

Community Services Department  
Planning and Building  
**DETACHED ACCESSORY DWELLING  
ADMINISTRATIVE REVIEW  
APPLICATION**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Twenty Crystal - Guest House</b>			
Project Description: Construction of a secondary dwelling unit with associated mechanical space, outdoor / covered terrace, utilities and shared driveway / autocourt.			
Project Address: 20 Crystal Drive, Incline Village, NV 89451			
Project Area (acres or square feet): 57,093 SF			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>Crystal Drive / Somers Loop [behind Crystal Bay Casino]</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
123-032-25	1.31		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: 20 Crystal, LLC		Name: Ryan Group Architects	
Address: 930 Tahoe Blvd., Suite 802-80		Address: 10800 Donner Pass Road #200	
Incline Village, NV	Zip: 89451	Truckee, CA	Zip: 96161
Phone: (408) 623 9973	Fax: 5305873900	Phone: (530) 587-3800	Fax: 5305873900
Email: janelang1@yahoo.com		Email: brendan@ryangroup.net	
Cell: (408) 623 9973	Other:	Cell: (530) 587-3800	Other:
Contact Person: Jane Lang		Contact Person: Brendan Riley	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Ryan Group Architects [Applicant]		Name: Ryan Group Architects [Applicant]	
Address: 10800 Donner Pass Road #200		Address: 10800 Donner Pass Road #200	
Truckee, CA	Zip: 96161	Truckee, CA	Zip: 96161
Phone: (530) 587-3800	Fax: 5305873900	Phone: (530) 587-3800	Fax: 5305873900
Email: brendan@ryangroup.net		Email: jennifer@ryangroup.net	
Cell: (530) 587-3800	Other:	Cell: (530) 587-3800	Other:
Contact Person: Brendan Riley		Contact Person: Jennifer Trombetta	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a “secondary dwelling” in this application. The “main dwelling” is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

7,081

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

1,298

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

Siting: The Dwellings share a common driveway and autocourt, creating a sense of community and integration.

Architectural Design: Both structures share a common design theme, 12:12 gables creating a dominant roof massing, with subservient lower-slope shed roofs as accents, reminiscent of the traditional Tahoe vernacular and with more contemporary accents. Exterior materials are identical between each proposed structure, wood siding, stone veneer, aluminum clad windows and doors.

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

Water: IVGID will supply domestic water to the secondary dwelling unit, from the existing service in Crystal Drive.

Sewer: IVGID will receive the sewer service from the secondary dwelling unit, with a gravity drain from the structure to the existing service in Crystal Drive.

5. What additional roadway, driveway, or access improvements are you planning?

The Main and Secondary Dwelling Units will share a single driveway and encroachment / connection to Crystal Drive, largely identical to the previously existing driveway and encroachment.

6. A parking space is required. How are you providing the additional parking?

There is generous parking available for the secondary dwelling unit, using the autocourt adjacent to the structure and its entry terrace.

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

We are eager to start construction as soon as we are permitted to do so and complete the construction quickly, with the goal of occupancy in the spring of 2019.

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

The secondary dwelling unit is sited so as to preserve the existing, mature pine trees and adjacent granite outcroppings. Its location is largely the same as a previously existing structure, except that the proposed secondary dwelling unit is located so as to conform with Washoe County setback requirements. This brings side and front yard setbacks into conformance, when compared to the previously existing structure, increasing view corridors and separation among structures. The front door and entry terrace are oriented towards the auto-court, so that associated lighting is directed within our property and away from the neighbors.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

The subject property is not part of a Home Owners Association or Architectural Control Committee.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

There is no accessory dwelling unit / secondary dwelling unit on the subject property.

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

A manufactured or modular home is not proposed.

13. List who the service provider will be for the following utilities:

a. Sewer Service	IVGID
b. Electrical Service	IVGID
c. Solid Waste Disposal Service	IVGID
d. Water Service	IVGID

6585

OWNER'S CERTIFICATE

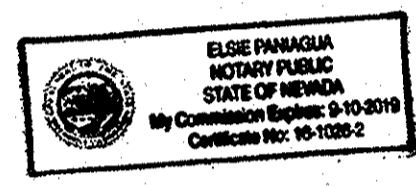
I THE UNDERSIGNED OWNER OF THE AFFECTED PARCELS AS SHOWN ON THIS MAP DO HEREBY STATE:
1) I HAVE EXAMINED THIS PLAT AND APPROVE AND AUTHORIZE THE RECORDATION THEREOF;
2) I AGREE TO EXECUTE THE REQUIRED DOCUMENTS CREATING ANY EASEMENT WHICH IS SHOWN;
3) I AGREE TO EXECUTE THE REQUIRED DOCUMENTS ABANDONING ANY EXISTING EASEMENT PURSUANT TO THE PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE;
4) ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID;
5) ANY LENDER WITH AN IMPOUND ACCOUNT FOR THE PAYMENT OF TAXES HAS BEEN NOTIFIED OF THE ADJUSTMENT OF THE BOUNDARY LINE OR THE TRANSFER OF LAND; AND
6) I AGREE TO ACCEPT ANY DRAINAGE ONTO OUR PROPERTY RESULTING FROM THIS BOUNDARY LINE ADJUSTMENT.

20 CRYSTAL LLC

BY: [Signature]
DAVID DUFFIELD
PARCEL 'A', REVERSION PARCEL MAP 5208 & PARCELS 9, 10 & 11, DEED DOC. 4618718

NOTARY PUBLIC CERTIFICATE

STATE OF Nevada } s.s.
COUNTY OF Washoe }
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 07/12/17
BY David Duffield AS Manager
OF 20 CRYSTAL LLC.
[Signature]
NOTARIAL OFFICER



TITLE COMPANY CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THAT THE OWNER SHOWN HEREON IS THE OWNER OF RECORD OF SAID LAND; THAT
HOLDS OF RECORD A SECURITY INTEREST IN THE LANDS AND THERE ARE NO LIENS OF RECORD AGAINST THE OWNERS FOR DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL OR LOCAL TAXES COLLECTED AS TAXES OR SPECIAL ASSESSMENTS EXCEPT AS SHOWN BELOW:

TITLE COMPANY: First American Title Insurance
BY: [Signature] DATE 7/18/17
PRINT: Julie Skinner, Authorized Signor
NAME, TITLE

DISTRICT BOARD OF HEALTH CERTIFICATE

THIS MAP IS APPROVED BY THE WASHOE COUNTY DISTRICT BOARD OF HEALTH. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES. THIS MAP HAS BEEN FOUND TO MEET ALL APPLICABLE REQUIREMENTS AND PROVISIONS OF THE ENVIRONMENTAL HEALTH SERVICES DIVISION OF THE WASHOE COUNTY HEALTH DISTRICT.

[Signature] MOH REHS
FOR THE DISTRICT BOARD OF HEALTH
DATE 8/24/17

TAX CERTIFICATE (APNs 123-032-12 & 123-032-25)

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THIS LAND FOR THE FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO NRS 361A.265.

