

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 1710 Lakeshore Blvd			
Project Description: Maintain existing main area of house, extend living area in north end by 3-4 ft in each direction to create larger bedroom, bathroom & a larger stair area to lead to 2nd level. Upper level will consist of one bedroom with a small bathroom. We will also maintain the current deck and retaining walls wherever possible.			
Project Address: 1710 Lakeshore Blvd, Incline Village, NV 89451			
Project Area (acres or square feet): 470 sq ft			
Project Location (with point of reference to major cross streets AND area locator): 1710 Lakeshore Blvd, Incline Village, NV 89451 / aka HWY28			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
130-332-12	0.192		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Susan Herz-Callahan Family Trust et al		Name: GilanFarr Architecture	
Address: PO Box 4092		Address: PO Box 446	
Incline Village, NV	Zip: 89450	Crystal Bay, NV	Zip: 89402
Phone: 775.842.5919	Fax:	Phone: 775.831.8001	Fax:
Email: mattcallahan@allstate.com		Email: phil@gilanfarrarchitects.com	
Cell:	Other:	Cell:	Other:
Contact Person: Matt Callahan		Contact Person: Phil GilanFarr	
Applicant/Developer:		Other Persons to be Contacted:	
Name: GilanFarr Architecture		Name:	
Address: PO Box 446		Address:	
Crystal Bay, NV	Zip: 89402		Zip:
Phone: 775.831.8001	Fax:	Phone:	Fax:
Email: aleks@gilanfarrarchitecture.com		Email:	
Cell: 925.367.1075	Other:	Cell:	Other:
Contact Person: Aleks Soto		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: GlanFair Architecture

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Susan Joyce Herz
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 130-332-12

Printed Name Susan Joyce Herz

Signed Susan Joyce Herz

Address P.O. Box 4092

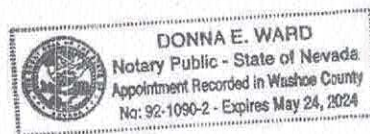
Incline Village, NV. 89450

(Notary Stamp)

Subscribed and sworn to before me this 5th day of January, 2022.

Donna E. Ward
Notary Public in and for said county and state

My commission expires: May 24, 2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: GilanFarr Architecture

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STATE OF NEVADA)
COUNTY OF WASHOE)

Matthew James Callahan

(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 130-332-12

Printed Name Matthew James Callahan

Signed [Signature]

Address 8155 S Virginia St #500
Reno NV 89511

(Notary Stamp)

Subscribed and sworn to before me this 5th day of January, 2022

[Signature]
Notary Public in and for said county and state

My commission expires: May 24, 2024



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Property Owner Affidavit

Applicant Name: GilanFarr Architecture

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Derek Callahan

(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 130-332-12

Printed Name Derek Callahan

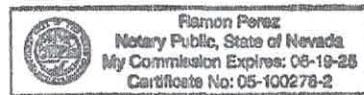
Signed [Signature]

Address 2101 Olympic Circle
Reno, NV 89509

Subscribed and sworn to before me this 06 day of January, 2022, by Derek Callahan. (Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: 08-19-25



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Variance Application Supplemental Information

(All required information may be separately attached)

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

side yard setback reduced from 5ft to 1ft

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

see attached pdf

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

see attached pdf

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

see attached pdf

5. What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?

see attached pdf

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

Yes No If yes, please attach a copy.

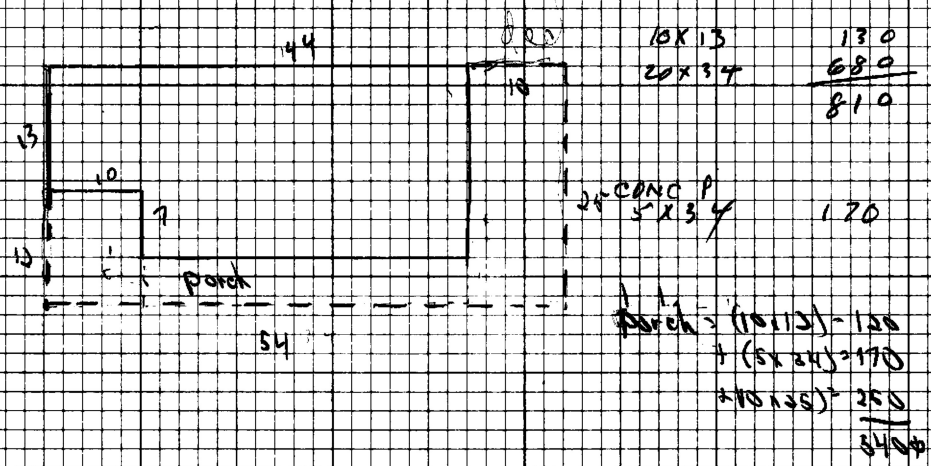
7. How is your current water provided?

IVGID Public Works

8. How is your current sewer provided?

IVGID Public Works

APN: 130-332-12



1710 Lakeshore Blvd.

Variance Findings

1. *What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?*

Side setback (North side) from 5 feet to 1 foot.

2. *What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?*

The house was originally built in 1959 and a portion of the structure and bedroom wing extended into Romance Ave. Romance Avenue was abandoned and split to the benefit of the two adjoining properties, both at the time were owned by the same family.

The purpose of the variance request is to increase the bedrooms without changing the existing historical house. The site is a 30% upslope directly from highway 28. The existing house already protrudes into the side setback. We propose to enlarge slightly the existing bedroom wing and add a second level bedroom. There is no other site location which would allow the bedroom addition.

3. *What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?*

There are no residential homes above this site. We are proposing to replace the existing bedroom wing so no views or privacy would be interfered with.

4. *How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?*

By placing the bedroom wing as proposed we can maintain the existing parking area on the south side and not effect the condition of the historic residence.

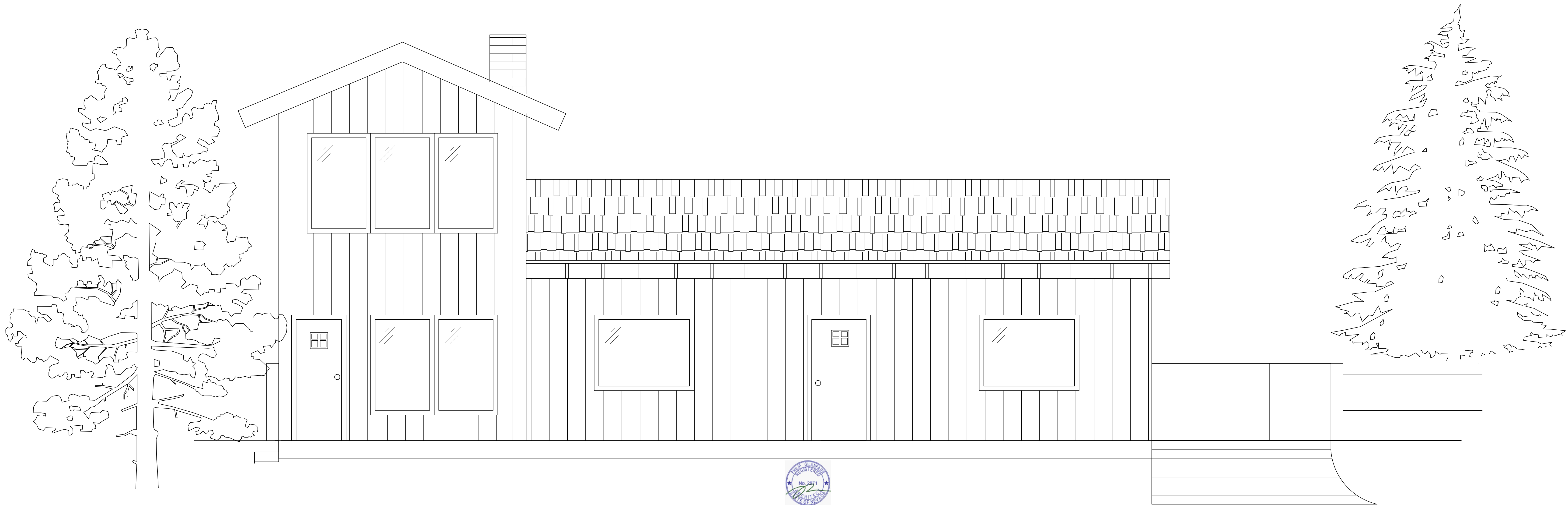
5. *What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?*

The ability to have more than one bedroom.

