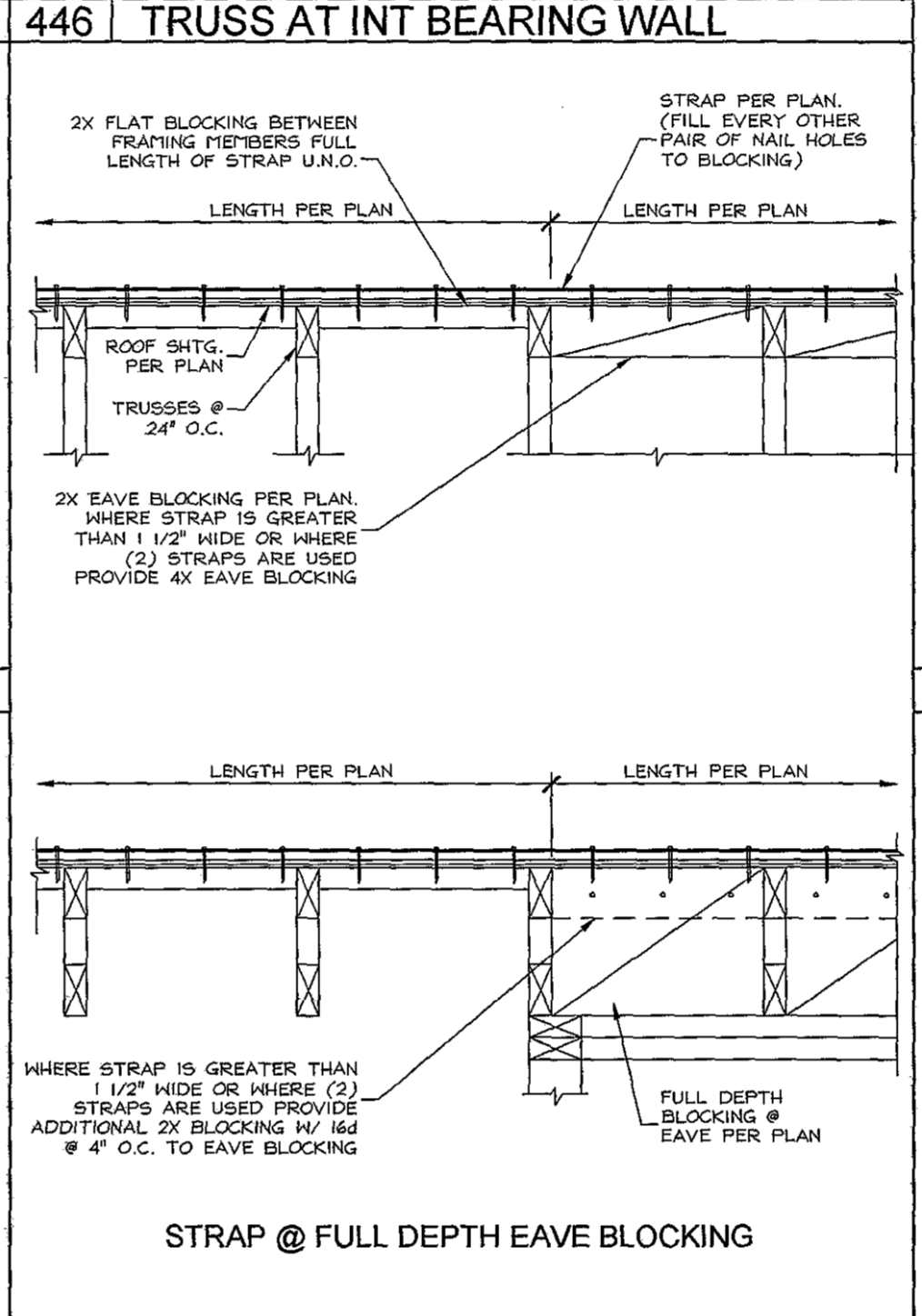
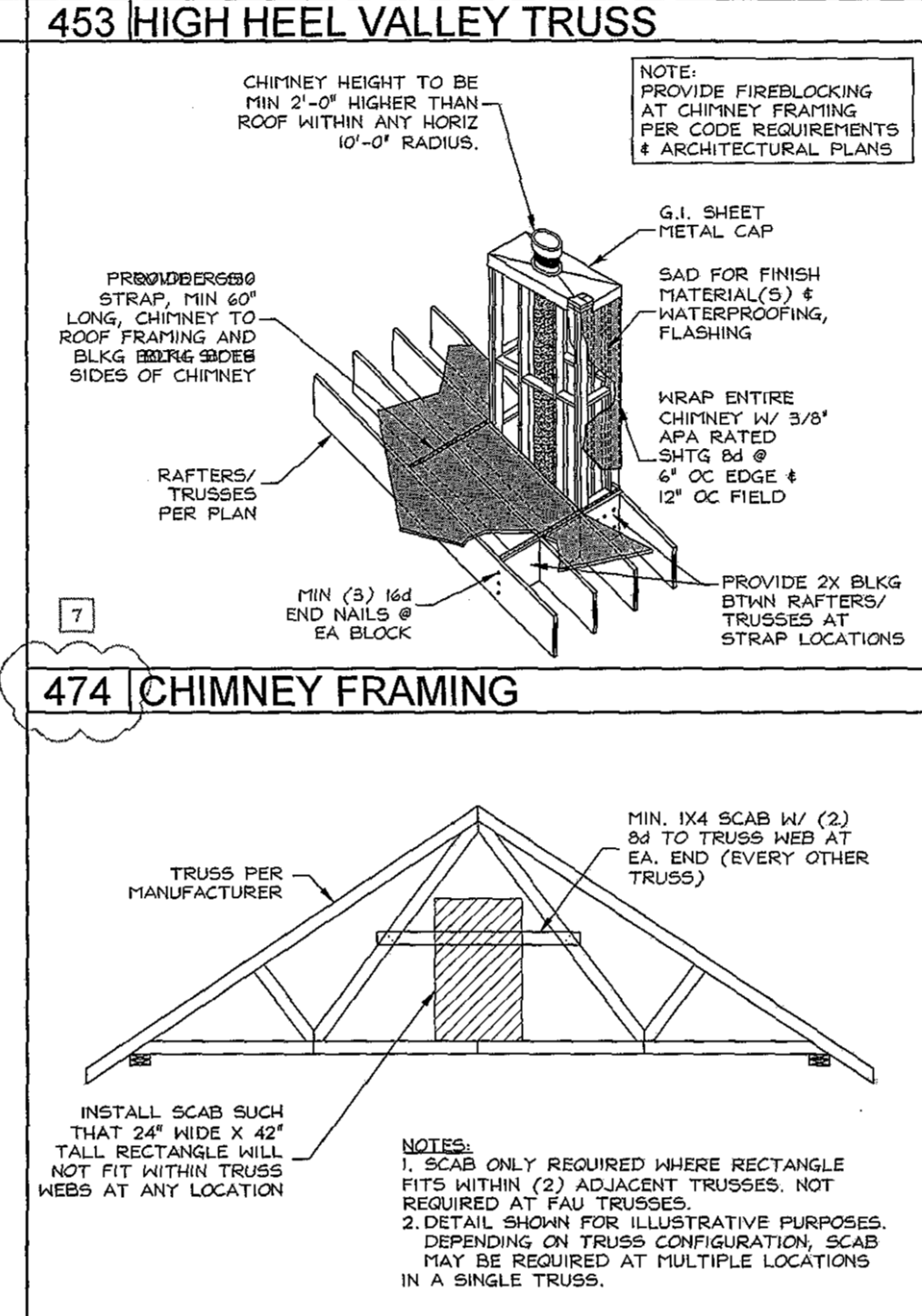
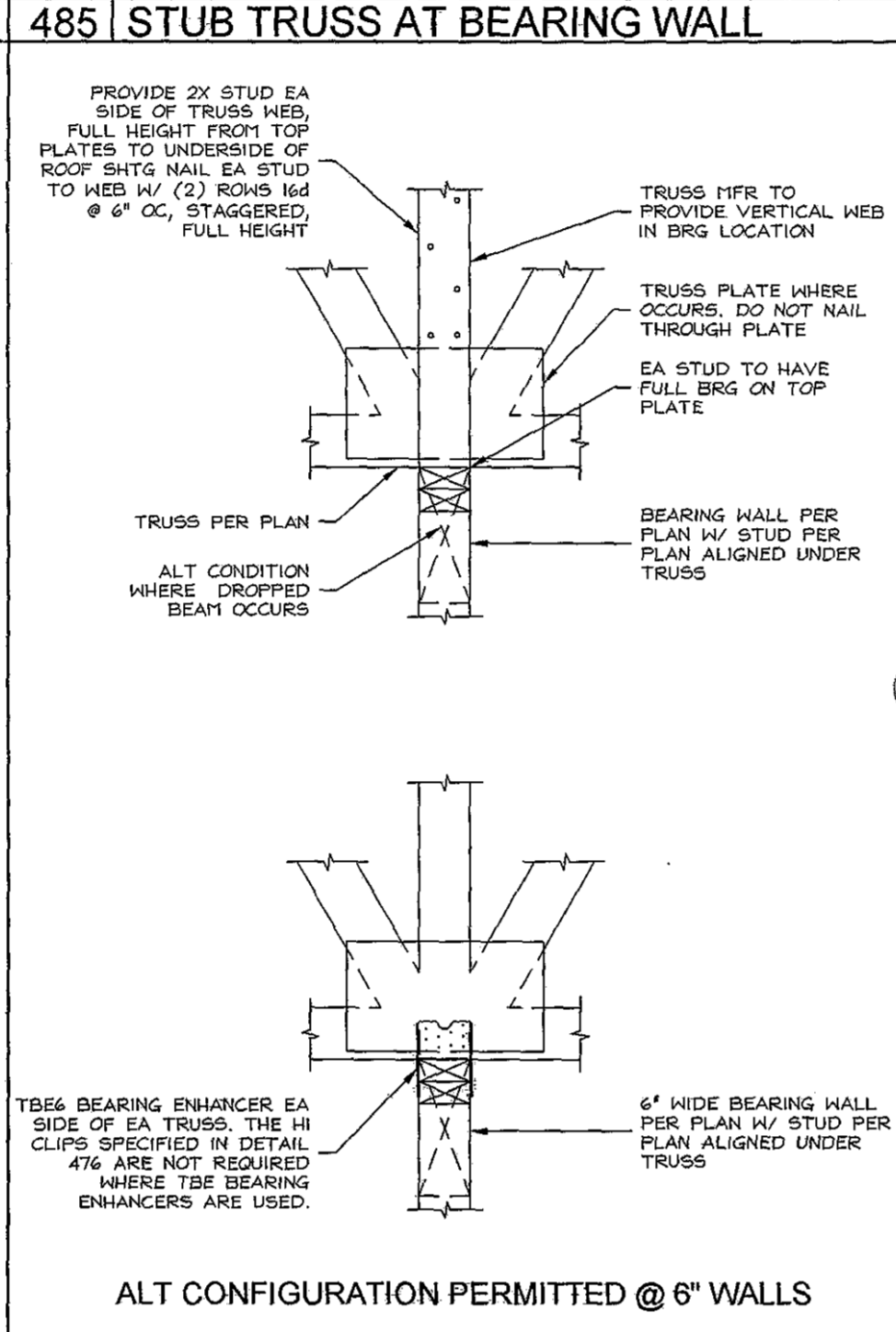
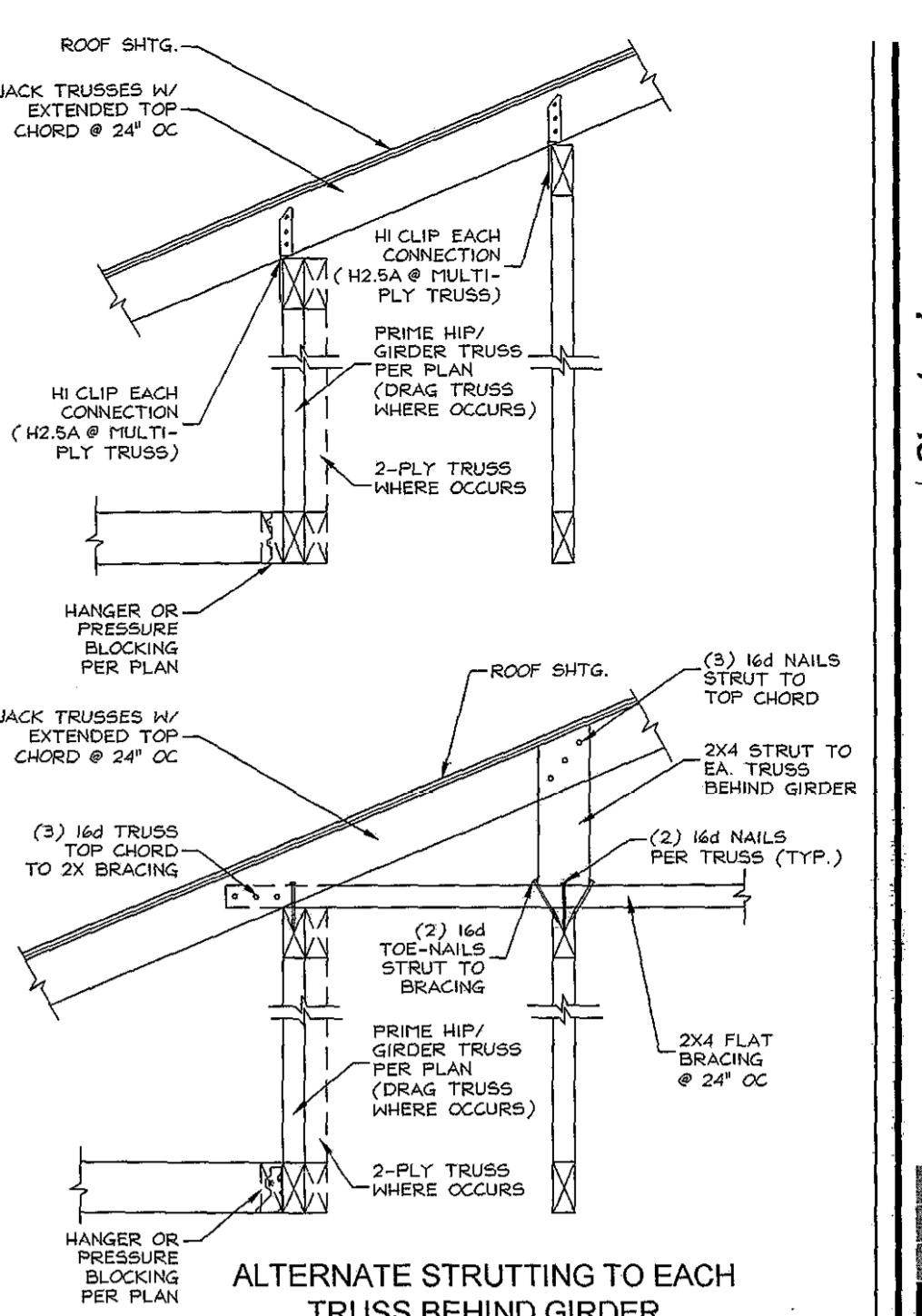