WASHOE COUNTY TREASURER
[Signature]
DATE 8/25/2017
BY: Danielle Car Hon, Deputy Treasurer
(NAME, TITLE)

TAHOE REGIONAL PLANNING AGENCY CERTIFICATE

THIS FINAL MAP CONFORMS TO TAHOE REGIONAL PLANNING AGENCY REQUIREMENTS.

[Signature]
DATE 8/18/17

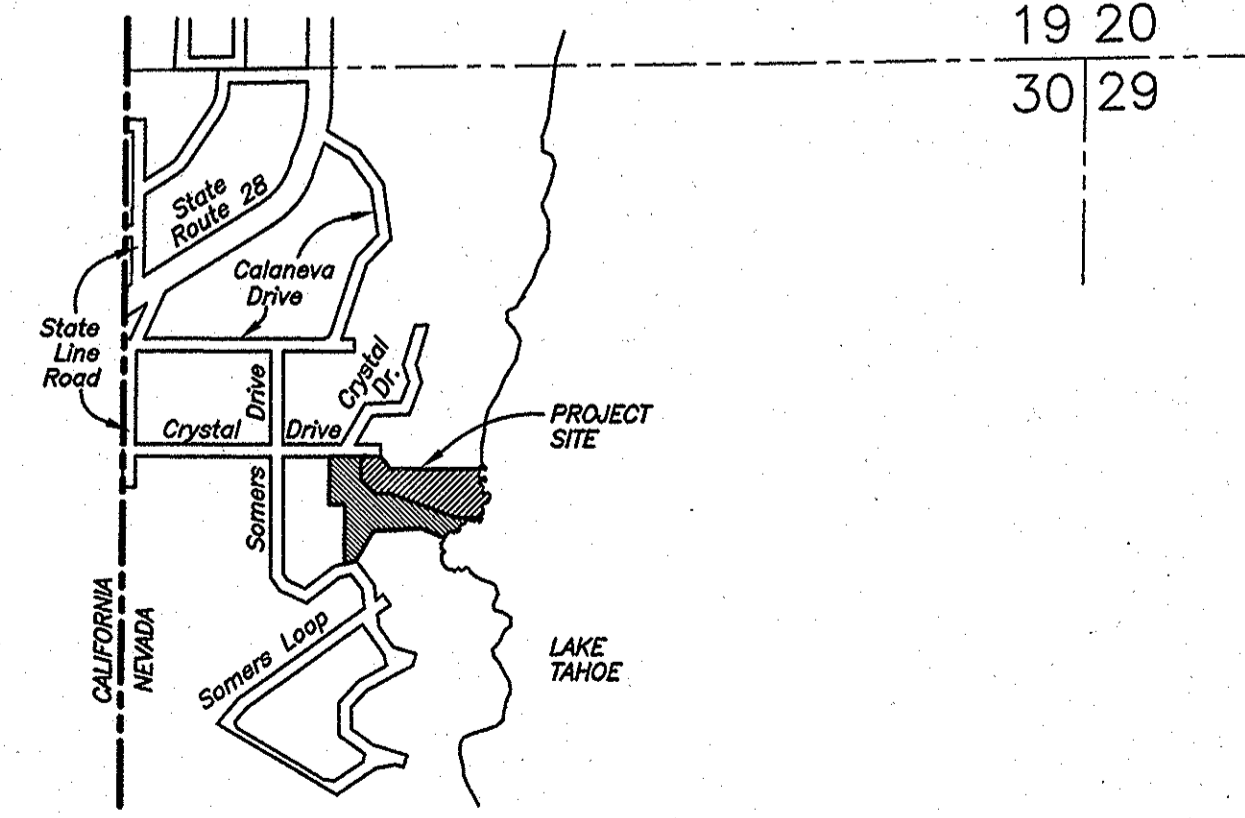
GOVERNING AGENCY CERTIFICATE

WASHOE COUNTY HAS REVIEWED AND APPROVED THIS MAP.

[Signature] 8-25-17
MICHAEL E. GUMP, PLS 13927 DATE
WASHOE COUNTY SURVEYOR

REFERENCES

- (1) TRACT MAP No. 198, RECORDED AUGUST 26, 1926 AS DOCUMENT No. 37826, ENTITLED "MAP OF NEVADA VISTA SUBDIVISION".
(2) GRANT DEED CONVEYED BY ALETHA SHERMAN TO ARTHUR LETTS JR., DATED SEPTEMBER 13, 1930, AND RECORDED IN BOOK 83 OF DEEDS, PAGE 531, FILING NO. 52586, RECORDS OF WASHOE COUNTY, NEVADA.
(3) RECORD OF SURVEY MAP No. 701, RECORDED JANUARY 7, 1972 AS DOCUMENT No. 231090, ENTITLED "RECORD OF SURVEY, PORTIONS OF LOTS 8, 10, 11, 15 & 16, BLOCK 'B', FOR ROBERT C. ANDERSON".
(4) GRANT, BARGAIN AND SALE DEED, CONVEYED BY DAVID A. DUFFIELD TRUST TO 20 CRYSTAL LLC, RECORDED AUG. 4, 2016 AS DOCUMENT No. 4618718.
(5) REVERSION TRACT MAP No. 5208, RECORDED MAY 17, 2017 AS DOCUMENT No. 4705314 ENTITLED "REVERSION TO ACREAGE FOR 20 CRYSTAL LLC".



VICINITY MAP
CRYSTAL BAY, NV (NO SCALE)

BASIS OF BEARINGS & COORDINATES

THE BASIS OF BEARINGS OF THIS SURVEY IS A BEARING OF NORTH 02°40'25" EAST BETWEEN THE PUBLISHED COORDINATES OF GPS POINTS T11SM01082 AND T11SM01079 (NAD 83/94, NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, U.S. FEET). BEARINGS SHOWN HEREON HAVE BEEN ROTATED 0°55'26" CLOCKWISE FROM THOSE DESCRIBED IN TRACT MAP No. 198, DOCUMENT No. 37826, "MAP OF NEVADA VISTA SUBD".

ALL DISTANCES SHOWN ON THIS MAP ARE MODIFIED GRID (GROUND) DISTANCES. DIVIDE MODIFIED GRID COORDINATES BY THE COMBINED (GRID TO GROUND) SCALE FACTOR OF 1.000218000 TO CONVERT TO GRID COORDINATES.

NOTES:

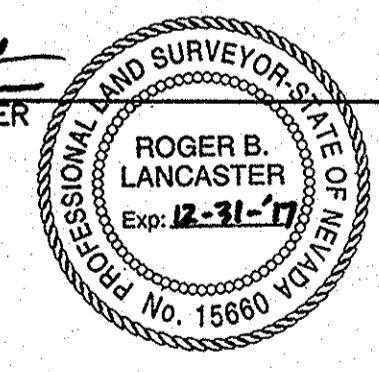
- 1. NO ADDITIONAL LOTS ARE BEING CREATED, AND ACCESS TO ALL LOTS IS PROVIDED.
2. THE INTENT OF THIS MAP IS TO SHOW A BOUNDARY LINE ADJUSTMENT AS PER DOCUMENT No. 4737528 BETWEEN A PORTION OF PARCEL 'A', REVERSION TRACT MAP 5208, AND PARCELS 9, 10, & 11, DEED DOC. 4618718 RECORDED AUG. 4, 2016, WASHOE COUNTY OFFICIAL RECORDS.
3. THE LAND AREAS SHOWN ON THIS PLAT REFLECT THE BOUNDARY LINE ADJUSTMENT.
4. ACCESS IS PER TRACT MAP No. 198, DOCUMENT No. 37826 (NEVADA VISTA SUBDIVISION).
5. ALL EXISTING UTILITY EASEMENTS WILL REMAIN IN PLACE.

