

Tentative Subdivision Map

**PYRAMID RANCH ANNEX
SUBDIVISION**

TABLE OF CONTENTS

1	Application with Owner Affidavit and Request to Reserve New Street Names
2	Vicinity Map, Assessor's Site Map, Parcel Site Map
3	8"x11" Tentative Map Sheets
4	Proof of Property Tax Payments
5	Legal Description
6	Traffic Impact Report
7	Feasibility Study
8	Water Rights Letter
9	Acknowledgement of Water Service (from TMWA)
10	

Community Services Department
Planning and Development
TENTATIVE SUBDIVISION MAP
APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: PYRAMID RANCH ANNEX SUBDIVISION			
Project Description: 61 LOT TENTATIVE MAP			
Project Address: Sand Dune Drive and Dromedary Road, Sparks, NV			
Project Area (acres or square feet): 21.312 acres			
Project Location (with point of reference to major cross streets AND area locator): Intersection of Sand Dune Drive and Dromedary Road, via Rosetta Stone to Egyptian Drive in Spanish Springs Valley			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
532-091-09 (portion)	15.574		
532-091-10	5.738		
Section(s)/Township/Range: SW 1/4 SECTION 26 and SE 1/4 Section 27, T21N, R20E			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). RZA16-001			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Spanish Springs Associates, LP		Name: C&M Engineering and Design	
Address: 550 W. Plumb Lane, #B-505		Address: 5488 Reno Corporate Drive #200B	
Reno, NV	Zip: 89509	Reno, NV	Zip: 89511
Phone: 775-425-4422	Fax: 775-329-8591	Phone: 775-856-3312	Fax: 775-856-3318
Email: jesse@hawcoproperties.com		Email: lmenante@candmengineering.com	
Cell: 775-560-6922	Other:	Cell: 775-240-5664	Other:
Contact Person: Jesse Haw		Contact Person: Lisa Menante	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as Owner		Name: Robert M. Sader	
Address:		Address: 8600 Technology Way, Suite 101	
	Zip:	Reno, NV	Zip: 89521
Phone:	Fax:	Phone: 775-329-8310	Fax: 775-329-8591
Email:		Email: rmsader@robertmsaderltd.com	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Robert M. Sader	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Request to Reserve New Street Name(s)

The Applicant is responsible for all sign costs.

Applicant Information

Name: Spanish Springs Associates, LP

Address: 550 W. Plumb Lane, #B-505

Reno, NV 89509

Phone : (775) 425-4422

Fax: (775) 329-8591

Private Citizen

Agency/Organization

Street Name Requests

(No more than 14 letters or 15 if there is an "I" in the name. Attach extra sheet if necessary.)

Cardiff Court

Penasquitos Court

Piovana Court

If final recordation has not occurred within one (1) year, it is necessary to submit a written request for extension to the coordinator prior to the expiration date of the original

Location

Project Name: PYRAMID RANCH ANNEX SUBDIVISION

Reno

Sparks

Washoe County

Parcel Numbers: 532-091-09 (portion) and 532-091-10

Subdivision

Parcelization

Private Street

Please attach maps, petitions and supplementary information.

Approved: _____ Date: _____

Regional Street Naming Coordinator

Except where noted

Denied: _____ Date: _____

Regional Street Naming Coordinator

Washoe County Geographic Information Services

Post Office Box 11130 - 1001 E. Ninth Street
Reno, NV 89520-0027

Phone: (775) 328-2325 - Fax: (775) 328-6133

- Mail
 - Calendar
 - Contacts
 -
 - Deleted Items
 - Drafts [18]
 - Inbox (2)
 - Junk E-Mail
 - Sent Items
- Click to view all folders

Manage Folders...

Reply
 Reply to All
 Forward
 Move
 Delete
 Close

FW: APPROVED STREET NAMES FOR PYRAMID RANCH ANNEX
 RMSader [RMSader@robertmsaderltd.com]

Sent: Wednesday, September 07, 2016 7:52 AM
To: Sades

From: Lisa Menante [mailto:lmnante@candengineering.com]
Sent: Tuesday, September 06, 2016 6:08 PM
To: rmsader
Cc: Samuel Chacon
Subject: APPROVED STREET NAMES FOR PYRAMID RANCH ANNEX

These street names have been accepted and reserved into the Washoe County Master Street Directory Reservation table as of the submittal date of 09/02/2016:

Location: Reno Parcel Numbers: 532-091-09, 532-091-10

Reservations		
Date Submitted	Fullname	Description
9/2/2016	PIOVANA	Pyramid Ranch Annex (C and M Engineering – Lisa Menante for Spanish Springs Associates)

These street names have been accepted and reserved into the Washoe County Master Street Directory Reservation table as of the submittal date of 09/01/2016:

Area: Washoe County Parcels: 532-091-09, 532-091-10

Reservations		
Date Submitted	Fullname	Description
9/1/2016	PENASQUITOS	Pyramid Ranch Annex (C and M Engineering - Lisa Menante for Spanish Springs Associates)

These street names have been accepted and reserved into the Washoe County Master Street Directory Reservation table as of the submittal date of 09/01/2016:

Area: Washoe County Parcels: 532-091-09, 532-091-10

Reservations		
Date Submitted	Fullname	Description
9/1/2016	CARDIFF	Pyramid Ranch Annex (C and M Engineering - Lisa Menante for Spanish Springs Associates)

Lisa C Menante, PE
 C&M Engineering and Design, LTD
 5488 Reno Corporate Drive, Suite 200B
 Reno, NV 89511
 (775) 856-3312

Applicant Comments to Supplemental Information

This tentative map application involves a 15.574-acre portion of APN 532-091-09 and all of 532-091-10 (5.738 acres). The portion of 532-091-09 has until recently been zoned and designated for a potential regional park. On August 9, 2016 the Board of County Commissioners approved a regulatory zone amendment (Case No. RZA16-001) to change the zoning on the portion of 532-091-09 from Parks and Recreation to Medium Density Suburban. This approval followed a decision by county staff that a regional park would not be located on this site.

APN 532-091-10 is currently one of the parcels subject to the Eagle Canyon Ranch Subdivision (Case No. TM13-002). With the recent rezoning of APN 532-091-09 to MDS, the Applicant believes 532-091-10 should be planned and developed together with APN 532-091-09. This will result in a more efficient use of the property, simplify and improve utility extensions, and avoid constructing an additional street access.

Pyramid Ranch Annex is an infill subdivision bounded on the southeast, south and north by built or planned MDS subdivisions. Lot sizes are standard MDS dimensions. There will be no common area, negating the need for a common-interest community HOA and CC&Rs. The property is essentially flat (slopes less than 1%), so berms, retaining walls and extraordinary lot drainage are not issues. Once constructed, homes in this subdivision will be consistent and compatible with surrounding residences in the neighborhood.

In order to include APN 532-091-10 in this tentative map application, it will be necessary for the county to approve an amendment to the Eagle Canyon Ranch tentative map to exclude that parcel (and 13 lots) from the map. An amendment to this effect is being filed by the Applicant and others concurrently with this application, and must be approved prior to this application.

Tentative Subdivision Map Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to tentative subdivision maps may be found in Article 608, Tentative Subdivision Maps.

1. What is the location (address or distance and direction from nearest intersection)?

Pyramid Ranch Annex Subdivision is located at the intersection of Sand Dune Drive and Dromedary Road, west of Alice Taylor Elementary School and Gator Swamp Park in Spanish Springs. The property is east of Pyramid Highway in the vicinity of the current terminus of Egyptian Drive.

2. What is the subdivision name (proposed name must not duplicate the name of any existing subdivision)?

Pyramid Ranch Annex Subdivision.

3. Density and lot design:

a. Acreage of project site	21.312
b. Total number of lots	61
c. Dwelling units per acre	2.86
d. Minimum and maximum area of proposed lots	12,000 s.f. min to 17,762 s.f. max
e. Minimum width of proposed lots	80 feet
f. Average lot size	13,182.26 s.f.

4. Utilities:

a. Sewer Service	Washoe County Department of Water Resources
b. Electrical Service	NV Energy
c. Telephone Service	AT&T
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter Communications
g. Water Service	Washoe County Department of Water Resources

5. For common open space subdivisions (Article 408), please answer the following:

a. Acreage of common open space:

N/A

b. Development constraints within common open space (slope, wetlands, faults, springs, ridgelines):

N/A

c. Range of lot sizes (include minimum and maximum lot size):

N/A

d. Average lot size:

N/A

e. Proposed yard setbacks if different from standard:

N/A

f. Justification for setback reduction or increase, if requested:

N/A

g. Identify all proposed non-residential uses:

N/A

h. Improvements proposed for the common open space:

N/A

i. Describe or show on the tentative map any public or private trail systems within common open space of the development:

N/A

j. Describe the connectivity of the proposed trail system with existing trails or open space adjacent to or near the property:

N/A

k. If there are ridgelines on the property, how are they protected from development?

N/A

l. Will fencing be allowed on lot lines or restricted? If so, how?

N/A

m. Identify the party responsible for maintenance of the common open space:

N/A

6. Is the project adjacent to public lands or impacted by "Presumed Public Roads" as shown on the adopted April 27, 1999 Presumed Public Roads (see Washoe County Engineering website at <http://www.washoecounty.us/pubworks/engineering.htm>). If so, how is access to those features provided?

No.

7. Is the parcel within the Truckee Meadows Service Area?

Yes No

8. Is the parcel within the Cooperative Planning Area as defined by the Regional Plan?

Yes No If yes, within what city? Sparks

9. Will a special use permit be required for utility improvement? If so, what special use permits are required and are they submitted with the application package?

No.

10. Has an archeological survey been reviewed and approved by SHPO on the property? If yes, what were the findings?

There are no known archaeological sites on the property.

11. Indicate the type and quantity of water rights the application has or proposes to have available:

a. Permit #	see below	acre-feet per year	
b. Certificate #		acre-feet per year	
c. Surface Claim #		acre-feet per year	
d. Other #		acre-feet per year	

e. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Spanish Springs Associates Limited Partnership and Hawco Development Company have water rights banked with the Truckee Meadows Water Authority for use on this property. See attached letter, Appendix 8.

12. Describe the aspects of the tentative subdivision that contribute to energy conservation:

Aspects of the model energy code will be applied including property insulation, energy efficient appliances, energy efficient windows and water saving shower heads, faucets, and toilets. Large lot sizes and generous building footprints will afford the project architects the opportunity to place homes on lots to take advantage of solar heating. Roadway widths will comply with minimum county standards for roadway width to reduce energy consumption associated with asphalt and aggregate production.

13. Is the subject property in an area identified by Planning and Development as potentially containing rare or endangered plants and/or animals, critical breeding habitat, migration routes or winter range? If so, please list the species and describe what mitigation measures will be taken to prevent adverse impacts to the species:

NO

14. If private roads are proposed, will the community be gated? If so, is a public trail system easement provided through the subdivision?

N/A - Streets will be public.

15. Is the subject property located adjacent to an existing residential subdivision? If so, describe how the tentative map complies with each additional adopted policy and code requirement of Article 434, Regional Development Standards within Cooperative Planning Areas and all of Washoe County, in particular, grading within 50 and 200 feet of the adjacent developed properties under 5 acres and parcel matching criteria:

Yes, The proposed subdivision is of the same zoning as adjacent existing and planned Medium Density Suburban residential lots, which are all within the unincorporated area and are over one mile from the Sparks city limits. Proposed and existing lots are of similar size.

16. Are there any applicable policies of the adopted area plan in which the project is located that require compliance? If so, which policies and how does the project comply?

The Subdivision shall comply with all applicable policies of the Spanish Springs Area Plan.

17. Are there any applicable area plan modifiers in the Development Code in which the project is located that require compliance? If so, which modifiers and how does the project comply?

Proof of water rights (see attached, Appendix 8) is provided pursuant to Section 110.216.45. Proposed drainage improvements shall comply with design parameters of the Spanish Springs Water Detention Facility pursuant to Section 110.216.55.

18. Will the project be completed in one phase or is phasing planned? If so, please provide that phasing plan:

No phasing is planned at this time. The project will either be developed in one phase or be divided in two phases of ± 30 lots each.

19. Is the project subject to Article 424, Hillside Development? If yes, please address all requirements of the Hillside Ordinance in a separate set of attachments and maps.

Yes No If yes, include a separate set of attachments and maps.

20. Is the project subject to Article 418, Significant Hydrologic Resources? If yes, please address Special Review Considerations within Section 110.418.30 in a separate attachment.

Yes No If yes, include separate attachments.

Grading

Please complete the following additional questions if the project anticipates grading that involves: (1) Disturbed area exceeding twenty-five thousand (25,000) square feet not covered by streets, buildings and landscaping; (2) More than one thousand (1,000) cubic yards of earth to be imported and placed as fill in a special flood hazard area; (3) More than five thousand (5,000) cubic yards of earth to be imported and placed as fill; (4) More than one thousand (1,000) cubic yards to be excavated, whether or not the earth will be exported from the property; or (5) If a permanent earthen structure will be established over four and one-half (4.5) feet high:

21. How many cubic yards of material are you proposing to excavate on site?

none

22. How many cubic yards of material are you exporting or importing? If exporting of material is anticipated, where will the material be sent? If the disposal site is within unincorporated Washoe County, what measures will be taken for erosion control and revegetation at the site? If none, how are you balancing the work on-site?

110,000 cy import to be placed as fill. No export is anticipated.

23. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways? What measures will be taken to mitigate their impacts?

Disturbed areas during construction will be difficult to see from most directions, although visible from Dromedary Road and Neighborhood Way. Visitors to Gator Swamp Park will see construction on the adjacent site. Once the houses and fences are in place there will be no disturbed areas visible. New homes will be at nearly the same finish floor elevations as existing homes to the east and south.

24. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Maximum slope will be 3:1 cut or fill, but few if any such slopes are anticipated, since the property is flat.

Revegetation is not anticipated to be needed, since disturbed areas will be paved for streets and lots will be improved with single family dwellings, landscaping, etc.

25. Are you planning any berms and, if so, how tall is the berm at its highest? How will it be stabilized and/or revegetated?

NO

26. Are retaining walls going to be required? If so, how high will the walls be, will there be multiple walls with intervening terracing, and what is the wall construction (i.e. rockery, concrete, timber, manufactured block)? How will the visual impacts be mitigated?

NO

27. Will the grading proposed require removal of any trees? If so, what species, how many, and of what size?

No trees on the property.

28. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

If revegetation is required, areas will be treated with a native seed mix comprised of native shrubs and grasses per Washoe County requirements. However, no revegetation is planned to be needed.

29. How are you providing temporary irrigation to the disturbed area?

Use of water trucks or temporary sprinkler irrigation lines.

30. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

N/A

Tahoe Basin

Please complete the following additional questions if the project is within the Tahoe Basin:

31. Who is the Tahoe Regional Planning Agency (TRPA) project planner and what is his/her TRPA extension?

N/A

32. Is the project within a Community Plan (CP) area?

Yes No If yes, which CP?

33. State how you are addressing the goals and policies of the Community Plan for each of the following sections:

- a. Land Use:

N/A

- b. Transportation:

N/A

- c. Conservation:

N/A

d. Recreation:

N/A

e. Public Services:

N/A

34. Identify where the development rights for the proposed project will come from:

N/A

35. Will this project remove or replace existing housing?

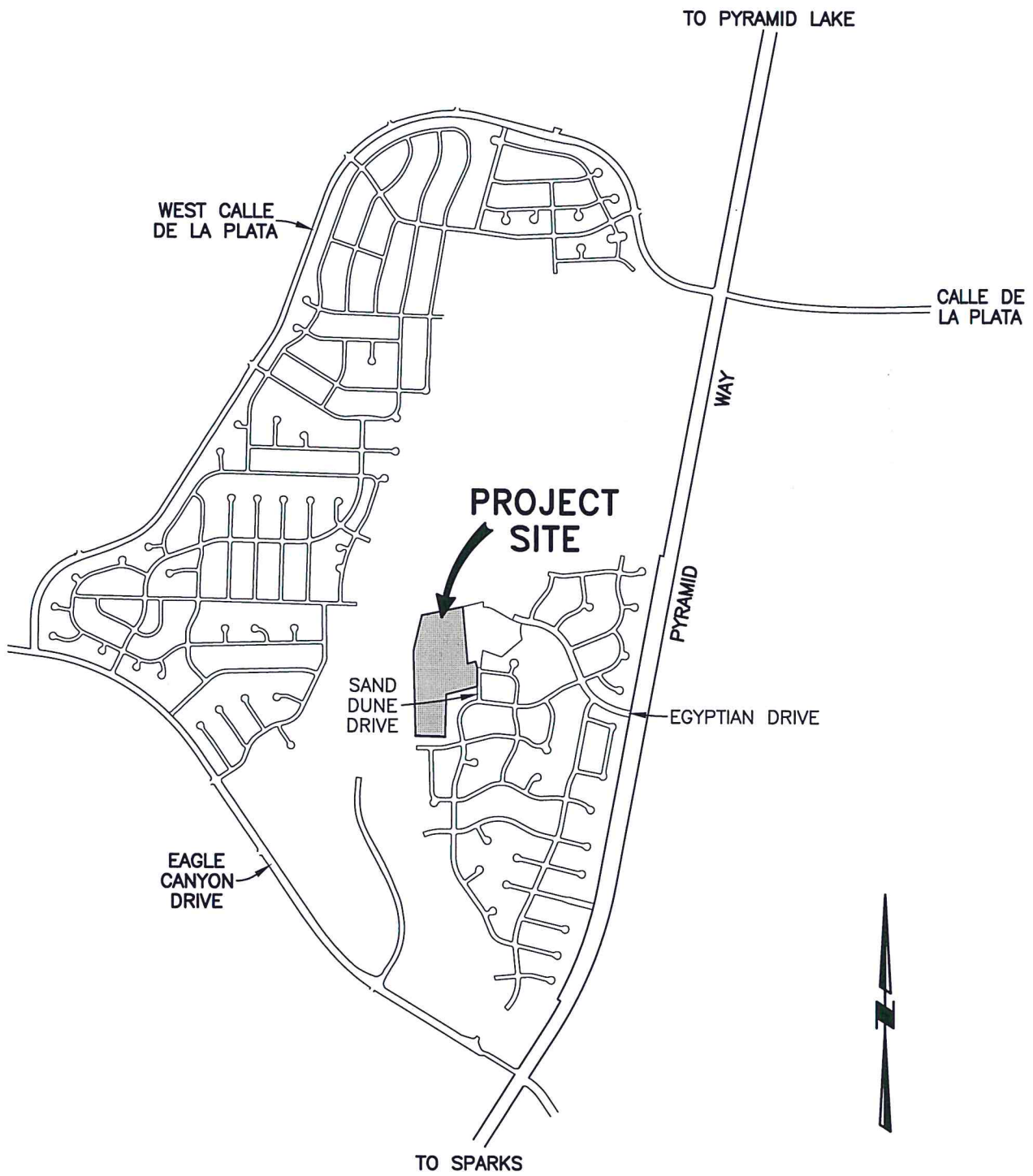
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how many units?
------------------------------	--	-------------------------