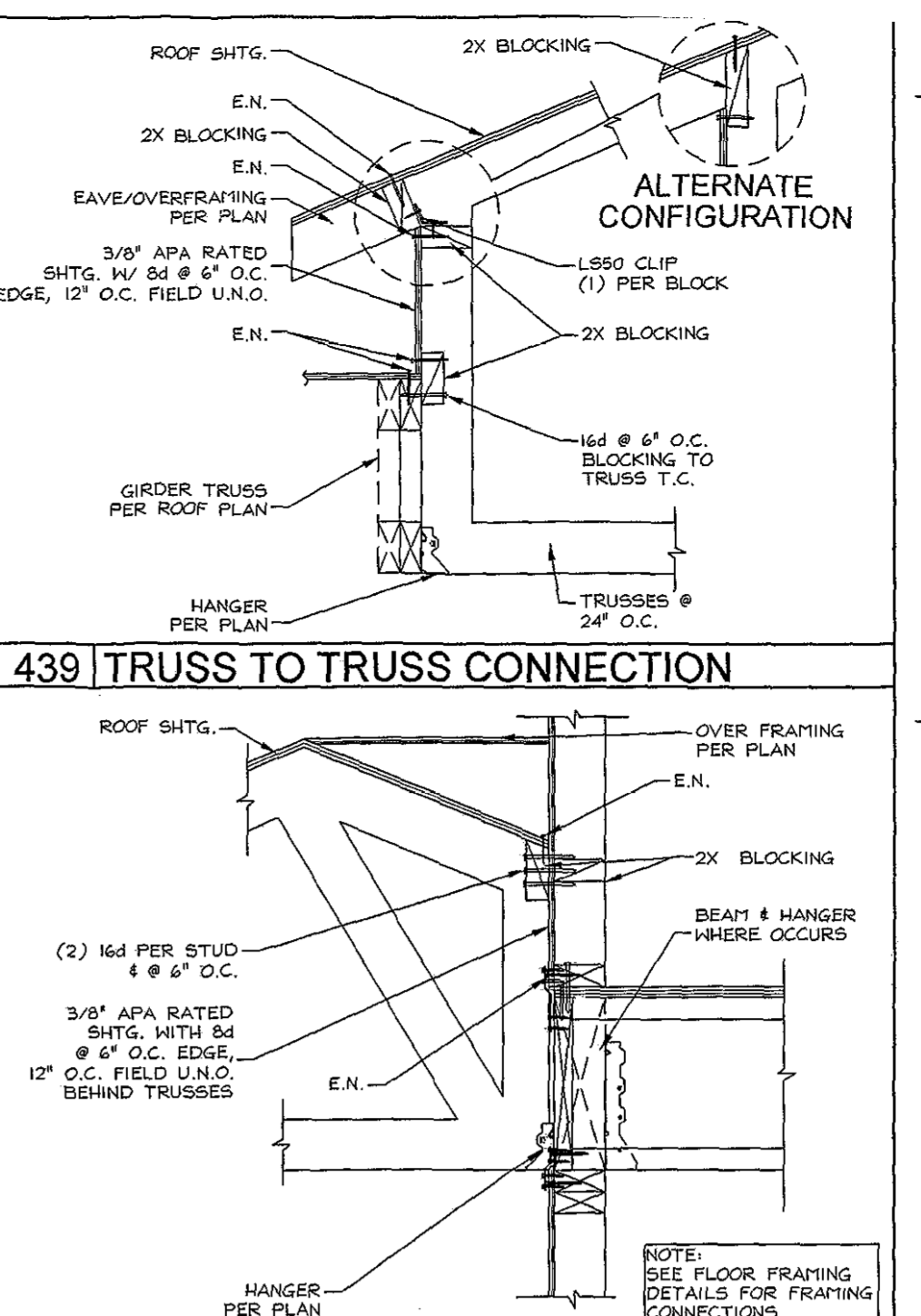
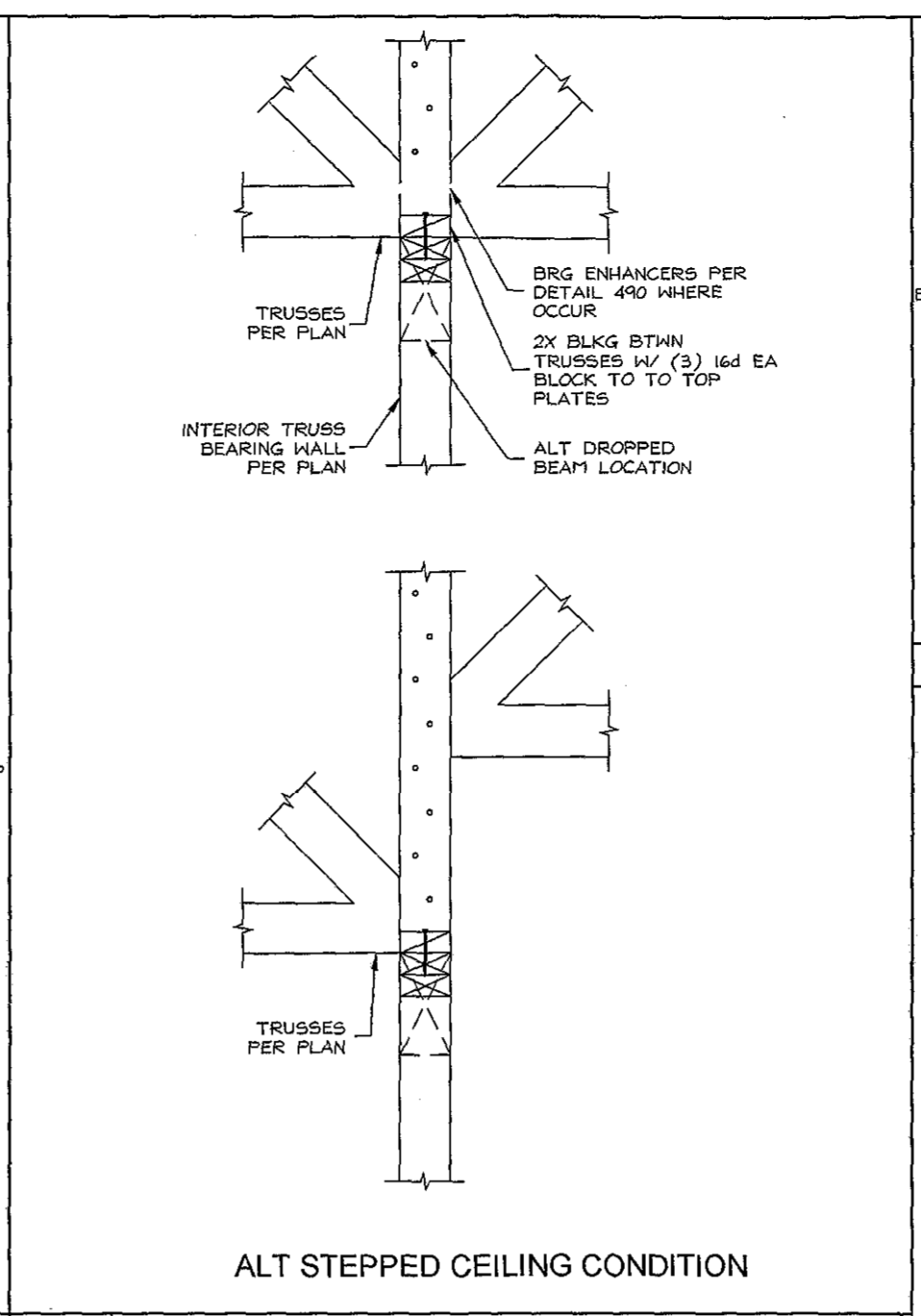
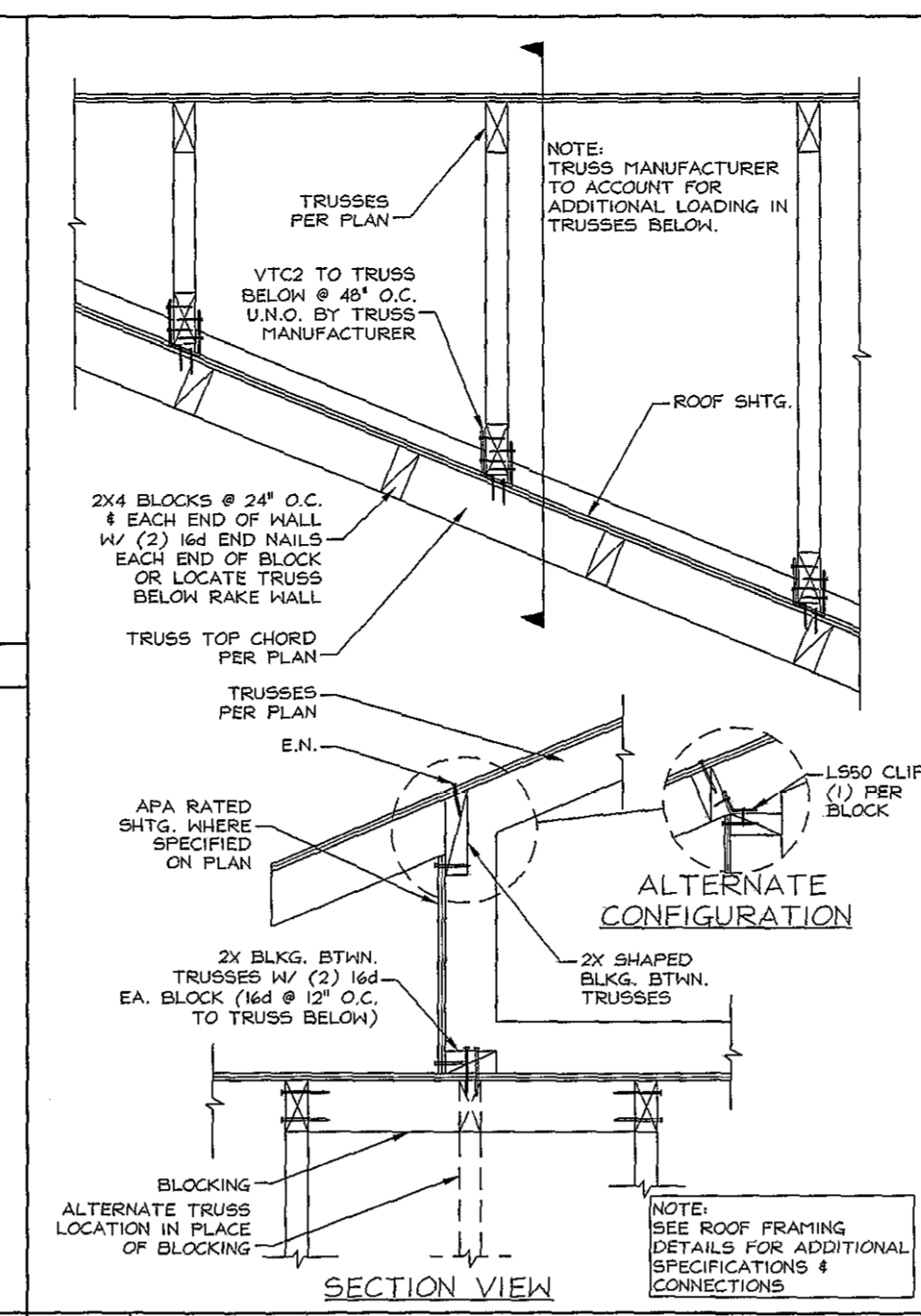
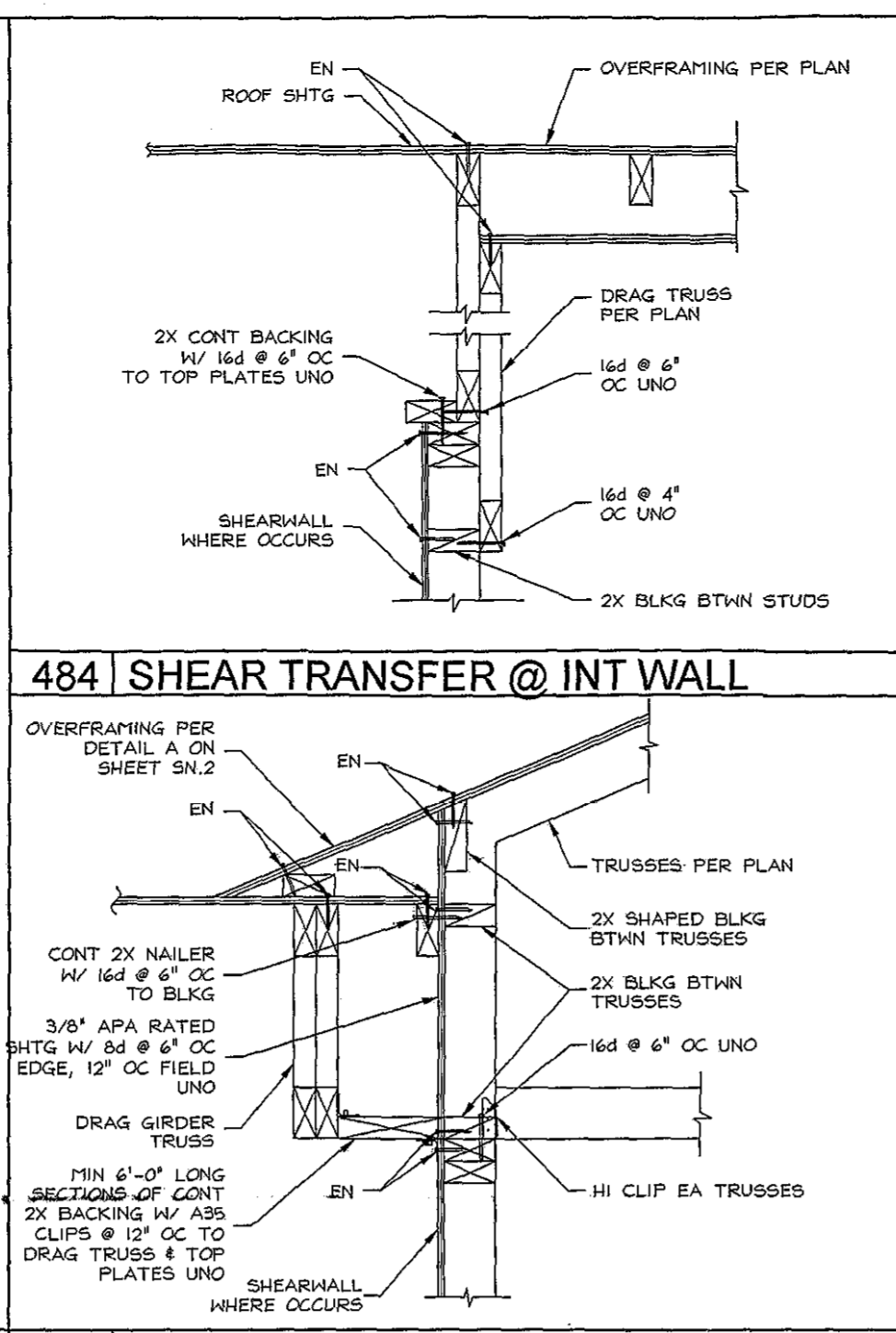
