

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Rob & Sharon Oeschger			
Project Description: The project consists of a new building for an approximately 3,400 sq. ft. garage/shop and new guest residence. Wood framed structure with a conventional concrete foundation and engineered wood roof trusses.			
Project Address: 3560 Lunsford Ct., Reno NV 89511			
Project Area (acres or square feet): 2.88 ACRES			
Project Location (with point of reference to major cross streets AND area locator): Lunsford & Lakeside			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
041-092-12	2.88		
Section(s)/Township/Range: SEC. 5, TOWNSHIP 16 NORTH, RANGE 20 EAST, M.D.M.			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Rob & Sharon Oeschger		Name: CWX Architects, Inc.	
Address: 3560 Lunsford Ct., Reno Nevada		Address: 1680 Montclair Ave. Ste A	
Zip: 89511		Zip: 89511	
Phone: 775-527-3165	Fax:	Phone: 775-829-7747	Fax:
Email: roboeschger@gmail.com		Email: mike@cwarchitects.com	
Cell: N/A	Other:	Cell: N/A	Other:
Contact Person: Rob Oeschger		Contact Person: Mike Farley	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Rob & Sharon Oeschger		Name:	
Address: 3560 Lunsford Ct., Reno Nevada		Address:	
Zip: 89511		Zip:	
Phone: 775-527-3165	Fax:	Phone:	Fax:
Email: roboeschger@gmail.com		Email:	
Cell: N/A	Other:	Cell:	Other:
Contact Person: Rob Oeschger		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

4220 sq. ft.

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

826 sq. ft.

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

The proposed building matches the main residence in architectural style and detailing. As well as materials and colors.

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

Water from an existing well will be piped over from the main residence. An additional septic tank is proposed for the secondary dwelling unit and a new engineered leach field is proposed for both main and detached structures.

5. What additional roadway, driveway, or access improvements are you planning?

The existing asphalt driveway will be extended to provide access to the detached structure.

6. A parking space is required. How are you providing the additional parking?

Additional parking is provided in front of the garage area of the detached structure.

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

The estimated structure completion date is next spring or summer of 2018.

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

The structure has been placed on the lower portion of the property within the required setbacks to help minimize the overall height. Subject area is currently planted as a pasture.

The proposed building will also replace a small barn structure that is not matching in style to main residence where the new proposed building will match and be more compatible.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

No.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

There are no existing accessory dwelling units on subject property.

12. List the age and size of the unit If you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

N/A

13. List who the service provider will be for the following utilities:

a. Sewer Service	Septic
b. Electrical Service	NV Energy
c. Solid Waste Disposal Service	Waste Management
d. Water Service	Private Well

Property Owner Affidavit

Applicant Name: ROBERT OESCHGER

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, ROBERT OESCHGER
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 04109212

Printed Name ROBERT OESCHGER

Signed [Signature]

Address 3560 Lunsford Ct

RENO, NV 89511

Subscribed and sworn to before me this 9th day of August, 2017.

[Signature]
Notary Public in and for said county and state

My commission expires: 02-17-2020

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: SHARON OESCHGER

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, SHARON OESCHGER
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 04109212

Printed Name SHARON OESCHGER

Signed Sharon Oeschger

Address 3560 LUNSFORD CT

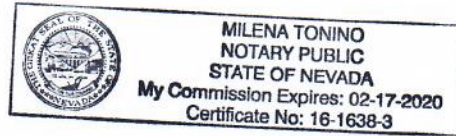
RENO, NV 89511

(Notary Stamp)

Subscribed and sworn to before me this 9th day of AUGUST, 2017.

[Signature]
Notary Public in and for said county and state

My commission expires: 02.17.2020



*Owner refers to the following: (Please mark appropriate box.)

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- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
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Washoe County Treasurer
 Tammi Davis

Bill Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID	Status	Last Update
04109212	Active	8/8/2017 2:10:39 AM
Current Owner: OESCHGER FAMILY TRUST, ROBERT A 3560 LUNSFORD CT RENO, NV 89511		SITUS: 3560 LUNSFORD CT WCTY NV
Taxing District	Geo CD:	
Legal Description		
Township 18 Lot 8 Block Range 19 SubdivisionName FROST RANCHES Section		

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/21/2017	2017	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/2/2017	2017	\$4,222.01	\$0.00	\$0.00	\$4,222.01
INST 3	1/1/2018	2017	\$4,222.01	\$0.00	\$0.00	\$4,222.01
INST 4	3/5/2018	2017	\$4,222.01	\$0.00	\$0.00	\$4,222.01
Total Due:			\$12,666.03	\$0.00	\$0.00	\$12,666.03

Tax Detail

	Gross Tax	Credit	Net Tax
State of Nevada	\$903.76	(\$17.71)	\$886.05
Truckee Meadows Fire Dist	\$2,870.76	(\$56.26)	\$2,814.50
Washoe County	\$7,398.58	(\$144.99)	\$7,253.59
Washoe County Sc	\$6,052.53	(\$118.63)	\$5,933.90
Water District	\$10.00	\$0.00	\$10.00
TRUCKEE MDWS/SUN VALLEY WATER BASIN	\$0.03	\$0.00	\$0.03
Total Tax	\$17,235.66	(\$337.59)	\$16,898.07

Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2017	2017065931	B17.28191	\$4,232.04	8/4/2017

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2845

Change of Address

All requests for a mailing address change must be submitted in writing, including a signature (unless using the online form).