36. How many residential allocations will the developer request from Washoe County?

N/A

37. Describe how the landscape plans conform to the Incline Village General Improvement District landscaping requirements:

N/A



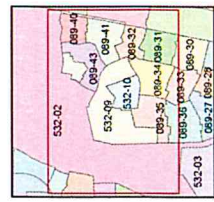
VICINITY MAP
SCALE: 1" = 2000'

Assessor's Map Number
532-09

STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
Joshua G. Wilson, Assessor
1001 East Irish Street
Reno Nevada, 89512
(775) 335-2251



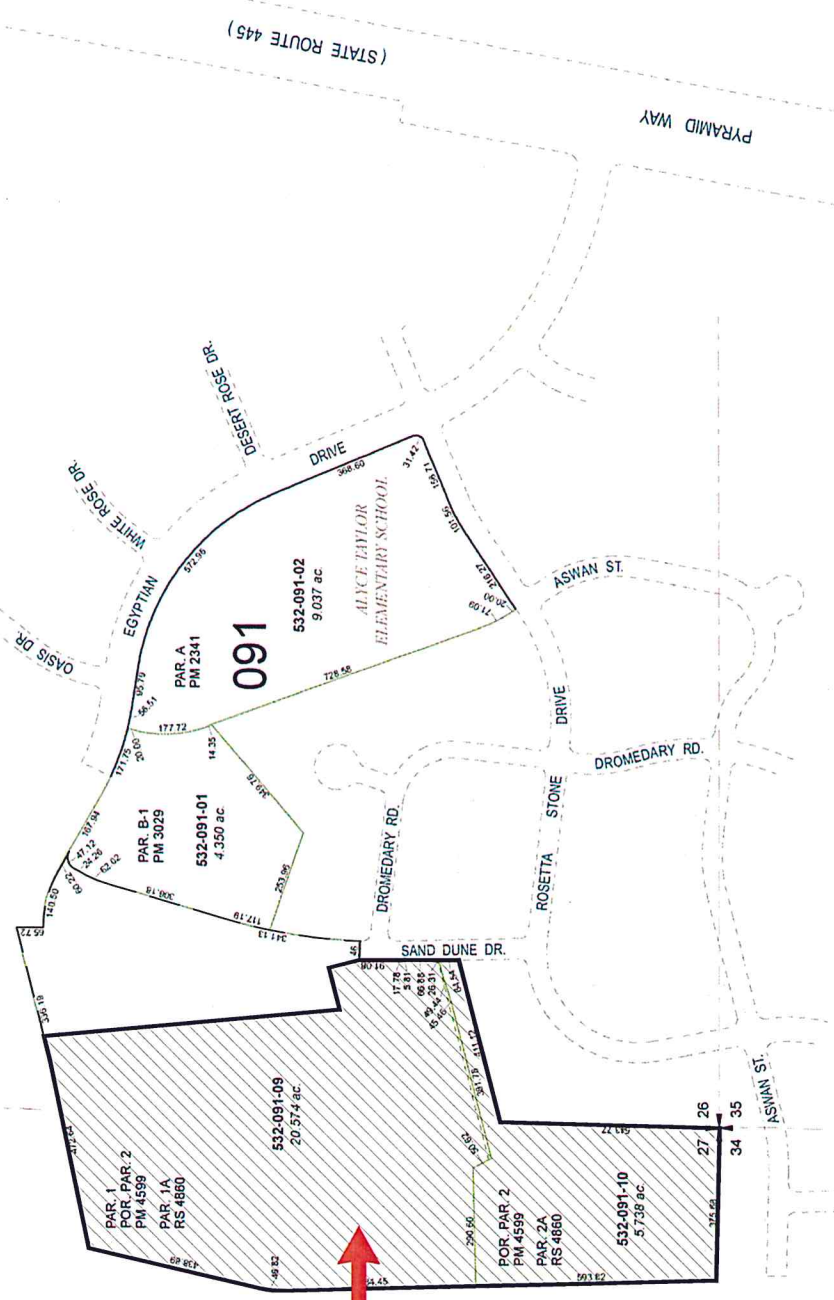
0 75 150 225 300
Feet
1 inch = 300 feet



created by KSB 11/01/2013
last updated _____
area previously shown on maps(s) _____
089-16

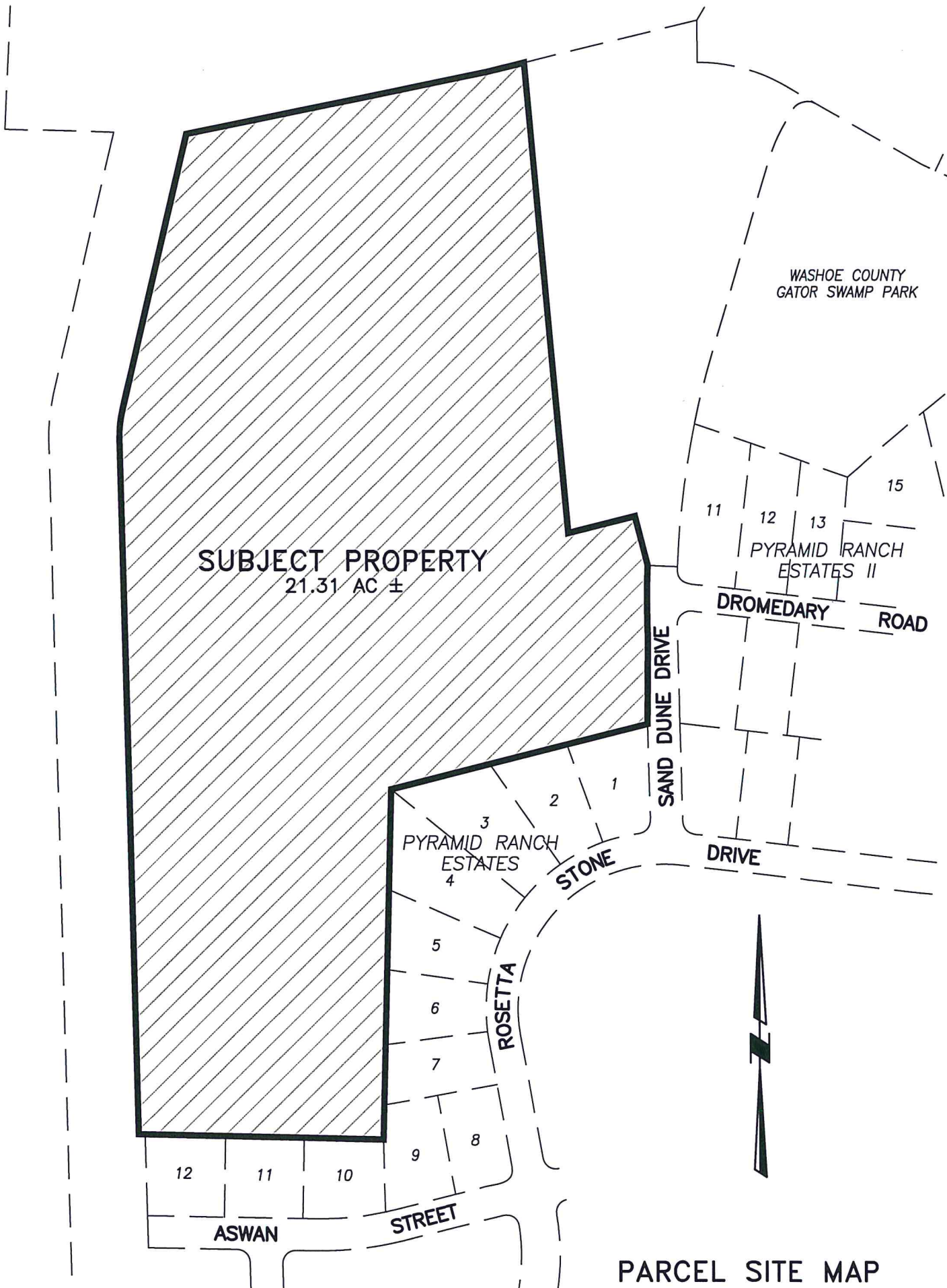
NOTE: This map was prepared for the use of the Assessor's Office and is not intended for any other purpose. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data contained hereon.

**PORTION OF SW 1/4 SECTION 26 &
SE 1/4 SECTION 27
T21N - R20E**



**PYRAMID RANCH
ANNEX
Ptn. APN 532-091-09
and APN 532-091-10**

ASSESSORS SITE MAP



SCALE: 1" = 200'

PARCEL SITE MAP

TENTATIVE MAP FOR PYRAMID RANCH ANNEX

OWNER/DEVELOPER

SPANISH SPRINGS ASSOCIATES LIMITED PARTNERSHIP
550 W. PLUMB LANE, SUITE B, #505
RENO, NEVADA 89509

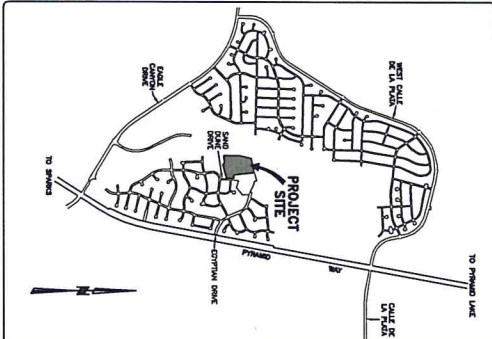
CIVIL ENGINEER

C & M ENGINEERING AND DESIGN, LTD.
5488 RENO CORPORATE DRIVE, SUITE 200B
RENO, NEVADA 89511

LEGEND

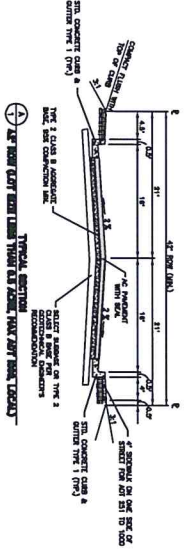
- NEW PAVEMENT
- EXISTING CURB & GUTTER
- NEW CURB & GUTTER
- EXISTING ST. CONTOUR
- DIRECTION OF FLOW
- NEW STORM DRAIN W/ MANHOLE
- EXISTING STORM DRAIN
- NEW SANITARY SEWER W/ MANHOLE
- EXISTING SANITARY SEWER
- NEW CATCH BASIN/ MANHOLE
- DRAINING CATCH BASIN
- NEW WATER LINE W/ VALVE
- EXISTING WATER LINE W/ VALVE
- FLUSH VALVE ASSEMBLY
- AIR RELEASE ASSEMBLY
- FIRE HYDRANT ASSEMBLY
- EXIST. SPOT ELEVATION
- ROCK RIPRAP

- RETAINING WALL
- FENCE ON RW
- BLOCK WALL
- STONE WALL
- TRENCH/STOVE
- STREET BOUNDARIES
- TALUS/SLOPE
- PRELIME
- WATER EDGE
- INTERMITTENT DRAINAGE
- DITCH
- TREASURE
- BRUSHLINE
- BUILDING
- COVERED AREA
- SHED
- BUILD. UNDER CONSTR.
- IRREGULAR BOUNDARIES
- BOUNDARY
- NEZ CONTROL POINT
- Z ONLY CONTROL POINT
- SURVEY MONUMENT
- POWER POLES
- POLE ANCHOR
- TRANSMISSION TOWER
- LIGHT POLE
- POST/POLE
- SIGN
- FIRE HYDRANT
- MANHOLE
- VALVE COVER
- TRAFFIC SIGNAL
- RR XING SIGNAL
- MISC. OBJECT
- METER
- MARSH
- EXCAVATION
- SWAY
- UTIL. VALVE/BOX
- METER BOX



SHEET INDEX

- 1 TITLE SHEET
- S-1 GEOMETRICS
- G-1 GRADING/UTILITIES
- C-1 CROSS SECTIONS



GENERAL NOTES:

1. BASED ON FLOOD INSURANCE RATE MAP NO. 32031C2000 0 (DATED 10/21/2010), PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THE PROJECT SITE IS IN FLOOD ZONE X (SHADED) INDICATING AREAS OUTSIDE THE 500-YEAR FLOODPLAIN.
2. ALL STREETS TO BE PUBLIC UNLESS OTHERWISE NOTED.
3. ALL SLOPES ARE 3:1 MAX. UNLESS OTHERWISE NOTED.
4. MECHANICAL SLOPE STABILIZATION FOR SLOPES STEEPER THAN 3:1 - WHEN ROCK REPAIR IS USED FOR SLOPE STABILIZATION, IT SHALL CONTAIN A MINIMUM OF FOUR FRAGMENTED PILES AND BE PLACED TO A MINIMUM DEPTH OF 12 INCHES. A MINIMUM OF 75% OF THE REPAIR SHALL BE 8 INCH DIAMETER ROCK OR GREATER.
5. ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED BY THE APPLICATION OF DUST PAVEMENT AND FERTILIZER. THE APPLICATION OF DUST PAVEMENT SHALL BE IN ACCORDANCE WITH THE AND FERTILIZER SHALL BE PLANTED AS FOLLOWS:
THE PROPOSED SEEDING RATE SHALL BE 12#/AC. OF SOAK WEATHERGRASS AND 8#/AC. OF FARMWY CRABE WEATHERGRASS. IF FAILED, THE RATE SHOULD BE 8#/AC. OF SOAK WEATHERGRASS AND 5#/AC. OF FARMWY CRABE WEATHERGRASS. STABILIZATION SHALL BE MONITORED BY A STRAW PUNCHING TOOL OR COVERED WITH NETTING AND SLOTTED.

LAND USE DATA:

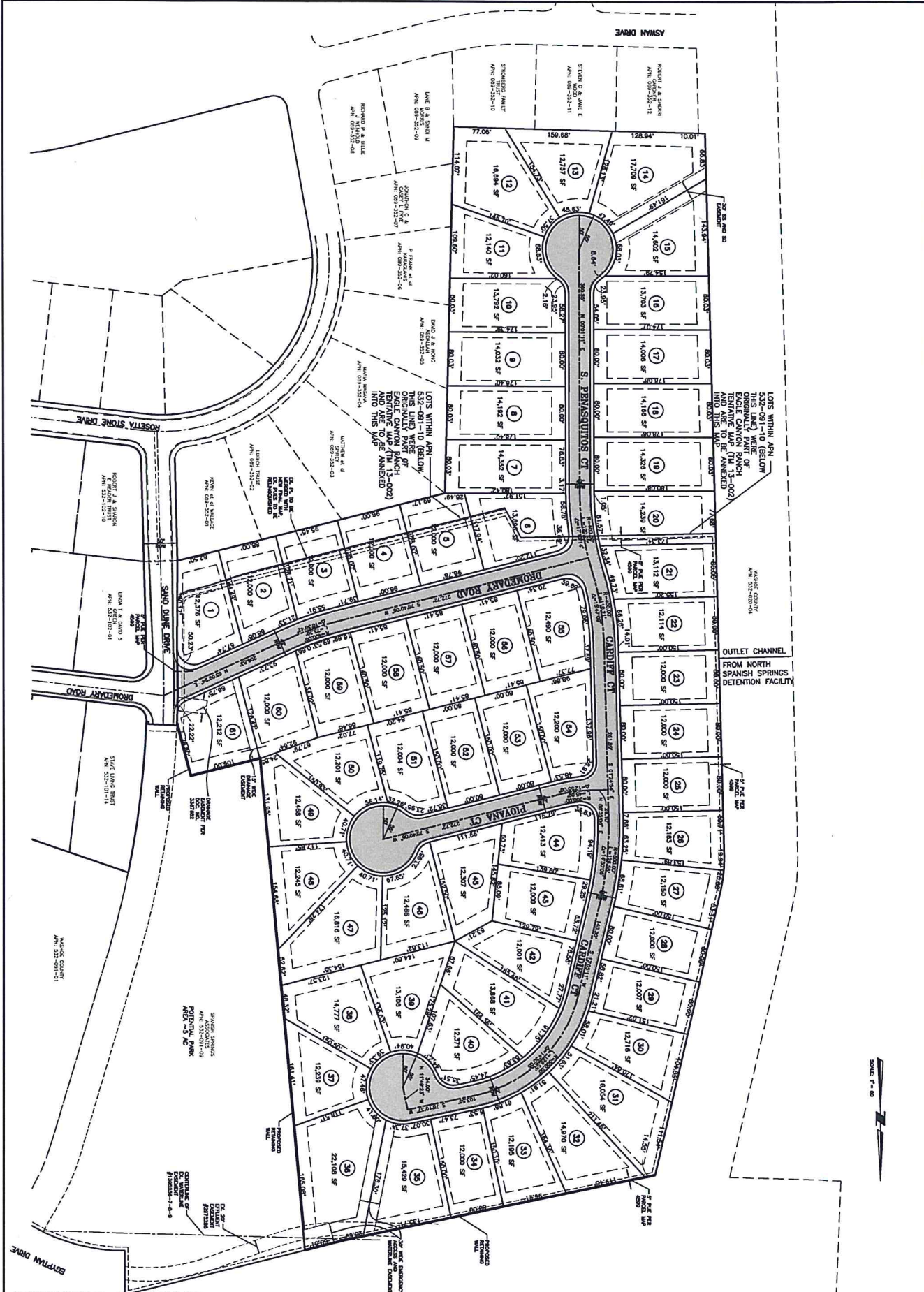
1. PRESENT LAND USE CLASSIFICATION: MDS (15.5 AC PORTION OF 532-081-00) & MDS (532-081-10)
2. PROPOSED LAND USE CLASSIFICATION: MDS
3. TOTAL LAND AREA: 21.51 AC.; LOT AREA: 18.46 AC
4. STREETS: 2.85 AC.; COMMON AREA: 0 AC
5. NUMBER OF UNITS: 01; DENSITY: 2.88 DU/AC
6. REQUIRED MINIMUM LOT SIZE: 12,000 SF MIN.
7. REQUIRED MINIMUM LOT WIDTH: 80'
8. MINIMUM LOT SIZE SHOWN: 12,000 SF; MINIMUM LOT SIZE SHOWN: 22,108 SF
9. MINIMUM LOT WIDTH: 80', EXCLUDING C/L-DE-SLGS
10. MINIMUM SETBACK REQUIREMENTS:
FRONT: 20'
REAR: 20'
SIDE: 8'

UTILITIES:

- CABLE - CHARTER COMMUNICATIONS
- ELECTRICAL - NEVADA ENERGY
- SEWAGE DISPOSAL - WASHOE COUNTY COMMUNITY SERVICES, CITY OF SPARKS
- SOLID WASTE - RENO DISPOSAL
- TELEPHONE - AT&T
- GAS - NEVADA ENERGY
- WATER - TWINA

THESE PLANS (SHEET 1 THROUGH 4) HAVE BEEN PREPARED BY COUNTY DEVELOPMENT CODE. THE WASHOE COUNTY DEVELOPMENT CODE SHALL PREVAIL.