SURVEYOR'S CERTIFICATE

I, ROGER B. LANCASTER, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, DO HEREBY CERTIFY THAT:

- 1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF DAVID DUFFIELD, THE LANDS SURVEYED LIE WITHIN THE N.E. 1/4 OF SEC. 30, T.16N., R.18E., M.D.B.&M., AND THE SURVEY WAS COMPLETED ON MAY 17, 2017;
2. ALL CORNERS AND ANGLE POINTS OF THE ADJUSTED BOUNDARY HAVE BEEN DEFINED BY MONUMENTS OR WILL BE OTHERWISE DEFINED ON A DOCUMENT OF RECORD AS REQUIRED BY NRS 625.340;
3. THE MONUMENTS DEPICTED ON THIS PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT NUMBER AND DURABILITY;
4. THIS PLAT IS NOT IN CONFLICT WITH THE PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE, AND NO NEW PARCELS HAVE BEEN CREATED; AND
5. THIS PLAT COMPLIES WITH APPLICABLE STATUTES OF THIS STATE AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH CHAPTER 625 OF THE NEVADA ADMINISTRATIVE CODE.

[Signature]
ROGER B. LANCASTER
PLS No. 15660
DATE 25 Aug 2017



COUNTY RECORDER'S CERTIFICATE

FILE NO. 4737529
FILED FOR RECORD AT THE REQUEST OF
Lancaster Land Surveys
ON THIS 25th DAY OF August, 2017
AT 45 MINUTES PAST 11 O'CLOCK A.M.
OFFICIAL RECORDS OF WASHOE COUNTY, NEVADA.
LAWRENCE R. BURTNESSE
COUNTY RECORDER
BY: A. PEASLEE
DEPUTY
FEE: \$ 34.00

RECORD OF SURVEY

SUPPORTING A BOUNDARY LINE ADJUSTMENT
FOR
20 CRYSTAL LLC
PARCEL 'A', REVERSION TRACT MAP 5208, AND PARCELS 9, 10, & 11, DEED DOC. 4618718 RECORDED AUG. 4, 2016. (FOR LOTS 8, 11 & 15, BLOCK 'B', TRACT MAP 198)
BEING A PORTION OF THE NORTHEAST 1/4 OF SECTION 30, T. 16 N., R. 18 E., M.D.M.
WASHOE COUNTY NEVADA
ROGER B. LANCASTER P.L.S. 15660
P.O. BOX 7227 TAHOE CITY CA 96145
03 JUL 2017 SHEET 1 OF 2

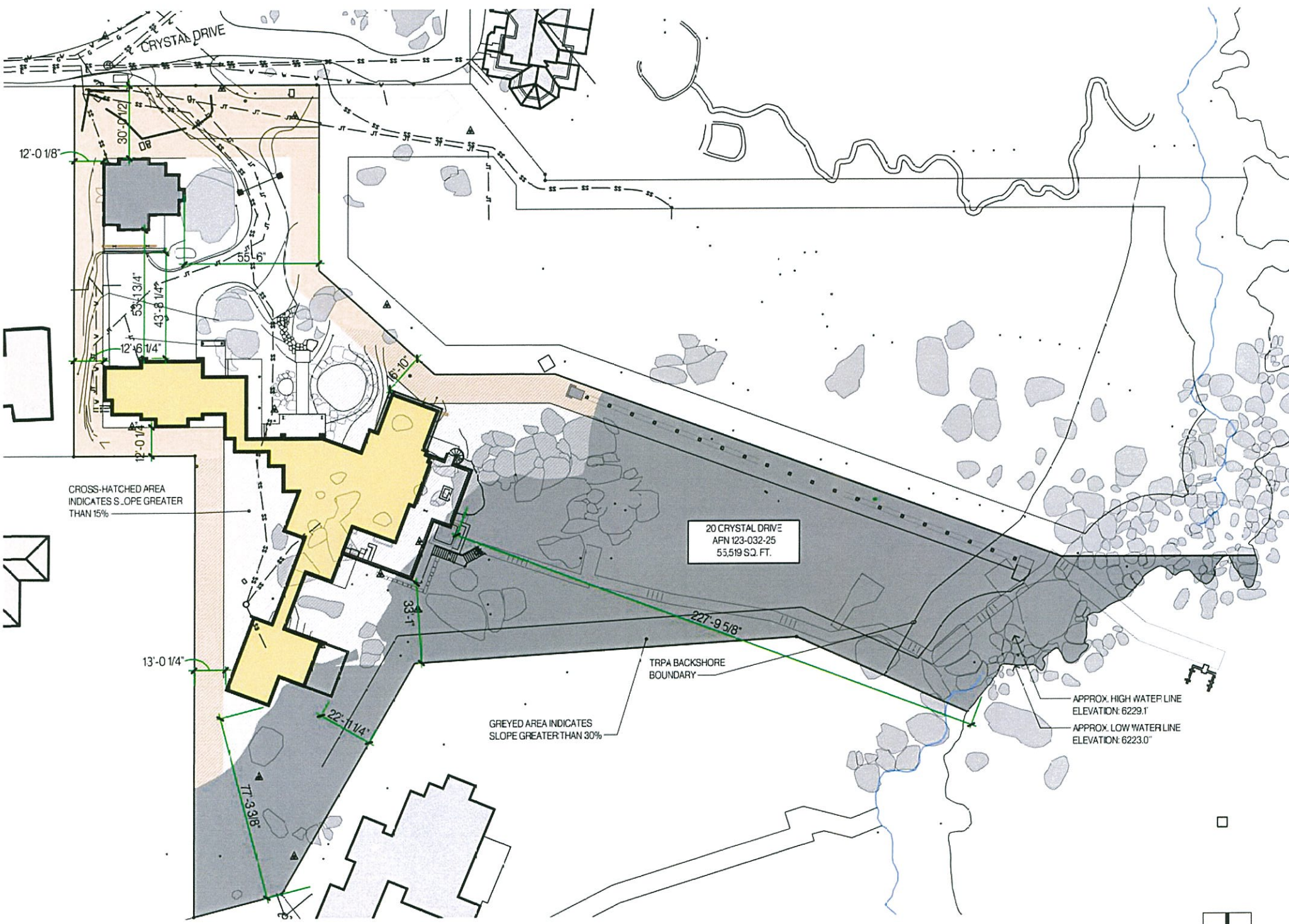
CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

