

Community Services Department
Planning and Building
VARIANCE APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Marelich Perimeter Fence			
Project Description: A pie-shaped parcel, our property is currently fenced on the two straight sides by a 6' wood fence. We are asking to fence the remaining perimeter's edge (the arc) with 6' basic, black iron fencing.			
Project Address: 511 Jensen Circle, Incline Village, NV 89451			
Project Area (acres or square feet): 0.420 Acres			
Project Location (with point of reference to major cross streets AND area locator): SE area of Jensen Circle, across from the cul-de-sac			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
124-072-06	0.420		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WBLD20-104675			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Mark & Megan Marelich		Name: N/A	
Address: 511 Jensen Circle		Address:	
Incline Village, NV	Zip: 89451		Zip:
Phone: 775-233-8818	Fax: N/A	Phone:	Fax:
Email: mmarelich33@gmail.com		Email:	
Cell: 775-233-8818	Other: N/A	Cell:	Other:
Contact Person: Mark Marelich		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as above		Name: N/A	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Variance Application Supplemental Information

(All required information may be separately attached)

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

Front yard setback & Height for fencing

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

The arc of our pie-shaped parcel is already restricted an average of 8' from the road, so the Code greatly diminishes usage and security of our property.

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

The arc of our parcel already offers an average 8' offset from the road, and the iron fencing would be see-through. Both aspects aiding in the visibility of the "corner" and would be far less intrusive-looking than solid fencing.

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

It would allow us to construct a strong retaining wall and fence across the property line, to which the 8' of county property can be better utilized in snow plowing and storage.

5. What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?

The other properties included in our findings have full (or nearly) use and enjoyment of the entirety of the property they pay to own.

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

Yes No If yes, please attach a copy.

7. How is your current water provided?

IVGID Public Utilities - mainline off the street

8. How is your current sewer provided?

IVGID Public Utilities - mainline into the street

COVERAGE CALCULATIONS	
TRPA Project Data	
PROPERTY DESCRIPTION: APN 124-072-26 511 JENSEN CIRCLE INCLINE VILLAGE WASHOE COUNTY, NEVADA	
ALLOWABLE COVERAGE	
TOTAL AREA OF LOT 180	18,948 SQ.FT.
LAND CAPABILITY CLASS B	30%
TOTAL ALLOWABLE COVERAGE	18,948 x 0.30 = 5,684 SQ.FT.
EXISTING COVERAGE	
EXISTING LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	2,823 SQ. FT.
ASPHALT DRIVEWAYS	1,929 SQ. FT.
SHED	128 ST.FT.
CONCRETE PORCH	458 SQ.FT.
CONCRETE PADS	222 SQ.FT.
RAILROAD TIE STEPS	198 SQ.FT.
TOTAL	5,610 SQ.FT.
OFF-SITE LAND COVERAGE PER TOPO BY ARNETT & ASSOCIATES, INC DATED 4-2020	373 SQ. FT.
PROPOSED COVERAGE	
PROPOSED LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	3,463 SQ. FT.
ASPHALT DRIVEWAYS	1,554 SQ. FT.
CONCRETE PORCH	350 SQ.FT.
CONCRETE GARAGE	44 SQ.FT.
CONCRETE ENTRY	78-SQ.FT.
TOTAL	5,505 SQ.FT.
WOOD DECK PER EXEMPTION	361 ST.FT.
OFF-SITE LAND COVERAGE	180 SQ. FT.

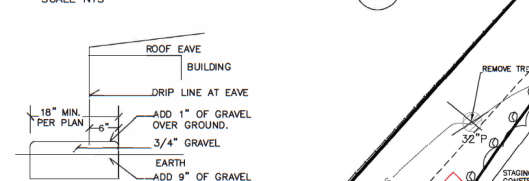
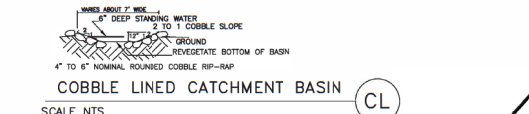
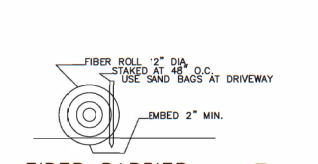
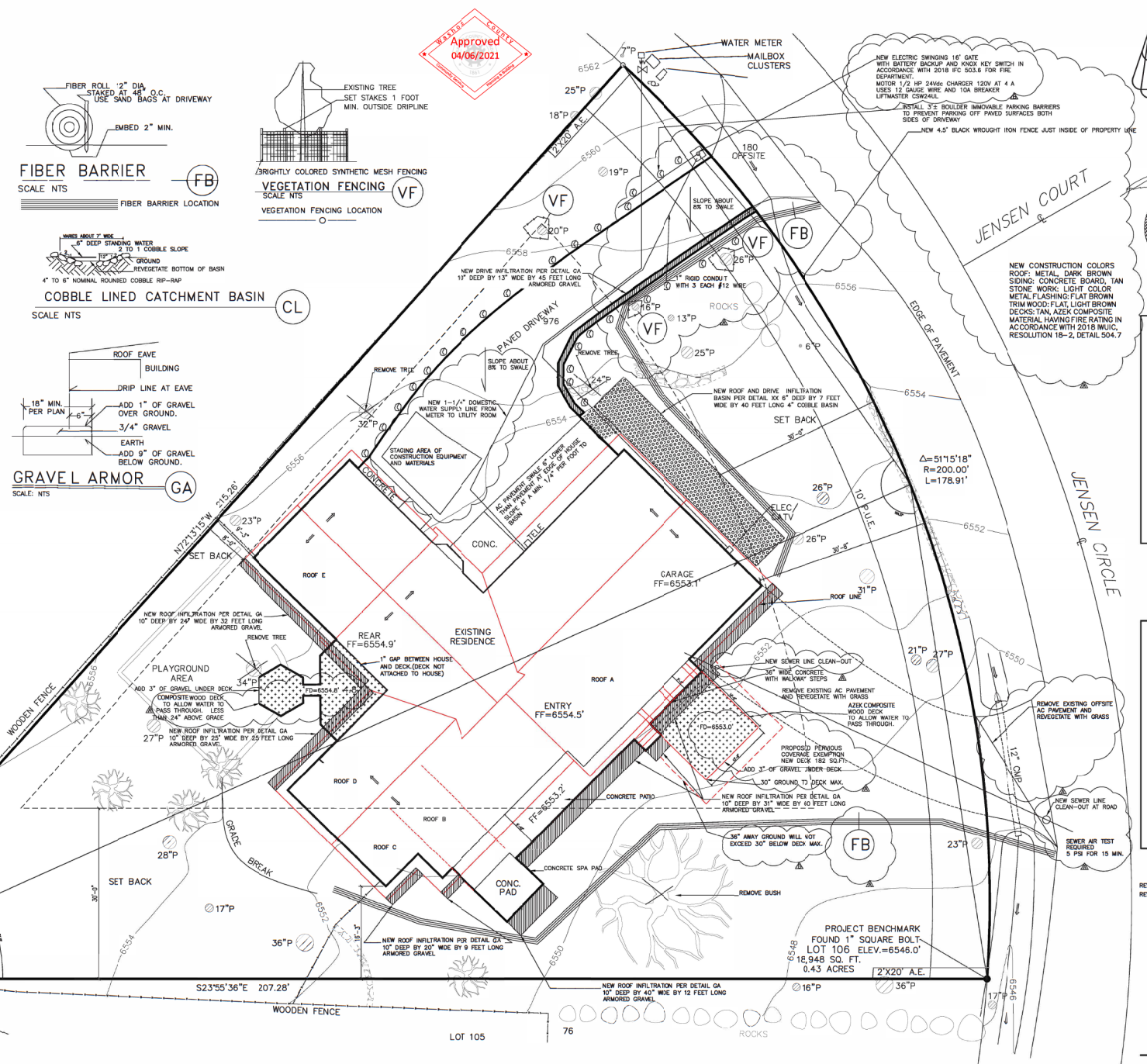
LAND COVERAGE INCENTIVE FOR RESIDENTIAL IMPROVEMENTS
RESIDENTIAL COVERAGE EXEMPTION CALCULATION WORKSHEET
CLASS B COVERAGE

STEP 1 (MAXIMUM ALLOWABLE CHANGE)
NON-SENSITIVE LAND 18,948 SQ.FT. AT 10% IS 1,894 SQ.FT.
STEP 2 NONE PERMANENT STRUCTURES IS 0 SQ.FT.
NON-SENSITIVE LAND 0 SQ.FT. AT 2% IS 0 SQ.FT.
STEP 3 NEW PEROUS DECKS IS 947 SQ.FT.
NON-SENSITIVE LAND 18,958 SQ.FT. AT 5% IS 947 SQ.FT.

STEP 3B USING LESS THAN 500 IS 361 SQ.FT.
STEP 4 NOT USED
STEP 5 TOTAL 361 SQ.FT.
PROPOSED PEROUS COVERAGE EXEMPTION LESS THAN MAX.