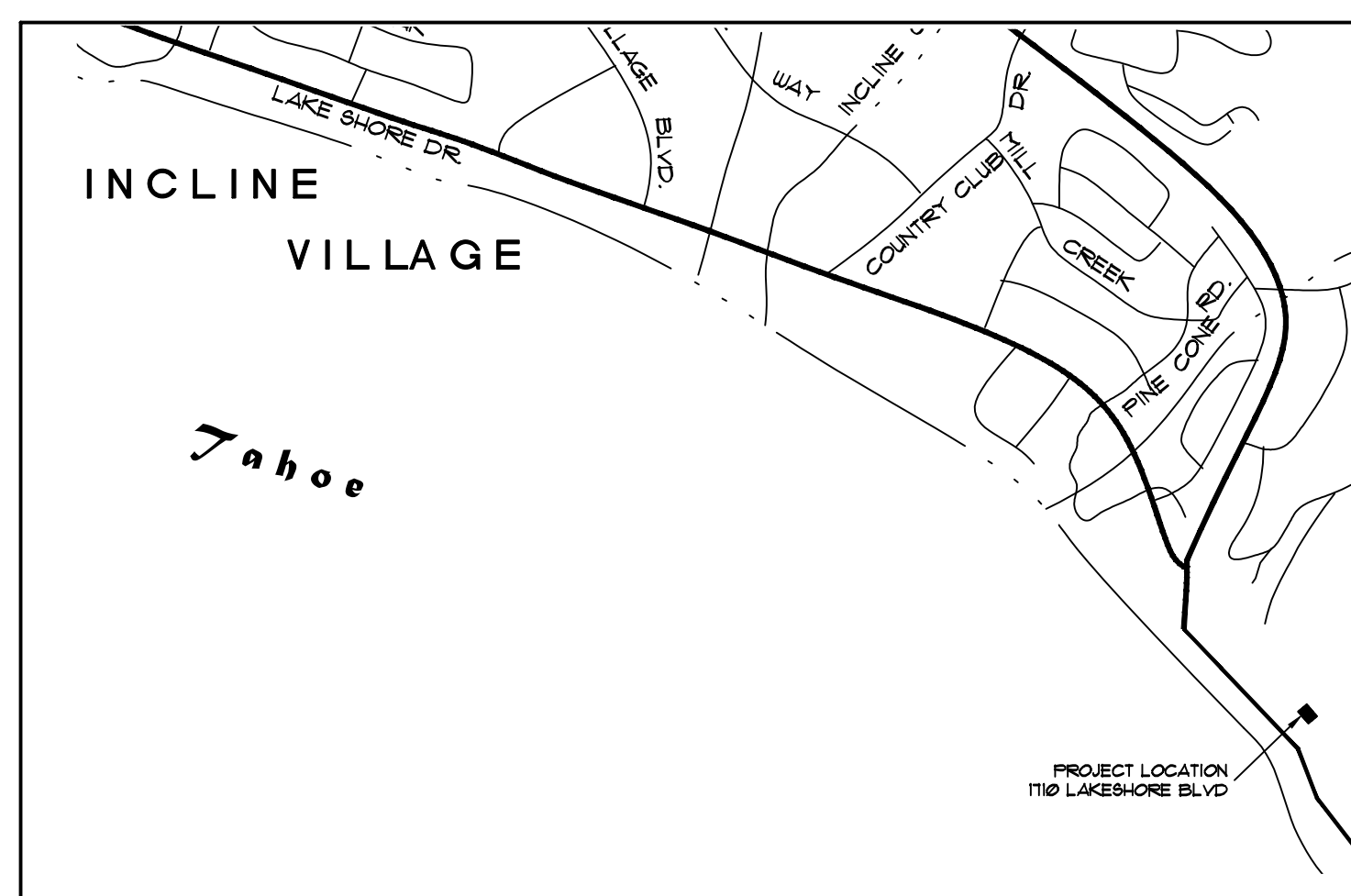
ROCKY POINT FAMILY CABIN

1710 LAKESHORE INCLINE VILLAGE WASHOE COUNTY NEVADA 130-332-12

A CUSTOM ADDITION FOR THE HERZ-CALLAHAN FAMILY



VICINITY MAP



PROJECT SUMMARY

DESIGN CRITERIA:
OCCUPANCY: R3
TWO-STORY WOOD FRAMED BUILDING

DESCRIPTION OF WORK: MAINTAIN EXISTING MAIN AREA OF HOUSE. AT THE NORTH END OF THE HOUSE, EXTEND LIVING AREAS BY 3-4 FEET IN EACH DIRECTION TO CREATE LARGER BEDROOM, LARGER BATHROOM, AND AREA FOR STAIRS TO AN UPPER LEVEL. UPPER LEVEL SHALL BE ONE BEDROOM WITH A SMALL BATH. MAINTAIN DECK AND RETAINING WALLS WHERE POSSIBLE.

FIRE NOTES:
INSTALL AN NFPA13R FIRE SPRINKLER SYSTEM PER NLTFPD AND 2018 IBC 602.1 FIRE RISER SHALL BE PLACED IN THE MECHANICAL ROOM (CONDITIONED SPACE) LOCATED ON LOWER LEVEL AT FAR NORTH END OF HOUSE. KNOX BOX LOCATED TO THE LEFT OF THE NORTH DOOR.

ADDRESS NUMBERS SHALL BE MOUNTED ON THE STREET SIDE OF THE DETACHED GARAGE AND SHALL BE 6" LETTERS/NUMBERS AND BE A CONTRASTING COLOR TO THE BACKGROUND.

SQUARE FOOTAGE:	
(E) UPPER FLOOR AREA	N/A
(N) UPPER FLOOR AREA	281 SF
(E) LOWER FLOOR AREA	166 SF
(N) LOWER FLOOR AREA	955 SF
TOTAL (N) LIVING AREA	1236 SF
TOTAL AREA OF ADDITION	410 SF



GILANFARR
architecture

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CRYSTAL BAY, NEVADA 89402
VOICE. (775) 831-8001
FAX. (775) 831-8068

GILANFARRARCHITECTURE.COM

GENERAL NOTES:

THIS PROJECT IS DESIGNED UNDER THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS AND THE 2018 IFC AND IUI (WILDLAND URBAN INTERFACE CODE). ALL DETAILS OF DESIGN WORKMANSHIP AND MATERIALS SHALL CONFORM TO THESE STANDARDS ALONG THE IBC, STATE AND LOCAL CODES AND ORDINANCES INCLUDING NLTFPD RES 10-1 AND 10-2.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

THESE DRAWINGS REMAIN THE PROPERTY OF GILANFARR + ASSOCIATES, ARCHITECTURE, A PROFESSIONAL CORPORATION. COPIES OF THESE DRAWINGS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR USE ON THE PARCEL FOR WHICH THEY WERE PREPARED AND ARE NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECT.