Record of Survey map 5859







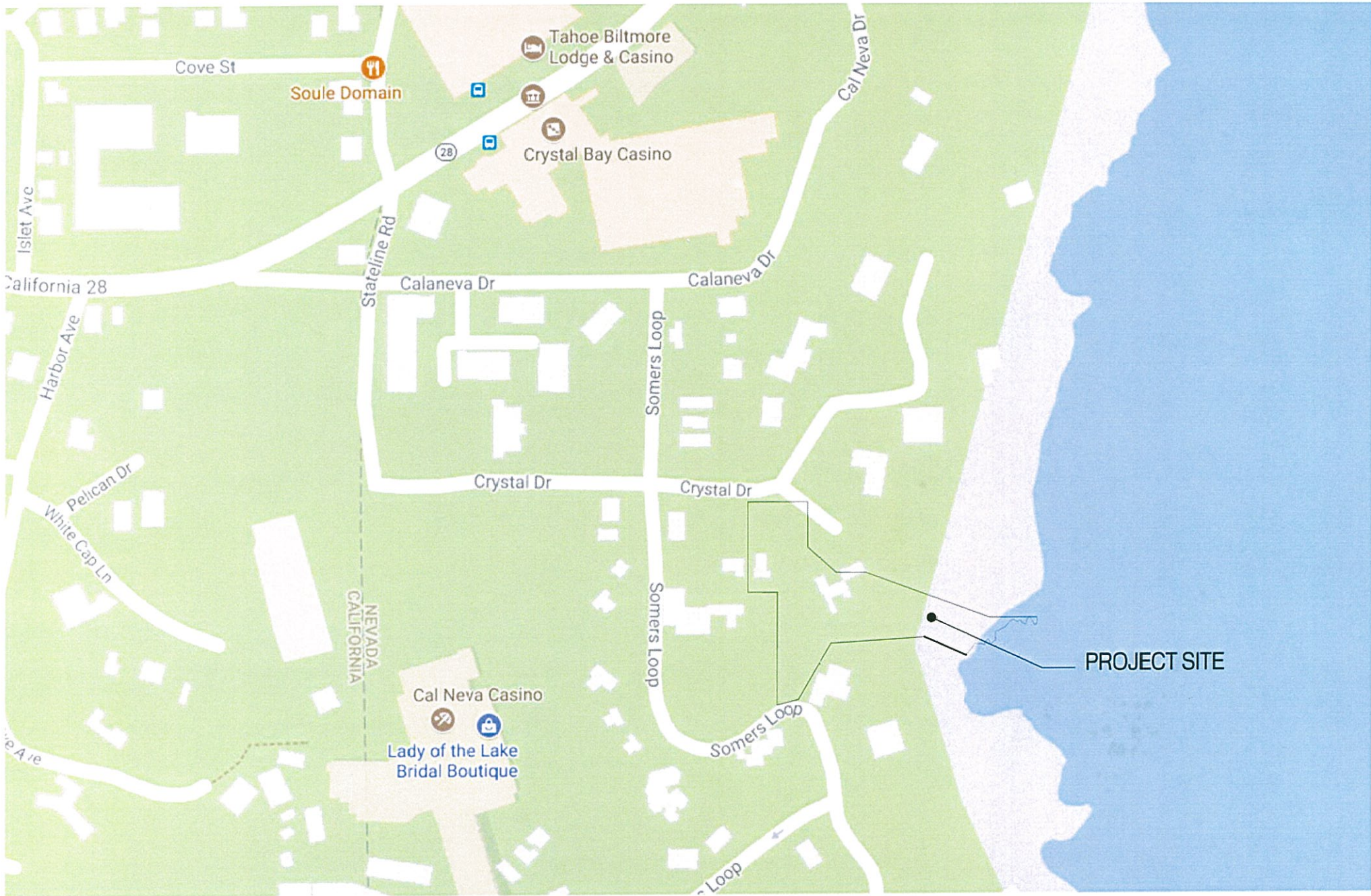
CROSS-HATCHED AREA INDICATES SLOPE GREATER THAN 15%

20 CRYSTAL DRIVE  
 APN 123-032-25  
 55,519 SQ. FT.

GREYED AREA INDICATES SLOPE GREATER THAN 30%

TRPA BACKSHORE BOUNDARY

APPROX. HIGH WATER LINE ELEVATION: 6229.1  
 APPROX. LOW WATER LINE ELEVATION: 6223.0"



**REVISIONS:**

NO.	DATE	REMARKS
1	07/14/17	ISSUED FOR AGENCY REVIEW

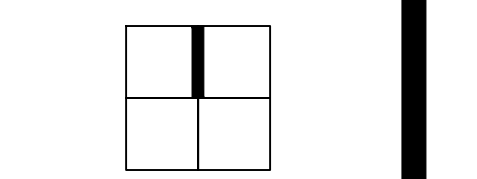
**ISSUED  
FOR AGENCY REVIEW**

PRINTED ON  
08 | 25 | 17

THIS INSTRUMENT OF SERVICE IS  
PROTECTED BY COPYRIGHT.