To submit your address change online [click here](#)

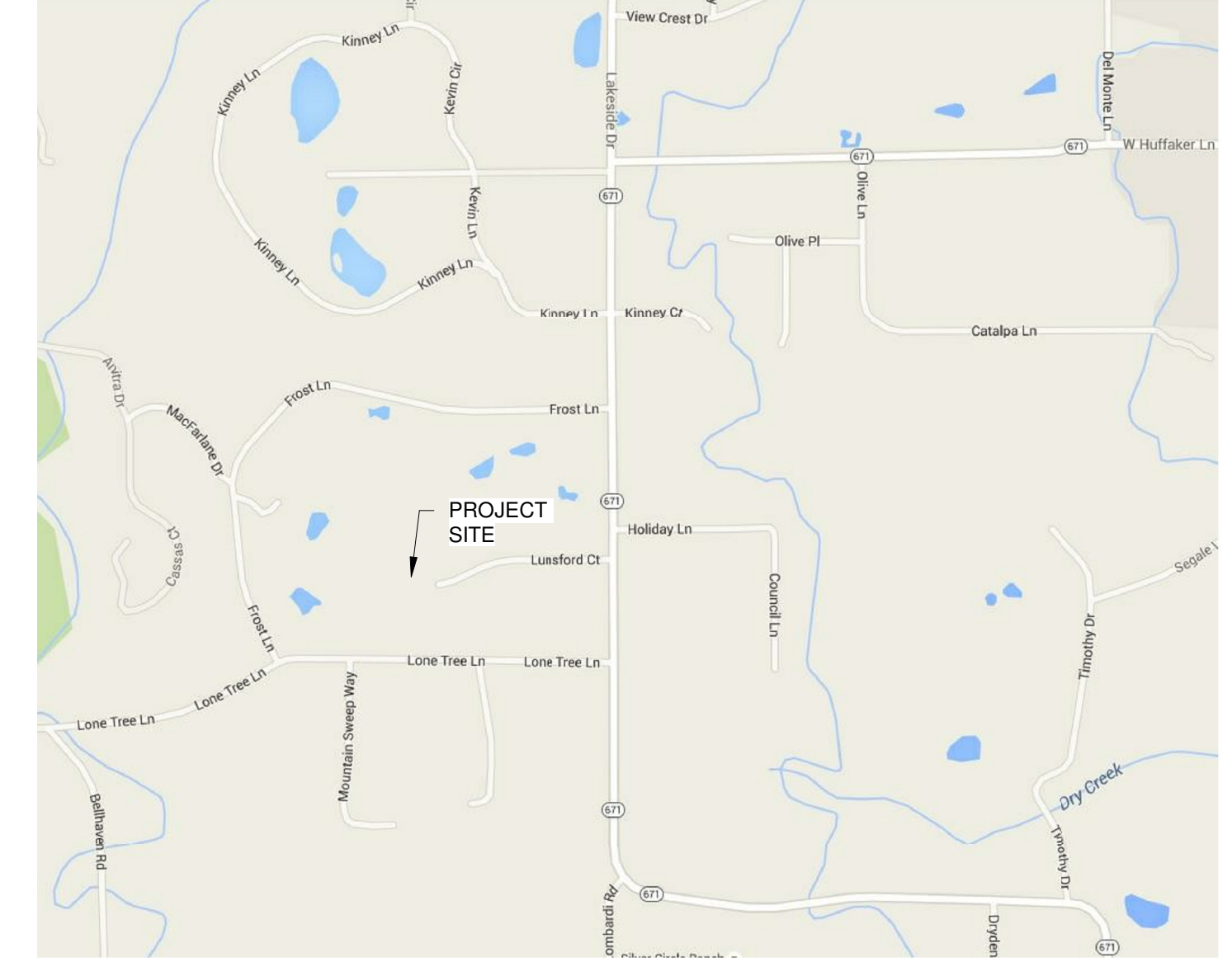
Address change requests may also be faxed to: (775) 328-2500

Address change requests may also be mailed to:
 Washoe County Treasurer
 P O Box 30039
 Reno, NV 89520-3039