SHEET 1 4	PYRAMID RANCH ANNEX TITLE SHEET	REVISION DESCRIPTION	NO.	DATE	BY	CHKD.
<p>C & M ENGINEERING AND DESIGN, LTD. 5488 RENO CORPORATE DRIVE, SUITE 200B, RENO, NV 89511 PHONE: (775) 785-3323</p>						
<p>55 - LOT 100 - LOT 101 - LOT 102 - LOT 103 - LOT 104 - LOT 105 - LOT 106 - LOT 107 - LOT 108 - LOT 109 - LOT 110 - LOT 111 - LOT 112 - LOT 113 - LOT 114 - LOT 115 - LOT 116 - LOT 117 - LOT 118 - LOT 119 - LOT 120 - LOT 121 - LOT 122 - LOT 123 - LOT 124 - LOT 125 - LOT 126 - LOT 127 - LOT 128 - LOT 129 - LOT 130 - LOT 131 - LOT 132 - LOT 133 - LOT 134 - LOT 135 - LOT 136 - LOT 137 - LOT 138 - LOT 139 - LOT 140 - LOT 141 - LOT 142 - LOT 143 - LOT 144 - LOT 145 - LOT 146 - LOT 147 - LOT 148 - LOT 149 - LOT 150 - LOT 151 - LOT 152 - LOT 153 - LOT 154 - LOT 155 - LOT 156 - LOT 157 - LOT 158 - LOT 159 - LOT 160 - LOT 161 - LOT 162 - LOT 163 - LOT 164 - LOT 165 - LOT 166 - LOT 167 - LOT 168 - LOT 169 - LOT 170 - LOT 171 - LOT 172 - LOT 173 - LOT 174 - LOT 175 - LOT 176 - LOT 177 - LOT 178 - LOT 179 - LOT 180 - LOT 181 - LOT 182 - LOT 183 - LOT 184 - LOT 185 - LOT 186 - LOT 187 - LOT 188 - LOT 189 - LOT 190 - LOT 191 - LOT 192 - LOT 193 - LOT 194 - LOT 195 - LOT 196 - LOT 197 - LOT 198 - LOT 199 - LOT 200 - LOT</p>						



File: P:\01-008-100 PyramidRanchAnnex\Highway\77\77A\ 02_28a1.dwg
 Created: Sun, 11 Sep 2016 - 7:14pm

SHEET
 S-1
 4

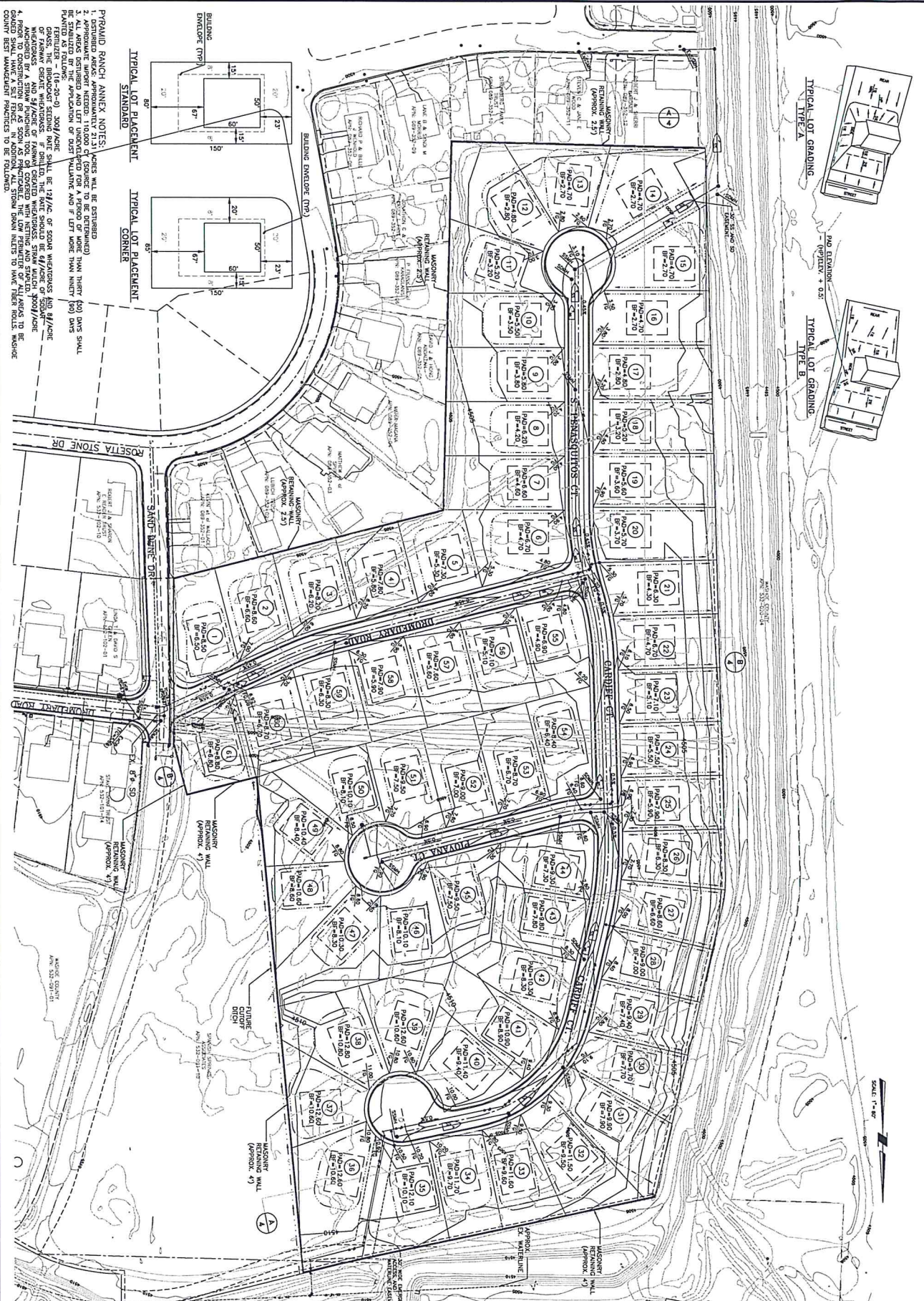
PYRAMID RANCH ANNEX
 GEOMETRICS

NO.	REVISION DESCRIPTION	DATE	BY

C & M ENGINEERING AND DESIGN, LTD
 688 RENO CORPORATE DR., RENO, NEVADA, NV 89511
 PHONE: (775) 854-5512

DATE: 9/6/16
 PROJECT: 02-008-100
 SHEET: S-1

SCALE: 1" = 80'



PREPARED RANCH ANNEX NOTES:

1. DISTURBED AREAS APPROXIMATELY 21.31 AC (GRADE TO BE DETERMINED) SHALL BE RESTORED TO ORIGINAL GRADE WITHIN 90 DAYS OF COMPLETION OF THE PROJECT.
2. APPROXIMATE IMPACT NEEDED: 110,000 CY (GRADE TO BE DETERMINED) SHALL BE STABILIZED BY THE APPLICATION OF DIST. MULCH AND IF LEFT MORE THAN NINETY (90) DAYS PLANTED AS FOLLOWS:
3. APPROXIMATE SEEDING RATE SHALL BE 124 LBS. OF SOYABEAN MEALS AND 82 LBS. OF FERTILIZER PER ACRE. THE RATE SHOULD BE 67 LBS. OF SOYABEAN MEALS AND 43 LBS. OF FERTILIZER PER ACRE IF THE SOYABEAN MEALS AND FERTILIZER ARE APPLIED BY A SPREADER. THE SEEDING SHALL BE COVERED WITH NETTING AND STREPPED. THE SEEDING SHALL BE WATERED WITHIN 72 HOURS OF SEEDING. THE SEEDING SHALL BE MAINTAINED FOR A PERIOD OF 90 DAYS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WASHINGTON COUNTY BEST MANAGEMENT PRACTICES TO BE FOLLOWED.

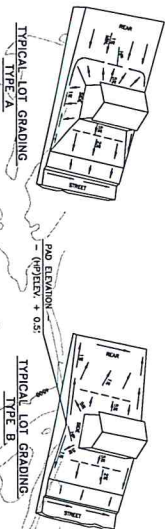
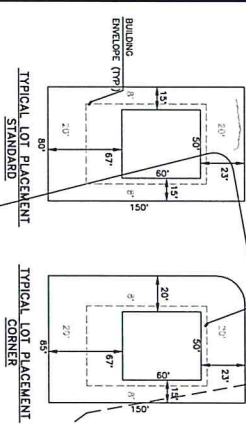


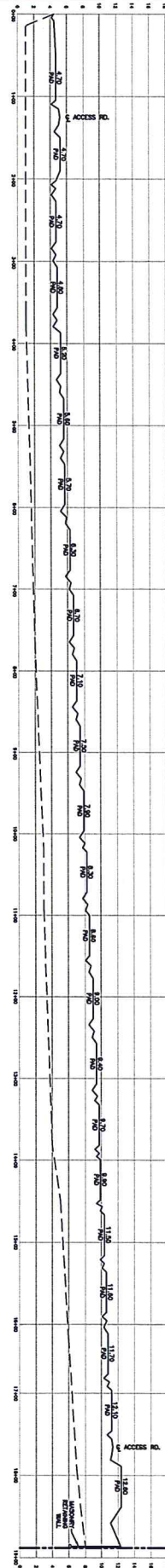
Fig. P104-001-100 Pyramid Ranch Annex Grading/Utilities.dwg
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 12/24/2018 4:27pm

NO.	DATE	REVISION DESCRIPTION
1		
2		

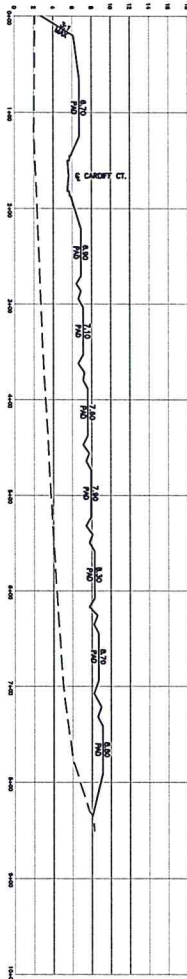
PROJECT: PYRAMID RANCH ANNEX
 SHEET: G-1
 OF: 4
 WASHINGTON COUNTY, NEVADA

GRADING/UTILITIES

C & M ENGINEERING AND DESIGN, LTD.
 548 RENO CORPORATE DR., SUITE 200B, RENO, NV 89511
 PHONE: (775) 856-3312



SECTION A-A
 HORIZ. SCALE 1"=40'
 VERT. SCALE 1"=4'



SECTION B-B
 HORIZ. SCALE 1"=40'
 VERT. SCALE 1"=4'

File: P:\04-009-100 PyramidRanchAnnex\TandMap\Fig\794L\04_Sect1.dwg
 <crossed> Sun, 11 Sep 2016 - 7:13pm

	C & M ENGINEERING AND DESIGN, LTD. 5485 RENO CORPORATE DR., SUITE 200 RENO, NV 89511 PHONE: (775) 856-8222	
	PROJECT NO. SHEET NO.	DATE SCALE
DRAWN BY CHECKED BY APPROVED BY	DATE DATE DATE	PROJECT NO. SHEET NO.
REVISION DESCRIPTION BY	MARK DATE	REVISION DESCRIPTION BY
NEVADA		
WASHINGTON COUNTY		
PYRAMID RANCH ANNEX CROSS SECTIONS		

Washoe County Treasurer
 Tammi Davis

Account Detail

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Pay Online

No payment due for this account.

\$0.00

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2845

Payment Information

Special Assessment District

Installment Date Information

Assessment Information

Washoe County Parcel Information		
Parcel ID	Status	Last Update
53209109	Active	9/10/2016 2:09:39 AM
Current Owner: SPANISH SPRINGS ASSOCIATES		SITUS: 0 PYRAMID WAY WCTY NV
550 W PLUMB LN STE B RENO, NV 89509-3686		
Taxing District 4000	Geo CD:	
Legal Description		
Lot 1A SubdivisionName _UNSPECIFIED Township 21 Range 20		

Tax Bill (Click on desired tax year for due dates and further details)					
Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2016	\$233.49	\$233.49	\$0.00	\$0.00	\$0.00
2015	\$233.33	\$233.33	\$0.00	\$0.00	\$0.00
2014	\$233.34	\$233.34	\$0.00	\$0.00	\$0.00
2013	\$233.34	\$233.34	\$0.00	\$0.00	\$0.00
2012	\$225.64	\$225.64	\$0.00	\$0.00	\$0.00
Total					\$0.00

Important Payment Information

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

Washoe County Treasurer
 Tammi Davis

Account Detail

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Pay Online

No payment due for this account.

\$0.00

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WASHOE COUNTY TREASURER

Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2845



Washoe County Parcel Information

Parcel ID	Status	Last Update
53209110	Active	9/10/2016 2:09:39 AM
Current Owner: SPANISH SPRINGS ASSOCIATES 550 W PLUMB LN STE B RENO, NV 89509-3686		SITUS: 0 SAND DUNE DR WCTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Lot 2A Township 21 Range 20 SubdivisionName _UNSPECIFIED		

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2016	\$550.94	\$550.94	\$0.00	\$0.00	\$0.00
2015	\$549.68	\$549.68	\$0.00	\$0.00	\$0.00
2014	\$532.64	\$532.64	\$0.00	\$0.00	\$0.00
2013	\$517.12	\$517.12	\$0.00	\$0.00	\$0.00
2012	\$499.00	\$499.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

Important Payment Information

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- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

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This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

DESCRIPTION

PYRAMID RANCH ANNEX

All that certain real property situate in the County of Washoe, State of Nevada, being portions of the SW1/4 of Section 26 and SE1/4 of Section 27, T.21N., R.20E., M.D.M.; more particularly described as follows:

Portion APN 532-091-09:

Beginning at the southwest corner of Parcel 1A as described in that Boundary Line Adjustment Grant Deed recorded on February 27, 2007 as Document No. 3502430, and as depicted on that 5th Record of Survey Supporting a Boundary Line Adjustment for Spanish Springs Associates Limited Partnership, recorded on February 27, 2007 as File No. 3502431, Record of Survey Map 4860; Official Records of Washoe County, Nevada;

thence along the boundary of said Parcel 1A the following five (5) courses and distances:

N 01°24'54" W, 484.45 feet;

on the arc of a 185.00 foot radius curve to the right through a central angle of 14°30'05" a distance of 46.82 feet;

N 13°05'11" E, 438.89 feet;

N 78°10'37" E, 472.64 feet;

N 76°00'37" E, 60.81 feet;

thence S 05°15'19" E, 733.78 feet;

thence N 75°40'06" E, 106.00 feet;

thence S 14°19'54" E, 78.80 feet to a point on the said boundary of Parcel 1A, said point also being on the west line of Sand Dune Drive;

thence along said boundary of Parcel 1A, and west line of Sand Dune Drive, the following four (4) courses and distances:

on the arc of a 1421.00 foot radius to the left from a tangent bearing S 02°15'07" W through a central angle of 03°40'21" a distance of 91.08 feet;

S 01°25'14" E, 17.78 feet;

on the arc of a 195.00 foot radius to the right through a central angle of 01°42'23" a distance of 5.81 feet;

S 00°17'10" W, 66.87 feet;

thence departing from said west line of Sand Dune Drive, and continuing along said boundary of Parcel 1A the following seven (7) courses and distances:

on the arc of a 20.00 foot radius to the right through a central angle of 75°22'56" a distance of 26.31 feet;

S 75°40'06" W, 12.70 feet;

on the arc of a 521.00 foot radius to the left through a central angle of 05°26'15" a distance of 49.44 feet to a point of reverse curvature;

on the arc of a 479.00 foot radius to the right through a central angle of 05°26'15" a distance of 45.46 feet;

S 75°40'06" W, 381.78 feet;

N 28°35'16" W, 50.62 feet;

S 88°35'06" W, 290.60 feet to the point of beginning.