**PROJECT**  
1710  
**DRAWN**  
DH | BR | BG | JT  
**REVIEWED**

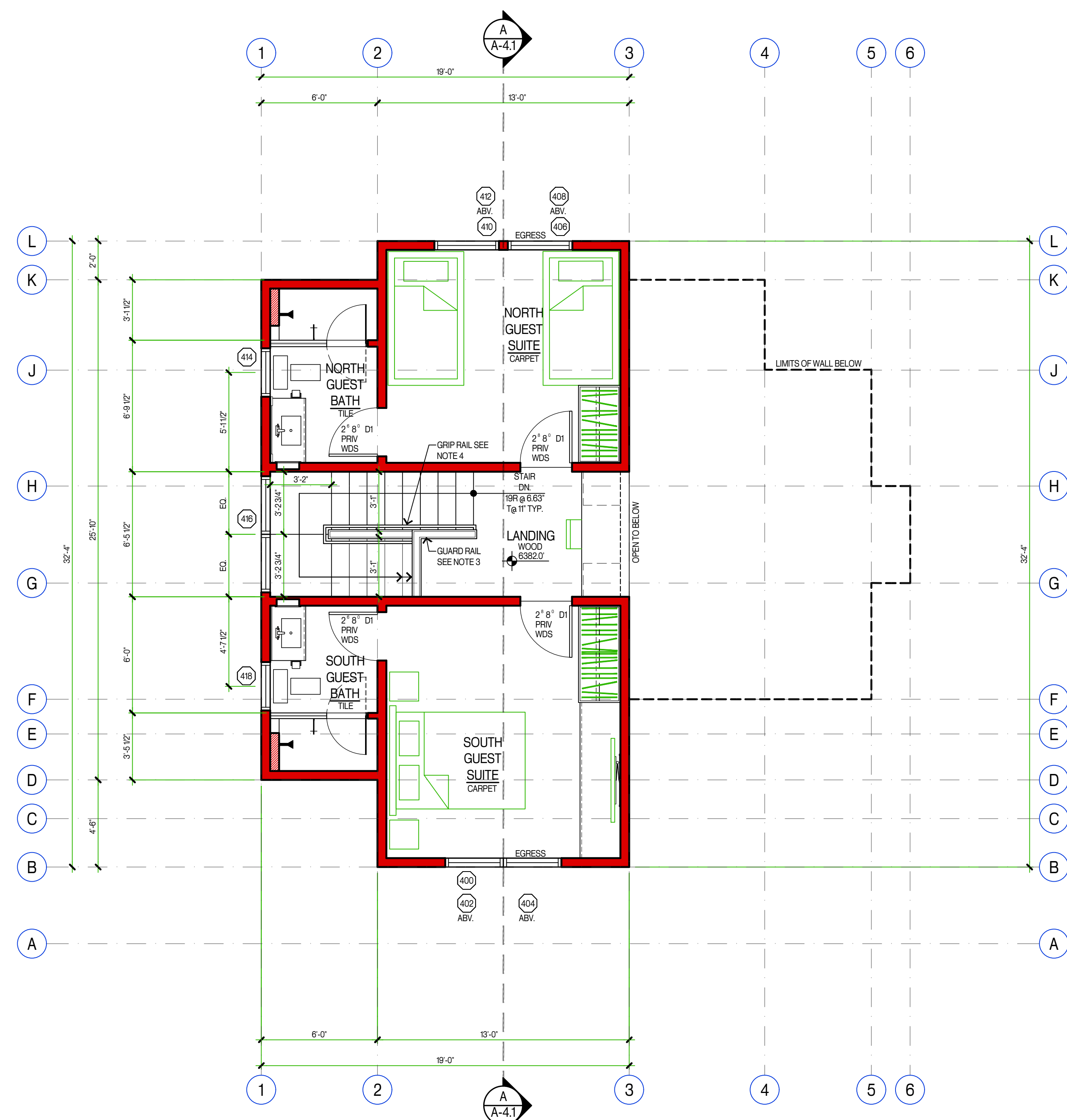
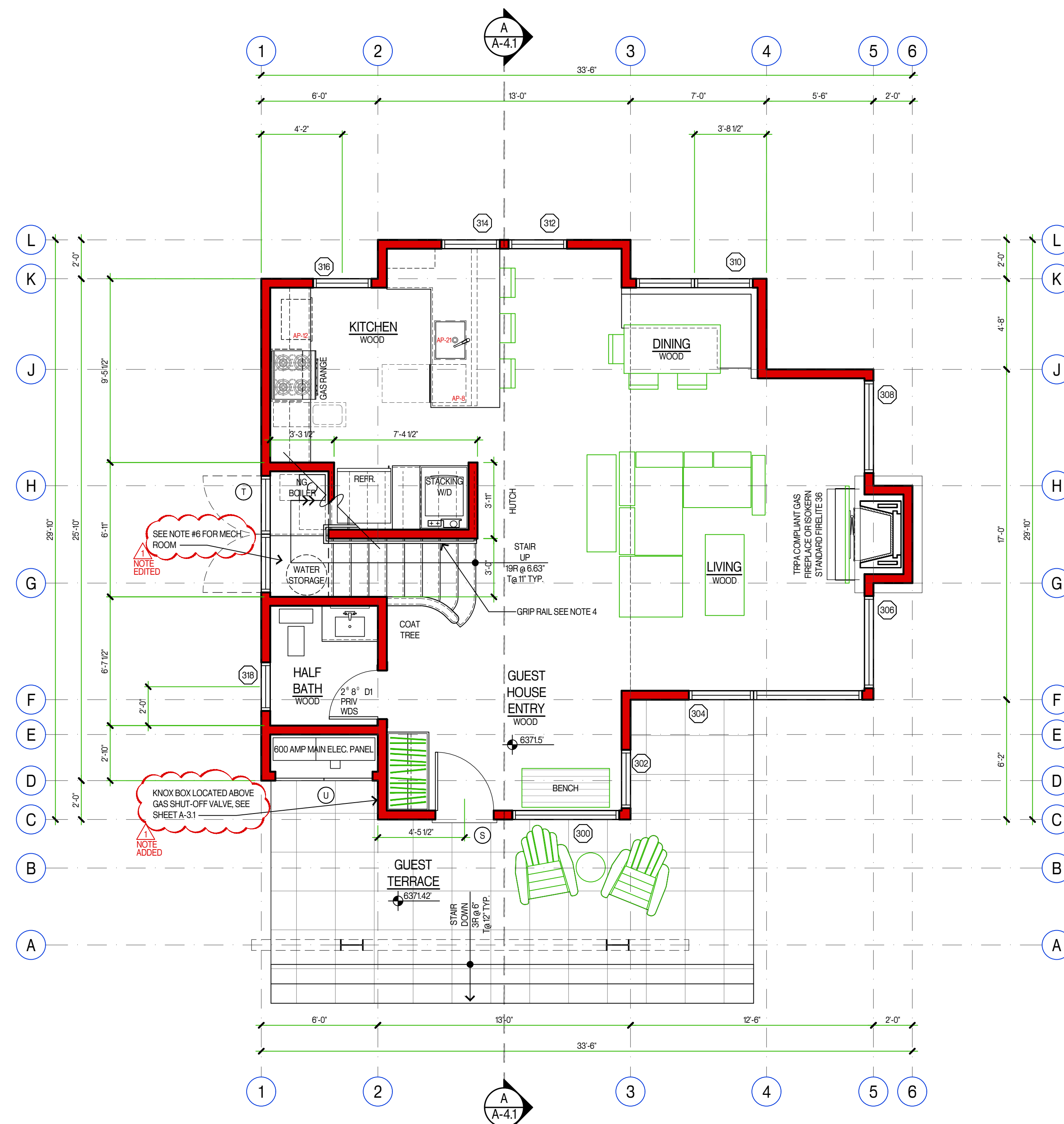
**DATE**  
07 | 14 | 17



**PLAN NORTH**

**GUEST HOUSE  
FLOOR  
PLANS**

**A-2.1**



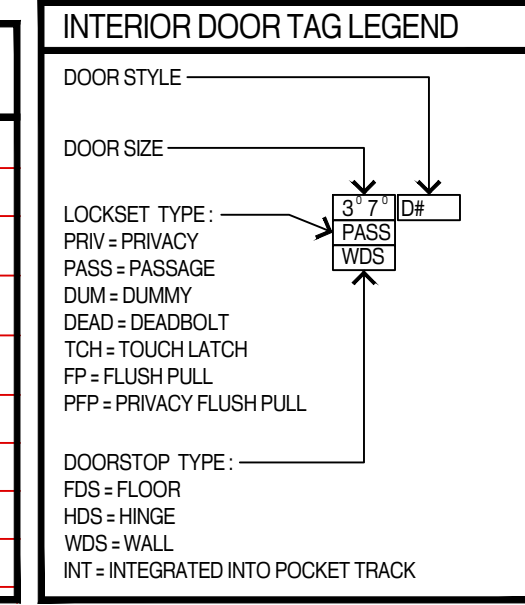
**AREA SUMMARY**

MAIN HOUSE	
CONDITIONS:	
MAIN HOUSE - MAIN LEVEL	3,776 S.F.
MAIN HOUSE - UPPER LEVEL	653 S.F.
MAIN HOUSE - LOWER LEVEL	2,775 S.F.
TOTAL	7,084 S.F.
UNCONDITIONED:	
MAIN HOUSE - GARAGE	956 S.F.
MAIN HOUSE - MECH. + STORAGE	550 S.F.
TOTAL	1,506 S.F.