SITE PROTECTION NOTES

1. PROVIDE REQUIRED TEMPORARY BEST MANAGEMENT PRACTICE (BMP), VEGETATION PROTECTION FENCING AND SOIL FILTER FENCE AS REQUIRED BY TRPA FIELD INSPECTOR.
2. TRPA APPROVED FABRIC TYPE FILTER FENCING OR 12" DIAMETER FIBER ROLL MAY BE USED AS A SEDIMENT CONTROL MEASURE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL CONFINED WORK AND MATERIAL STORAGE TO AREA OF WORK AND SHALL USE ALL MEANS NECESSARY TO PROTECT TREES WITH 4" BRIGHTLY COLORED SYNTHETIC MESH MATERIAL FENCING AROUND THE DRIPLINES OF ALL TREES 4" DIA. AS WELL AS PROTECTING NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
4. ALL BARRIER AREAS SHALL BE REVEGETATED WITH NATIVE AND/OR ADAPTED PLANTS AND STABILIZED WITH 2" PINE NEEDLE MULCH IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES."
5. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY FILTER FENCING OR VEGETATION FENCING DAMAGED DURING THE COURSE OF HIS WORK.
6. TEMPORARY POWER POLE OR OTHER DEVICES MAY NOT BE ATTACHED TO TREES.
7. ALL CONSTRUCTION SHALL BE ACCOMPLISHED IN STRICT COMPLIANCE WITH THE PLANS APPROVED BY TRPA.
8. ALL MATERIALS OBTAINED FROM ANY EXCAVATION WORK THAT IS NOT CONTAINED WITHIN FOUNDATION RETAINING WALLS OR BY OTHER METHODS APPROVED BY TRPA SHALL BE REMOVED FROM THE SUBJECT PARCEL AND DISPOSED OF AT A SITE APPROVED BY TRPA.
9. LOOSE SOIL MOUNDS OR SURFACES SHALL BE PROTECTED FROM WIND OR WATER EROSION BY BEING APPROPRIATELY COVERED WHEN CONSTRUCTION IS NOT IN ACTIVE PROCESS OR WHEN REQUIRED BY TRPA.
10. EXCAVATION MATERIALS SHALL BE STORED UPSTREAM FROM THE EXCAVATED AREA TO THE EXTENT POSSIBLE.
11. THE CONTRACTOR SHALL EXPOSE AND CHECK ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS BEFORE CONSTRUCTING INFILTRATION SYSTEMS.
12. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITIONS AND AVOIDING ANY ABRUPT OR APPARENT CHANGES IN GRADE OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.



SWANN ENGINEERING

JAMES J. SWANN, P.E.
P.O. 2078 PORTOLA
CALF. 96122
775-831-9565

JAMES JAY SWANN
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEVADA
CIVIL
EXP. 6-2022

PROJECT

PROPOSED PLANS FOR :

THE MARELICH RESIDENCE

CONTENTS

PLACE
MARELICH RESIDENCE
511 JENSEN CIRCLE
INCLINE VILLAGE
WASHOE COUNTY, NEVADA
APN 124-072-06
OWNER:
MARK MARELICH
775-233-8818

PROPOSED PLOT PLAN

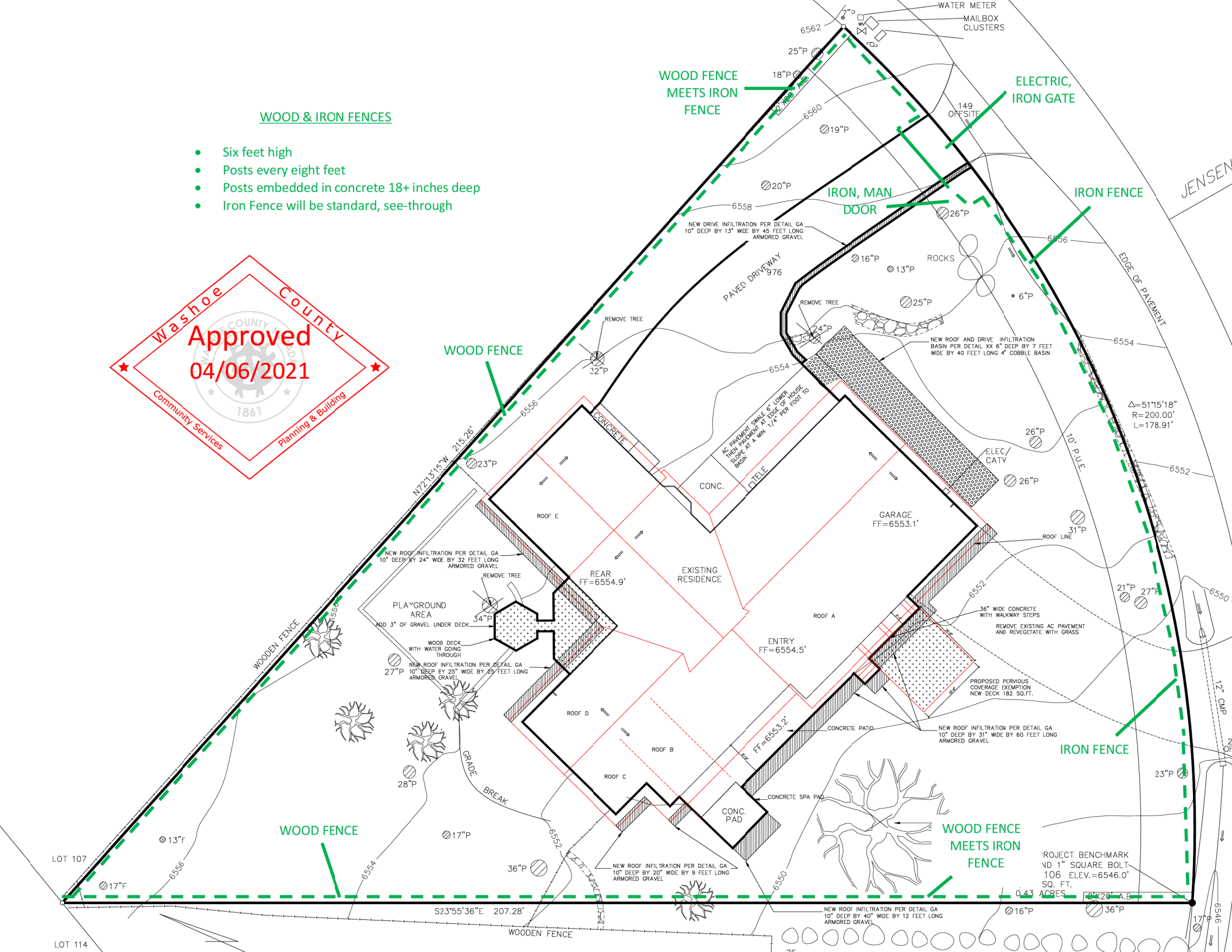
CREATED
DRAWN BY: JUS
DATE: 6-10-2019
SCALE: 1/8" = 1'-0"
JOB NO: 2019-036

REVISIONS

REV A DATE NOTE 1-15-2021
REV B DATE AND CHECK NOTE 3-17-2021

WOOD & IRON FENCES

- Six feet high
- Posts every eight feet
- Posts embedded in concrete 18+ inches deep
- Iron Fence will be standard, see-through



WOOD FENCE MEETS IRON FENCE

ELECTRIC, IRON GATE

IRON, MAN DOOR

IRON FENCE

WOOD FENCE

IRON FENCE

WOOD FENCE

WOOD FENCE MEETS IRON FENCE

PROJECT BENCHMARK
VD 1" SQUARE BOLT
106 ELEV.=6546.0'
SQ. FT.
0.43 ACRES

To Whom It May Concern:

As you see on the first page, our hope is to construct six-foot iron fencing around the remaining, unfenced perimeter of our property.

We would like to use the following precedent examples we found, from our neighborhood, to appeal for a special variance – or apply for an Administrative permit if necessary. These examples have six-foot-high fences on or very near the perimeter of their properties.

In your determination, I would also like you to please consider that the proposed iron fencing would be see-through and is also offset from the road an average of 8' – both aspects would not hinder a car's line of sight coming around the curve.

Thank You for your consideration.