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

VICINITY MAP

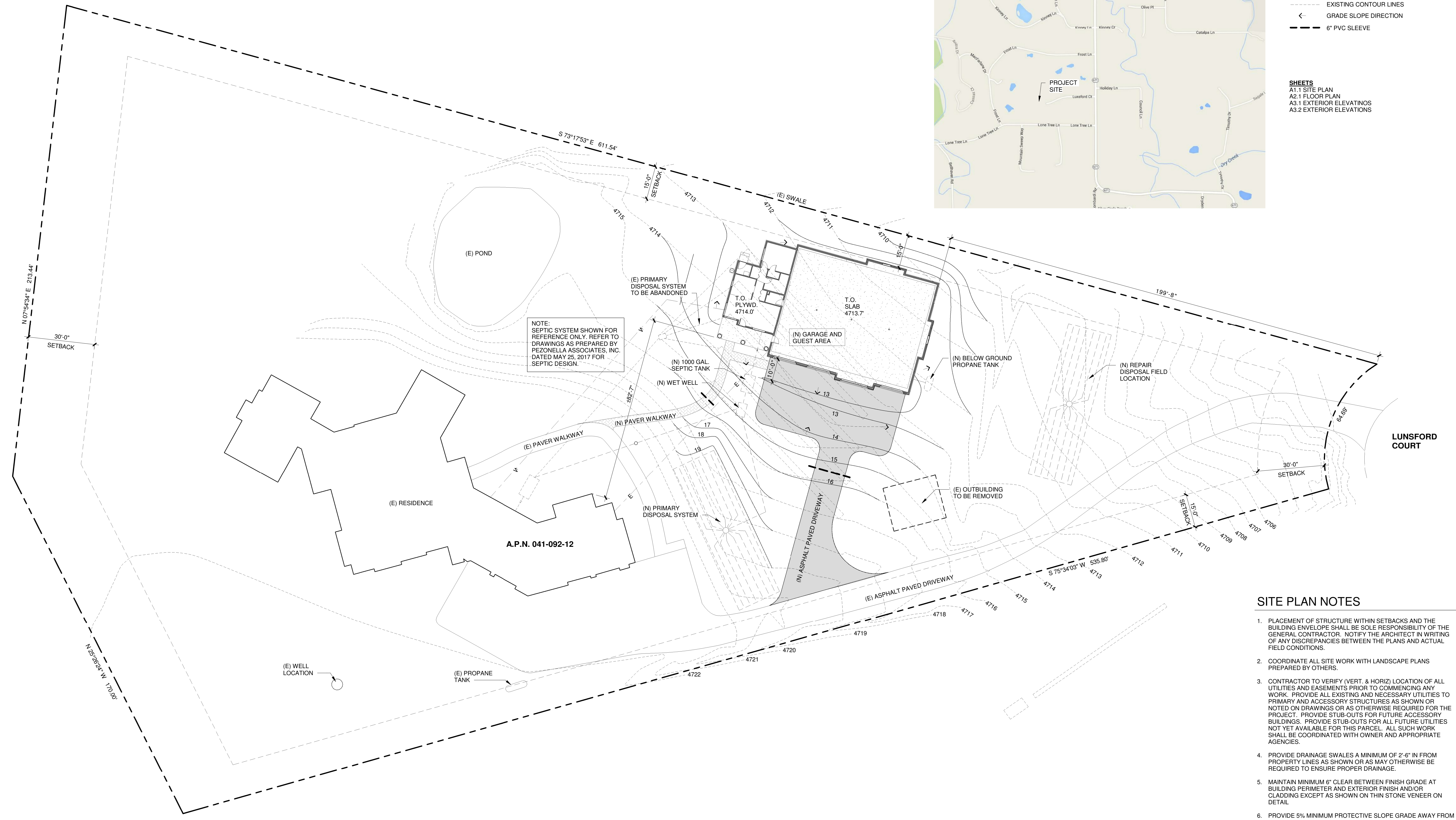


SITE LEGEND

- CONCRETE OR CONCRETE PAVER FLATWORK
- ASPHALT DRIVEWAY
- NEW CONTOUR LINES
- EXISTING CONTOUR LINES
- GRADE SLOPE DIRECTION
- 6" PVC SLEEVE

SHEETS

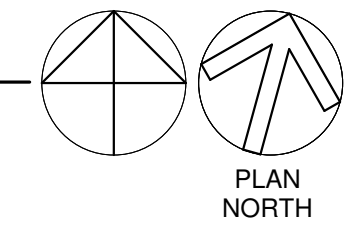
- A1.1 SITE PLAN
- A2.1 FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS