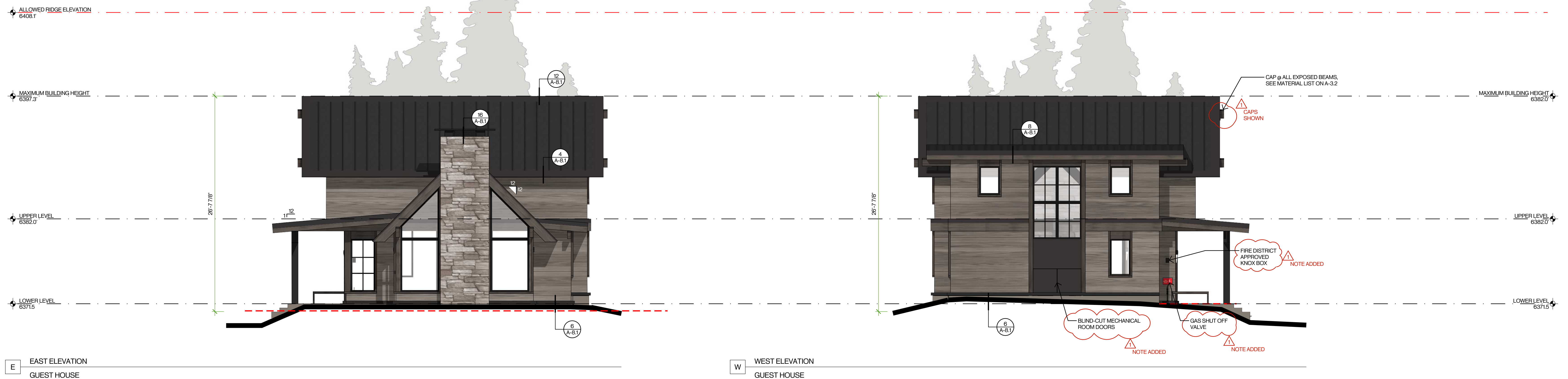
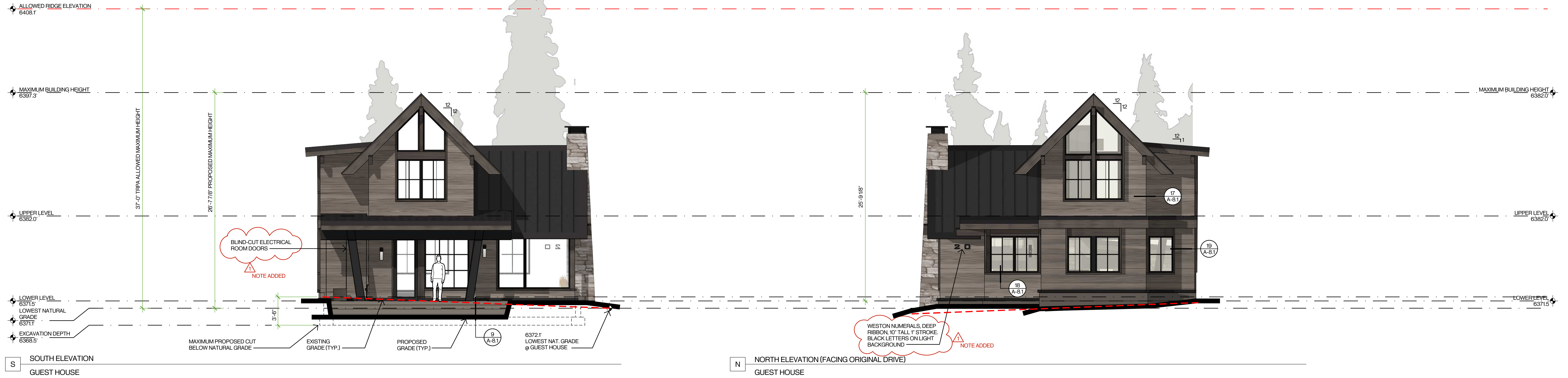
- SHEET NOTES**
- Contractor shall verify tempered glazing at all locations required by IRC R308 and R307.
  - Guards are required at walking surfaces over 30 inches above an adjacent floor within 36 inches (measured horizontally) to the edge of the open side.
  - Guards shall be a minimum of 42" above finish floor. Where top of guardrail serves as a stairway handrail the height shall not be less than 34 inches, nor more than 38 inches above tread nosings. Guards shall be constructed to withstand assigned vertical / lateral and uniform loads and have intermediate pickets such that a 4" sphere may not pass (R) where riser meets tread. Provide Submit by Licensed Design / Build Fabricator to Structural Engineer of Record for the review and confirmation that assigned vertical & lateral loads are achieved.
  - Grippable handrails shall be continuous for the full length of a stair, placed 36" above the plane of stair nosing, have a cross-sectional area of 1-1/2" with no sharp corners, mounted to allow 1-1/2" clear behind and anchored to withstand a 200' lateral load. Not required where less than 4 risers. Ends shall return to walls.
  - All exterior windows, doors, openings and penetrations shall be carefully flashed and counterflashed in accordance with standard practice for construction in extreme climates and in accordance with manufacturer's recommendations.
  - The enclosed accessible space under stairs shall have walls, under stair surface and soffits / ceilings protected on the enclosed side with minimum 1/2" G.W.B. finished as required to provide fire resistive construction as required by IRC S302.7.
  - All windows identified as "Egress" windows shall meet the requirements of Section R310 of the IRC.
  - All kitchen countertops shall be +36" to top of countertop, 24" deep base cabinet, UN.O. All bathroom vanities shall be +34" to top of countertop, 27" deep base cabinet, UN.O. Laundry room countertop above washer and dryer shall be minimum height as coordinated with manufacturer recommendations, all other laundry countertops shall be +36" to top of countertop, 24" deep base cabinet, UN.O.
  - All countertops to have T overhang at all cabinet sides not abutting a vertical plane, UN.O. All slab countertop surfaces shall be 2" thick, UN.O.
  - All casework closets shall have a clear interior depth of 24", UN.O.
  - Stairways shall have a maximum riser height of 7-3/4 inches and minimum tread depth of 10 inches. Maximum tread/riser variation shall be less than 3/8 inch. Any deviation from the specified riser / run shall be brought to the attention of the architect prior to construction.
  - Install fire blocking at concealed draft openings, between stories, between walls and roofs, at stair stringers and at the top and bottom of each stair run as required by IRC R302.11 & R302.12
  - Bottom panel of laundry room door shall have lowered grill providing minimum of 100 square inches of net free area.
  - See A-5.1 for additional window and door information.