APN 532-091-10:

Parcel 2A as described in that Boundary Line Adjustment Grant Deed recorded on February 27, 2007 as Document No. 3502430, and as depicted on that 5th Record of Survey Supporting a Boundary Line Adjustment for Spanish Springs Associates Limited Partnership, recorded on February 27, 2007 as File No. 3502431, Record of Survey Map 4860; Official Records of Washoe County, Nevada.

Containing a total of 21.31 acres, more or less.

Basis of Bearings is the Nevada State Plane Coordinate System, West Zone Grid, NAD83/94, per Record of Survey Map 4860.

SOLAEGUI
ENGINEERS

September 6, 2016

Ms. Clara Lawson, P.E.
Washoe County Engineering Division
P.O. Box 11130
Reno, Nevada 89520

RE: Pyramid Ranch Annex

Dear Clara:

This letter contains a review of projected traffic loadings on existing subdivision streets near the proposed Pyramid Ranch Annex development. The project site is located west of Sand Dune Drive and north of Aswan Street and will contain 61 single family dwelling units. The attached Figure 1 shows the location of the site. Access to the site will be provided from the extension of Dromedary Road west of Sand Dune Drive. Gated, emergency only access will be provided to Egyptian Drive. Pedestrian access will be provided to Egyptian Drive and to the west from the project's southwest corner.

The information included in this letter includes trip generation, distribution, and assignment calculations; a review of existing and buildout traffic volumes; and subsequent analysis of traffic loadings on Rosetta Stone Drive. Dromedary Road and Sand Dune Drive have excess capacity and were therefore not identified for analysis.

Trip Generation Distribution, and Assignment

Trip generation volumes were calculated for the 61 dwelling units based on rates obtained from the Ninth Edition of *ITE Trip Generation* (2012) for Land Use 210: Single Family Detached Housing. Trips generated by the project were calculated for an average weekday and the peak hours occurring between 7:00 and 9:00 AM and 4:00 and 6:00 PM, which correspond to the peak hours of adjacent street traffic. Table 1 shows a summary of the average daily traffic (ADT) volumes and peak hour volumes generated by the project.

TABLE 1 TRIP GENERATION							
LAND USE	ADT	AM PEAK HOUR			PM PEAK HOUR		
		IN	OUT	TOTAL	IN	OUT	TOTAL
Single Family Housing (61 D.U.)	581	12	34	46	38	23	61

The project is anticipated to generate 581 average daily trips with 46 trips occurring during the AM peak hour and 61 trips occurring during the PM peak hour.

The distribution of these trips will be entirely from Pyramid Highway via Egyptian Drive, Rosetta Stone Drive, Sand Dune Drive, and Dromedary Road. The average daily traffic (ADT) volume shown in Table 1 was subsequently assigned to Rosetta Stone Drive. The attached Figure 2 shows the project trip assignment for the average daily traffic (ADT) volumes.

Existing and Buildout Traffic Volumes

Figure 3 shows the existing traffic volumes on Rosetta Stone Drive. The AM and PM peak hour volumes were obtained from traffic counts taken on typical weekdays in August of 2016. The average daily traffic (ADT) volumes on Rosetta Stone Drive were then estimated based on the actual peak hour counts using trip generation rates obtained from Ninth Edition of *ITE Trip Generation* (2012) for Land Use 210: Single Family Detached Housing. Figure 4 shows the buildout average daily traffic (ADT) volumes on Rosetta Stone Drive. The buildout volumes were obtained by adding the trip assignment volumes shown on Figure 2 to the existing average daily traffic volumes shown on Figure 3.

Street Traffic Loading Review

Rosetta Stone Drive was reviewed for street capacity based on Washoe County local street standards which indicate that local streets can carry up to 1,000 ADT. The buildout volumes shown on Figure 4 indicate that the segment of Rosetta Stone Drive between Aswan Street and Dromedary Road is anticipated to carry 933 ADT which is below the 1,000 ADT threshold. The segment of Rosetta Stone Drive between Egyptian Drive and Aswan Street is anticipated to carry 1,047 ADT which exceeds the 1,000 ADT threshold for local streets by less than 5% (5 dwelling units). It should be noted that this ±450 foot segment of Rosetta Stone Drive serves only five residential driveways on the south side of the street and no residential driveways on the north side of the street which results in reduced vehicle conflicts and potentially higher street capacity.

We trust that this information will meet your requirements. Please call with any questions or concerns.

Very Truly,
SOLAEGUI ENGINEERS LTD
PAUL W. SOLAEGUI
CIVIL
Paul W. Solaegui
9-6-16
EXP63078

Enclosures
Letters\Pyramid Ranch Annex

Trip Generation Summary - Alternative 1

Project: New Project
 Alternative: Alternative 1

Open Date: 8/29/2016
 Analysis Date: 8/29/2016

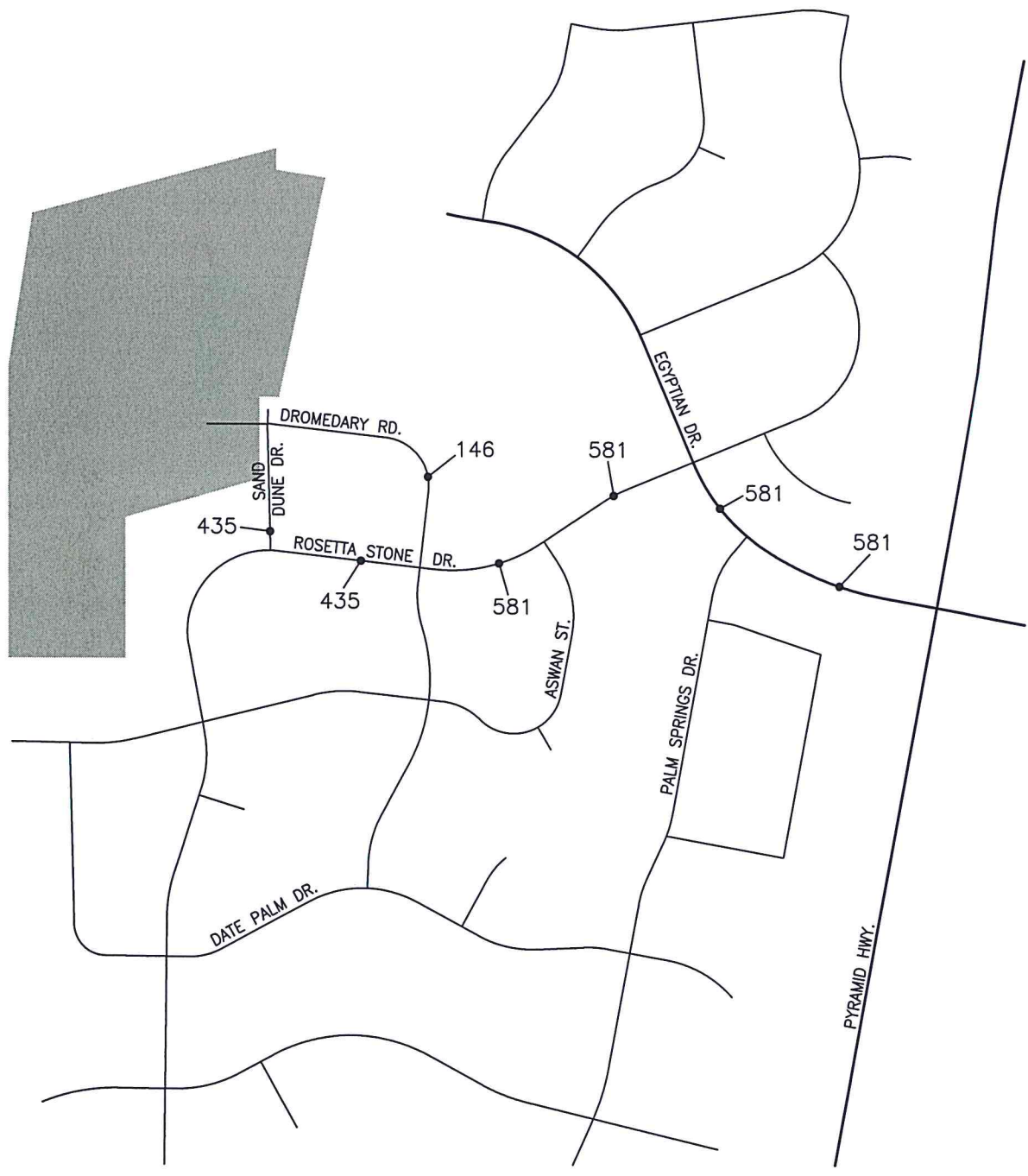
ITE	Land Use	Average Daily Trips			AM Peak Hour of Adjacent Street Traffic			PM Peak Hour of Adjacent Street Traffic		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
210	SFHOUSE 1	291	290	581	12	34	46	38	23	61
	61 Dwelling Units									
Unadjusted Volume		0	0	0	0	0	0	0	0	0
Internal Capture Trips		0	0	0	0	0	0	0	0	0
Pass-By Trips		0	0	0	0	0	0	0	0	0
Volume Added to Adjacent Streets		0	0	0	0	0	0	0	0	0

Total AM Peak Hour Internal Capture = 0 Percent

Total PM Peak Hour Internal Capture = 0 Percent



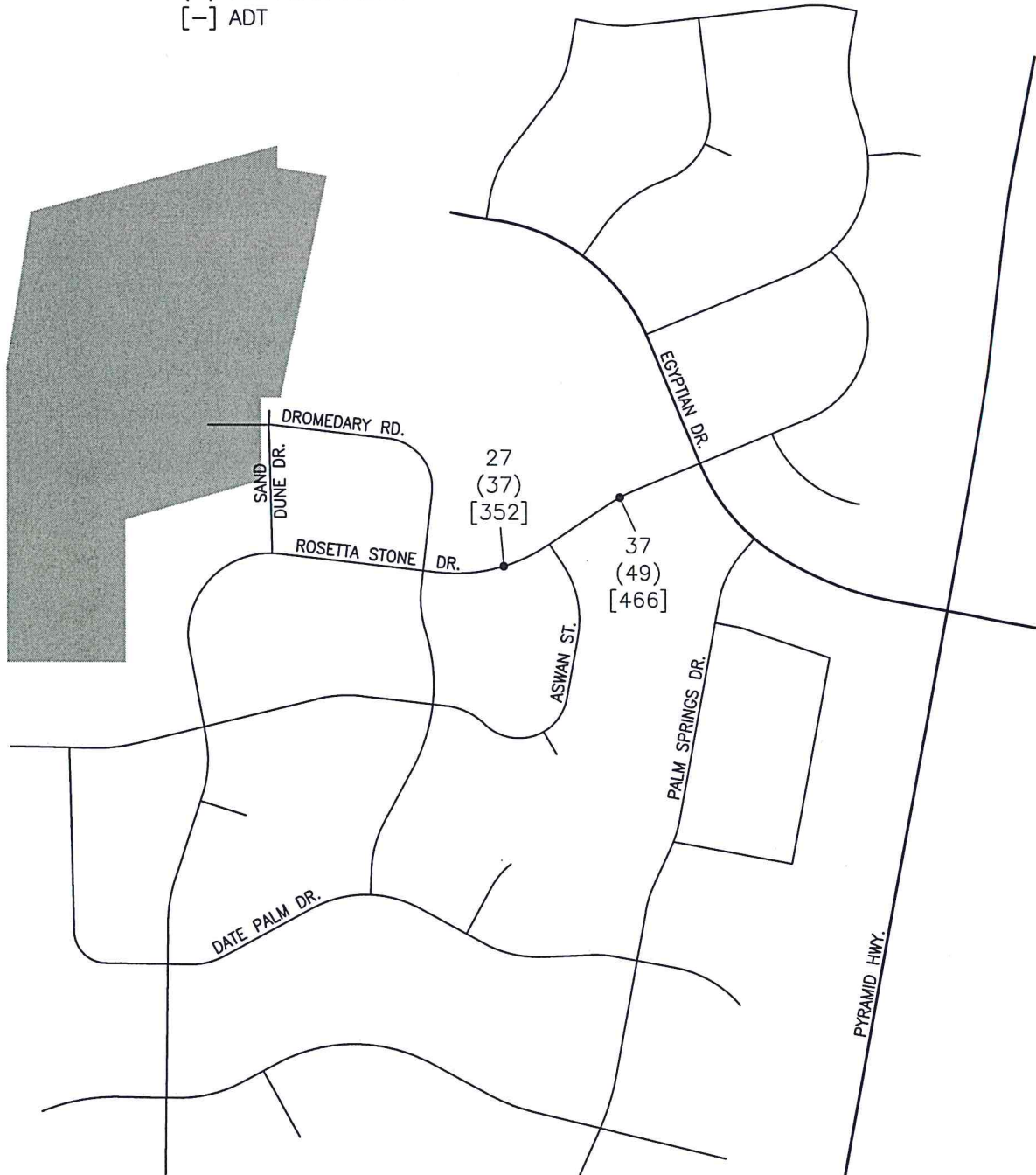
PYRAMID RANCH ANNEX
VICINITY MAP
FIGURE 1



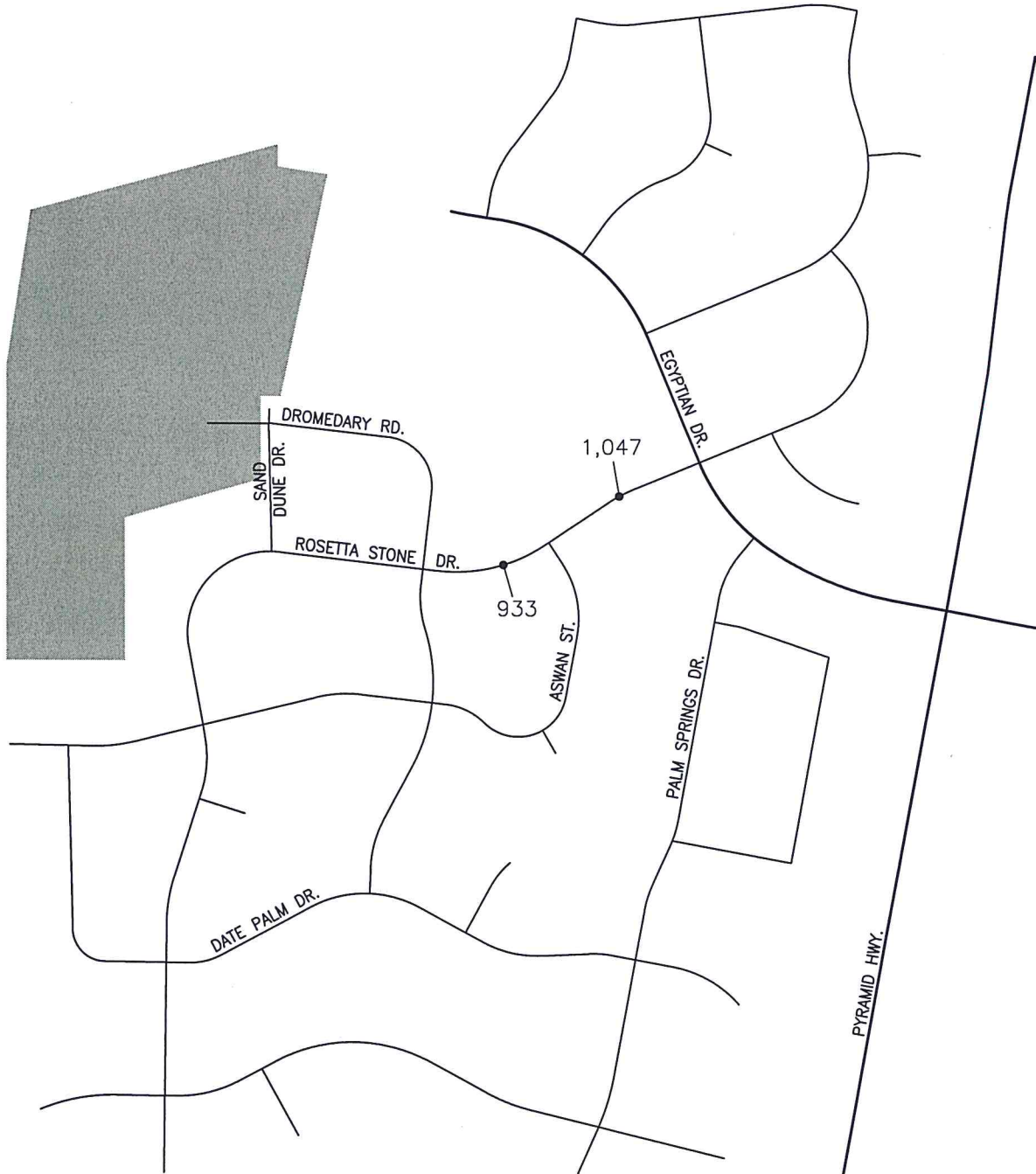
PYRAMID RANCH ANNEX
TRIP ASSIGNMENT (ADT'S)
FIGURE 2

LEGEND

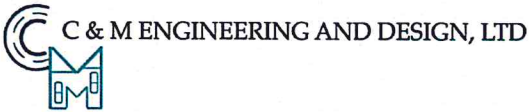
- AM PEAK HOUR
- (-) PM PEAK HOUR
- [-] ADT



PYRAMID RANCH ANNEX
EXISTING TRAFFIC VOLUMES
FIGURE 3



PYRAMID RANCH ANNEX
BUILDOUT TRAFFIC VOLUMES (ADT'S)
FIGURE 4



September 7, 2016

Washoe County Community Services
1001 E. Ninth Street, Bldg. A
Reno, NV 89520

RE: FEASIBILITY REPORT FOR WATER, SEWER, AND STORM DRAIN AT PROPOSED TENTATIVE MAP PYRAMID RANCH ANNEX – 15.574 ACRES (portion of APN 532-091-09) AND 5.738 ACRES (532-091-10)

Dear Community Services Department,

C & M Engineering and Design has analyzed the water system, sewer system, and storm drain in relationship to the potential tentative map, Pyramid Ranch Annex to develop a residential subdivision of up to 61 lots. In April 2016, the owner, Spanish Springs Associates Limited Partnership, initiated a Regulatory Zone Amendment (RZA16-001), from Parks and Recreation (PR) to Medium Density Suburban (MDS) for the 15.574 acre portion of the total 20.574. This application was approved by the Board of County Commissioners on August 9, 2016. This land that is located off Egyptian Drive on the west side of Pyramid Highway within Spanish Springs Valley. The 20.574 acre property was originally set aside by the owner at the request of Washoe County in the Spanish Springs Area Plan for a regional park. An amendment to Eagle Canyon Ranch, TM13-002, is simultaneously being submitted for the 5.738 acre parcel, 532-091-10, to delete its 13 lots that are a part of that map.