STRUCTURAL ENGINEER:

STRUCTURED ENGINEERING, L.L.C.
JEFF HARRELL, P.E., PRINCIPAL
912 JENNIFER STREET
INCLINE VILLAGE, NEVADA
775-813-4915

SHEET INDEX

SEPT. 03, 2021

T1	TITLE SHEET	
C1a	EXISTING SITE PLAN	
C1b	PROPOSED SITE + GRADING PLAN	△ PLAN CHECK 11/15/21
E1a	EXISTING SINGLE-LEVEL PLAN	
A1a	PROPOSED LOWER + UPPER FLOOR PLANS	
A1b	PROPOSED LOWER + UPPER ELECTRICAL PLANS	
G01	GENERAL NOTES	
S01	SPECIAL INSPECTION SCHEDULE	
S1a	ALL LEVEL FRAMING PLANS	
S1b	DETAILS	
S2	DETAILS	



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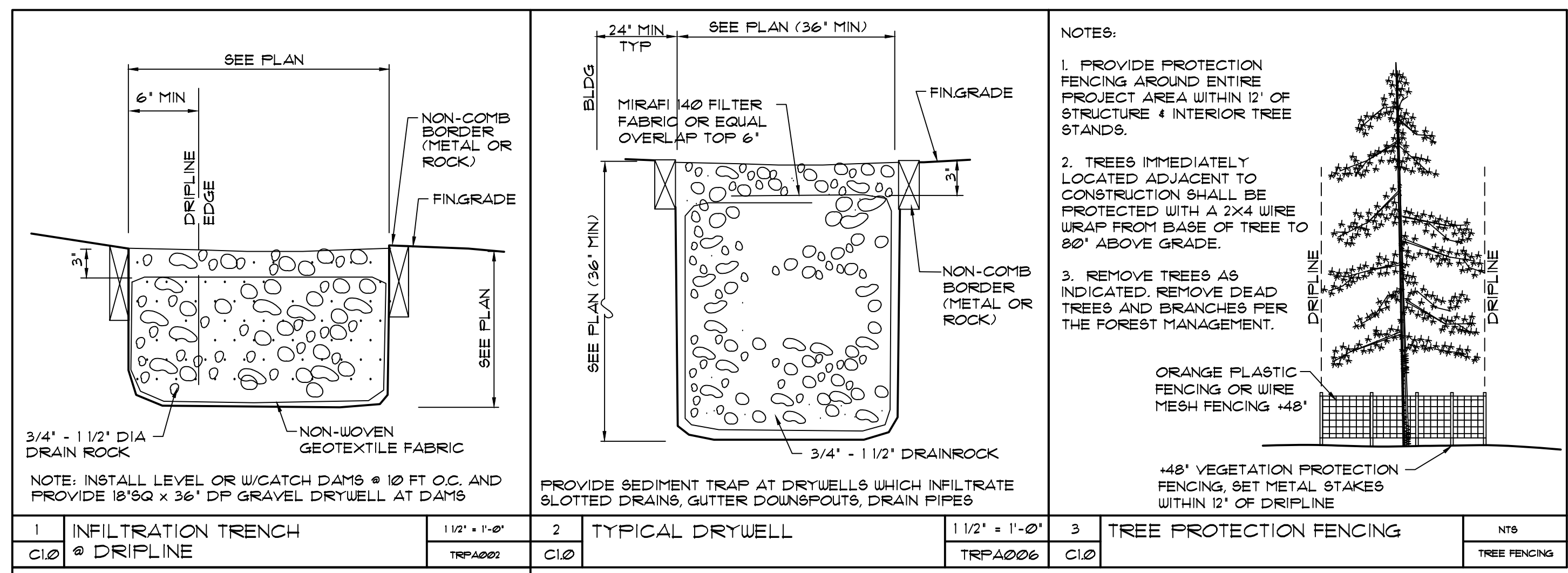
PROPOSED SITE PLAN

CUSTOM REMODEL FOR SUSAN HERZ
ROCKY POINT CABIN

1708 LAKESHORE BLVD., INCLINE VILLAGE, NV 89451
BLOCK F, ROCKY POINT TRACT, WASHOE COUNTY, NEVADA
130-332-12

REVISIONS	
FILE:	1708 C1
DATE:	MAY 15, 2021
SCALE:	AS NOTED
DRAWN:	GFA
SHEET:	C1.0
OF SHEETS	

These drawings remain the property of Gilanfar + Associates, Architecture, Inc. and are not for the construction of any other project. ALL RIGHTS RESERVED.



COVERAGE 1708 LAKESHORE BLVD. 130-332-13 (130-332-05)

EXISTING COVERAGE TOTALS TAKEN FROM TRPA SITE ASSESSMENT LCAP2013-0329 10/22/2013.

LAND CAPABILITY DISTRICT	% ALLOWED	AREA	TOTAL ALLOWED COVERAGE
CLASS 1A	1	4,750 S.F.	48 S.F.
TOTAL COMBINED			74 S.F.

LAND CAPABILITY NORTH 1/2 ROMANCE AVE.

LAND CAPABILITY DISTRICT	% ALLOWED	AREA	TOTAL ALLOWED COVERAGE
CLASS 1A	1	2,565 S.F.	26 S.F.
TOTAL COMBINED			74 S.F.

VERIFIED COVERAGE (CLASS 1A)

	1708	ROMANCE	TOTAL
BUILDING	1,005	0	1,005
ASPHALT DRIVE	18	0	18
GROUND DECKS	675	0	675
TOTAL	1,784 S.F.	0 S.F.	1,784 S.F.

UNVERIFIED COVERAGE (CLASS 1A)

	1708	ROMANCE	TOTAL
STONE WALK	85	43	128
STONE PAVERS	0	41	41
(SUBTOTALS)	85 S.F.	84 S.F.	169 S.F.

OFFSITE COVERAGE 1708 ROMANCE TOTAL

	1708	ROMANCE	TOTAL
	708	455	1,163 S.F.

COVERAGE 1710 LAKESHORE BLVD. 130-332-12 (130-332-05)

EXISTING COVERAGE TOTALS TAKEN FROM TRPA SITE ASSESSMENT DATED FEBRUARY 3, 2014.

LAND CAPABILITY DISTRICT	% ALLOWED	AREA	TOTAL ALLOWED COVERAGE
CLASS 1A	1	5,590 S.F.	56 S.F.
TOTAL COMBINED			83 S.F.

VERIFIED COVERAGE (CLASS 1A)

	1710	ROMANCE	TOTAL
BUILDING	519	324	843
ASPHALT DRIVE	52	0	52
GROUND DECKS	282	252	544
CONCRETE PAVERS	377	130	507
DECK	21	17	38
REAR DECK	0	89	89
TOTAL	1,261 S.F.	812 S.F.	2,073 S.F.