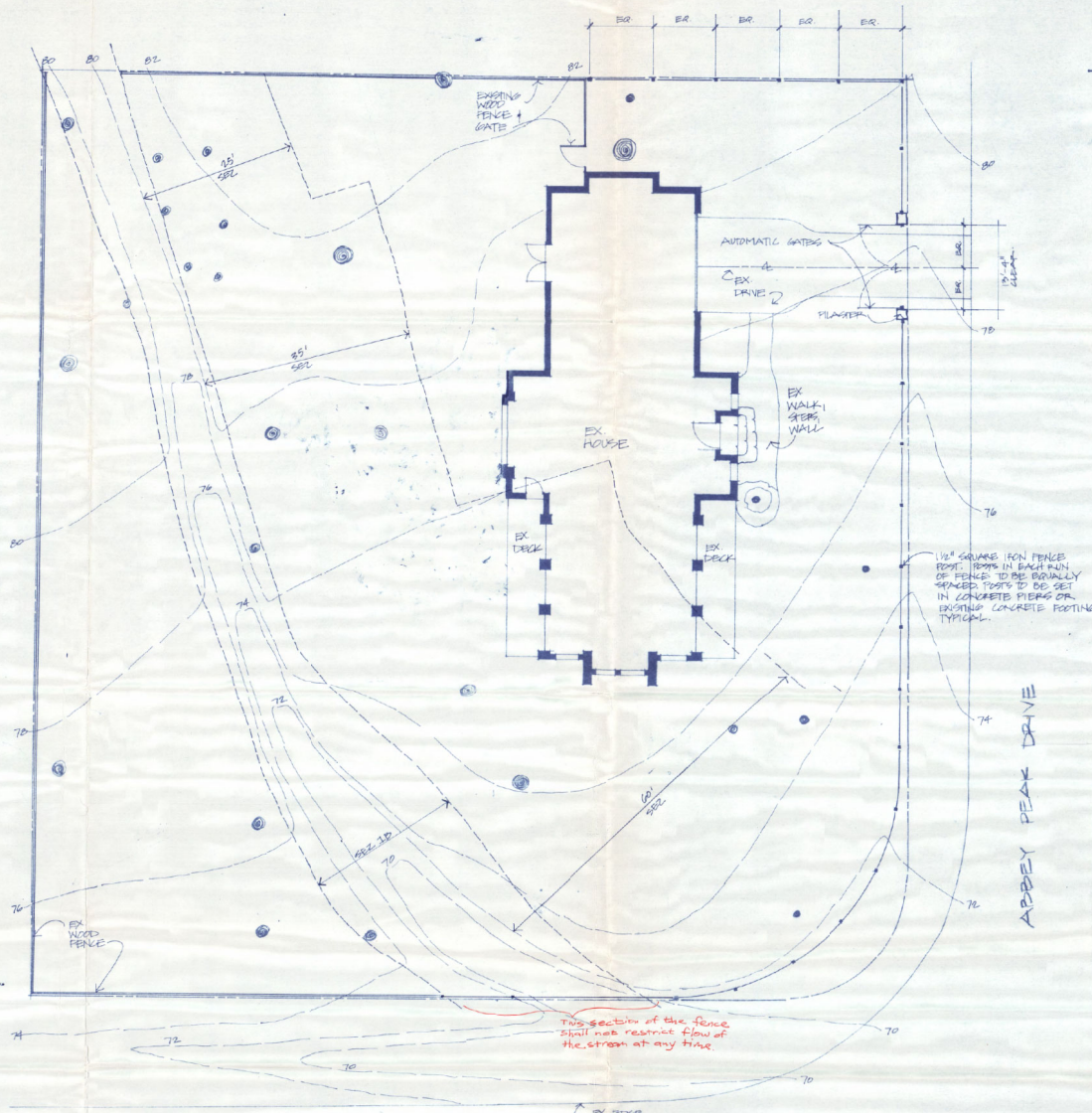
Mark & Megan Marelich

115 Abbey Peak



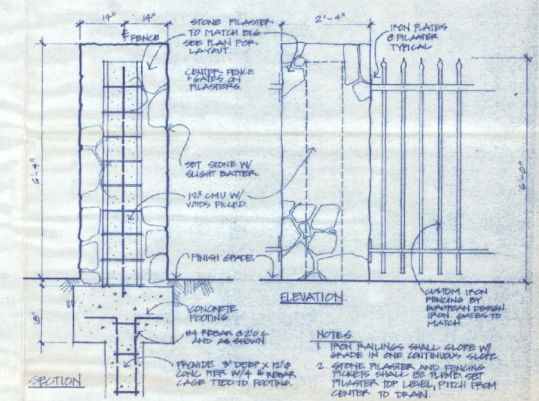
REVISED LAND COVERAGE CALCULATIONS

(a)	Total Lot Area	20,268
	Land Class 1b (SEZ)	2,440
	Land Class 6	18,824
(b)	Total Allowable Coverage	5,521
	Land Class 1b (SEZ) @ 1%	24
	Land Class 6 @ 30%	5,497
(c)	Total Existing Coverage	3,342
	Residence and Garage	2,390
	Walkway	181
	Driveway (onsite)	410
	Decks	366
(d)	Total Proposed Coverage	3,647
	Residence and Garage	2,390
	Walkway	181
	Driveway (onsite)	410
	Decks	366
	Fence Footing	300
(e)	Total Coverage to be Added	300
	Fence Footing	300



LEGEND.

- STONE PLASTER. SEE (A)
- IRON FENCE/AUTOMATIC GATE
- EX WOOD FENCE
- ⊙ EX TREE TO REMAIN
- X-X-X PROXIMITY CONTROL STRUCTURE



(A) STONE PLASTER / IRON FENCE.
SCALE = 3/4" = 1'-0"

NOTE:
ALL EXISTING DISTURBED AREAS AND AREAS DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE REVEGETATED W/ VEGETATION SPECIES IN ACCORDANCE W/ THE TPA HANDBOOK OF BEST MANAGEMENT PRACTICES

APPROVED
PROJECT APPROVED BY: [Signature]
DATE: [Date]
THIS APPROVAL IS VALID FOR 90 DAYS
TAMCO REGIONAL PLANNING AGENCY

FENCE PLAN.

JONATHAN PLANT & ASSOCIATES
71 Lafayette Circle
Lafayette, California 94549
415/283-5574

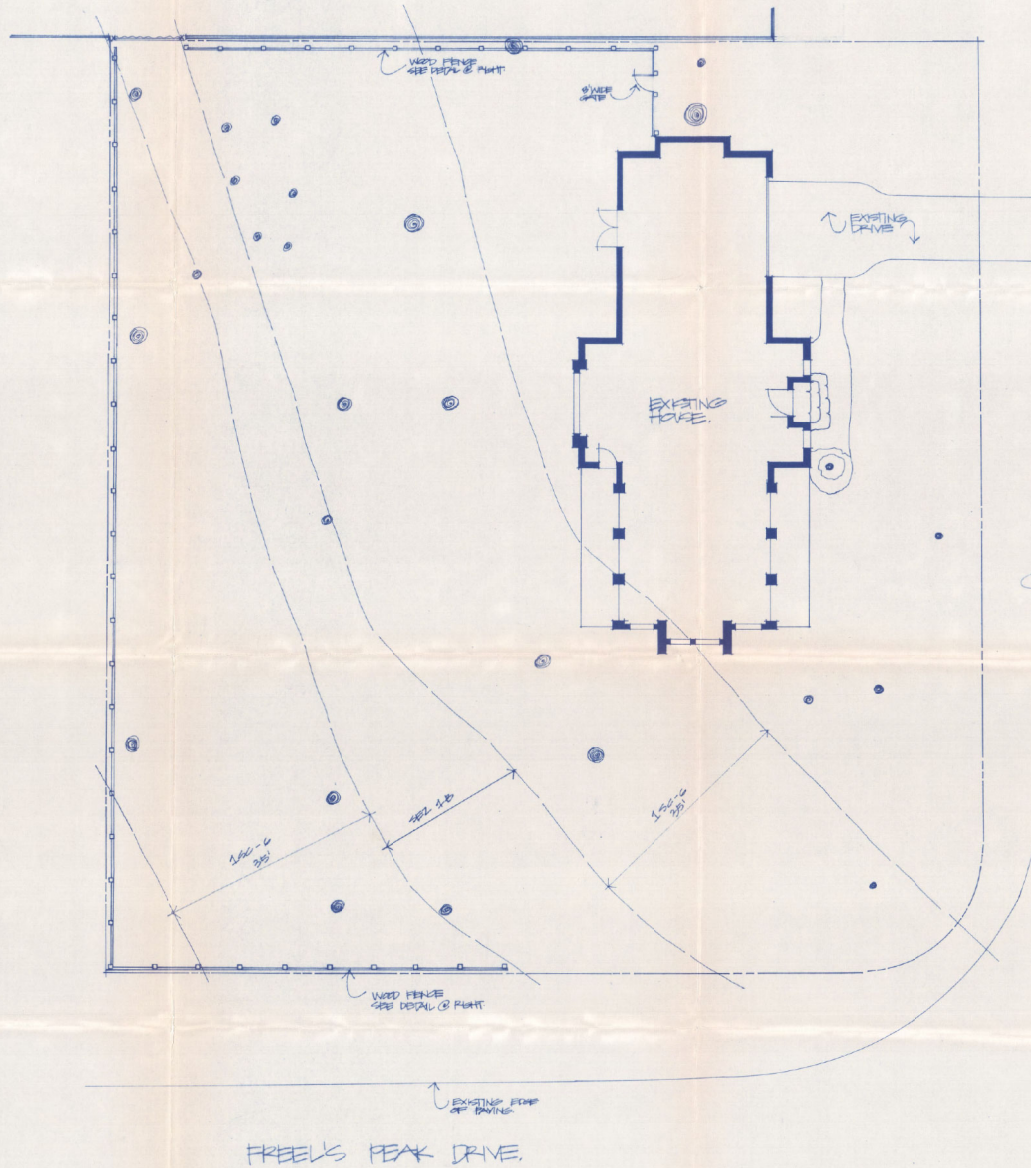
Landscape Architects

NICKEL GARDEN
INCLINE VILLAGE

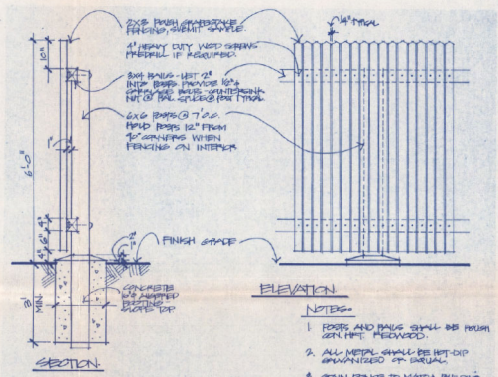
GIL NICKEL, OWNER
115 ABBEE PEAK DR.
APR 122-212-01

10/1/00 10/1/00
10/1/00 10/1/00
10/1/00 10/1/00





- LEGEND**
- EXISTING TREES TO REMAIN
 - PROPERTY LINE
 - WOOD FENCE - SEE DETAIL THIS SHEET
 - EXISTING CHAIN LINK FENCE ON ADJACENT PROPERTY
 - EXISTING WOOD FENCE ON ADJACENT PROPERTY
 - LIMIT OF SEZ ID BOUNDARY - AS SET BY TRPA FIELD OBSERVATION. DATED 10/24/90.