**C20 MAIN HOUSE-  
APPLIANCE SCHEDULE**

ID	ITEM
AP-1	WASHER
AP-2	DRYER
AP-3	42" GRILL
AP-4	UP REFRIGERATOR
AP-5	REFRIGERATOR COLUMN
AP-6	FREEZER COLUMN
AP-7	COFFEE TINE
AP-8	DISHWASHER



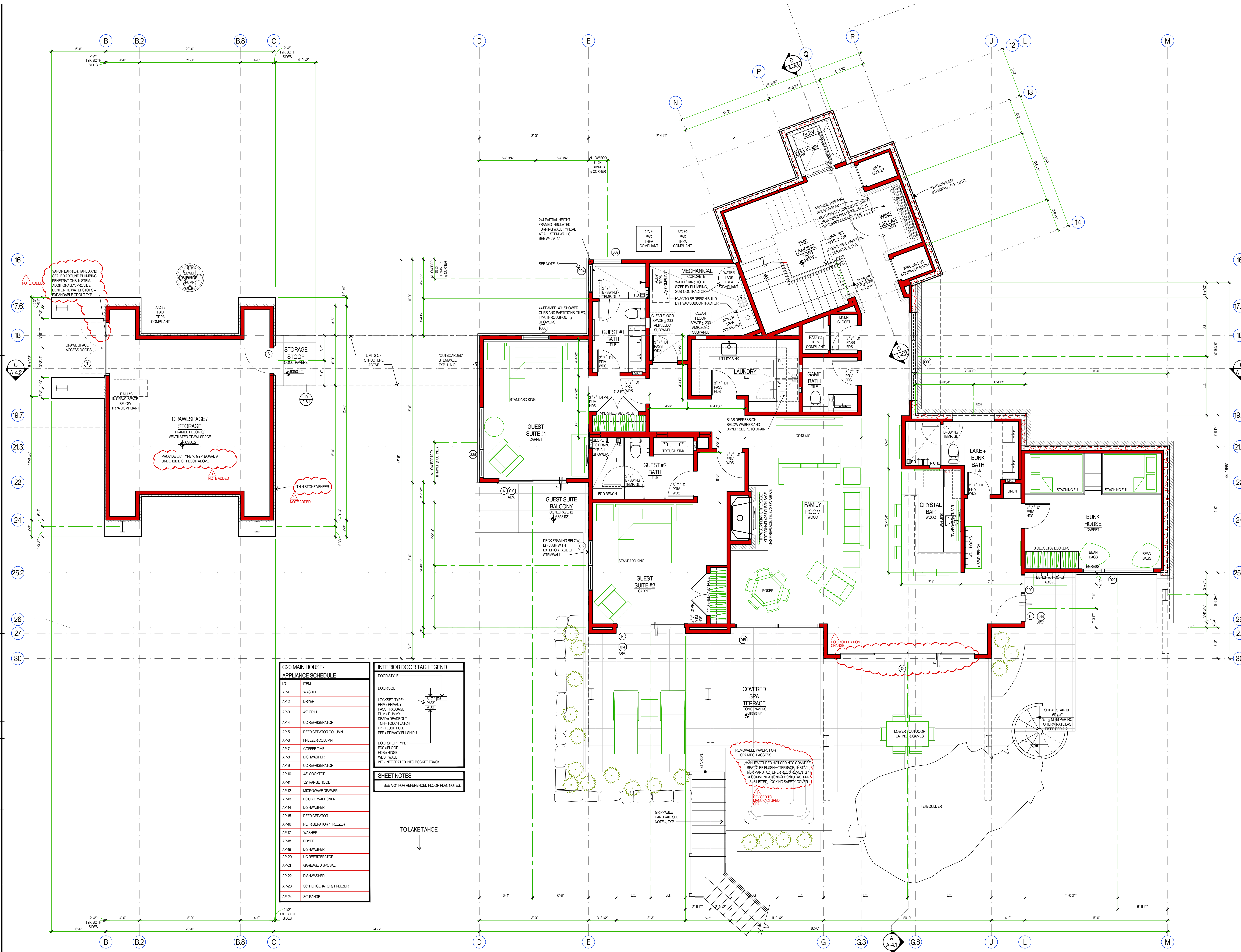
NO.	DATE	REVISION
1		AGENCY SUBMITTIONS
2		FOR AGENCY REVIEW
3		
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MAXIMUM HEIGHT CALCULATION - TRPA METHOD	
GUEST HOUSE	
CROSS SLOPE = 3.5% (ROUND TO 4%)	
ROOF PITCH = 12:12	
ALLOWED ROOF HEIGHT = 37'-0"	
ALLOWED RIDGE ELEVATION = 6371.1'	
ALLOWED NATURAL GRADE ELEVATION = 6371.1'	
PROPOSED RIDGE ELEVATION = 6397.3'	
DOMINANT ROOF SLOPE DETERMINATION:	
12:12	837 SF
4:12	1,312 SF
12:12 ROOF SLOPES REPRESENT > 50% OF ALL PROPOSED AND SHALL BE CONSIDERED DOMINANT	

HEIGHT CALCULATIONS	
CROSS SLOPE = 3.5% (ROUND TO 4%)	
ROOF PITCH = 12:12	
ALLOWED ROOF HEIGHT = 37'-0"	
ALLOWED RIDGE ELEVATION = 6371.1'	
ALLOWED NATURAL GRADE ELEVATION = 6371.1'	
PROPOSED RIDGE ELEVATION = 6397.3'	