OFFSITE COVERAGE 1710 ROMANCE TOTAL

	1710	ROMANCE	TOTAL
	425	294	719 S.F.

NOTE: NO ADDITIONAL COVERAGE OR OFFSITE COVERAGE IS PROPOSED

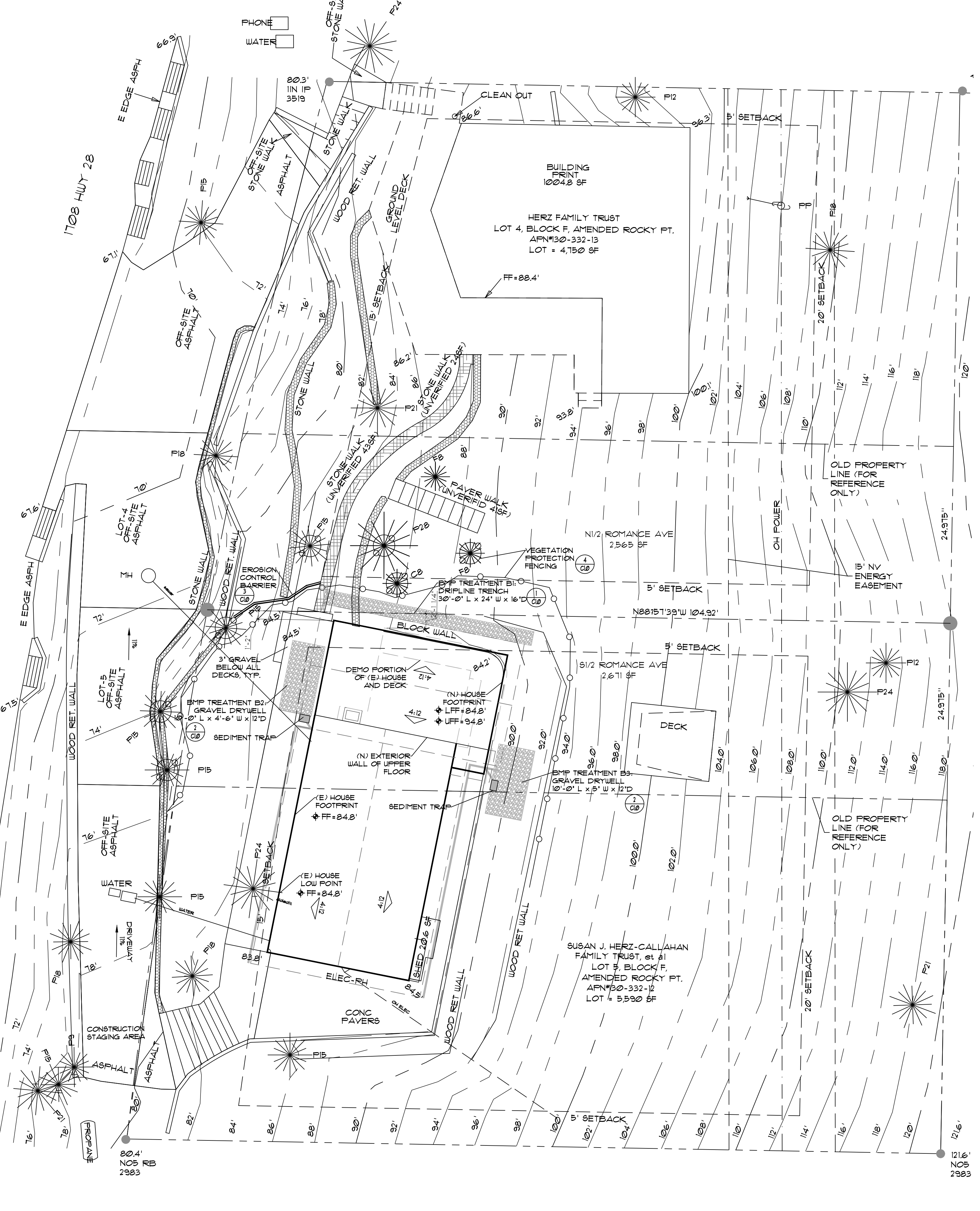
DEFENSIBLE SPACE NOTES

- ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IUIUC) WITH AMENDMENTS IN NLTFFD RESOLUTIONS 18-1 AND 18-2.
- A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFFD INSPECTOR AT (775)-833-8071 TO SCHEDULE AN APPOINTMENT.
- ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION MUST BE REMOVED.
- ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF TEN-FEET (10') ABOVE THE GROUND ON THE HIGH SIDE. REMOVAL OF LOWER BRANCHES SHOULD NOT EXCEED ONE-THIRD OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN MUST BE REMOVED TO ACCOMPLISH THIS CLIMBING, THEN USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH UNDER ITEM 6 BELOW.
- ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE A TEN-FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF LESS THAN 60% OF THE LIVE CROWN WOULD BE LEFT AFTER CLIMBING, THE TREE SHOULD BE REMOVED.
- ALL BRUSH, TREES, AND FLAMMABLE MATERIALS MUST BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
- WITHIN FIVE-FOOT (5') OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING, REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS.
- WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, TREE CANOPIES WILL BE SPACED AT LEAST 10- FEET (10') APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET. WITHIN THE THIRTY (30') TO ONE-HUNDRED-FOOT (100') ZONE, STANDS OF LARGE TREES DO NOT HAVE TO BE REMOVED SO LONG AS THE VEGETATION UNDERNEATH THEM IS REMOVED. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEPER SLOPES.
- WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, BRUSH FIELDS MUST BE SPACED HORIZONTALLY A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS CANNOT EXCEED 100-SQUARE FEET (100') IN AREA AND THREE (3') IN HEIGHT.
- FOR SLOPING PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS.

TREES	BRUSH
SLOPE	0 - 20%
SPACING	2 TIMES THE HEIGHT OF RESIDUAL BRUSH
0 - 20%	10- FEET BETWEEN EDGES OF CROWNS
20 - 40%	20- FEET BETWEEN EDGES OF CROWNS
40% ABEV	30- FEET BETWEEN EDGES OF CROWNS

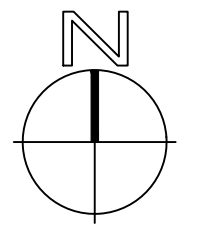
SITE NOTES

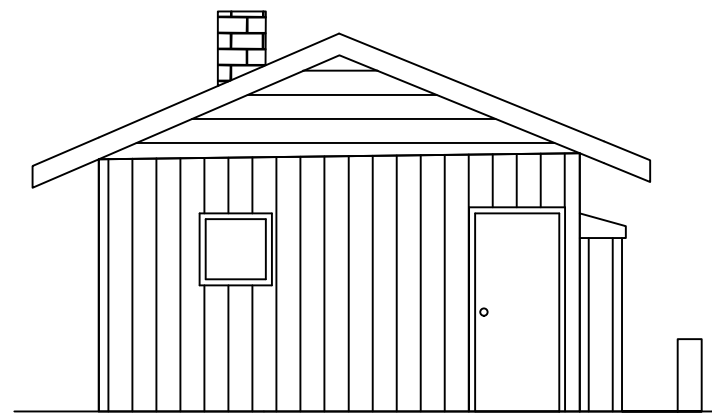
- CALL UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA AND NEVADA (800-221-2600) PRIOR TO ANY DIGGING.
- ALL BARREN AND DISTURBED AREAS TO BE REVEGETATED PER TRPA/BMP STANDARDS.
- ALL SLOPES GREATER THAN 2:1 & ROAD SIDE DITCHES AND BANKS SHALL BE MECHANICALLY STABILIZED WITH EITHER ROCK PROTECTION OR VEGETATION.
- REMOVE TREES AS INDICATED. REMOVE DEAD TREES & BRANCHES PER THE FOREST MANAGEMENT AND DEFENSIBLE SPACE RECOMMENDATIONS.
- CONTRACTOR SHALL INSURE PROPER PLACEMENT OF ADDITION WITHIN THE REQUIRED SETBACKS PER SITE PLAN.
- CONTRACTOR TO VERIFY LOCATIONS & CONNECTIONS OF WATER / SEWER / GAS / ELECTRIC / TELEVISION / TELEPHONE UTILITIES WITH APPROPRIATE SERVICE PROVIDERS PRIOR TO DIGGING. INSTALL ALL UTILITIES IN AN APPROVED TRENCH & IN ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES.
- PROVIDE 6" MIN TALL STREET ADDRESS NUMBERS CLEARLY VISIBLE, CONTRASTING FROM THE TRAVELED WAY.
- ALL IMPROVEMENTS WITHIN WASHOE CO. RIGHT OF WAY SHALL BE CONSTRUCTED WITH THE LATEST COUNTY CODES AND COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- AN ENCROACHMENT, STREET CUT AND EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO STARTING WORK WITHIN COUNTY RIGHT-OF-WAY. A REVOCCABLE PERMIT IS REQUIRED FOR ANY IMPROVEMENTS (PAVERS, CONCRETE, LANDSCAPING, WALLS, ETC.) IN THE COUNTY RIGHT-OF-WAY.
- FINISH GRADE AROUND RESIDENCE SHALL SLOPE AWAY FROM STRUCTURE @ 5% MIN FOR 10' TYPICAL.
- BMP CONTRIBUTING SURFACES AND TREATMENTS ARE LABELED ON SITE PLAN AND ALSO ON SHEET A3.0 'ROOF PLAN'
- ALL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED IN PERPETUITY TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMPs TO BE PERIODICALLY REINSTALLED OR REPLACED.
- TEMPORARY AND PERMANENT BMPs MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
- EXISTING NATURAL FEATURES OUTSIDE OF THE BUILDING SITE SHALL BE RETAINED AND INCORPORATED INTO THE SITE DESIGN TO THE GREATEST EXTENT FEASIBLE. THE SITE SHALL BE DESIGNED TO AVOID DISTURBANCE TO ROCK OUTCROPS AND TO MINIMIZE VEGETATION REMOVAL AND MAINTAIN THE NATURAL SLOPE OF THE PROJECT SITE.
- ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND APPROVED BY TRPA PRIOR TO USE ON PROJECT.
- CONTRACTOR SHALL UTILIZE AN APPROVED DISPOSAL LOCATION FOR ALL MATERIAL EXPORTED FROM SITE.
- A HOT WORK OPERATIONS PERMIT IS REQUIRED WHEN OPERATIONS INCLUDE CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPES, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITY. PERMITS SHALL BE OBTAINED THROUGH NLTFFD.