WOOD FENCE.
24'-0" x 4" x 1'-0"

IMPERVIOUS SURFACE COVERAGE.

EX. FOUNDATION	2,960 SF
LOT AREA	29,764 SF
SEZ (NEW)	2,440 X .01 = 24
CAPABILITY @	18,804 X .30 = 5,641 SF
ALLOWABLE COVERAGE	5,621 SF

All existing disturbed areas and areas disturbed by construction activity, shall be revegetated with vegetation species in accordance with the TRPA handbook of best management practices.

NOTE: The permittee is responsible for insuring the final plans as built, do not exceed the TRPA approved land coverage figures shown on the site plan.



LAND CAPABILITY FIELD VERIFICATION - FEE \$50.00
SEP 28, 1992 RECEIPT # 7862

FENCE PLAN.

JONATHAN PLANT & ASSOCIATES
71 Lafayette Circle
Lafayette, California 94549
415/283-5574

Landscape Architects

NICKEL GARDEN
INCLINE VILLAGE
APN-122-212-091

GAIL NICKEL, OWNER
115 ABBEE PEAK ROAD
APN-122-212-091

RECEIVED
SEP 09 1991
TAHOE REGIONAL PLANNING AGENCY

757 Champagne



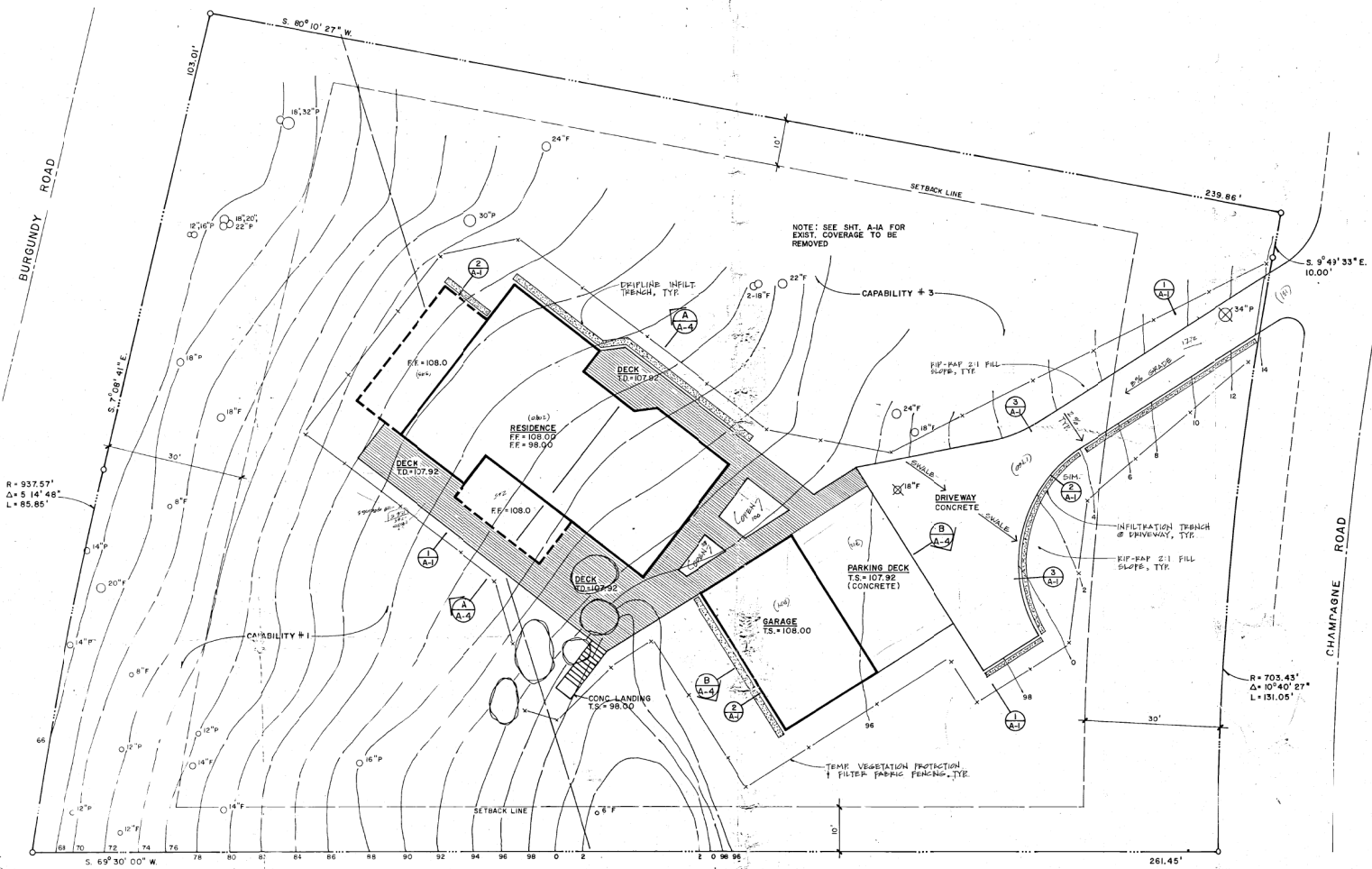
REVISIONS	BY
25 SEPT. 86	ROM

RICHARD SAWYER, ARCHITECT
 P.O. BOX 5824 INCLINE VILLAGE, NV 89450 (703) 631-5948

LAWRES RESIDENCE
 757 1/2 CHAMPAGNE RD. INCLINE VILLAGE, NEVADA

DRAWN	ROM
CHECKED	RTS
DATE	25 SEPT. 86
SCALE	NOTED
SHEET	A-1

OF 13 SHEETS



GENERAL NOTES

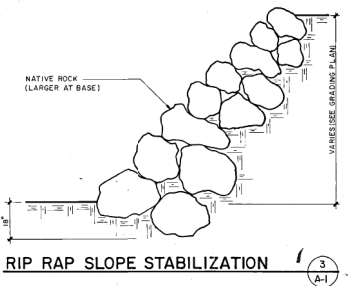
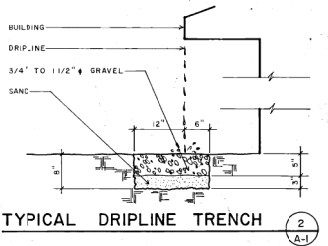
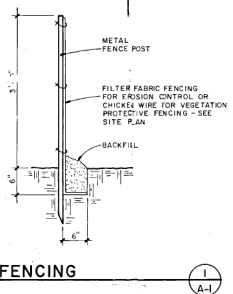
PROJECT LOCATION: 757 CHAMPAGNE RD. INCLINE VILLAGE NEVADA
 LOT 8 BLOCK 9 CHATEAU ACRES
 APN. 126-262-10 WASHOE COUNTY NEVADA

IMPERVIOUS SUMMARY

PARCEL AREA = 40,882 SQ. FT.
 LAND CAPABILITY: #1 B #3
 COVERAGE ALLOWED = 1308 SQ. FT.
 COVERAGE EXISTING = 10,317 SQ. FT.
 10% OF NONCONFORMING = 901 SQ. FT.
 NEW COVERAGE / FLR AREA = 2722 SQ. FT.
 REQUIRED REDUCTION = 3623 SQ. FT.
 EXST. LESS REQ. REDUCTION = 6694 SQ. FT.
 TOTAL COVERAGE PROPOSED = 6533 SQ. FT.

MAXIMUM BUILDING HEIGHT = 35 FT. A-1 #1
 REVEGETATE ALL DISTURBED AREAS W/ NATIVE SPECIES
 USE COMMON UTILITY TRENCH WHERE POSSIBLE
 VERIFY PTS. OF CONNECTION W/ UTILITIES
 PROVIDE 3" PEA GRAVEL UNDER DECKS
 TREES TO BE REMOVED = 2
 PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM BUILDINGS
 FILL ROD. FOR DRIVEWAY = +/- 600 CU. YDS.