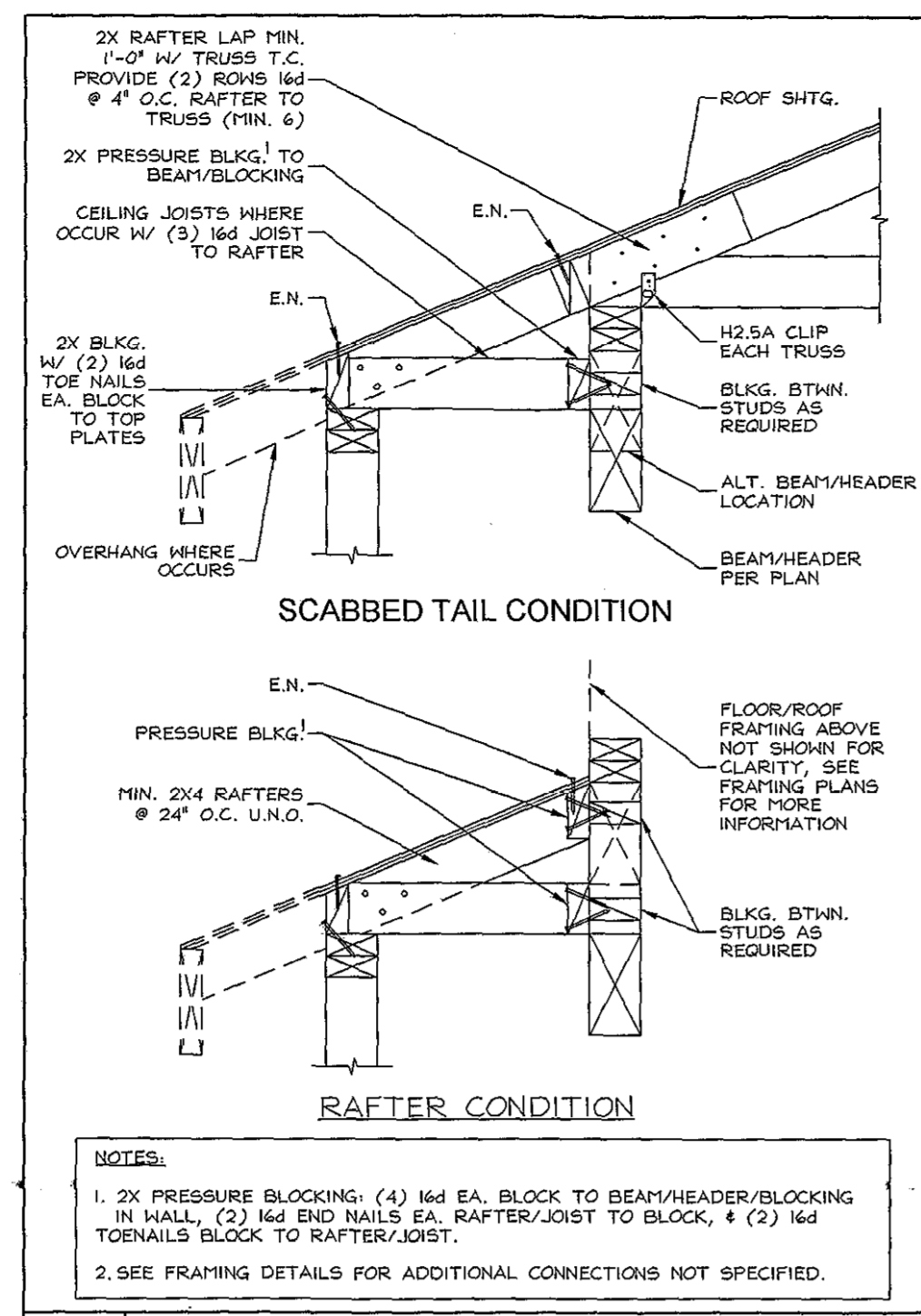
MONTE VISTA AT MOUNT ROSE  
 WASHOE COUNTY, NV  
 SILVER CREST HOMES, INC.  
 3300 DOUGLAS BLVD., BLDG. 400 STE. 450  
 ROSEVILLE, CA 95661  
 (916) 252-2520

PROJECT MANAGER: KL  
 DESIGNER: IHS  
 DRAWN BY: VDH  
 CHECKED BY: JH  
 ISSUE DATE: 01-10-2011  
 REVISIONS:  
 1 PLAN CHECK 02-21-2014  
 2 PLAN CHECK 02-24-2014  
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STRUCTURAL DETAILS  
 SD.1  
 JOB NUMBER: 151048



WASHOE COUNTY BUILDING DEPT.  
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 (916) 783-2300

PROJECT MANAGER: KL  
 DESIGNER: H&S  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 ISSUE DATE: 07-15-2011  
 REVISIONS:  
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 2 PLAN CHECK 04-12-2011  
 3 MODEL WALK 01-16-2012  
 4 2012 IBC 05-22-2012  
 5 PLAN CHECK 05-21-2014

**PLAN 4**

STRUCTURAL DETAILS

SD.2

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DATE: 05-22-2012

SD.2

JOB NUMBER: H5046