PROPOSED SITE PLAN

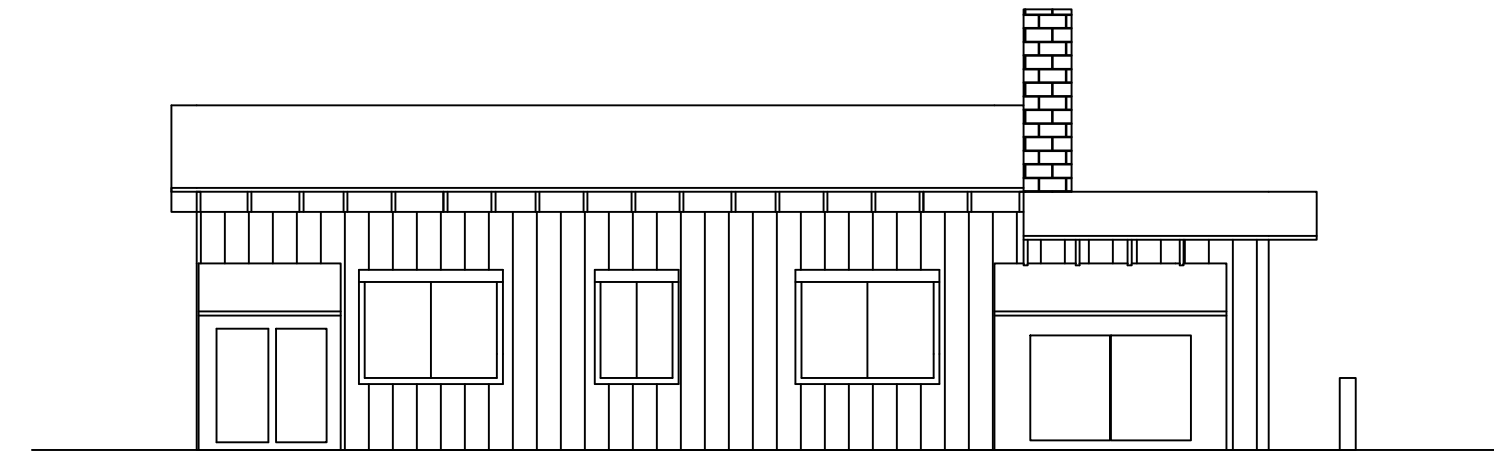
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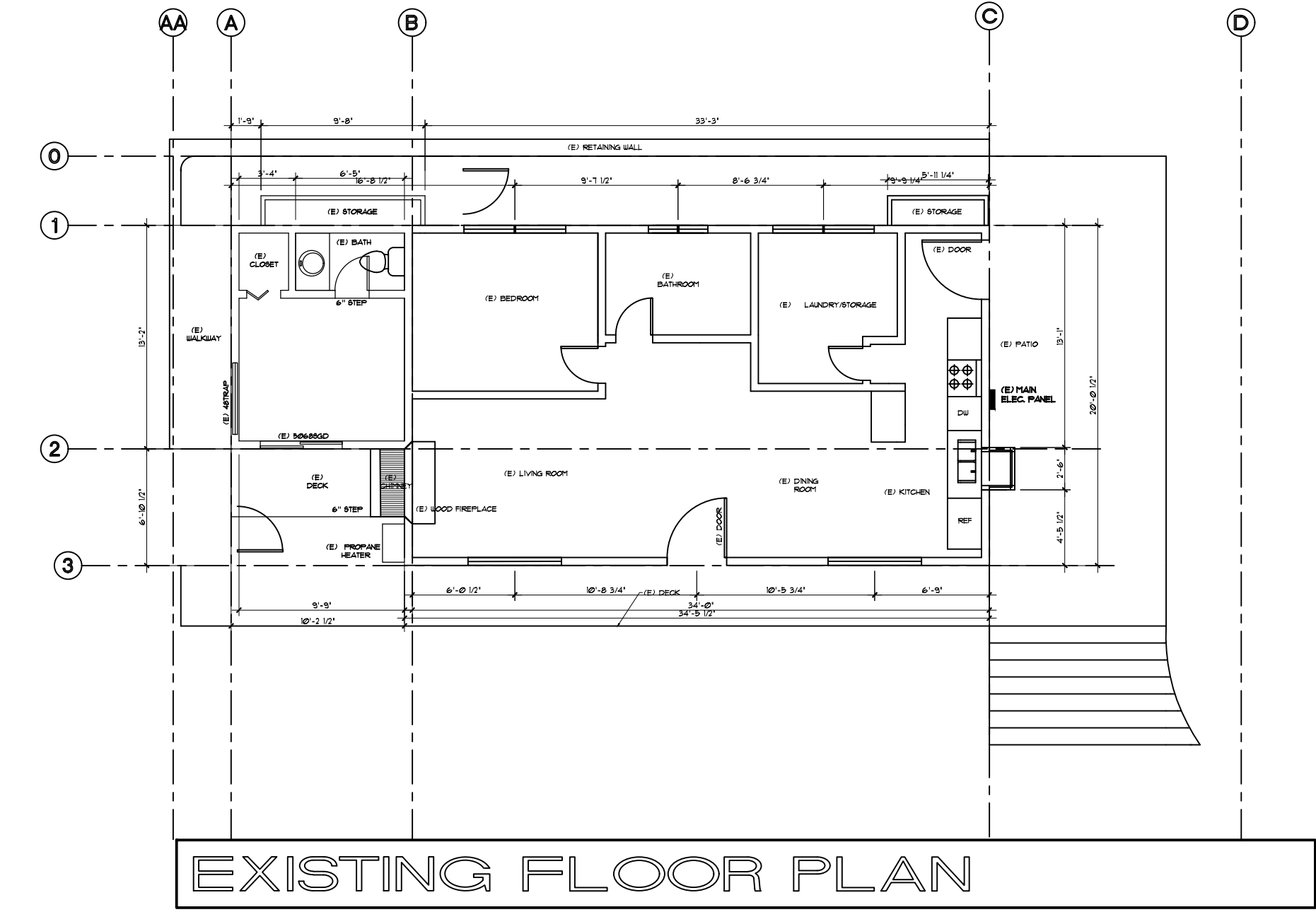
EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



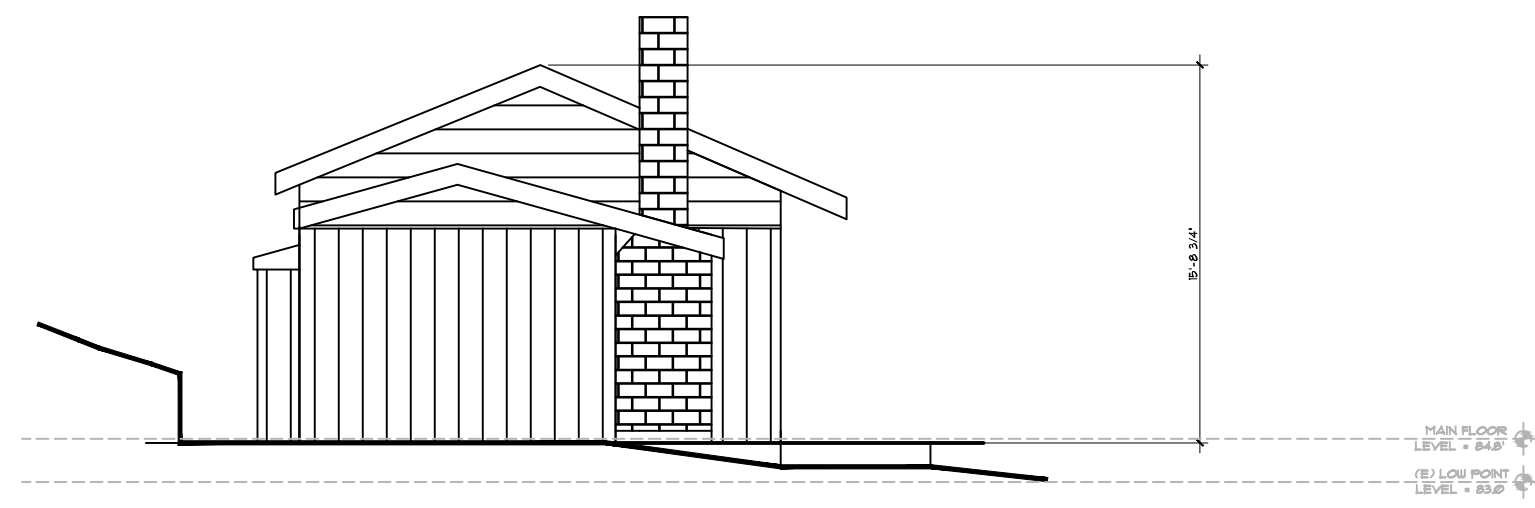
EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"