SITE PLAN
 1" = 10'

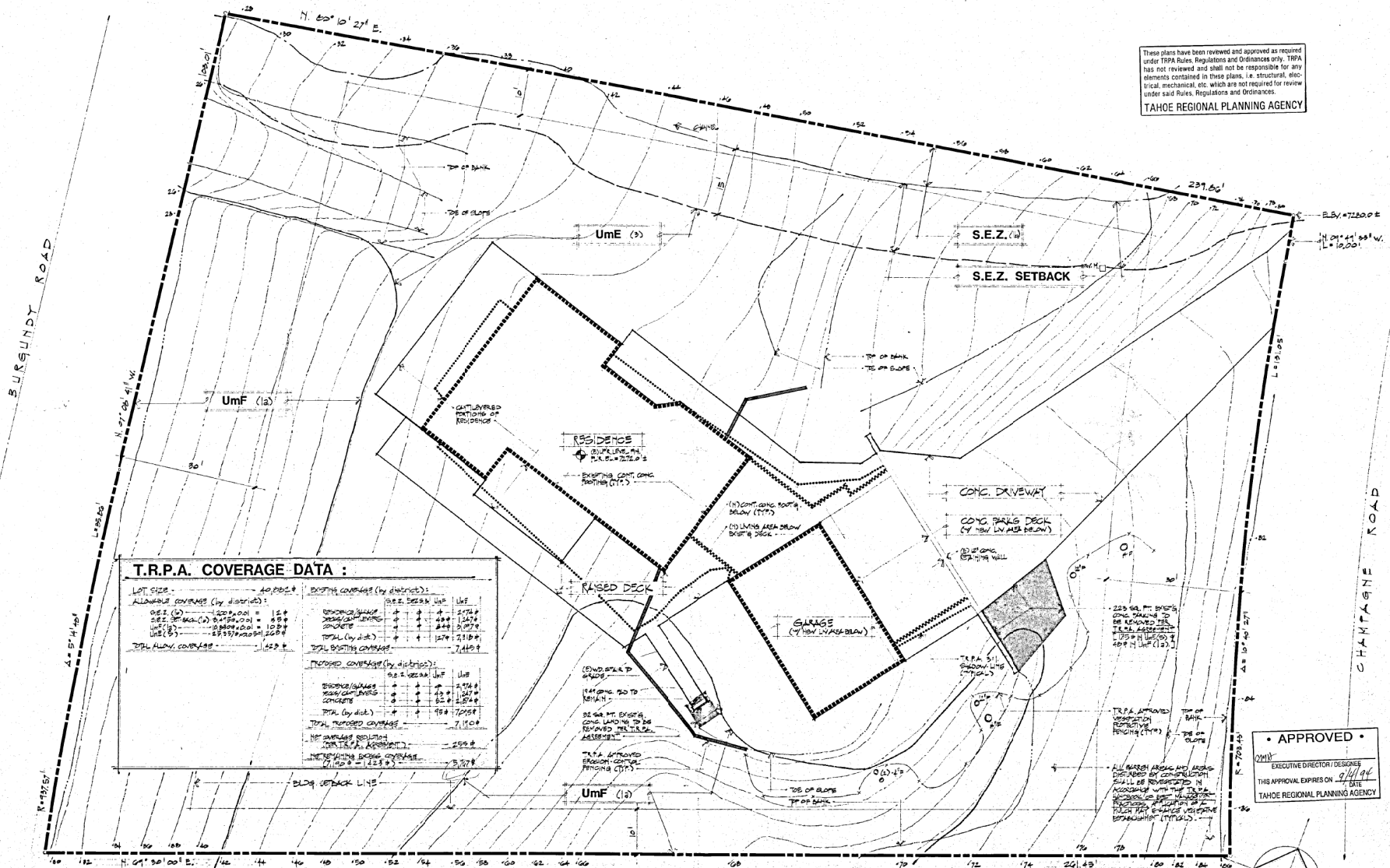


APPROVED
 TAHOE REGIONAL PLANNING AGENCY

PLANNER: *[Signature]* DATE: *11/1/86*
 INVESTIGATION: DATE: *11/1/86*
 PREPARED BY: *[Signature]* DATE: *11/1/86*

RECEIVED
 ODT - 3 1986
 TAHOE REGIONAL PLANNING AGENCY

COVERDALE ■ 757 CHAMPAGNE



These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

TAHOE REGIONAL PLANNING AGENCY

T.R.P.A. COVERAGE DATA :

LOT SIZE - 40,000 sq. ft.		EXISTING COVERAGE (by districts):	
ALLOWABLE COVERAGE (by districts):		S.E.Z. SETBACK UmE	
O.E.I. (1) - 120,000 sq. ft. = 12.0%		RESIDENCE (UMF)	2,774 sq. ft.
S.E.Z. SETBACK (2) 6,450,000 sq. ft. = 6.5%		CONCRETE	1,674 sq. ft.
UmF (1a) - 8,000,000 sq. ft. = 10.0%		TOTAL (by dist.)	4,448 sq. ft.
UmF (1b) - 2,550,000 sq. ft. = 2.6%		TOTAL EXISTING COVERAGE	7,142 sq. ft.
TOTAL ALLOW. COVERAGE	1,229 sq. ft.	PROPOSED COVERAGE (by districts):	
		S.E.Z. SETBACK UmF	
		RESIDENCE (UMF)	2,774 sq. ft.
		CONCRETE	1,674 sq. ft.
		TOTAL (by dist.)	4,448 sq. ft.
		TOTAL PROPOSED COVERAGE	7,142 sq. ft.
		NET AVAILABLE RESIDUAL COVERAGE (TRPA, P.A. AGREEMENT)	250 sq. ft.
		NET RESIDUAL EXCESS COVERAGE (TRPA, P.A. AGREEMENT)	25,778 sq. ft.

APPROVED

DATE: 9/14/97

TAHOE REGIONAL PLANNING AGENCY

REVISIONS	BY

JAMES COSTALUPES
GENERAL CONTRACTOR
1015 S. MAIN ST., SUITE 101
SPRING VALLEY, NV. 89402
(702) 881-5827

DAVID COVERDALE
757 CHAMPAGNE ROAD
INCLINE VILLAGE, NEVADA

PROPOSED MODIFICATIONS FOR :

DATE: 1/27/92
SCALE: CHAN
DRAWN: JLM
JOB #: 40-1101
SHEET: 1
OF 12 SHEETS

849 Lakeshore



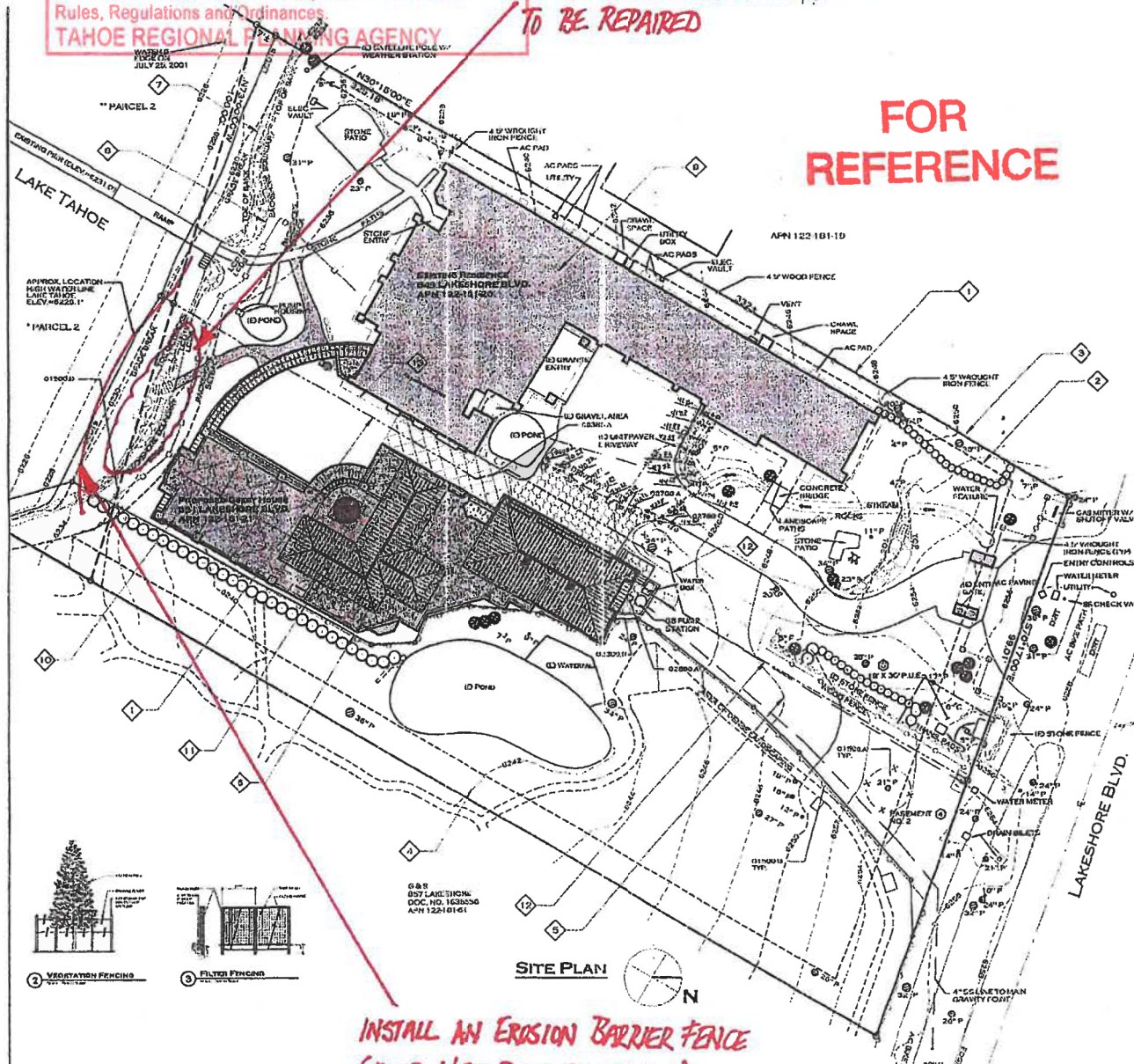
BY: Good DATE: 5/11/18

These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

TAHOE REGIONAL PLANNING AGENCY

EXISTING ROCK SLOPE / WALL / STEEP TO BE REPAIRED

FOR REFERENCE



MATERIAL KEYNOTES

- 01500A VEGETATION FENCE
- 01600B FILTER FENCE
- 02100H 2IN SLOPE PIERCE (MAINTAIN PHYSICAL CONTACT)
- 02700A AREA DIMEN
- 02700A 1/2" W/ PAVED, MATCH EXISTING
- 02700C 60#G. REINFORCEMENT, MATCH EXISTING
- 09000A STONE FLOOR TILE, GRANITE 40"x48"x3/4"