SITE PLAN NOTES

1. PLACEMENT OF STRUCTURE WITHIN SETBACKS AND THE BUILDING ENVELOPE SHALL BE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS.
2. COORDINATE ALL SITE WORK WITH LANDSCAPE PLANS PREPARED BY OTHERS.
3. CONTRACTOR TO VERIFY (VERT. & HORIZ.) LOCATION OF ALL UTILITIES AND EASEMENTS PRIOR TO COMMENCING ANY WORK. PROVIDE ALL EXISTING AND NECESSARY UTILITIES TO PRIMARY AND ACCESSORY STRUCTURES AS SHOWN OR NOTED ON DRAWINGS OR AS OTHERWISE REQUIRED FOR THE PROJECT. PROVIDE STUB-OUTS FOR FUTURE ACCESSORY BUILDINGS. PROVIDE STUB-OUTS FOR ALL FUTURE UTILITIES NOT YET AVAILABLE FOR THIS PARCEL. ALL SUCH WORK SHALL BE COORDINATED WITH OWNER AND APPROPRIATE AGENCIES.
4. PROVIDE DRAINAGE SWALES A MINIMUM OF 2'-6" IN FROM PROPERTY LINES AS SHOWN OR AS MAY OTHERWISE BE REQUIRED TO ENSURE PROPER DRAINAGE.
5. MAINTAIN MINIMUM 6" CLEAR BETWEEN FINISH GRADE AT BUILDING PERIMETER AND EXTERIOR FINISH AND/OR CLADDING EXCEPT AS SHOWN ON THIN STONE VENEER ON DETAIL.
6. PROVIDE 5% MINIMUM PROTECTIVE SLOPE GRADE AWAY FROM ALL EXTERIOR WALLS. SEE FOUNDATION DWG'S.
7. SLOPE DRIVEWAY A MINIMUM OF 2% AWAY FROM RESIDENCE. DRIVEWAY SLOPE SHALL NOT EXCEED 10% AT ANY LENGTH OF RUN.
8. FINISH GRADES SHALL NOT EXCEED A SLOPE RATIO OF 1 FT. VERT. PER 3 FT. HORIZ. UNLESS SHOWN OTHERWISE. ALL SUCH SLOPES SHALL BE STABILIZED WITH LANDSCAPING AND/OR BOULDERS.
9. SLOPE LAWN AREAS 5% MINIMUM AWAY FROM STRUCTURE AND TOWARD DRAINAGE SWALES AS SHOWN ON PLANS OR AS OTHERWISE REQUIRED FOR PROPER DRAINAGE.
10. THE FINISH, COLOR, TEXTURE, PATTERN AND CONTROL JOINT LOCATIONS OF ALL CONCRETE FLATWORK SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF FLATWORK. REFER TO STRUCTURAL DWG'S FOR CONCRETE REINFORCING REQUIREMENTS.
11. COORDINATE SITE WORK WITH LANDSCAPE AND IRRIGATION PLANS PREPARED BY OTHERS. ALL AREAS TO BE DISTURBED BY CONSTRUCTION MUST BE LANDSCAPED AND IRRIGATED.
12. THE GENERAL CONTRACTOR SHALL ESTABLISH WORK LIMITS AND MATERIAL STAGING AREAS THAT MINIMIZE THE IMPACT TO THE SITE. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING LANDSCAPING AND SITE AMENITIES. (I.E. AREAS TO REMAIN 'NATURAL', TREES, SHRUBS, ROCK OUTCROPPINGS, STRUCTURES, UTILITIES ETC.) THE GENERAL CONTRACTOR SHALL USE ANY AND ALL MEANS AVAILABLE TO PREVENT DAMAGE FROM OCCURRING. DAMAGE TO ANY OF THESE ITEMS SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO COST TO THE OWNER.
13. ALL SITE WORK AND FINISH GRADING INCLUDING IRRIGATION SLEEVES, RETAINING WALLS, ROCK EMBAKMENTS, AREAWAYS AND DRAINAGE SWALES MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY.
14. CONCRETE PAVER COLOR AND SHAPE SHALL BE SELECTED BY THE OWNER. PAVERS SHALL BE BEDDED ON COMPACTED SAND BASE AND INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS.
15. PROVIDE ELECTRICAL POWER FOR LANDSCAPE LIGHTS AS SHOWN PER PLANS. STUB OUT FOR FUTURE LIGHTING PER OWNERS DIRECTIONS.

1 SITE PLAN
A1.1 SCALE: 1" = 20'-0"



8/15/2017 10:10:16 AM F:\Export\2017 Projects\10617 - Rob & Sharon Oeschger\2017\10617 SITE PLAN.rvt



CWX ARCHITECTS INC.
1680 Montclair Avenue,
Ste. A
Reno, Nevada 89509
Tel: (775) 829-7747
Fax: (775) 829-9745

OESCHGER GARAGE/SHOP BUILDING
3560 LUNSFORD CT, RENO, NEVADA
ROB & SHARON OESCHGER

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REVISIONS

NO.	DATE	DESCRIPTION

ISSUE DATE

FOR PERMIT 6-27-17
PLANNING REVIEW 8-15-17

Project No. 10617
Drawn by MF
Checked by CW

TITLE
ARCHITECTURAL
SITE PLAN

SHEET
A1.1



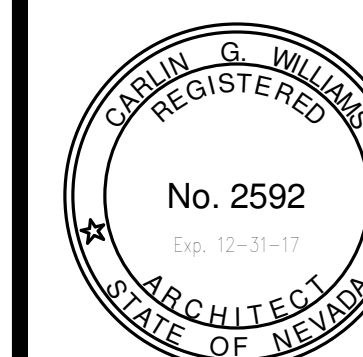
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cw architects.com