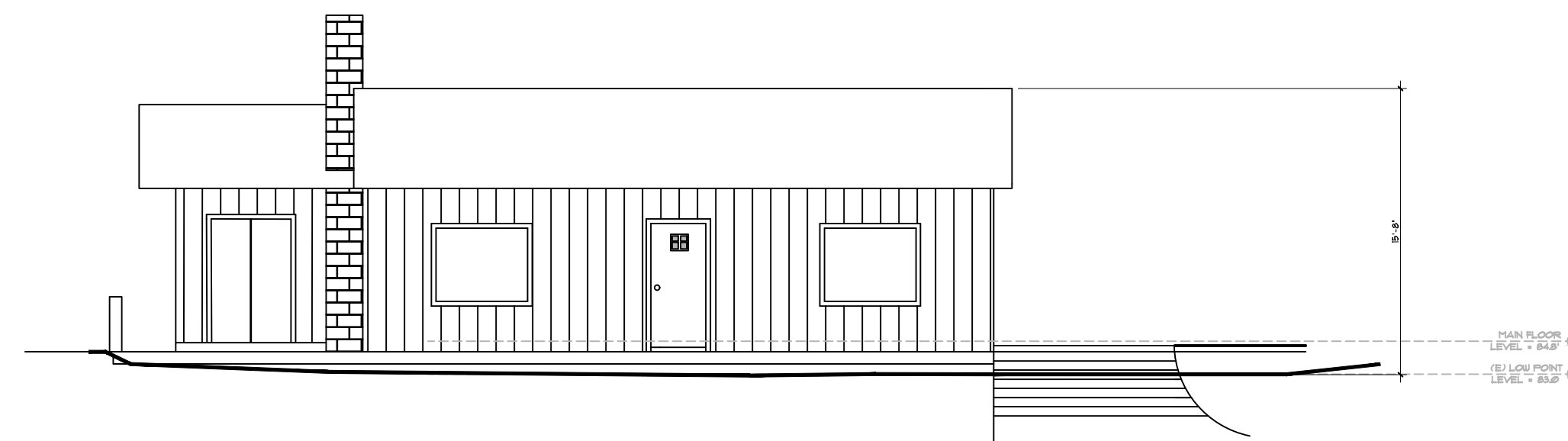
EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"



GILANFARR
architecture

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CRYSTAL BAY, NEVADA 89402
VOICE: (775) 831-8001
FAX: (775) 831-8068

GILANFARRARCHITECTURE.COM

TITLE: EXISTING PLANS & ELEVATIONS

CUSTOM RESIDENCE FOR:
HERZ - CALLAHAN FAMILY TRUST
1710 LAKESHORE BLVD INCLINE VILLAGE, NEVADA
ROCKY POINT, LOT 5, BLOCK F, ROCKY POINT TRACT, WASHOE COUNTY, NEVADA
APN: 150-331-12

REVISIONS

FILE: 1710 LAKESHORE BLVD

DATE: 03/03/2021

SCALE: 1/4" = 1'-0"

DRAWN: GFA

SHEET:
E1.0
OF 4 SHEETS

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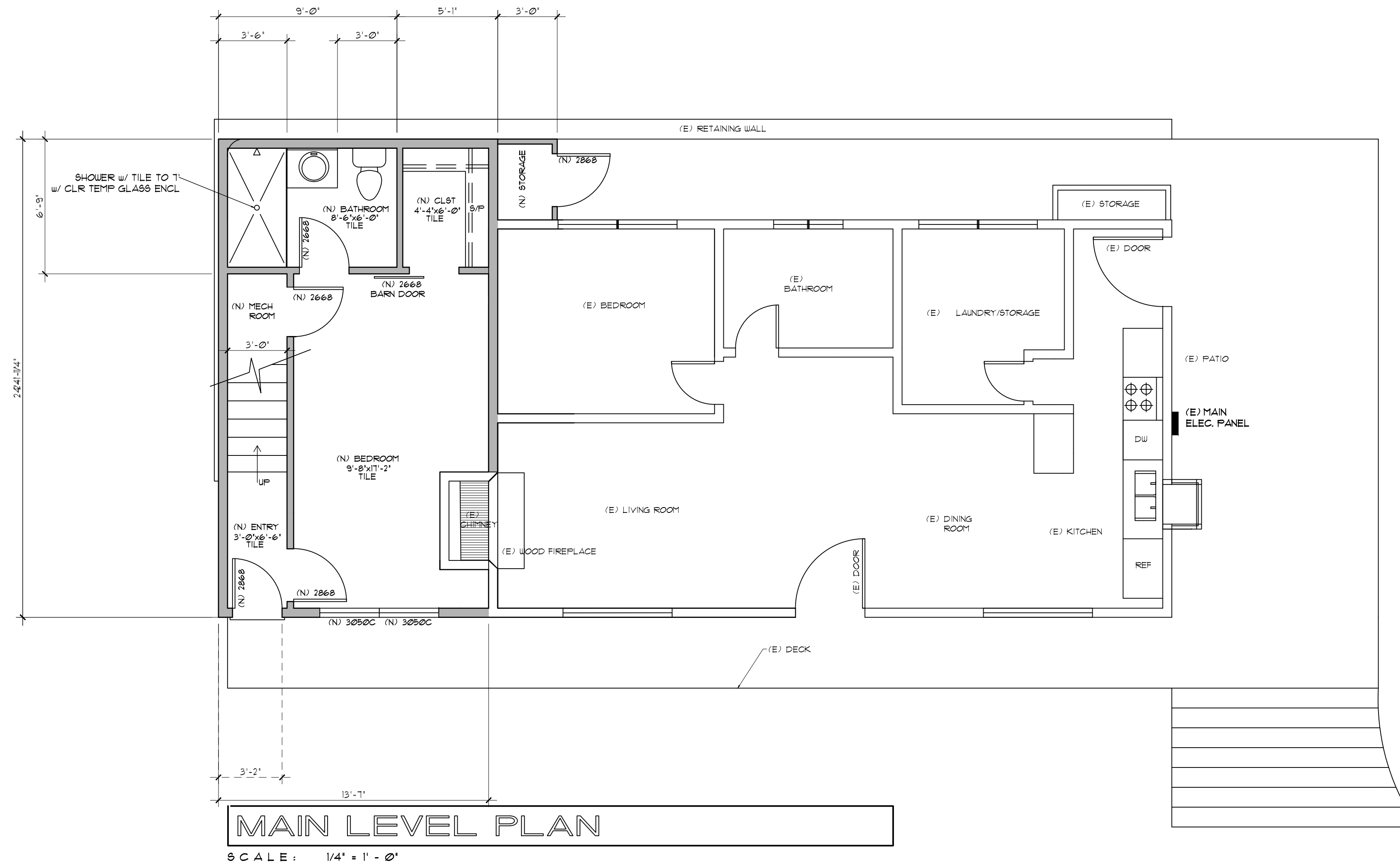