DOMESTIC WATER

TMWA, Truckee Meadows Water Authority, in 2015 became the water purveyor for this proposed tentative map area. Prior to the merger, Washoe County Department of Water Resources (WCDWR) was the water purveyor. The owner has applied for an annexation of the land into the TMWA service territory. Based upon a preliminary planning meeting with TMWA, it will agree to serve the proposed project and sufficient existing water system capacity should be in place. The owner completed a TMWA Discovery to determine specific on-site needs to meet TMWA's requirements during final design. Due to Health Department regulations, looping of the system will be necessary. The owner will need to have secured water rights in place to serve this land at the time a will-serve commitment is requested, usually when a final map is approved. Approved final improvement plans and a service agreement will be necessary for TMWA to serve the project.

IRRIGATION WATER

It is unlikely when a tentative subdivision map is submitted that the project will have any common area landscaping. If not, all the landscaping will be part of the individual residential units and will not use the reclaimed water system of the City of Sparks.

SANITARY SEWER

The potential tentative map area will be served by a gravity sewer system that drains to the existing Special Assessment District 37 Spanish Springs Sewer-Phase 1a at the southern end of the project at the terminus of Aswan Drive adjacent to the property. Based upon Washoe County's Discovery study, the county has agreed to serve the proposed project. The Discovery did not deem any off-site facilities necessary and the County is able to serve the potential project. Washoe County is presently reviewing the Spanish Springs Area Plan regarding present connections and its fee structure. The owner will also be responsible for City of Sparks sewer connection fees since the sewage enters into its system.

STORM WATER

All the storm water runoff from the proposed tentative map area will be conveyed westerly to the outlet channel of the North Spanish Springs Flood Detention Facility (NSSDF). Pyramid Ranch Estates II, which is east of the site, conveys storm water runoff to the proposed site. The runoff is discharged on the surface and drains from east to west across the site. The amount of storm water flow per the Drainage Report for Pyramid Ranch Estates II is 7.08 cfs in the

100-year event. Its discharge location is just beyond the terminus of Dromedary Road at Sand Dune Drive. The existing Gator Swamp park is located adjacent to the proposed project. The existing Gator Swamp Park has a small impact to the site due to the flat slope on the park and it appears that the existing park retains most runoff. The 5.0 acre remainder parcel of the total 20.574 within 532-091-09 does convey storm water runoff to the proposed site. The amount of storm water flow is approximately 10.66 cfs in the 100-year event. Its discharge location is between lots 60 and 61 and ties into the proposed storm drain system. The overall offsite drainage is depicted in the Hydrology Report for the North Spanish Springs Detention Facility, Washoe County, Nevada, dated May 2006, by Quad Knopf and the Hydrology Master Plan for Eagle Canyon Ranch by DEW Hydrology dated March 3, 2016.. The referenced reports illustrate flows within the detention facility outlet channel, which is along the western property boundary. The runoff within the outlet channel should not impact the proposed project. Due to the development of this property, there will be increases in storm water discharge, however, the increase will be minimal and was included in the calculations of North Spanish Springs Flood Detention facilities. The analysis of detention and discharge from the detention facility were performed by Nimbus Engineers and AMEC Infrastructure, Inc. The on-site 5 year flows on the proposed site will be intercepted in underground storm drain system, which will discharge into the outlet channel previously mentioned.

In summary, the existing domestic water and sanitary sewer systems have the potential to serve the proposed land. The proposed land's 5-year storm drain system will tie into the outlet channel of the NSSFDF which conveys flows to the City of Sparks regional detention facilities.

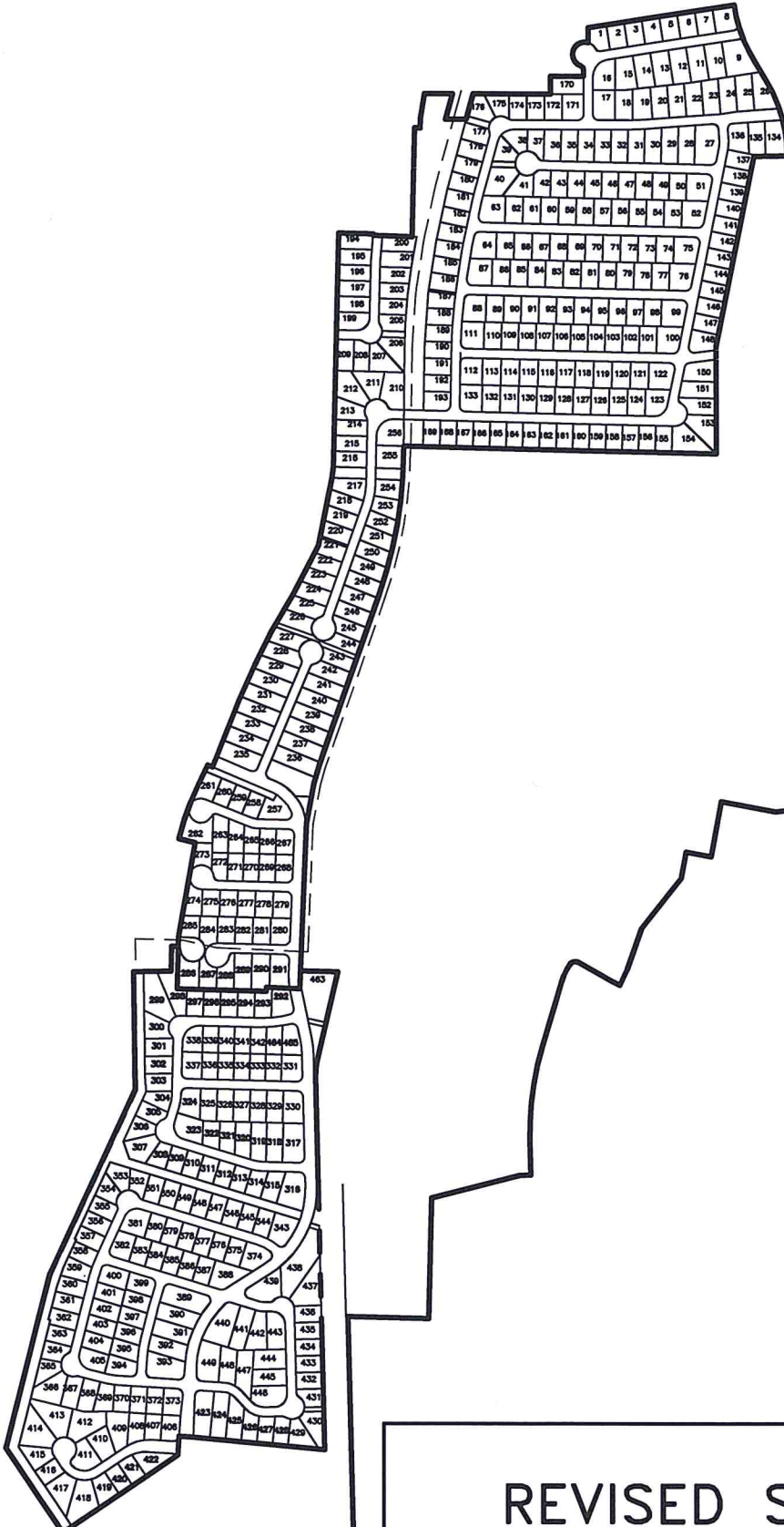
Sincerely,



Samuel Chacon, P.E.
Principal



N.T.S.



REVISED SITE MAP

EAGLE CANYON RANCH



C & M ENGINEERING AND DESIGN, LTD
54888 RENO CORPORATE DR., SUITE 200B, RENO, NV 89511
PHONE: (775) 856-3312

SPANISH SPRINGS ASSOCIATES LIMITED PARTNERSHIP
550 W. Plumb Lane, Suite B #505
Reno, NV 89509
(775) 425-4425

September 15, 2016

PROJECT NAME: Pyramid Ranch Annex Tentative Subdivision Map Application, a portion of APN 532-091-09 and 532-091-10.

To Whom It May Concern:

This letter verifies that Spanish Springs Associates Limited Partnership and its General Partner, Hawco Development Company, have adequate water rights for the proposed above-referenced tentative map application, which will allow up to 61 homes on 21.312 acres of land with MDS zoning.

The applicant has the following water rights banked with TMWA (previously held with Washoe County):

Permit Number	Acre feet
70702	36.4
70426	40.25
70086	36.2
72270	1.81
70087	0.85
68185	1.24
64639	8.21
62614	5.12
Total	129.22

Thank you for your attention to this matter. Feel free to call me with any questions or concerns.

Sincerely



Jesse Haw, President
Hawco Development Company,
General Partner of Spanish Springs
Associates Limited Partnership



September 8, 2016

Samuel Chacon, P.E.
C & M Engineering and Design, Ltd
5488 Reno Corporate Drive, Suite 200B
Reno, NV 89511

**RE: Pyramid Ranch Annex Subdivision Tentative Map
Acknowledgement of Water Service**
(Tentative Map Review – 61 Units)

Dear Mr. Chacon:

I have reviewed the plans for the above referenced development (“Project”) and have determined the Project is outside the Truckee Meadows Water Authority’s retail water service area. This letter constitutes an Acknowledgment of Water Service pursuant to NAC 445A.6666, and the Truckee Meadows Water Authority hereby acknowledges that Truckee Meadows Water Authority is agreeable to supplying water service to the Project subject to applicant satisfying certain conditions precedent, including, without limitation, annexation to the Truckee Meadows Water Authority’s retail water service territory, the dedication of water resources, approval of the water supply plan by the local health authority, the execution of a Water Service Agreement, payment of fees, and the construction and dedication of infrastructure in accordance with our rules and tariffs. This Acknowledgement does not constitute a legal obligation by Truckee Meadows Water Authority to supply water service to the Project, and is made subject to all applicable Truckee Meadows Water Authority Rules.

Review of conceptual site plans or tentative maps by Truckee Meadows Water Authority does not constitute an application for service, nor implies a commitment by Truckee Meadows Water Authority for planning, design or construction of the water facilities necessary for service. The extent of required off-site and on-site water infrastructure improvements will be determined by Truckee Meadows Water Authority upon receiving a specific development proposal or complete application for service and upon review and approval of a water facilities plan by the local health authority. Because the NAC 445A Water System regulations are subject to interpretation, Truckee Meadows Water Authority cannot guarantee that a subsequent water facility plan will be approved by the health authority or that a timely review and approval of the Project will be made. The Applicant should carefully consider the financial risk associated with committing resources to their project prior to receiving all required approvals. After submittal of a complete Application for Service, the required facilities, the cost of these facilities, which could be significant, and associated fees will be estimated and will be included as part of the Water Service Agreement necessary for the Project. All fees must be paid to Truckee Meadows Water Authority prior to water being delivered to the Project.

Pyramid Ranch Annex Subdivision
September 8, 2016
Page 2 of 2

Please call me at (775) 834-8026 at your convenience if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Holly M. Flores". The signature is written in a cursive style.

Holly M. Flores, P.E.
Principal Engineer

cc: Chris Peterson, P.E., Washoe County District Health Dept.
16-5173

Mr. Jesse Haw
Spanish Springs Associates Limited Partnership
550 W Plumb Lane, Suite B, #505
Reno, Nevada 89509

September 8, 2016
Project No. 1012-04-2

RE: Geotechnical Summary
Pyramid Ranch Annex
Washoe County, Nevada

Dear Mr. Haw:

Black Eagle Consulting, Inc. (BEC) is pleased to present this geotechnical summary of the proposed Pyramid Ranch Annex residential development in northern Spanish Springs Valley, Washoe County, Nevada. The project is in early development, and an application for a new tentative map is planned to be submitted. The project will consist of approximately 61 residential lots served by dedicated streets and underground utilities. The proposed residential subdivision will be located within an approximate 20-acre, undeveloped parcel west of Sand Dune Drive. Access to the proposed residential lots will be provided via a new asphalt concrete paved street that extends west from the current termination of Sand Dune Drive and by 3 or more cul-de-sacs. This summary is to be used for planning and tentative map submittal purposes and should be updated with field exploration, laboratory testing, and geotechnical analysis before final design.

Site Conditions

The site consists of approximately 20 acres lying within Sections 26 and 27, Township 21 North, Range 20 East, Mount Diablo Meridian. As noted above, the site lies just west of Sand Dune Drive in the northwestern portion of Spanish Springs Valley.

The site exhibits a gentle slope from the northeastern corner to the south and west. The overall parcel is bordered by residential subdivisions to the south and southeast, open space to the west and north, and Sand Dune Drive to the east. A drainage channel crosses the site east-westerly; this drainage channel will likely be replaced by buried storm drain pipes as part of the proposed project. The site is presently undeveloped land blanketed by a moderate growth of sagebrush. Occasional jeep trails traverse the site.

Geologic and General Soil Conditions

The site is mapped by the Nevada Bureau of Mines and Geology (NBMG) as lying in Holocene age alluvium deposits of Spanish Springs Valley (Garside and Nials, 1998). The site soils are described by the NBMG as *Unconsolidated, predominately arkosic, sand and gravelly sand deposited as sheet wash and wash alluvium in Holocene to modern channels or as broad, low-gradient alluvial plains. Locally contains abundant medium sand reworked with older aeolian deposits...No soil development except on very localized Holocene terraces, where weak 10-15 cm grey-brown A horizon is present in some places. Includes undifferentiated alluvial fan and colluvial deposits in upland areas.*

Based on BEC's previous explorations in the general area of the subject site and lying in the same alluvium deposits, and particularly the geotechnical investigation completed by BEC for the parcel east of Sand Dune Drive (BEC, 2005), the site soils are expected to consist of sandy lean clay and clayey sand soils near the



Black Eagle Consulting, Inc.
Geotechnical & Construction Services

1345 Capital Boulevard, Suite A
Reno, Nevada 89502-7140

Tel: 775/359-6600 Fax: 775/359-7766
Email: mail@blackeagleconsulting.com

Mr. Jesse Haw
Spanish Springs Associates Limited Partnership
September 8, 2016

2

surface (through about 5 feet depth) underlain by clayey and silty sand soils with a significant percentage of gravels. The near-surface clay and clay-rich soils will likely exhibit medium to high plasticity fines. The groundwater table is expected to lie at sufficient depths that will not affect design or construction of the project.

Geologic Hazards

No fault hazard map is available for the project site. However, the NBMG *Quaternary Fault Map of Nevada, Reno Sheet* (Bell, 1984) does not indicate the presence of any fault structures within the site. Pleistocene age faults are mapped as lying to the east and west of the site, closer towards the foothills of the Spanish Springs Valley. The mapped faults are at least $\frac{3}{4}$ mile from the site and will have no impact on planning and design of this project. The area is mapped as Zone X, or areas determined to be outside the 500-year flood plain (Federal Emergency Management Agency, 2009). The site should exhibit a moderate potential for dust generation during dry months. No other geologic hazards were identified.

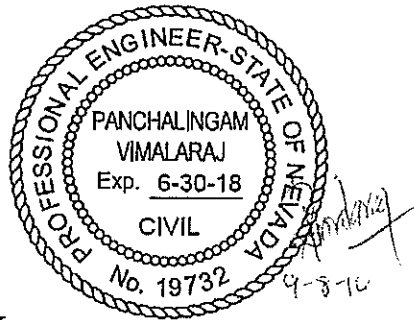
Discussion and Conclusion

The subject 20-acre parcel is geotechnically suitable for the proposed residential development. The near-surface native clay soils and clayey sand with a higher percentage of plastic fines will exhibit expansive characteristics and, therefore, will require separation from improvements with structural fill. During design, the geotechnical constraints associated with the presence of clay and clay-rich soils should be addressed via field exploration, laboratory testing, and appropriate geotechnical recommendations for the adequate performance of the proposed improvements. When excavated, native granular soils that lie below approximately 5 feet depth can be reused as structural fill.

If you require any clarification of our findings, please contact us.

Sincerely,

Black Eagle Consulting, Inc.



Vimal P. Vimalaraj, P.E.
Engineering Division Manager

PV:cjr

Copies to: Addressee (1 copy and PDF via email)
Mr. Samuel Chacon, C&M Engineering and Design, LTD (3 copies and PDF via email)



Black Eagle Consulting, Inc.
Geotechnical & Construction Services

1345 Capital Boulevard, Suite A
Reno, Nevada 89502-7140

Tel: 775/359-6600 Fax: 775/359-7766
Email: mail@blackeagleconsulting.com

Mr. Jesse Haw
Spanish Springs Associates Limited Partnership
September 8, 2016

3

References:

Bell, J. W., 1984, *Quaternary Fault Map of Nevada, Reno Sheet*: Nevada Bureau of Mines and Geology, Map 79.