EXTERIOR MATERIALS - GUEST HOUSE			
<b>CONCRETE PAVEMENT - DRIVE/TRAFFIC</b> MUJ Conformance: Non-Combustible Material: Dimplestone and Caltek Pavers by Stoneite Inc. Size/Color/Pattern: 24"x36"x1", Natural Stone, Gray #1004	<b>WOOD SIDING</b> MUJ Conformance: 1-Hour Fire-Resistance Rated on Exterior Sides Material: 1/2" OSB Sheathing, 1/2" Fir Plywood, 1/2" Fir Plywood, 1/2" Fir Plywood Finish: Semi-Transparent Stain to match Trim	<b>WOOD ROOFING</b> MUJ Conformance: Class A Assembly, Pre-assembled spaces + saw ends Material: 1/2" OSB Sheathing, 1/2" Fir Plywood, 1/2" Fir Plywood, 1/2" Fir Plywood Finish: Semi-Transparent Stain to match Trim	<b>ROOF FLASHING, EXPOSED BEAM / OUTLOOKER CAPS, RIDGE CAPS + PENETRATIONS</b> MUJ Conformance: Minimum 22 Gauge Material: 22 Gauge Metal w/ Hammered Edge where they Occur. Valley Flashing shall be installed over a minimum 3/8" wide, 72 pound mineral surfaced, non-petroleum cap sheet complying with ASTM C 889 meeting the full height of the valley. Color: Match Metal Roofing
<b>CONCRETE FOUNDATION WALLS</b> MUJ Conformance: Non-Combustible Material: Concrete, Panel Formed, 1 x 1" inset Finish: Horizontal reveal @ 24" o.c., 3/4" chamfers at exposed vertical corners. Color: Concrete Stain = (2) coats Oxidation, Clear Matte Sealer	<b>WINDOWS + DOORS</b> MUJ Conformance: Insulated Glass, Tempered where Required Material/Color: Aluminum-clad Vinyl Siding by Sierra Pacific, As per approved Temporary profile: Black REXX. Doors shall be of an approved non-combustible construction or solid core and ins. 1-5/8" thick, or 20 min. rated / Intertek Glass: Certified SHL Ins. Glass with Low-E Coatings. Provide Tempered glass at Hazardous Locations per IFC 9008.	<b>VENTS</b> MUJ Conformance: Roofing underlaid construction, see R17A-4.11 Novents Material: 1/2" OSB Sheathing, 1/2" Fir Plywood, 1/2" Fir Plywood, 1/2" Fir Plywood Finish: Semi-Transparent Stain to match Trim	<b>ROOF QUARTERS + DOWNSPOUTS</b> MUJ Conformance: Non-Combustible Materials, Debris Screens to prevent the accumulation of leaves and debris.
<b>STONE VENEER</b> MUJ Conformance: Non-Combustible Material: Granite to match existing site stone, 6" nominal thickness Pattern: square and rectangular, uncoated, variable sizes, drystack appearance, no border	<b>STONE CHIMNEY</b> MUJ Conformance: Non-Combustible Material: Granite to match existing site stone, 6" nominal thickness Pattern: square and rectangular, uncoated, variable sizes, drystack appearance, no border	<b>METAL ROOFING</b> MUJ Conformance: Class A Assembly, Pre-assembled spaces + saw ends Material: 1/2" OSB Sheathing, 1/2" Fir Plywood, 1/2" Fir Plywood, 1/2" Fir Plywood Finish: Semi-Transparent Stain to match Trim	<b>FASCIA - TRIM</b> MUJ Conformance: Meets or Exceeds Minimum 2x nominal lumber Material: Cedar, Clear, C or better, Mixed Grain, Rough Finish: Semi-Transparent Stain, Olympic #198
			<b>WOOD SOFFITS + ROOF OVERHANGS, UNENCLOSED UNDEREARTH PROJECTING APPROPRIATE</b> MUJ Conformance: 1-Hour Fire-Resistance Rated construction on exposed underside. Material: 1/2" OSB Sheathing, 1/2" Fir Plywood, 1/2" Fir Plywood, 1/2" Fir Plywood Finish: UV Protector Oil, Natural Finish



ID	ITEM
AP-1	WASHER
AP-2	DRYER
AP-3	42" GRILL
AP-4	LC REFRIGERATOR
AP-5	REFRIGERATOR COLUMN
AP-6	FREEZER COLUMN
AP-7	COFFEE TIME
AP-8	DISHWASHER
AP-9	LC REFRIGERATOR
AP-10	48" COOKTOP
AP-11	52" RANGE HOOD
AP-12	MICROWAVE DRAWER
AP-13	DOUBLE WALL OVEN
AP-14	DISHWASHER
AP-15	REFRIGERATOR
AP-16	REFRIGERATOR / FREEZER
AP-17	WASHER
AP-18	DRYER
AP-19	DISHWASHER
AP-20	LC REFRIGERATOR
AP-21	GARBAGE DISPOSAL
AP-22	DISHWASHER
AP-23	36" REFRIGERATOR / FREEZER
AP-24	30" RANGE

DOOR STYLE	DOOR SIZE	LOOKSET TYPE
PRIV - PRIVACY	3'-7" x 7'-0"	PRIVACY
PASS - PASSAGE	3'-0" x 7'-0"	PASSAGE
DUM - DUMMY	3'-0" x 7'-0"	DUMMY
DEAD - DEADBOLT	3'-0" x 7'-0"	DEADBOLT
TOH - TOUCHLATCH	3'-0" x 7'-0"	TOUCHLATCH
FP - FLUSH PULL	3'-0" x 7'-0"	FLUSH PULL
PPP - PRIVACY FLUSH PULL	3'-0" x 7'-0"	PRIVACY FLUSH PULL

**SHEET NOTES**  
SEE A-2.1 FOR REFERENCED FLOOR PLAN NOTES.

TO LAKE TAHOE



















INGID WILL REQUIRE RECORDING OF UTILITY EASEMENT ACROSS 20 CRYSTAL AS PART OF FINAL SIGNOFF

NOTE: GRADING SHALL REMAIN 2 FEET MINIMUM FOR ADJACENT PROPERTY LINE

NOTE: MAXIMUM SLOPE FOR GRADED AREAS NOT COVERED BY IMPERVIOUS SURFACES SHALL BE 3:1

NOTE: ALL GRAVITY SEWER LINES WILL BE SDR-35 HDPE PIPE WITH PUSH-FIT FITTINGS AND NO GLUE

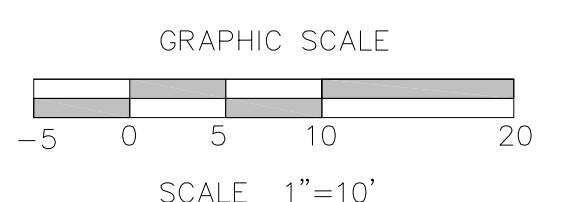
NOTE: ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.

NOTE: HAND DIGGING WILL BE REQUIRED FOR ALL TRENCHES THAT AREA LOCATED WITHIN THE DRIPLINES OF EXISTING TREES.

GRADING QUANTITIES  
CUT--155 C.Y.  
FILL--285 C.Y.

APN 123-032-06  
20 SOMERS DRIVE

NOTE: DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURES.



**RYAN GROUP ARCHITECTS**

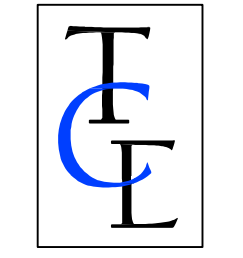
10800 DUNNER PASS ROAD  
NUMBER 200  
TRUCKEE, CA  
96161

530 587 3800  
RYANGROUP.NET

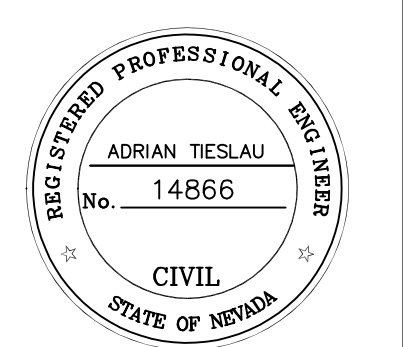
**TWENTY CRYSTAL AT TAHOE**

**GUEST HOUSE**

20 CRYSTAL DRIVE  
CRYSTAL BAY, NV  
APN: 123-032-25



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**PROJECT 17.002 DRAWN**

**REVIEWED**

**DATE 8-28-17**

**BMP, GRADING, AND UTILITY PLAN**

**C1.1**