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TITLE
FLOOR PLAN

SHEET
A2.1

FLOOR PLAN KEYNOTES

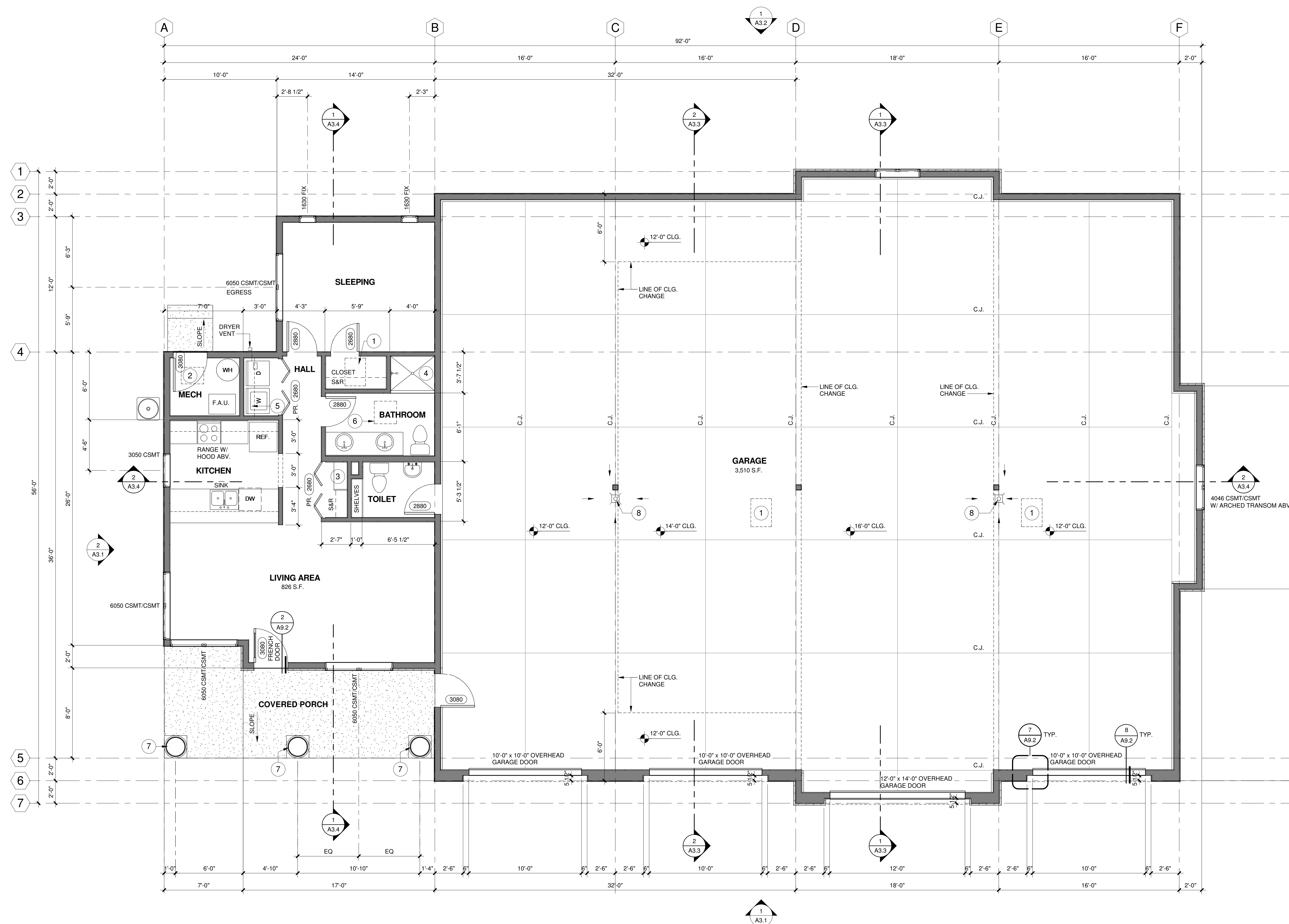
- 22" x 30" ATTIC ACCESS PANEL
- 18" x 24" CRAWL SPACE ACCESS PANEL
- (4) 16" DEEP PAINTED WOOD SHELVES
- SHOWER WITH MORTAR SET TILE FLOOR, WALLS AND CEILING. TILE LEDGE @ 60" A.F.F. ALL TILE WORK SHALL COMPLY WITH I.R.C. SECTION R702.4 AND T.C.A. STANDARDS.
- UPPER CABINETS
- 2x2 SKYLIGHT ABOVE
- DECORATIVE PRECAST COLUMN - MATCH COLUMNS AT (E) RESIDENCE
- FLOOR DRAIN

FLOOR PLAN LEGEND

- 2x6 WOOD STUD WALL, REFER TO STRUCTURAL FOR SHEAR WALL ASSEMBLY
- 2x4 WOOD STUD WALL
- 2x6 WOOD STUD WALL W/ THIN BRICK VENEER, REFER TO STRUCTURAL FOR SHEAR WALL ASSEMBLY
- CONCRETE OR PAVER FLATWORK
- GYP. BOARD SOFFIT (8'-0" TYP., U.N.O.)
- CEILING HEIGHT

CRAWL SPACE VENTILATION

FOUNDATION VENTS (F-V) 6 X 0.6 = 3.6 S.F.
REQUIRED = 826 S.F. / 1500 = 0.55 S.F.
CALCULATION BASED ON I.R.C. SECTION R408.2 EXCEPTION 2
GALVANIZED METAL FOUNDATION VENTS PER WUI 2012