Black Eagle Consulting, Inc. (BEC), 2005, *Geotechnical Investigation, Spanish Springs Parcel APN 089-160-41, Washoe County, Nevada*, Private Consultant Report dated April 29, 2005. BEC Project No. 0198-04-1.

Federal Emergency Management Agency, 2009 (March 16, 2009), *Flood Insurance Rate Map 32031C2865G, Washoe County, Nevada*. Revised to Reflect LOMR with an Effective Date of March 18, 2009.

Garside, L. J. and Nials, F. L., 1998, *Geologic Map of the Griffith Canyon Quadrangle, Nevada*, Nevada Bureau of Mines and Geology, Open File Report 99-4.

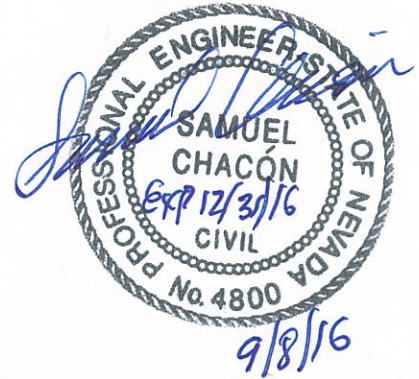


PYRAMID RANCH ANNEX

PRELIMINARY DRAINAGE REPORT

September 15, 2016

C&M Engineering and Design, LTD.



INTRODUCTION

This report presents the preliminary stormwater hydrologic analysis and tentative drainage plan for Pyramid Ranch Annex in Washoe County, Nevada. The project is located at the intersection of Sand Dune Drive and Dromedary Drive in Spanish Springs. The site was removed from the Flood Zone AO after completion of the North Spanish Springs Flood Detention Facility (NSSFDF). The proposed site drains into the outlet channel of the NSSFDF. The Rational Method and reference to previous studies have been utilized in this preliminary drainage study.

SITE DESCRIPTION

The proposed Pyramid Ranch Annex is located within a portion of Assessor's parcel number (APN) 532-091-09, 15.5 acres of the total 20.574 acres, and all of Assessor's parcel number 532-091-10, 5.738 acres. The subject site is adjacent to Gator Swamp Park and the 20.574 acre parcel, APN 532-091-10 was reserved by the owner, Spanish Springs Associates Limited Partnership, for the expansion of the park. Due to budget constraints the Parks Department has agreed for only 5.0 acres to be reserved. The Washoe County Planning Commission approved the rezoning for the 15.574 acres to Medium Density Suburban (MDS). The other parcel, APN 532-091-10, was originally part of Eagle Canyon Ranch Tentative Map as 13 lots. The owner is simultaneously submitting a revision to that tentative map to remove lots from that map.

The subject property is currently undeveloped. Gator Swamp Park is located east of the subject site. The built-out Pyramid Ranch Estates Subdivision is located east and south of the subject property. Washoe County Spanish Springs Flood Detention facility is located north and its outflow channel runs along the westside of the subject site. See Figure #1.

The site slopes toward the west at grades ranging from 0.4 to 1.0 percent. An existing trapezoidal channel (outlet channel of the NSSFDF) runs south from the Storm Detention Facility to Eagle Canyon Drive. Ground cover consists primarily of sagebrush and weeds. According to the site geotechnical letter by Black Eagle Consulting dated September 2016, the site soils consists of a variety of soil types ranging from clay, sand, and gravel to silty clay.

FLOOD ZONE

Pyramid Ranch Annex lies within panel 32031C2865G of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps dated October 20, 2014. The 100-year flood is contained within the NSSFDF and the existing NSSFDF channels. The site is within Flood Zone X (unshaded). See Figure #2 of the LOMR dated October 20, 2014 for the area.

EXISTING HYDROLOGY

The overall off-site drainage is depicted in the Hydrology Master Plan for Eagle Canyon Ranch Subdivision dated March 3, 2016 prepared by DEW Hydrology and the Hydrology Report for the North Spanish Springs Facility, Washoe County Nevada dated May 2006 by Quad Knopf. This study indicates there are two existing adjacent properties' storm drain systems which convey storm water runoff to the proposed site. The runoff from the surrounding properties is currently discharged on surface and drains from east to west and south across the site to the NSSFDF outlet channel along the proposed project's western boundary. These existing storm drain systems are discharged at two different locations on the proposed site. The existing Gator Swamp Park has a small impact to the site due to the flat slope on the park and it appears that the existing park retains most runoff. The other existing storm drain system was constructed with Pyramid Ranch Estates II. This system, located east of the proposed site, discharges onto the

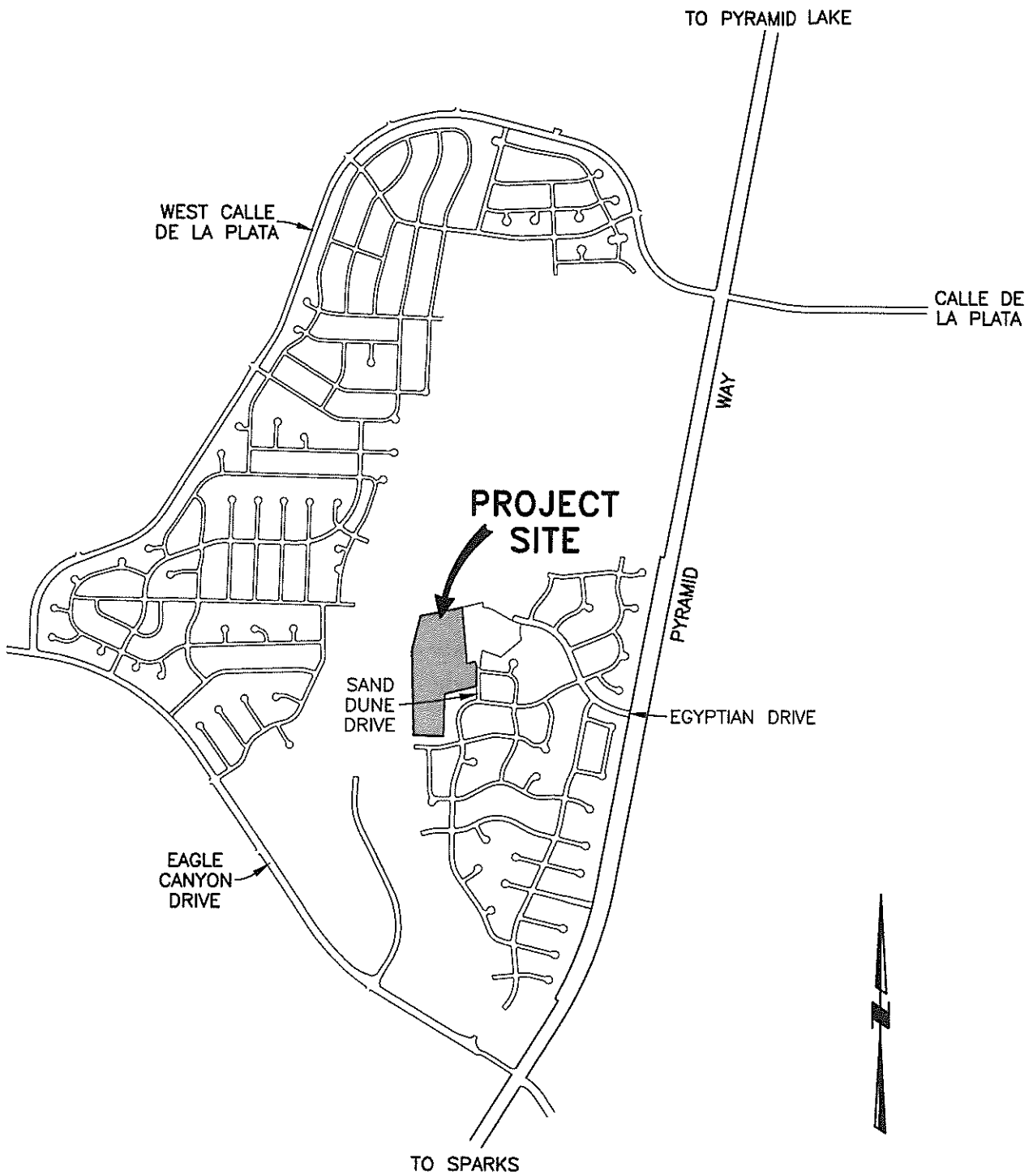


FIGURE 1.
VICINITY MAP
SCALE: 1" = 2000'

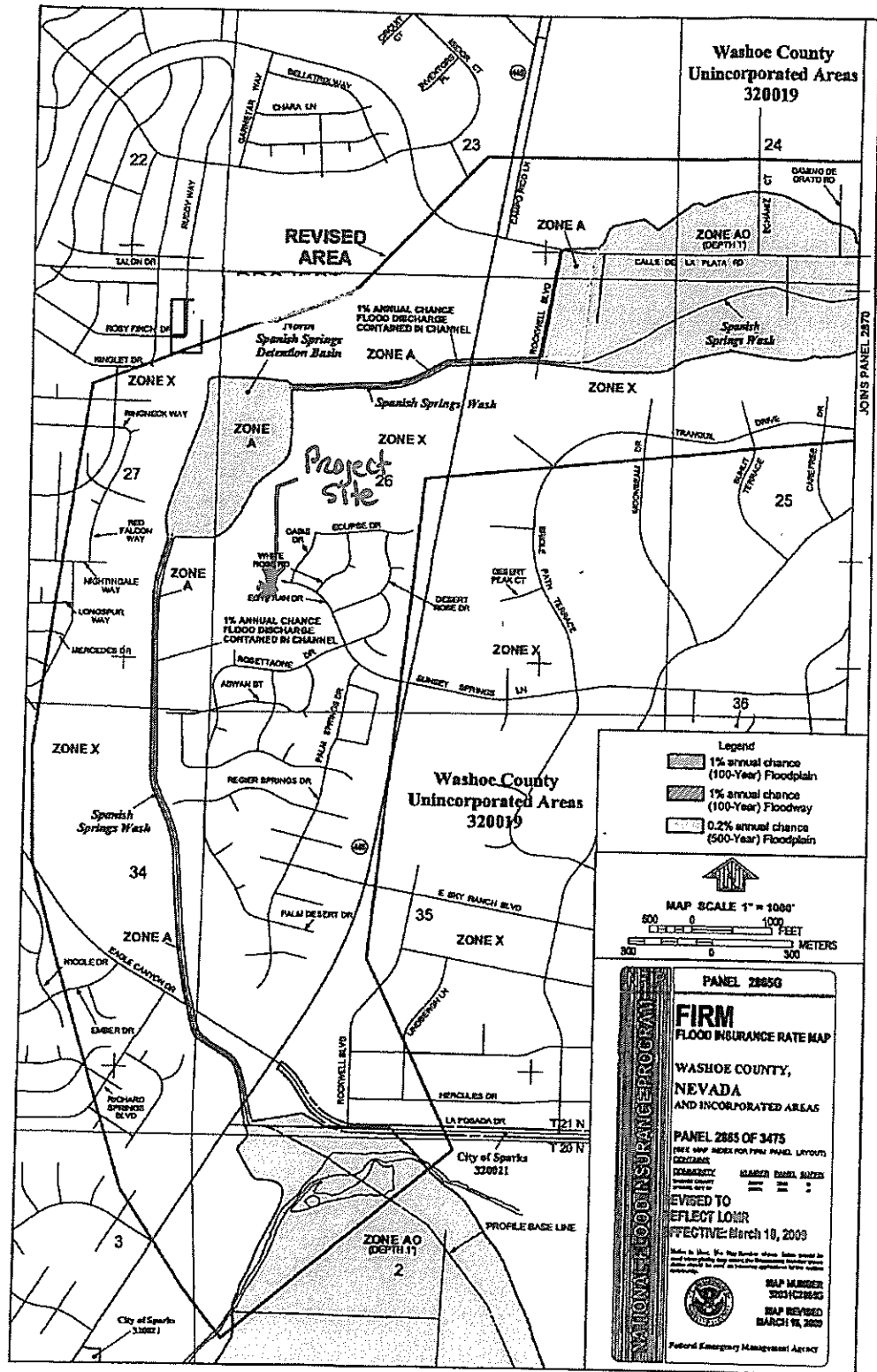


FIGURE 2
FLOOD ZONE MAP

proposed site via an existing storm drain pipe. This 18" diameter storm drain pipe will tie into the proposed 5-year storm drain system and be perpetuated across the proposed subdivision. As mentioned above, the outlet trapezoidal channel of the NSSFDF runs south and borders the site at the western boundary of the proposed subdivision. According to the Hydrology Master Plan for Eagle Canyon Ranch Subdivision by DEW Hydrology, March 3, 2016 the outlet channel has the capacity to convey the peak flows of 763 cfs at the downstream reach. The outlet channel is designed to convey these flows with freeboard.

PROPOSED DRAINAGE

The proposed on-site drainage system for Pyramid Ranch Annex consists of curb and gutter, catch basins, and a storm drain system. The on-site 5-year flows will be intercepted in an underground storm drain system. This storm drain system will also intercept the existing flow as previously mentioned. The proposed storm drain system will discharge to the existing outlet channel of the NSSFDF. The 5 and 100-year flows from the proposed subdivision will not impact the hydraulic grade line of the outlet channel as depicted in the Hydrology Master Plan for Eagle Canyon Ranch Subdivision.

HYDROLOGY

A preliminary on-site storm drain system was laid out and analyzed using the Rational Method. The drainage areas are delineated and can be seen on the Preliminary Hydrology Map in the Appendix under the Rational Method section. Detailed Hydrologic and Hydraulic calculations will be provided during final design.

DETENTION

The existing runoff within the Pyramid Ranch Annex will increase in storm water discharge. A detention facility will not be necessary for the proposed project as was demonstrated by the existing study reports.

CONCLUSIONS

1. Based on this preliminary hydrologic analysis, it appears that Pyramid Ranch Annex can be developed as planned without adverse impact to downstream properties with respect to storm drainage.
2. A master storm drainage plan should be prepared prior to final design.
3. No detention is needed, per previous hydrology studies.

REFERENCES

C&M Engineering and Design, LTD, Preliminary Drainage Report for Eagle Canyon IV, April 2003.

DEW Hydrology, Hydrology Master Plan for Eagle Canyon Ranch Subdivision , March 3, 2016.

Wood Rodgers, Preliminary Hydrology/Drainage Report for Eagle Canyon V Tentative Map Application, December 15, 2005.

Nimbus Engineers., Application For Conditional Letter Of Map Revision For Griffith Canyon/Stormy Canyon Washoe County, Nevada, November 2002.

Quad Knopf, Hydrology Report for the North Spanish Springs Detention Facility, Washoe County, Nevada, May 2006.

APPENDIX A

RATIONAL METHOD CALCULATIONS

RATIONAL METHOD - WASHOE COUNTY

The Rational Method is used to estimate the peak runoff resulting from a rain storm of given intensity and frequency falling on a specific watershed. The peak flow is expressed as:

$$Q = C i A$$

where Q = Maximum rate of runoff, cubic feet per second

C = Runoff coefficient

i = Average rainfall intensity, inches per hour

A = Watershed area, acres

Washoe County allows the use of the Rational Method for urban and small watersheds of less than 500 acres. Runoff computations are made using criteria provided by Article 420 of the Washoe County Development Code (1994). Runoff coefficients used are 0.25 - 0.30 for undeveloped areas, 0.35 for rear yards, 0.45 - 0.50 for residential areas, 0.65 for front yards, and 0.85 - 0.90 for paved areas. In Reno, rainfall intensities are determined from the City of Reno Design Manual intensity-duration-frequency curves. In Sparks and Spanish Springs, intensities are determined from the Sparks IDF curves referenced in U.B.C Section 7006 as amended by Washoe County. The initial time of concentration, $T_C(1)$, is calculated by the formula:

$$T_C(1) = 10 \text{ or } \frac{L}{60xV}$$

where $T_C(1)$ = Initial time of concentration, minutes

L = Length from uppermost point of watershed to design point,
feet

V = Channel or overland velocity, feet per second

The initial time of concentration models build-up and sheet flow conditions in the uppermost part of the watershed. Except for very small impervious watersheds, the minimum build-up time of 10 minutes is assumed. Therefore, for the first design point, the time of concentration is determined by adding travel time to the build-up time as follows:

$$T_C(1) = 10 + \frac{L}{60 \times V}$$

The time of concentration at successive points downstream is calculated by adding total travel time to the initial build-up time:

$$T_{c(n)} = 10 + \sum \frac{L}{60 \times V}$$

where $T_{c(n)}$ = Time of concentration at design point, minutes

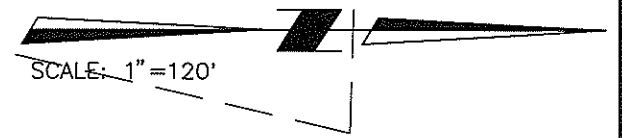
$\sum \frac{L}{60 \times V}$ = Total travel time to design point, minutes