GILANFARR
architecture

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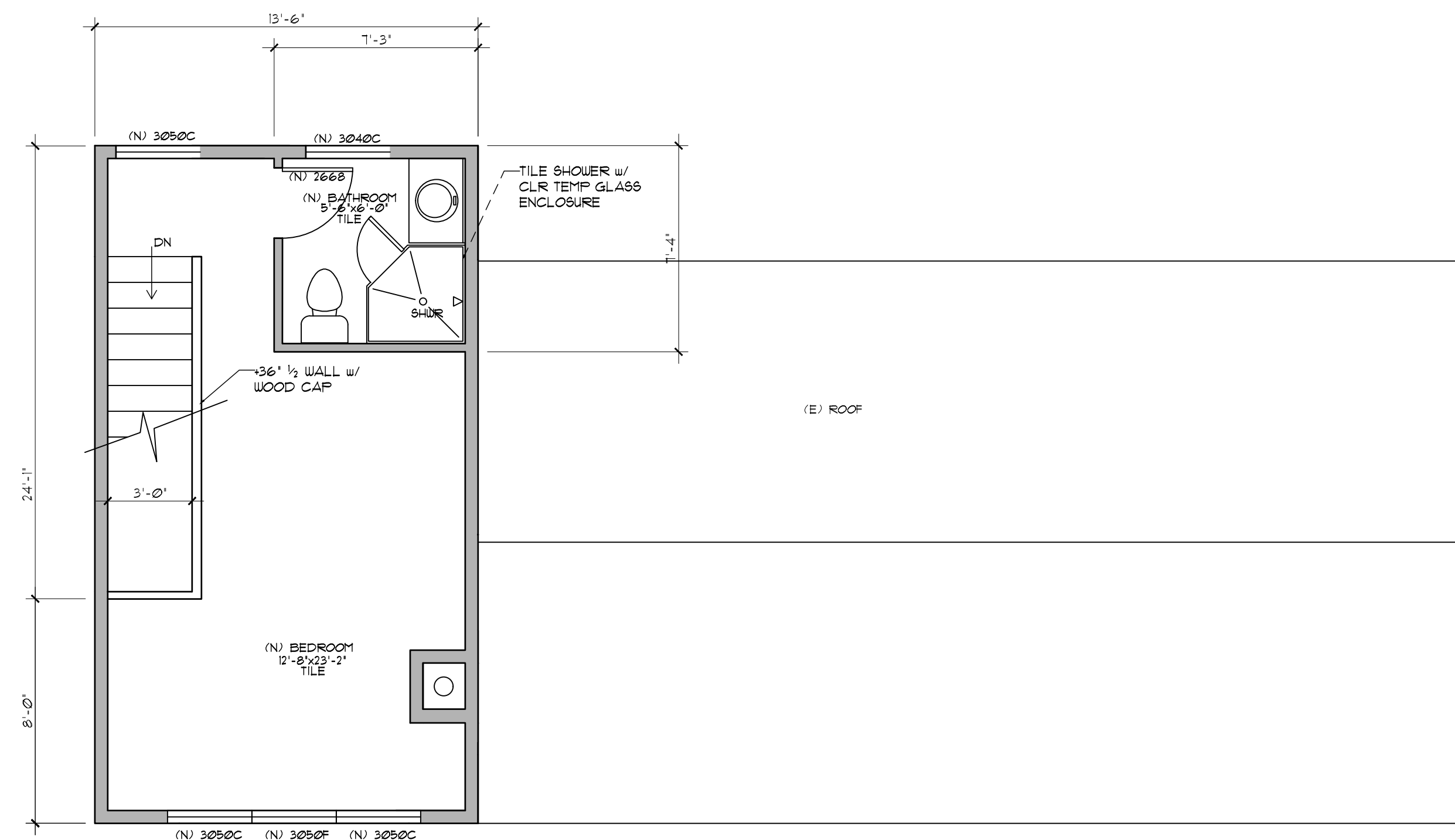
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TITLE: PROPOSED FLOOR PLANS
CUSTOM RESIDENCE FOR:
HERZ-CALLAHAN FAMILY TRUST
110 LAKESHORE BLVD, INCLINE VILLAGE, NEVADA
ROCKY POINT LOT 5, BLOCK F, ROCKY POINT TRACT, WASHOE COUNTY, NEVADA
APN: 150-332-17



MAIN LEVEL PLAN

SCALE: 1/4" = 1' - 0"



UPPER LEVEL PLAN

SCALE: 1/4" = 1' - 0"

ADDITIONAL MAIN LIVING SPACE = 138 SF
ADDITIONAL UPPER LIVING SPACE = 258 SF
(TOTAL ADDITIONAL LIVING SPACE = 396 SF)

REVISIONS

FILE: 110 Lakeshore BLVD

DATE: 09/03/2021

SCALE: 1/4" = 1' - 0"

DRAWN: GFA

SHEET:
A1.0
OF 2 SHEETS

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TITLE: PROPOSED ELEVATIONS (NORTH/ EAST)

CUSTOM RESIDENCE FOR:
HERZ - CALLAHAN FAMILY TRUST
110 LAKESHORE BLVD, INCLINE VILLAGE, NEVADA
ROCKY POINT LOT 5, BLOCK F, ROCKY POINT TRACT, WASHOE COUNTY, NEVADA
APN: 150-332-17

NO.	REVISIONS

FILE: 110 LAKESHORE BLVD

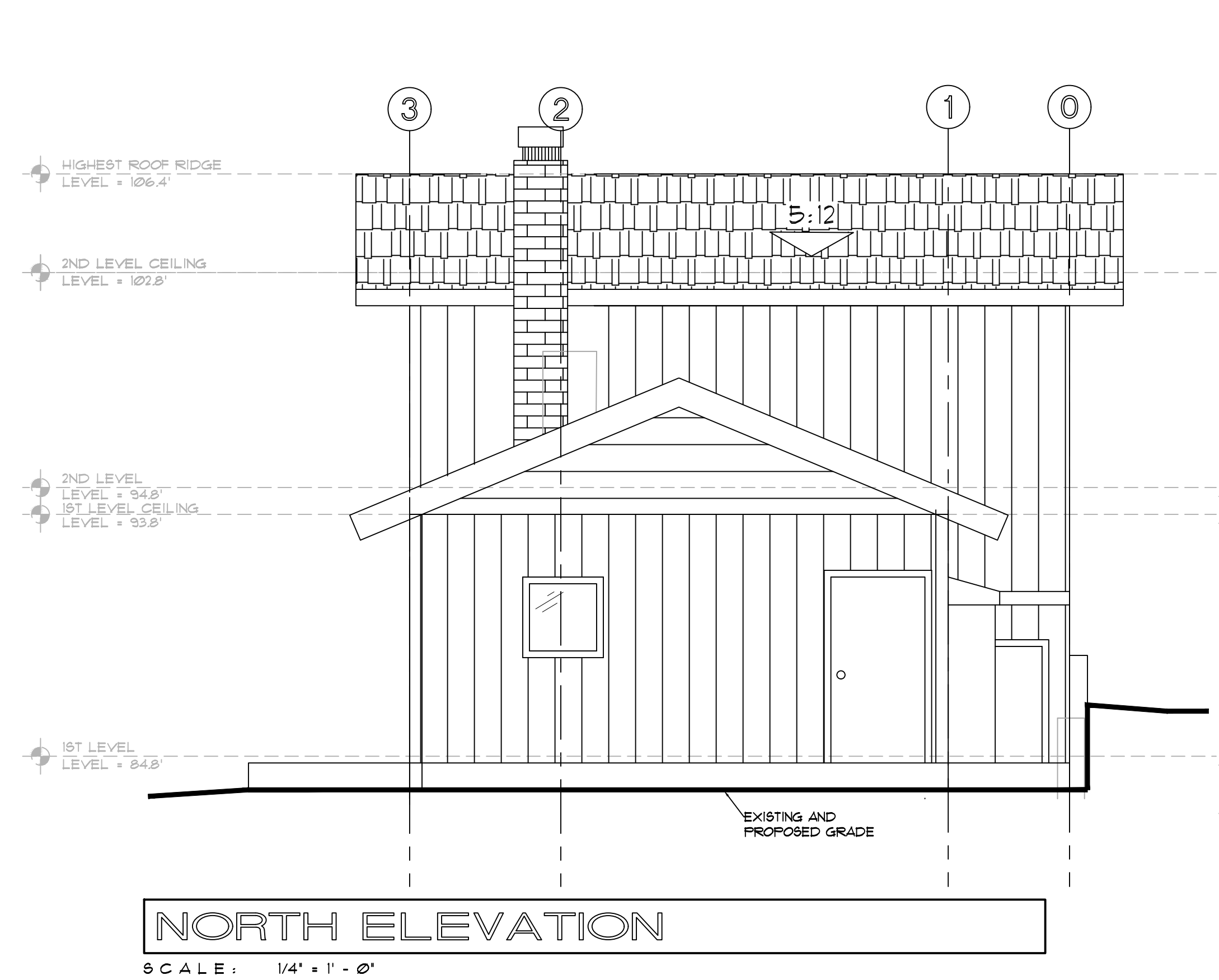
DATE: 03/03/2021

SCALE: 1/4" = 1'-0"