FLOOR PLAN
SCALE: 1/4" = 1'-0"

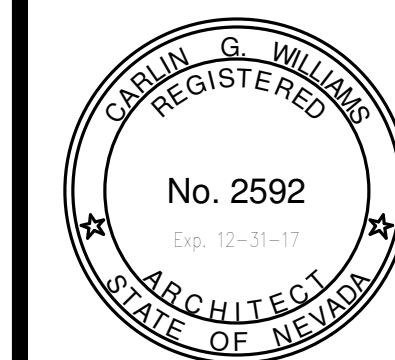
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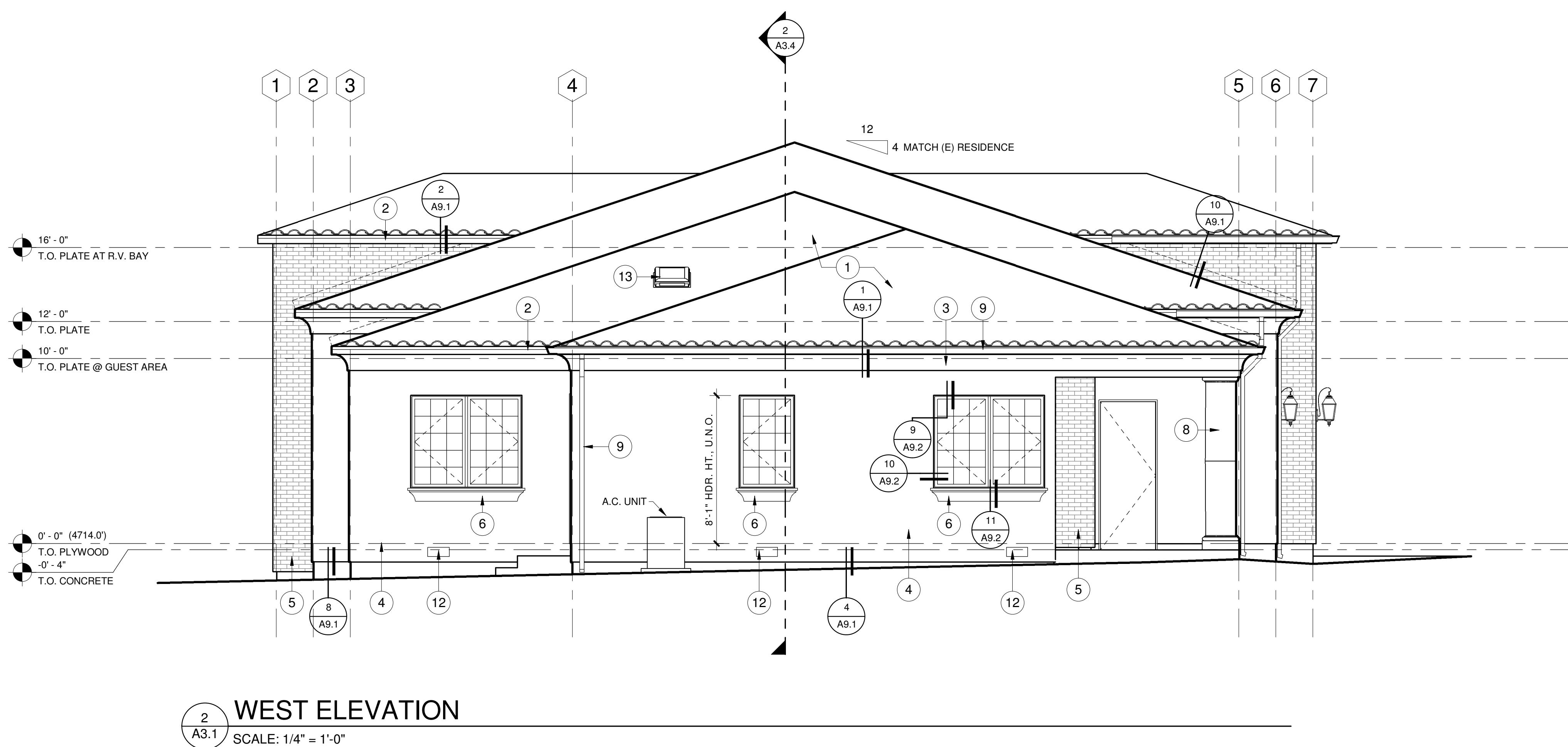
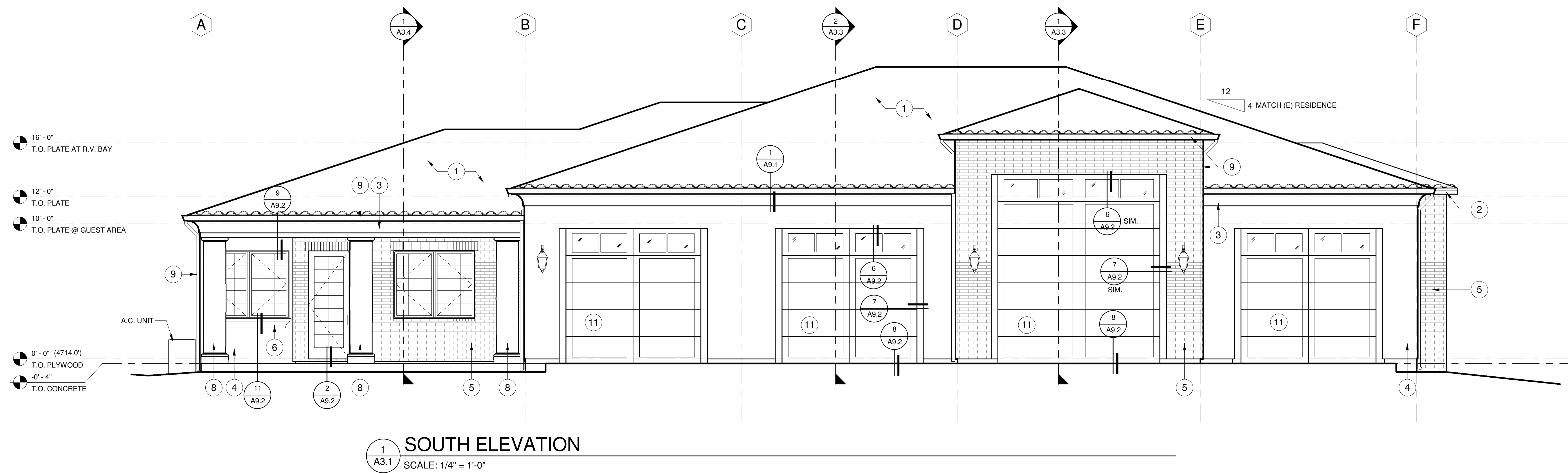
OESCHGER GARAGE/SHOP BUILDING
3560 LUNSFORD CT, RENO, NEVADA
ROB & SHARON OESCHGER