REFERENCE NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACK LINE
- 3 PROJECT LIMITS
- 4 EXISTING CONTOUR LINE (DASHED)
- 5 NEW CONTOUR LINE (SOLID)
- 6 BASEMENT LINE
- 7 TOP OF SLOPE
- 8 TOE OF SLOPE
- 9 ADJACENT STRUCTURE
- 10 LIMITS OF FOUNDATION
- 11 LIMITS OF ROOF
- 12 PROPOSED PROPERTY LINE
- 13 LIMITS OF ID ROOF ABOVE

SITE PROTECTION NOTES

- A. PROTECT EXISTING VEGETATION BY SET MANAGEMENT PRACTICES USING VEGETATION PROTECTION FENCING AND BARRIERS. FALTER FENCING AS INDICATED ON SITE PLAN AND AS REQUIRED BY TRPA FIELD PRODUCTION.
- B. TRPA APPROVED 40G TYPE FILTER FENCING 60# GALV. 1 1/2" W/ PAVED.
- C. THE CONTRACTOR SHALL CONFINE WORK MATERIALS TO DRIVEWAY AND RESERVES AND SHALL USE ALL MEANS NECESSARY TO PROTECT THE EXISTING NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
- D. ALL DITCHES AND AREAS OF EROSION DURING CONSTRUCTION SHALL BE PROTECTED BY ACCORDANCE WITH THE TRPA MANUAL OF BEST MANAGEMENT PRACTICES APPROPRIATE FOR A SLOPE WITH EXISTING VEGETATION.
- E. THE TREES ON THIS PARCEL SHALL NOT BE REMOVED OR TRIMMED FOR THE PURPOSES OF VIEW OR LANDSCAPE AND SUCH REMOVAL OR TRIMMING SHALL CONSTITUTE A VIOLATION OF PROJECT APPROVAL.

SITE NOTES

- A. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE BEGINNING SITE WORK.
- B. SURFACE UNDERPINNING (UTILITY LINES AND BARRIERS) IS TO BE CONSTRUCTED WITH THE REQUIREMENTS OF THE PROJECT APPROVAL.
- C. ELEVATION MARKS INDICATE ELEVATION OF FINISH MATERIALS. VERIFY THICKNESS OF FINISH MATERIALS AND FINISH PREPARING SURFACE ACCORDINGLY.
- D. FINISH GRADE TO HAVE A POSITIVE SLOPE AWAY FROM BUILDING FOR A MINIMUM OF 8 FEET.
- E. EARTHWORK CONTRACTOR SHALL REFACE ANY FILTER FENCE OR VEGETATION PROTECTION DAMAGED DURING THE COURSE OF HIS WORK.
- F. ALL REPAIRS GREATER THAN 2.0" TO BE REPROTECTED WITH THE SAME ACCORDANCE WITH THE MANUAL OF BEST MANAGEMENT PRACTICES.
- G. SURVEY DATA TAKEN FROM TOPOGRAPHIC SURVEY DATED 10/20/11 BY SURVEYOR JAMES T. HILL, LICENSE NO. 115830 DATED 21 JULY 2001.

S.M. DESIGN GROUP
architecture
DESIGN
planning
GROUP
120 COUNTRY CLUB DRIVE, NO. 17
INCLINE VILLAGE, NEVADA 89451
TEL: 775.831.7188
FAX: 775.831.7181
www.smtdesigngroup.com



PROJECT

PROPOSED GUEST HOUSE FOR:
LAKESHORE INVESTMENTS III
849 / 851 LAKESHORE BOULEVARD
INCLINE VILLAGE, NEVADA 89451

REVISIONS:

DATE OF ISSUE: 6 SEPT. 2002
ISSUED FOR: CONSTRUCTION
CHECKED BY: JND
SCALE: 1/16" = 1'-0"
PROJECT NO.: 0110.00

SHEET CONTENTS
SITE PLAN

SHEET NUMBER
A1.2

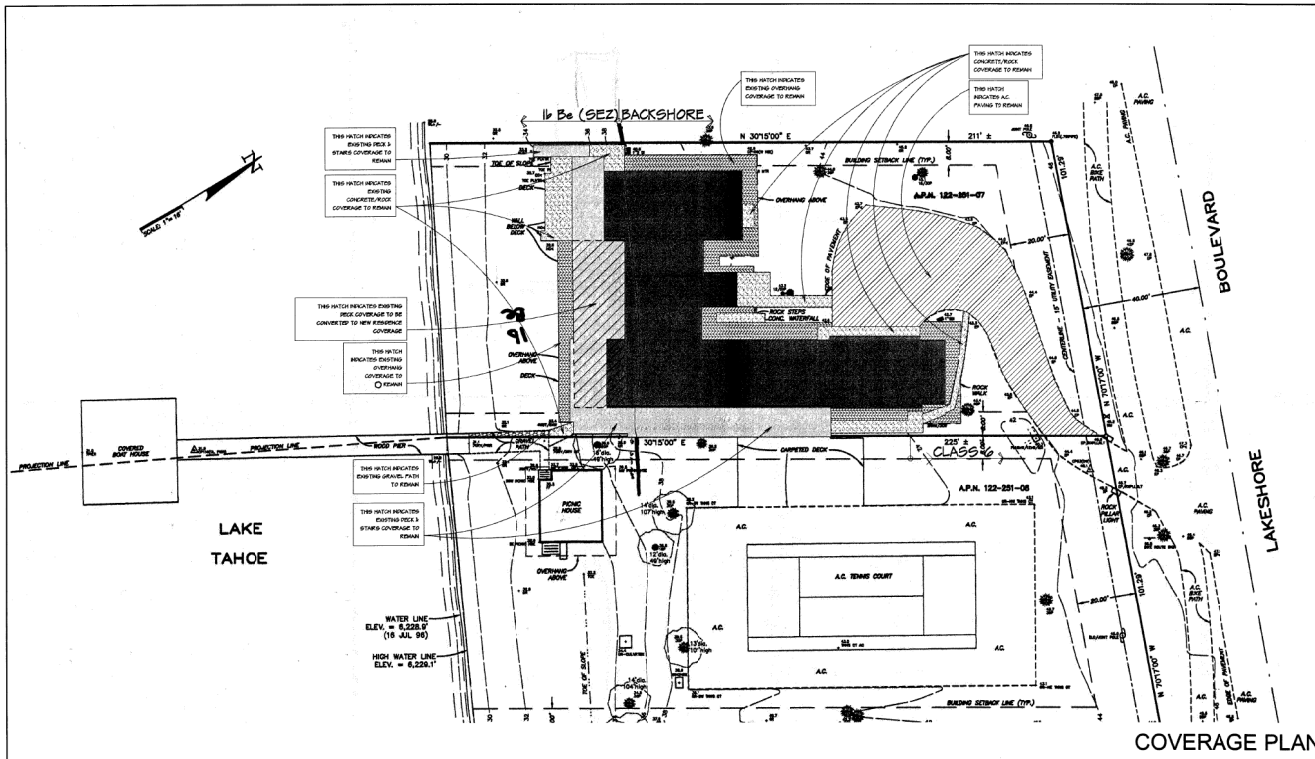
RECEIVED
SEP 11 2002
C&D CONSTRUCTION

915 Lakeshore



923 Lakeshore





COVERAGE INFORMATION		
LOT AREA (TO HIGH WATER LINE) 2176 SQ. FT. 0.4924 ACRES	BASE ALLOWABLE COVERAGE APN: 122-291-02 CLASS 6 16,877 SQ. FT. ± 35% CLASS 8 6,624 SQ. FT. ± 13%	TOTAL COVERAGE: 11,603 * THE EXISTING COVERAGE IS GRANDFATHERED IN AND DOES NOT COMPLY WITH THE BASE ALLOWABLE COVERAGE INDICATED ABOVE
TRPA VERIFIED EXISTING COVERAGE IMPERVIOUS SURFACE AREA 1B Bc (BACKSHORE)	TRPA VERIFIED EXISTING COVERAGE IMPERVIOUS SURFACE AREA (CLASS 6)	
RESIDENCE 964 SQ. FT. DECK/STAIRS 1244 SQ. FT. CONCRETE/BLK 546 SQ. FT. AC PAVING 0 SQ. FT. OVERDRAGS 179 SQ. FT. GRAVEL/BLK/PATH 45 SQ. FT. TOTAL 2.4M SQ. FT.	RESIDENCE 4220 SQ. FT. DECK/STAIRS 628 SQ. FT. CONCRETE/BLK 645 SQ. FT. AC PAVING 2623 SQ. FT. OVERDRAGS 197 SQ. FT. GRAVEL/BLK/PATH 2 SQ. FT. TOTAL 9155 SQ. FT.	
NOTE: THERE IS NO NEW PROPOSED COVERAGE	NOTE: THERE IS NO NEW PROPOSED COVERAGE	

FERTILIZATION MANAGEMENT PLAN

Provision for initial implementation of landscaping including establishment of seeded and sodded areas shall be accomplished in accordance with specifications which are in accordance with TRPA BMP 65 "Plantation Management" recommendations.