DRAWN: GFA

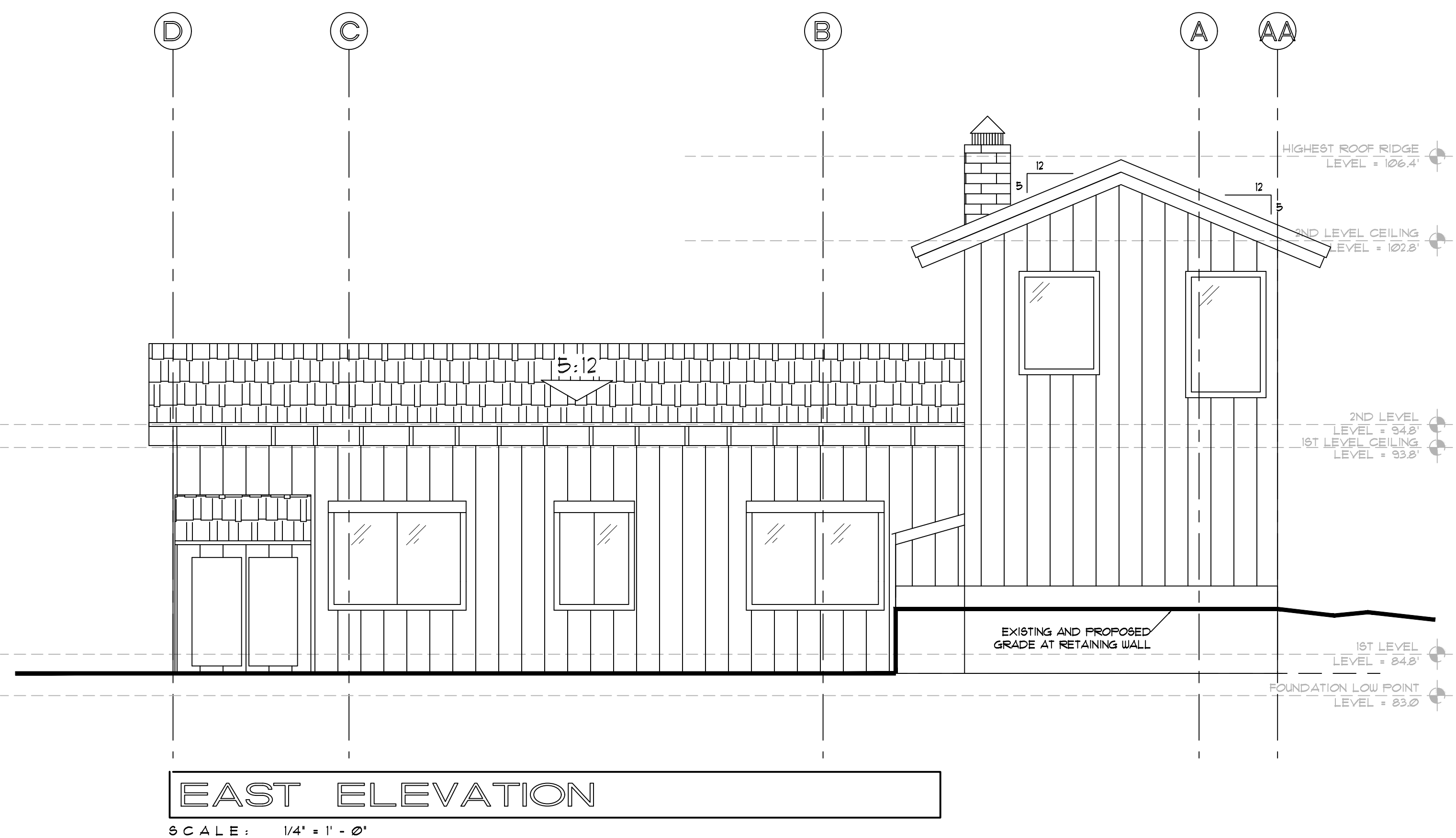
SHEET:
A2.0
OF 4 SHEETS

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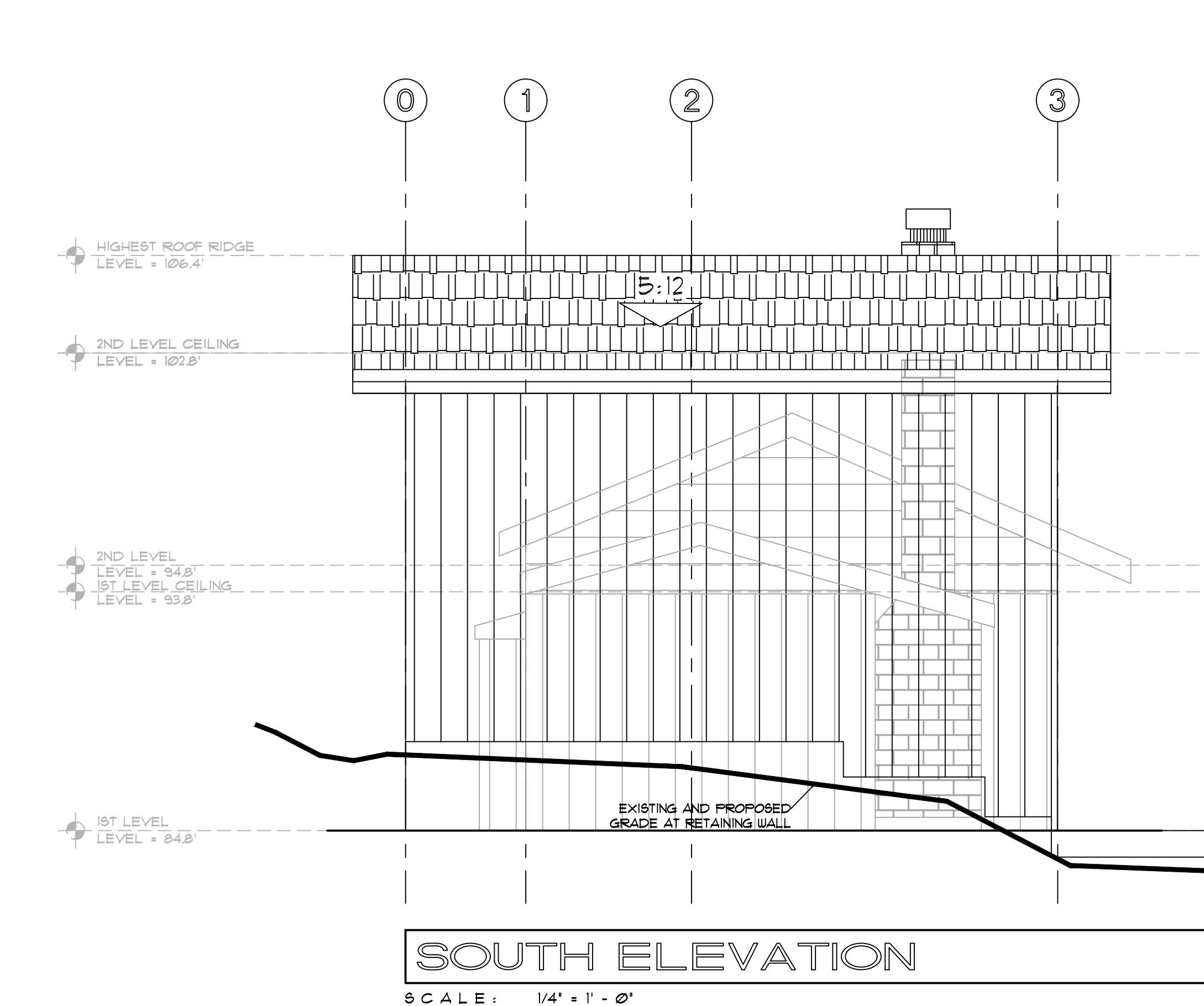
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"