L = Length of flow path between design points, feet

V = Velocity, feet per second

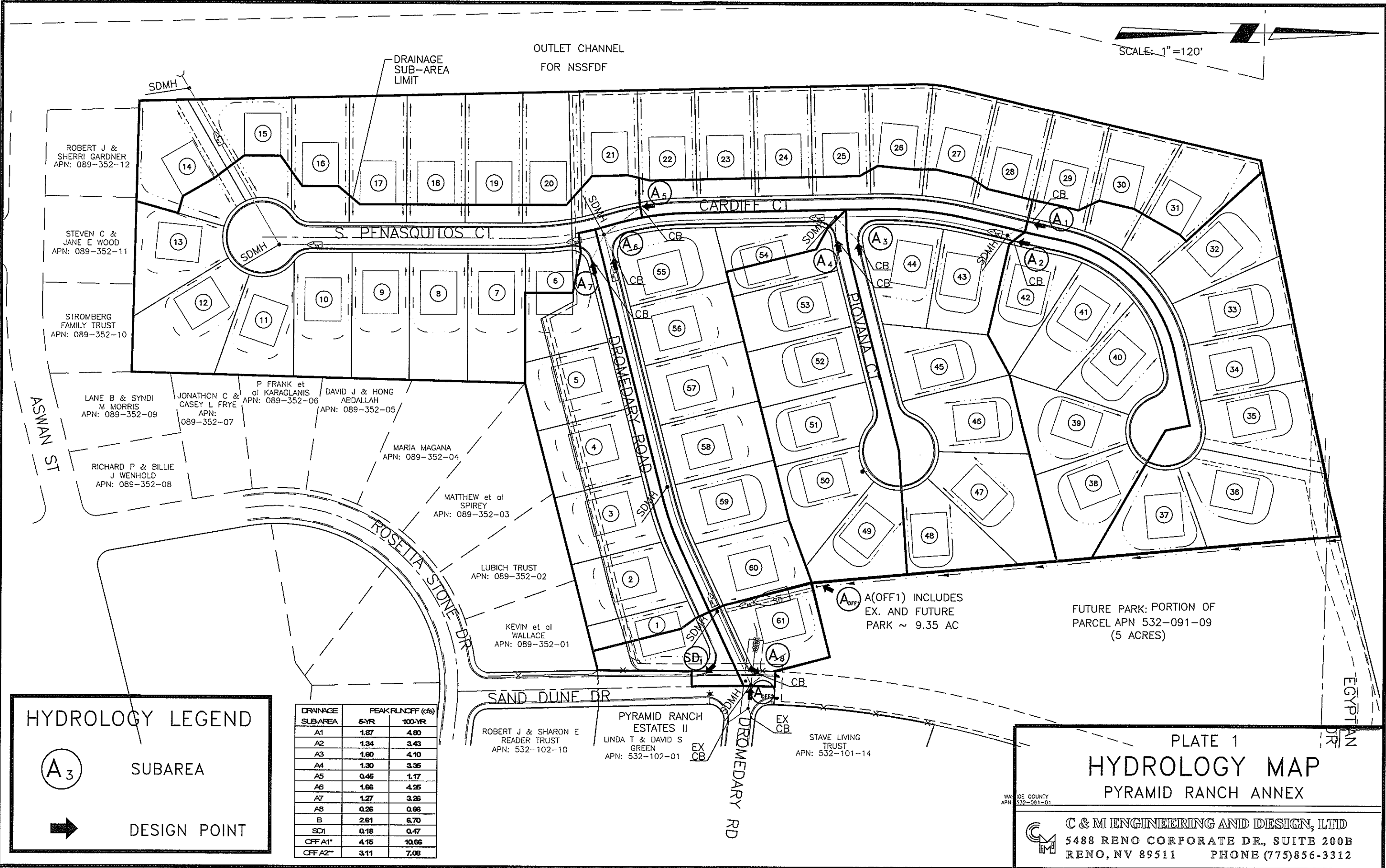
Velocities used are 2 - 3 fps for surface flow and 3 - 5 fps for channel and conduit flow.

Rational Method calculations are performed using a spreadsheet containing the appropriate IDF curves and routing parameters. Hydrologic tabling is done in two parts. In Part A, the peak flow for each drainage area is determined based on the runoff coefficient, initial time of concentration, and area. These flows are used to locate and size the drainage inlets. In Part B, flows are accumulated starting with the initial subarea and proceeding downstream. At each design point travel time is added and the peak flow is computed using the average runoff coefficient, the time of concentration at that point, and the total tributary area. These cumulative flows are used in the design of interceptor channels and storm drains where applicable.



OUTLET CHANNEL
FOR NSSDF

DRAINAGE
SUB-AREA
LIMIT



FUTURE PARK: PORTION OF
PARCEL APN 532-091-09
(5 ACRES)

A(OFF1) INCLUDES
EX. AND FUTURE
PARK ~ 9.35 AC

HYDROLOGY LEGEND

(A₃) SUBAREA

➔ DESIGN POINT

DRAINAGE SUBAREA	PEAK RUNOFF (cfs)	
	5-YR	100-YR
A1	1.87	4.80
A2	1.34	3.43
A3	1.60	4.10
A4	1.30	3.35
A5	0.45	1.17
A6	1.66	4.25
A7	1.27	3.25
A8	0.26	0.66
B	2.61	6.70
SD1	0.18	0.47
OFF A1*	4.15	10.66
OFF A2**	3.11	7.03

PLATE 1
HYDROLOGY MAP
PYRAMID RANCH ANNEX

WAGLE COUNTY
APN: 532-091-01

C & M ENGINEERING AND DESIGN, LTD
5488 RENO CORPORATE DR., SUITE 200B
RENO, NV 89511 PHONE (775)856-3312

**RATIONAL METHOD HYDROLOGY
WASHOE COUNTY / RENO IDF CURVES
PYRAMID RANCH ANNEX**

PART A: INDIVIDUAL DRAINAGE AREAS

DESIGN POINT	DRAINAGE SUB-AREA	AREA (acres)	RUNOFF COEFF.	WATERSHED LENGTH (ft)	VELOCITY (ft/sec)	TIME OF CONC (min)	INTENSITY (in/hr)		PEAK RUNOFF (c)	
							5-YR	100-YR	5-YR	100-YR
CB	A1	2.53	0.50	700	2	10.00	1.48	3.80	1.87	4.80
CB	A2	1.81	0.50	650	2	10.00	1.48	3.80	1.34	3.43
CB	A3	2.16	0.50	570	2	10.00	1.48	3.80	1.60	4.10
CB	A4	1.76	0.50	600	2	10.00	1.48	3.80	1.30	3.35
CB	A5	0.61	0.50	570	2	10.00	1.48	3.80	0.45	1.17
CB	A6	2.24	0.50	635	2	10.00	1.48	3.80	1.66	4.25
CB	A7	1.72	0.50	675	2	10.00	1.48	3.80	1.27	3.26
CB	A8	0.35	0.50	233	2	10.00	1.48	3.80	0.26	0.66
EX CHNL	B	4.41	0.40	150	2	10.00	1.48	3.80	2.61	6.70
SAND DUNE	SD1	0.25	0.50	265	2	10.00	1.48	3.80	0.18	0.47
FES	OFF A1	9.35	0.30	730	3	10.00	1.48	3.80	4.15	10.66
SDMH	OFF A2**	4.63	0.57	80	3	17.78	1.19	2.70	3.11	7.08

Note: * OFF A1 is Gator Swamp Park - existing and proposed

Note: ** OFF A2 is from Pyramid Ranch II improvements

TENTATIVE MAP FOR PYRAMID RANCH ANNEX

OWNER/DEVELOPER

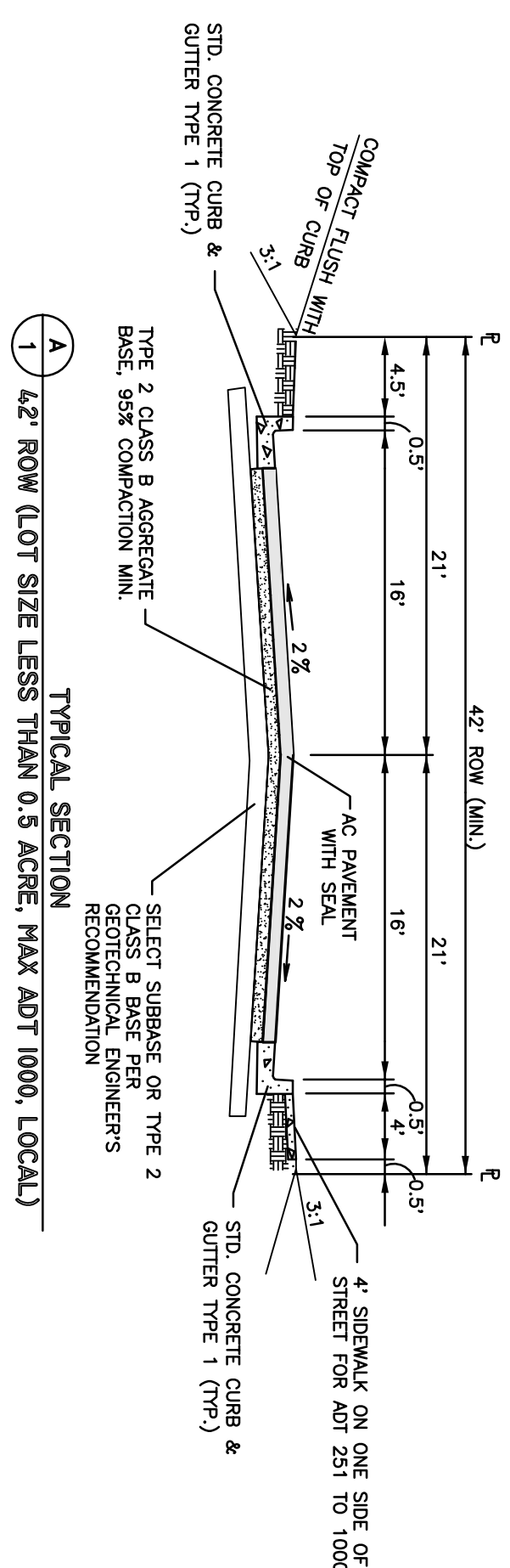
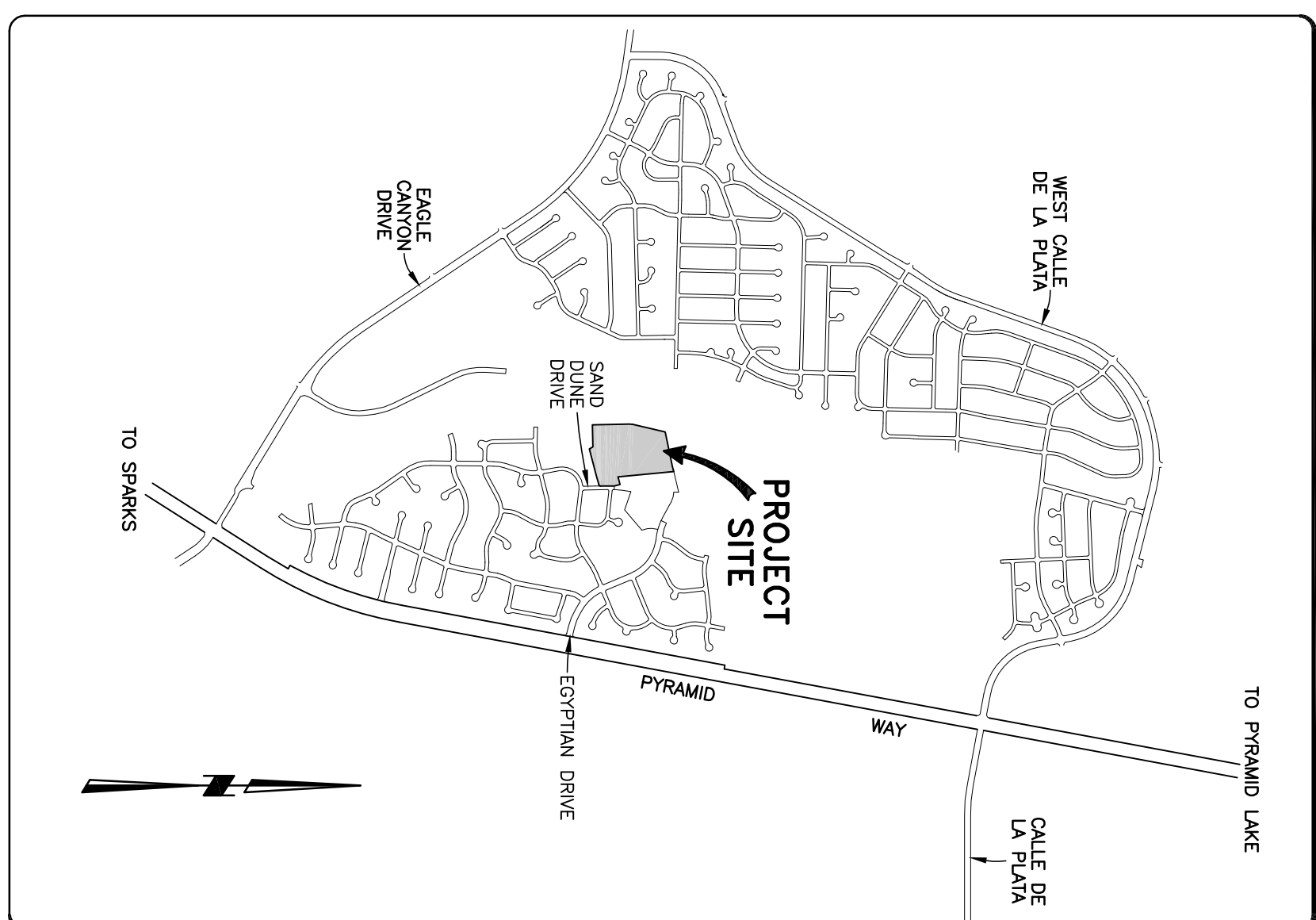
SPANISH SPRINGS ASSOCIATES LIMITED PARTNERSHIP
550 W. PLUMB LANE, SUITE B, #505
RENO, NEVADA 89509

LEGEND

	NEW PAVEMENT		RETAINING WALL
	EXISTING CURB & GUTTER		FENCE ON RW
	NEW CURB & GUTTER		BLOCK WALL
	EXISTING 5' CONTOUR		STONE WALL
	DIRECTION OF FLOW		TRENCH/STONE
	NEW STORM DRAIN W/MANHOLE		SHEET BOUNDARIES
	EXISTING STORM DRAIN		TAILINGS/TOE
	NEW SANITARY SEWER W/MANHOLE		PIPELINE
	EXISTING SANITARY SEWER		WATER EDGE
	NEW CATCH BASIN/MANHOLE		INTERMITTENT DRAINAGE
	EXISTING CATCH BASIN		DITCH
	NEW WATER LINE W/VALVE		TREE LINE
	EXISTING WATER LINE W/VALVE		BRUSHLINE
	FLUSH VALVE ASSEMBLY		BUILDING
	AIR RELEASE ASSEMBLY		DECK
	FIRE HYDRANT ASSEMBLY		COVERED AREA
	EXST. SPOT ELEVATION		SHED
	ROCK RIPRAP		BLDG. UNDER CONSTR.
			MISCELLANEOUS BOUNDARIES
			RAILROAD
			N/E/Z CONTROL POINT
			Z ONLY CONTROL POINT
			SURVEY MONUMENT
			POWER POLES
			POLE ANCHOR
			TRANSMISSION TOWER
			LIGHT POLE
			POST/POLE
			SIGN
			FIRE HYDRANT
			MANHOLE
			VALVE COVER
			TRAFFIC SIGNAL
			RR XING SIGNAL
			MAIL BOX
			MISC. OBJECT
			METER
			MARSH
			EXCAVATION
			SHAFT
			UTIL. VAULT/BOX
			METER BOX

SHEET INDEX

- 1 TITLE SHEET
- S-1 GEOMETRICS
- G-1 GRADING/UTILITIES
- C-1 CROSS SECTIONS



CIVIL ENGINEER
C & M ENGINEERING AND DESIGN, LTD.
5488 RENO CORPORATE DRIVE, SUITE 200B
RENO, NEVADA 89511

GENERAL NOTES:

- BASED ON FLOOD INSURANCE RATE MAP NO. 32031C2865 G (DATED 10/21/2014). PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THE PROJECT SITE LIES IN FLOOD ZONE X (UNSHADED) INDICATING AREAS OUTSIDE THE 500-YEAR FLOODPLAIN.
- ALL STREETS TO BE PUBLIC UNLESS OTHERWISE NOTED.
- ALL SLOPES ARE 3:1 MAX. UNLESS OTHERWISE NOTED.
- MECHANICAL SLOPE STABILIZATION FOR SLOPES STEEPER THAN 3:1 - WHEN ROCK RIPRAP IS USED FOR SLOPE STABILIZATION, IT SHALL CONTAIN A MINIMUM OF FOUR FRACTURED FACES AND BE PLACED TO A MINIMUM DEPTH OF 12 INCHES. A MINIMUM OF 75% OF THE RIPRAP SHALL BE 8 INCH DIAMETER ROCK OR GREATER.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED BY THE APPLICATION OF DUST PALLATIVE AND IF LEFT MORE THAN NINETY (90) DAYS PLANTED AS FOLLOWS:
FERTILIZER - (16-20-0) 300#/acre
GRASS, THE BROADCAST SEEDING RATE SHALL BE 12#/AC. OF SODAR WHEATGRASS AND 8#/AC. OF FAIRWAY CREATE WHEATGRASS. IF DRILLED, THE RATE SHOULD BE 6#/AC. OF SODAR WHEATGRASS AND 5#/AC. OF FAIRWAY CREATED WHEATGRASS. STRAW/MULCH 3000#/AC. ANCHORED BY A STRAW PUNCHING TOOL OR COVERED WITH NETTING AND STAPLED.