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ELEVATION KEYNOTES

- 1 CONCRETE ROOF S' TILE
COLOR: MATCH (E) RESIDENCE
- 2 R.S. WOOD FASCIA
COLOR: MATCH (E) RESIDENCE
- 3 PROJECTED FOAM STUCCO CORNICE DETAIL
COLOR: MATCH (E) RESIDENCE
- 4 STUCCO FINISH (BODY)
COLOR: MATCH (E) RESIDENCE
- 5 MANUFACTURED THIN BRICK VENEER
COLOR: MATCH (E) RESIDENCE
- 6 PROJECTED FOAM STUCCO SILL DETAIL
COLOR: MATCH (E) RESIDENCE
- 7 STANDARD LIGHT FIXTURE -
VERIFY MOUNTING HEIGHT
- 8 DECORATIVE PRECAST COLUMN
COLOR: MATCH (E) RESIDENCE
- 9 PRE FINISHED METAL GUTTERS AND DOWNSPOUTS
COLOR: MATCH ADJACENT SURFACE
- 10 DECORATIVE LIGHT FIXTURE -
VERIFY MOUNTING HEIGHT
- 11 SECTIONAL GARAGE DOOR -
COLOR: MATCH (E) RESIDENCE
- 12 6"x14" GALVANIZED METAL FOUNDATION VENT
PER WUI 2012
COLOR TO MATCH ADJACENT SURFACE
- 13 SKYLIGHT
COLOR: VELUX



REVISIONS

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FOR PERMIT	PLANNING REVIEW
6-27-17	8-15-17