Commercial Fertilizer: Fertilizer shall be formulated by a commercial fertilizer supplier. Top dress fertilize release fertilizer shall be accordance with specifications (16-22-1). Top dress slow-release fertilizer shall be Osmocote (17-7-12). Specific plant fertilize shall be Osmocote (17-7-12) pellets or Agriflex (16-10-10) Tablets.

When planting trees and shrubs newly distributed trees and shrub fertilizer tablets in plant pots using 1 ounce of Osmocote or 2 Agriflex tablets per plant. The use of ammonium nitrate is prohibited.

Shrubbery fertilizers shall be limited to other plants also indications of nutrient deficiency. Rate as listed.

Heavily sodded turf areas shall be fertilized one month after installation with top dress fertilizer at the rate of three pounds per 1000 square feet. Immediately after fertilizer application, water very thoroughly to avoid burning foliage and to drive nutrients into the root zone.

Areas to be sodded in the fall shall receive one application of slow release fertilizer applied at a rate of 200 pounds per acre.

Areas to be sodded in the spring/early fall shall receive one application of fast release fertilizer applied at a rate of 200 pounds per acre.

Areas to be sodded shall be watered to the depth of 2-4 inches using a sprinkler or a sprayer with a nozzle attached to the side of a hose or a sprayer with a nozzle attached to the side of a hose.

TRPA SPECIAL CONDITIONS & DETAILS

Provide a 3" layer of gravel (open or 3/4" diameter) beneath all raised decks and stairs.

A minimum driveway slope of two percent based on a collection trench shall exist at a minimum of 10' wide and 8' deep. All 8' deep shall be 5/8" diameter. See details and plan notes.

Mediated stabilization of the driveway fill slope in accordance with the TRPA handbook of Best Management Practices (BMP's).

All barren areas and areas disturbed by construction shall be revegetated in accordance with the TRPA handbook for Best Management Practices. Application of a mulch may enhance vegetation establishment.

A. Color: The color of the driveway, including any fences as the property, shall be compatible with the surroundings. Disturbed colors in the driveway and concrete areas shall be used for the repair of color that bleed rather than contrast with the existing vegetation and earth tone. Earthtone colors are considered to be shades of reddish brown, tan, olive, white and sand.

B. Rebar: Rebar shall be composed of non-toxic materials or weathered materials that erode reflectively.

C. Fences: Wooden fences shall be used whenever possible. If a system fence must be used, it shall be coated with a brown or black vinyl, including fence poles. Fencing on the property shall be managed to include the appropriate type of fence and frequency of the application to avoid release of excess nutrients and excess use of fertilizer.

No trees shall be removed or trimmed for the purpose of view enhancement without prior written approval.

The architectural design of the project shall include elements that screen from public view all external mechanical equipment. The includes rear entrance, satellite receiving dishes, communication equipment and utility hardware on roofs, balconies or on the ground. Rebar, including mechanical equipment and utility, shall be constructed of non-toxic finishes that erode reflectively. Contractor equipment shall be limited to the foundation footprint. In remote reflectivity. The adequacy of all BMP's as shown on the final construction plans shall be determined at the time of the TRPA pre-grading inspection. Any required modification as required by TRPA shall be incorporated into the project permit at that time.

The permittee shall not construct any finished floor which is less than minimum grade measured at the bottom where the foundation and exterior wall meet. Any modifications of the structure shall conform to TRPA's height limitations.

ADDITIONAL TRPA NOTES

THE DISPOSAL LOCATION FOR CUT MATERIALS WILL BE AT CARSON CITY DISPOSAL ALL EXPOSED METAL ROOFING MATERIALS INCLUDING FLASHING AND CHIMNEY CAPS SHALL BE PAINTED OR PRO-WEATHERED TO MINIMIZE REFLECTIVITY. NATIVE VEGETATION APPROPRIATE TO THE BACKSHORE SHALL NOT BE REMOVED OR DAMAGED IN THE BACKSHORE. ALL FERTILIZATION SHALL UTILIZE SLOW-RELEASE FERTILIZERS. ALL EXISTING TREES NOT MARKED FOR REMOVAL ON THE SITE PLAN SHALL BE PRESERVED. THESE TREES PROVIDE SCREENING OF THE PROPOSED RESIDENCE FROM THE WATERS OF LAKE TAHOE AND ARE CONSIDERED SCENIC VISTAS. THESE TREES MAY NOT BE REMOVED OR TRIMMED FOR VIEW ENHANCEMENT. IF ANY OF THESE TREES ARE REMOVED FOR ANY REASON, THE REMOVED TREES SHALL BE REPLACED WITH THREE CONIFERS AT LEAST 16" IN HEIGHT AND 1 1/2" DBH.

NOTE: ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE LAKE TAHOE BACKSHORE SECOND EDITION.

NOTE: DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST SALT SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 50 FEET OF STRUCTURES.

NOTE: STRAW BALES ARE NO LONGER ACCEPTABLE FOR TEMPORARY EROSION CONTROL OR MULCH MATERIAL IN THE LAKE TAHOE BACKSHORE. THE USE OF STRAW AND CONTROLLED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE BASIN. THE USE OF ALTERNATIVES TO STRAW BALES, SUCH AS FINE NEEDLE BALES, FLUXER FABRIC, COIR LOGS AND FINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.

C. Fences: Wooden fences shall be used whenever possible. If a system fence must be used, it shall be coated with a brown or black vinyl, including fence poles. Fencing on the property shall be managed to include the appropriate type of fence and frequency of the application to avoid release of excess nutrients and excess use of fertilizer.

No trees shall be removed or trimmed for the purpose of view enhancement without prior written approval.

The architectural design of the project shall include elements that screen from public view all external mechanical equipment. The includes rear entrance, satellite receiving dishes, communication equipment and utility hardware on roofs, balconies or on the ground. Rebar, including mechanical equipment and utility, shall be constructed of non-toxic finishes that erode reflectively. Contractor equipment shall be limited to the foundation footprint. In remote reflectivity. The adequacy of all BMP's as shown on the final construction plans shall be determined at the time of the TRPA pre-grading inspection. Any required modification as required by TRPA shall be incorporated into the project permit at that time.

The permittee shall not construct any finished floor which is less than minimum grade measured at the bottom where the foundation and exterior wall meet. Any modifications of the structure shall conform to TRPA's height limitations.

GENERAL NOTES

1) THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY DURING THE COURSE OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, OR ENGINEER.

2) ALL ELEVATIONS ARE BASED ON EXISTING DATA. THE CONTRACTOR, OWNER, ENGINEER, AND ARCHITECT TO VERIFY DRAINAGE BUILDING ELEVATIONS AND GRADING PRIOR TO START OF CONSTRUCTION.

3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES DURING THE RAINY SEASON. OPERATION AND PROTECT ALL GRADED AREAS FROM EROSION. THE CONTRACTOR SHALL REPAIR ANY AREAS OF EROSION PRIOR TO ACCEPTANCE OF GRADING.

4) THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITY LINES OR OTHER UNDERGROUND FACILITIES AT PROPOSED CROSSINGS OR CONNECTION POINTS TO VERIFY LOCATION AND ELEVATION. BACK FILL SHALL BE INCLUDED IN THE PRICE FOR VARIOUS ITEMS OF WORK.

5) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING MONUMENTS OR OTHER SURVEY MARKERS. ALL SUCH MONUMENTS OR MARKERS PRESERVED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6) IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT IMMEDIATELY UPON ANY EXISTING CONDITION THAT WILL REFLECT CHANGES FROM THE CONSTRUCTION DOCUMENTS.

7) THE CONTRACTOR SHALL CALL THE ARCHITECT 24 HOURS PRIOR TO PLACING CONCRETE IN FOOTINGS FOR STEEL INSPECTION.

8) THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS.

9) THE CONTRACTOR IS TO SUBMIT SAMPLES FOR APPROVALS AND NOTIFY THE ARCHITECT AND INTERIOR DESIGNER PRIOR TO PLACING AND INSTALLATION OF ALL LIGHTING FIXTURES, INTERIOR FINISHES, CABINETS, ETC.

10) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, OMISSIONS, ERRORS, OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER ACCIDENTAL OR INTENTIONAL.

GENERAL NOTES

11) TEMPORARY UTILITIES AND SERVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. THESE UTILITIES AND SERVICES SHALL NOT UNLAWFULLY IMPROVE UPON THE AREA'S NATURAL ELEMENTS SUCH AS TREES, ROCKS, SHRUBS, ETC. TEMPORARY HOODS, SUCH AS LIGHTS AND POWER SHALL HAVE THEIR OWN TEMPORARY POLES AND SHALL NOT UTILIZE TREES OR OTHER NATURAL ELEMENTS FOR THAT PURPOSE.

12) REMOVAL OF TEMPORARY FACILITIES SHALL OCCUR AS PROGRESS OF WORK PERMITS AND NOT LATER THAN THE COMPLETION OF WORK.

13) ADEQUATE MEASURES SHALL BE TAKEN TO PROTECT AREAS OUTSIDE THE IMMEDIATE CONSTRUCTION ZONE AND SHALL BE STRICTLY OBSERVED.

14) WHERE A TREES EXISTS WITHIN THE CONSTRUCTION AREA, THE VEGETATION PROTECTIVE FENCING MUST BE PLACED BEYOND THE PRE-LINE OF THE OUTERMOST BRANCHES OR, IN LIMITED INSTANCES AT THE LIMIT OF THE RESIDENTIAL FOUNDATION. NO EQUIPMENT, PERSONS, OR INSTRUMENTS IS ALLOWED WITHIN THE VEGETATION FENCING.

15) ADJACENT PROPERTY SHALL BE RESPECTED AND ADEQUATELY PROTECTED. IF IT SHOULD BECOME NECESSARY TO USE THE ADJACENT PROPERTY FOR ANY REASON, THE REASON SHALL BE SPECIFIED AND WRITTEN PERMISSION SHALL BE OBTAINED FROM THE RESPECTIVE OWNER(S).

16) ANY AREAS AFFECTED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.

17) ANY MATERIAL FROM CLEANING AND EXCAVATION WHICH IS UNSUITABLE FOR FILL OR LANDSCAPING SHALL BE REMOVED FROM THE SITE.

18) BACK FILLING OF TRENCHES, FOUNDATION, AND OTHER EXCAVATION SHALL BE DONE IN SUCH A MANNER AS TO NOT DISRUPT NATURAL SITE CONDITIONS, DRAINAGE, GROUND COVER, ETC.

19) BACK FILLING OF TRENCHES, FOUNDATION, AND OTHER EXCAVATION SHALL BE DONE IN SUCH A MANNER AS TO NOT DISRUPT NATURAL SITE CONDITIONS, DRAINAGE, GROUND COVER, ETC.

20) THE CONTRACTOR IS PERMITTED ONE HIGH STAGING AND POOL AND SUBCONTRACTORS.

21) COMPLETE CLEAN UP OF THE CONSTRUCTION SITE AND ALL AFFECTED AREAS OUTSIDE THE CONSTRUCTION SITE SHALL BE AN INHERENT PART OF THE WORK. NO TRASH SHALL BE ALLOWED TO ACCUMULATE DURING CONSTRUCTION AND SHALL BE REMOVED AT LEAST ON A WEEKLY BASIS.

22) VERIFY /OWNER ALL ITEMS TO BE REMOVED, REUSED, OR STORED.

23) REFER TO ENLARGED SITE PLAN, FLOOR PLANS, ELEVATIONS, SECTIONS, DETAILS, & SCHEDULES TO COORDINATE EXTENT OF DEMOLITION AND NEW WORK.

24) CONSULT /OWNER OR ARCHITECT FOR DESIGN OF ALL NEW SITE WALLS & FENCING.

THESE DRAWINGS HAVE BEEN PREPARED BY DALE COX ARCHITECTS P.C. (12/21/2016) AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS, IN ANY LOCATION, OR BY ANY OTHER PERSONS WITHOUT THE WRITTEN APPROVAL AND PARTICIPATION OF DALE COX ARCHITECTS. REPRODUCTION IS PROHIBITED.

REVISIONS

923 Lakeshore Blvd

RECEIVED
JUL 3 1 2018
TRPA PERMITTING
PLANNING AGENCY

DALE COX ARCHITECTS
ARCHITECTURE, PLANNING, CONSTRUCTION MANAGEMENT
Post Office Box 917 Truckee, CA 96162
Phone: (530) 332-1111 Fax: (530) 332-9933

DRAWN BY: Author
DATE: 7/25/13
SCALE: 1" = 20'-0"
JOB # 923

122-291-02 (1/13/2013) (22/1) 07/10/13
BANKS ASSOCIATES LIMITED
Lesli Kaufman - Kaufman Planning
100 LAKESHORE BLVD - WASHOE COUNTY
03 - Soils/Phase II Investigations

A1.1

881 Lakeshore



395 Mountain Lake

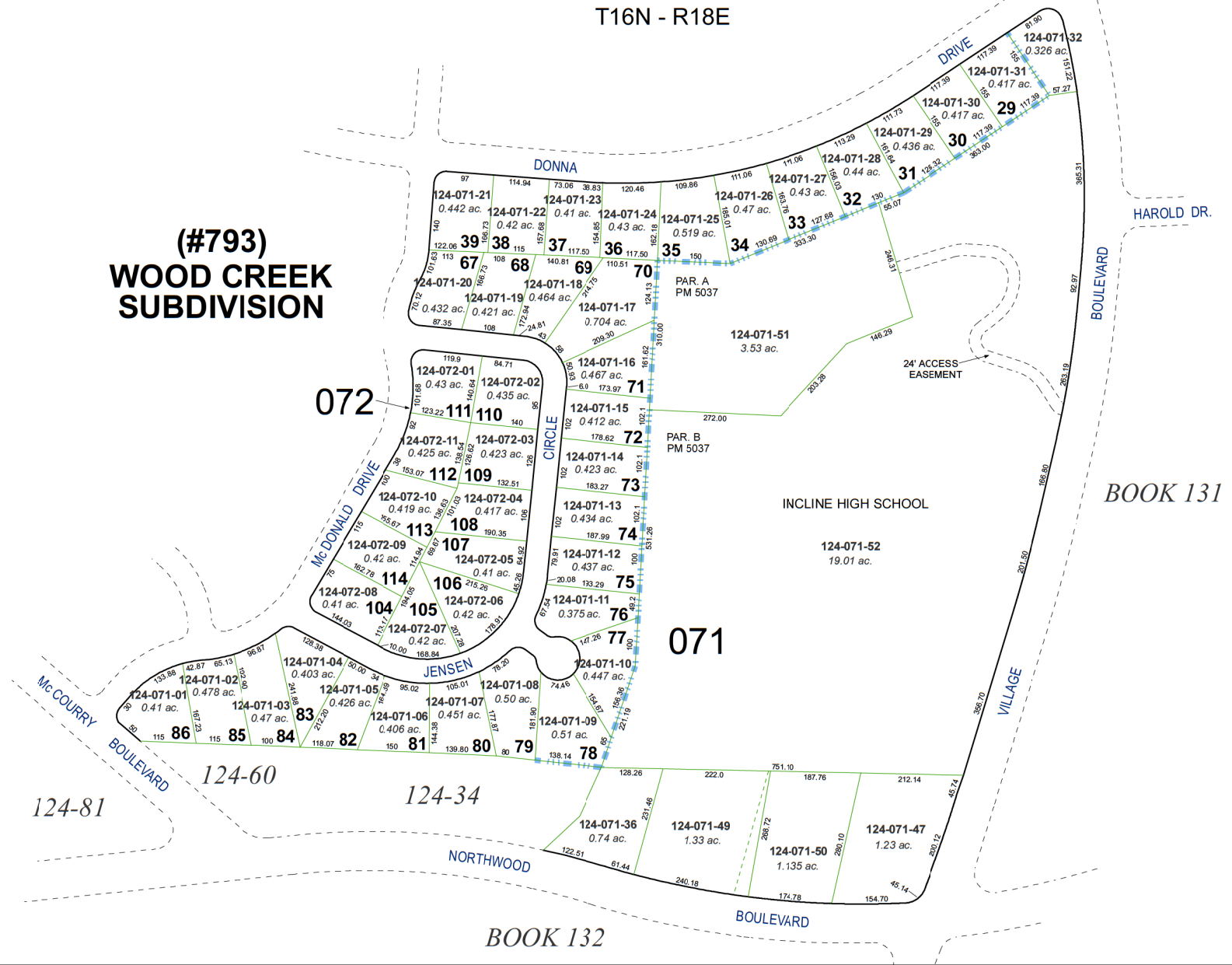


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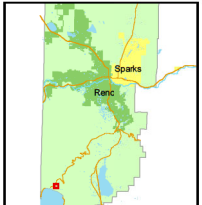
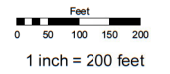
PORTIONS OF NW ¼ SEC. 15 & NE ¼ SEC. 16
T16N - R18E

(#793)
**WOOD CREEK
SUBDIVISION**

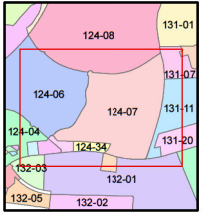


Assessor's Map Number
124-07

STATE OF NEVADA
**WASHOE COUNTY
ASSESSOR'S OFFICE**
Joshua G. Wilson, Assessor
1001 East Ninth Street
Building D
Reno, Nevada 89512
(775) 328-2231



BOOK 131



created by: KSJ 12/04/10
last updated: _____
area previously shown on map(s) _____

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.