Project No. 10617
Drawn by MF
Checked by CW

TITLE
EXTERIOR
ELEVATIONS

SHEET
A3.1

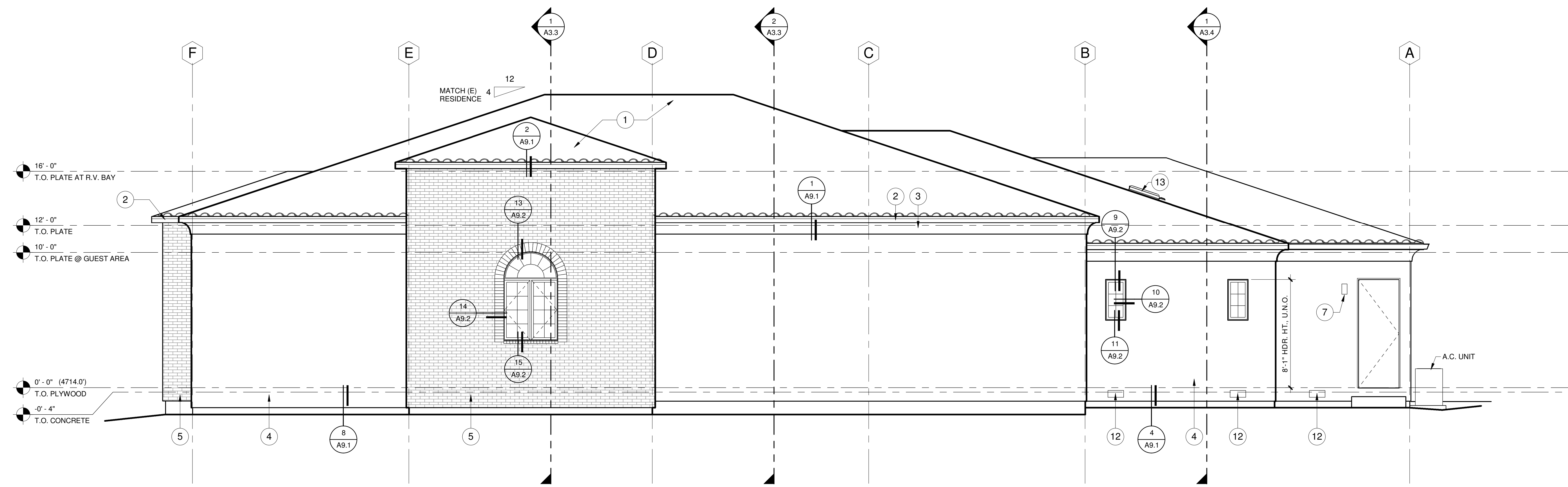


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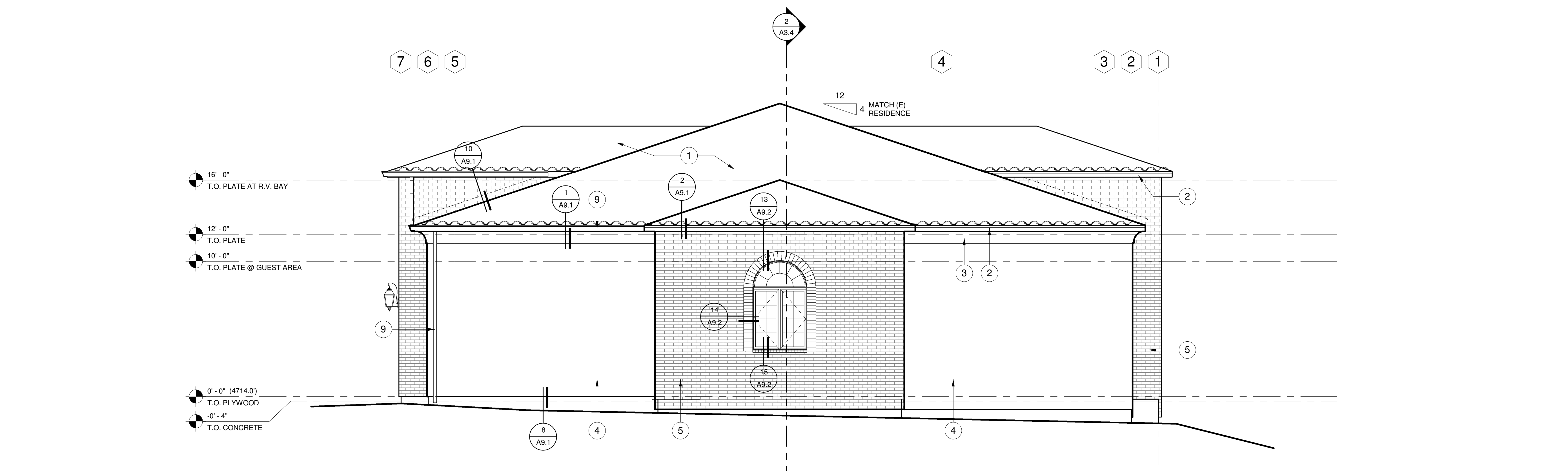
OESCHGER GARAGE/SHOP BUILDING
3560 LUNSFORD CT, RENO, NEVADA
ROB & SHARON OESCHGER

ELEVATION KEYNOTES

- 1 CONCRETE ROOF 'S' TILE
COLOR: MATCH (E) RESIDENCE
- 2 F.S. WOOD FASCIA
COLOR: MATCH (E) RESIDENCE
- 3 PROJECTED FOAM STUCCO CORNICE DETAIL
COLOR: MATCH (E) RESIDENCE
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COLOR: MATCH (E) RESIDENCE
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COLOR: MATCH (E) RESIDENCE
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COLOR: MATCH (E) RESIDENCE
- 12 6"x14" GALVANIZED METAL FOUNDATION VENT
PER W11 2012
COLOR TO MATCH ADJACENT SURFACE
- 13 SKYLIGHT
COLOR: VELUX

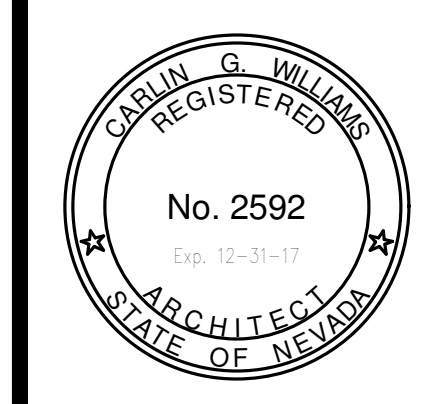


1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS

No.	Description

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FOR PERMIT	DATE
6-27-17	
PLANNING REVIEW	8-15-17

Project No. 10617
Drawn by MF
Checked by CW

TITLE
EXTERIOR ELEVATIONS

SHEET
A3.2