LAND USE DATA:

- PRESENT LAND USE CLASSIFICATION: MDS (15.5 AC PORTION OF 532-091-09) & MDS (532-091-10)
- PROPOSED LAND USE CLASSIFICATION: MDS
- TOTAL LAND AREA: 21.31 AC.; LOT AREA: 18.46 AC
STREETS: 2.85 AC; COMMON AREA: 0 AC
- NUMBER OF UNITS: 61; DENSITY: 2.86 DU/AC
- REQUIRED MINIMUM LOT SIZE: 12,000 SF MIN.
- MINIMUM LOT SIZE SHOWN: 12,000 SF; MAXIMUM LOT SIZE SHOWN: 22,108 SF
- REQUIRED MINIMUM LOT WIDTH: 80'
- MINIMUM LOT WIDTH: 80', EXCLUDING CUL-DE-SACS
- MINIMUM SETBACK REQUIREMENTS:
FRONT: 20'
REAR: 20'
SIDE: 8'

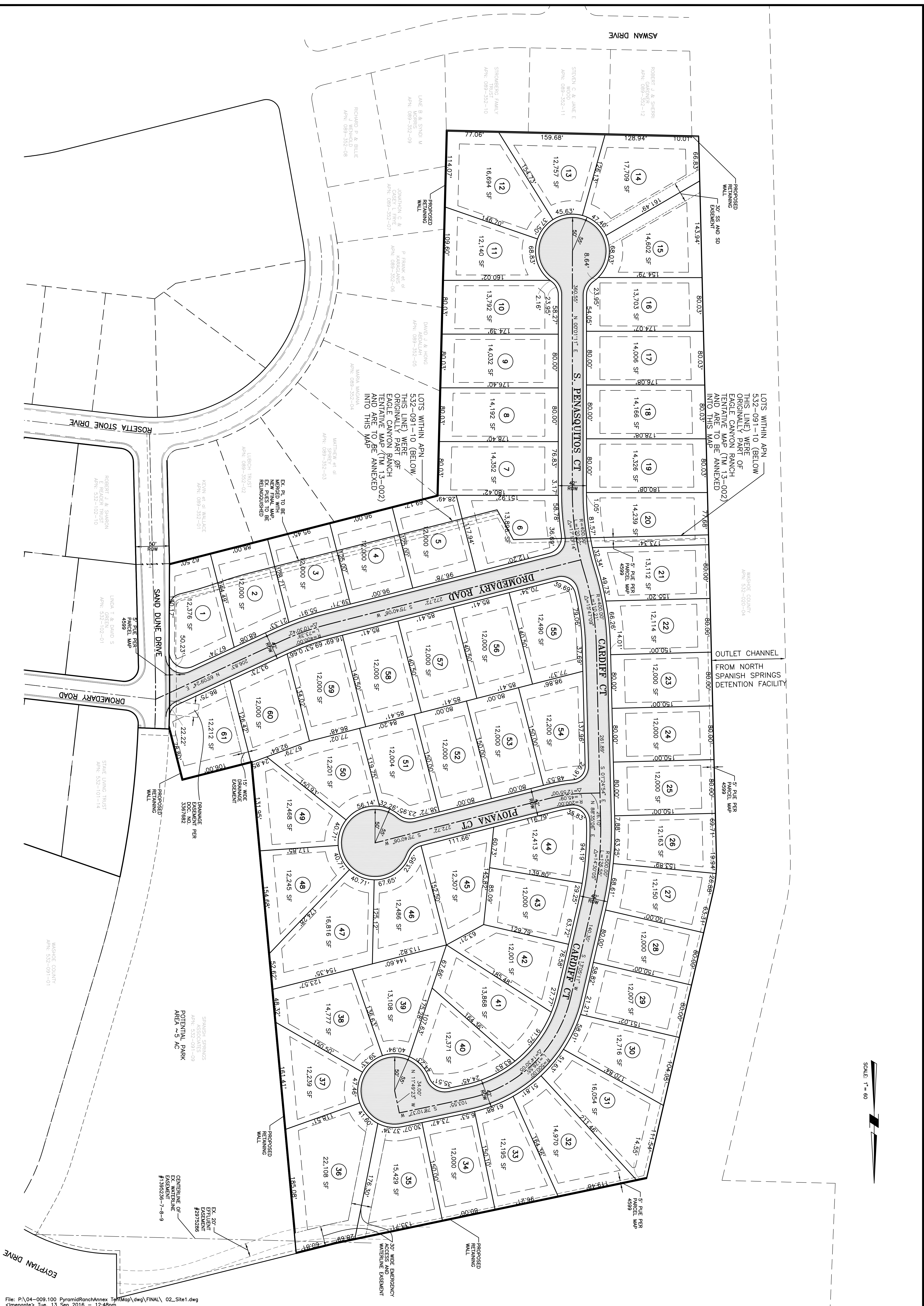
UTILITIES:

- CABLE - CHARTER COMMUNICATIONS
- ELECTRICAL - NEVADA ENERGY
- SEWAGE DISPOSAL - WASHOE COUNTY COMMUNITY SERVICES, CITY OF SPARKS
- SOLID WASTE - RENO DISPOSAL
- TELEPHONE - AT&T
- GAS - NEVADA ENERGY
- WATER - TWMA

THESE PLANS (SHEETS 1 THROUGH 4) HAVE BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE. THE WASHOE COUNTY DEVELOPMENT CODE SHALL PREVAIL.

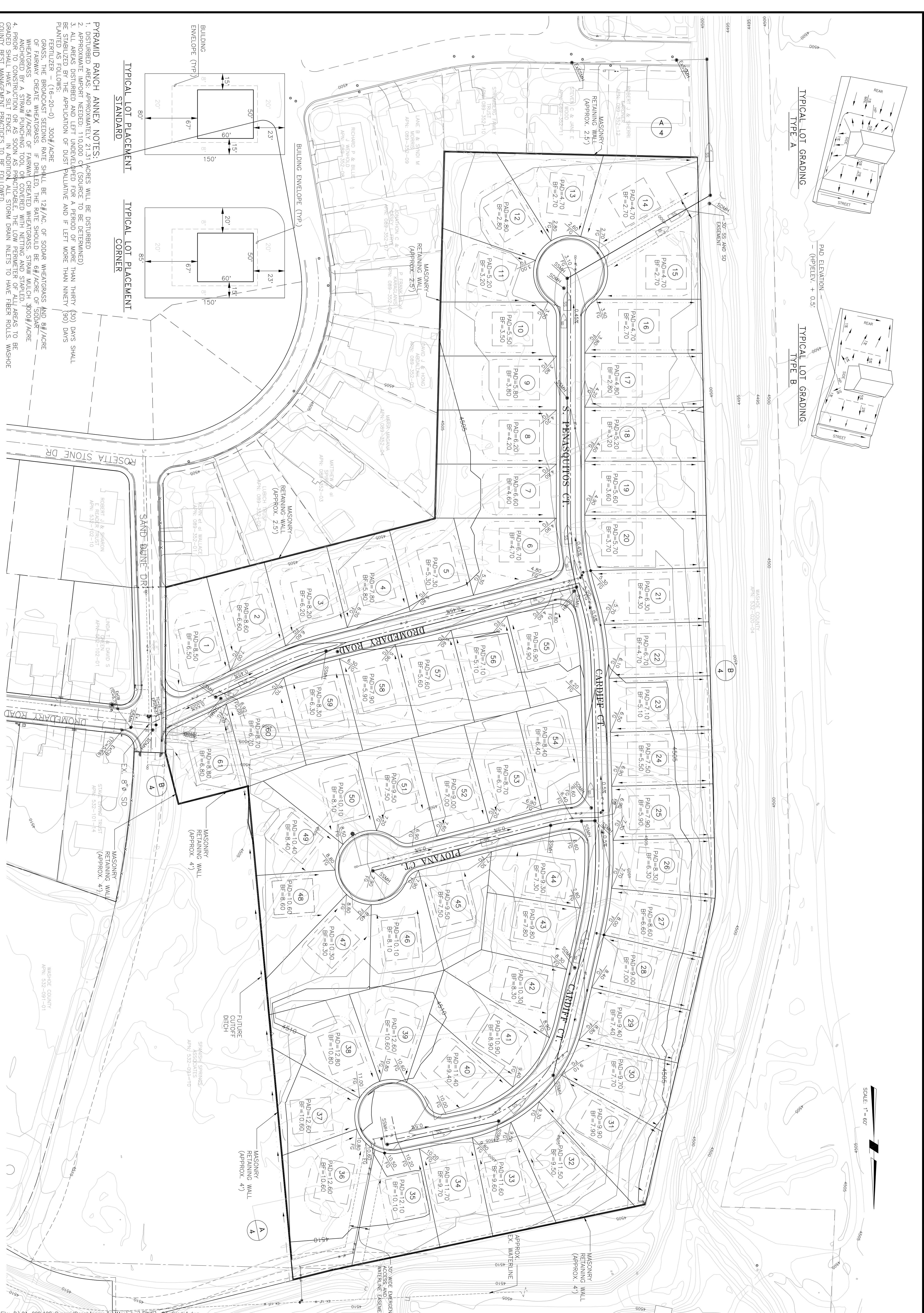
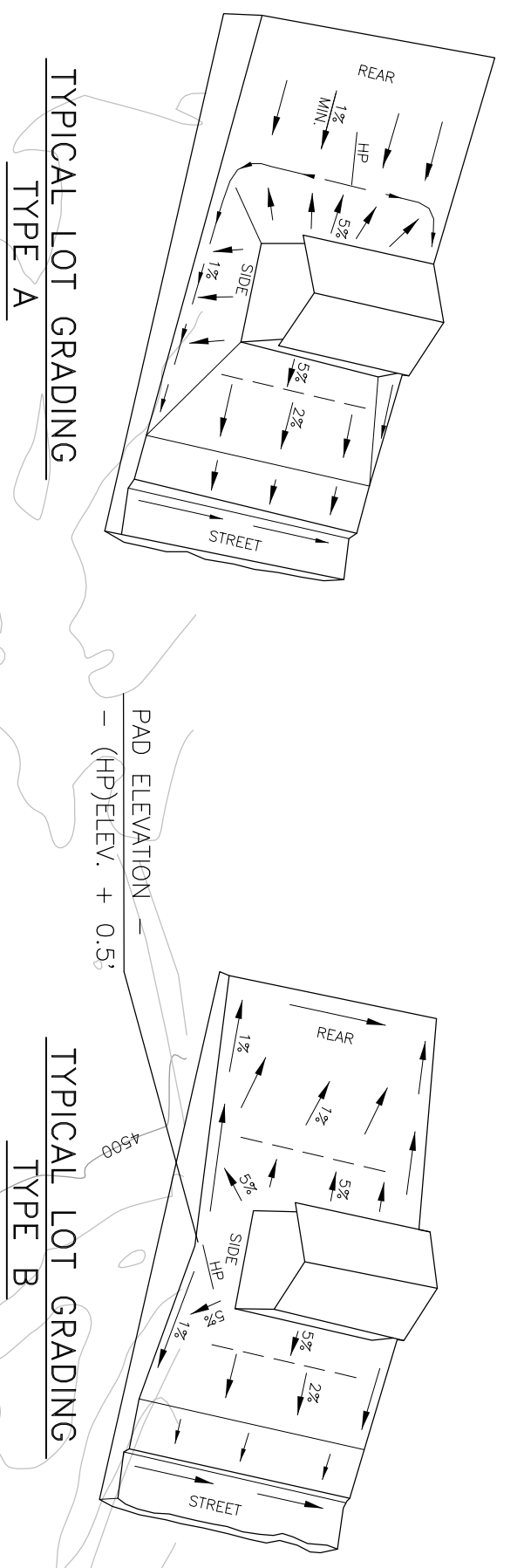
SHEET 1 of 4		PYRAMID RANCH ANNEX TITLE SHEET		WASHOE COUNTY		NEVADA		MARK		DATE		REVISION DESCRIPTION		BY	
<p style="text-align: right;">C & M ENGINEERING AND DESIGN, LTD. 5488 RENO CORPORATE DR, SUITE 200B, RENO, NV 89511 PHONE: (775) 856-3312</p>															
DESIGNED BY: S.C. LCM		DRAWN BY: LCM		PROJECT NUMBER: 04-009.100		SUBMITTAL STATUS:		DATE PREPARED: 9/8/16		DATE: 9/8/16		DATE: 9/8/16		DATE: 9/8/16	
<p>PLANS ARE SUBJECT TO ALL ORDINANCES AND REGULATIONS OF THE WASHOE COUNTY DEVELOPMENT CODE. THE WASHOE COUNTY DEVELOPMENT CODE SHALL PREVAIL.</p>															

SCALE: 1" = 60'

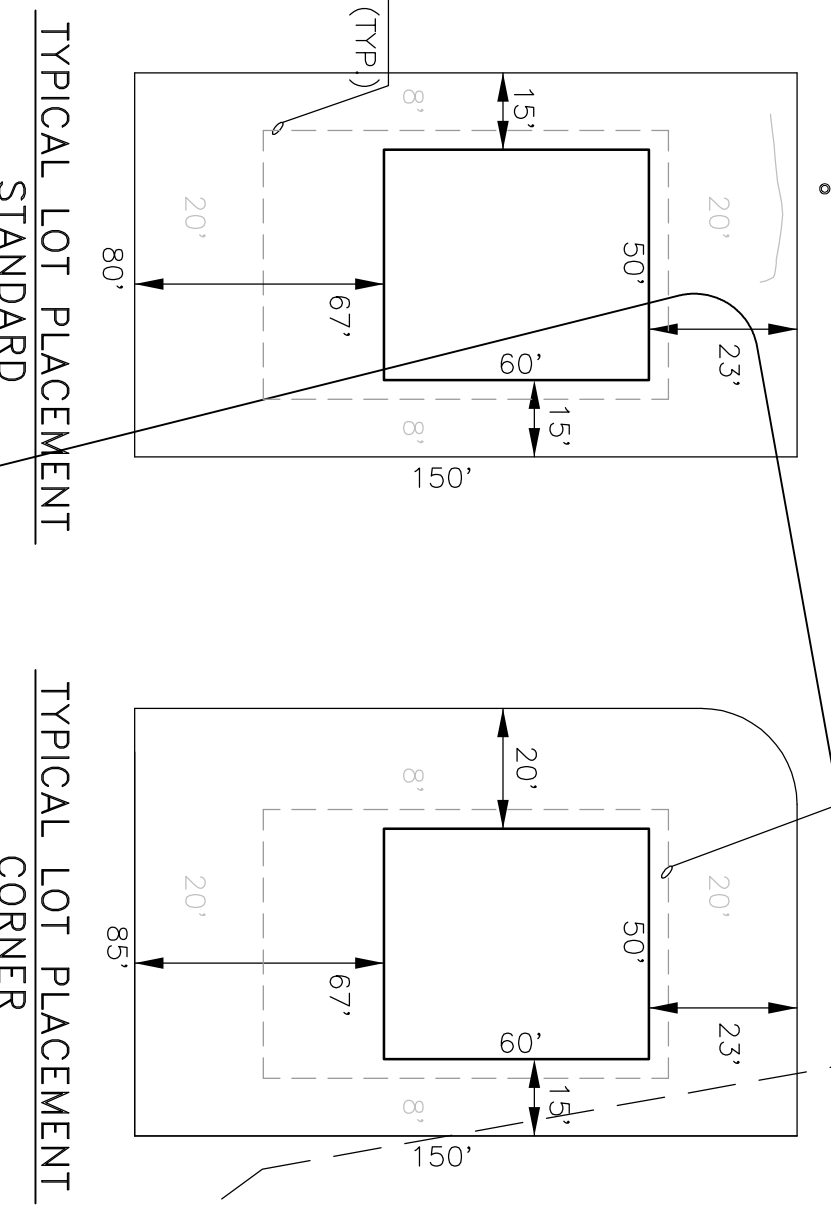


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SHEET S-1 of 4	WASHOE COUNTY		NEVADA		MARK		DATE		REVISION DESCRIPTION		BY	
PYRAMID RANCH ANNEX GEOMETRICS					C & M ENGINEERING AND DESIGN, LTD 5488 RENO CORPORATE DR., SUITE 200B, RENO, NV 89511 PHONE: (775) 856-3312							
DESIGNED BY: S/LCM DRAWN BY: VI PROJECT NUMBER: 04-009.100 SUBMITTAL STATUS: PRELIMINARY DATE: 9/9/16 SCALE: AS SHOWN DRAWN: [Signature] CHECKED: [Signature] DATE: [Signature] SCALE: AS SHOWN DRAWN: [Signature] CHECKED: [Signature] DATE: [Signature]												

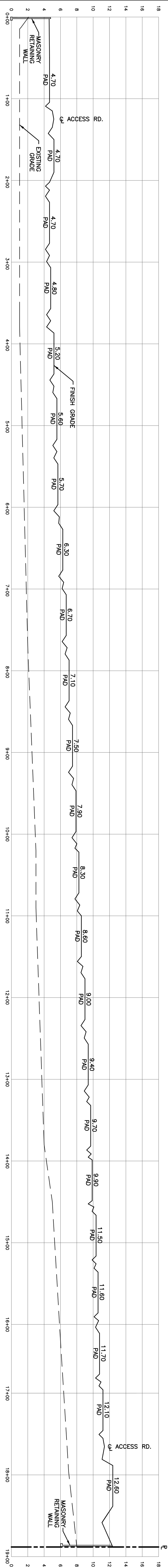


- PYRAMID RANCH ANNEX NOTES:**
1. DISTURBED AREAS APPROXIMATELY 21.31 ACRES WILL BE DISTURBED
 2. APPROXIMATE IMPORT NEEDED: 110,000 CY (SOURCE TO BE DETERMINED)
 3. ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED BY THE APPLICATION OF DUST PALMATIVE AND IF LEFT MORE THAN NINETY (90) DAYS PLANTED AS FOLLOWS:
 FERTILIZER - (16-20-0) 300#/ACRE
 GRASS, THE BROADCAST SEEDING RATE SHALL BE 12#/AC. OF SODAR WHEATGRASS AND 8#/ACRE OF FAIRWAY CREEPER WHEATGRASS. IF DRILLED, THE RATE SHOULD BE 6#/ACRE OF SODAR WHEATGRASS AND 5#/ACRE OF FAIRWAY CREEPER WHEATGRASS. STRAW MULCH 3000#/ACRE ANCHORED BY A STRAW PUNCHING TOOL OR COVERED WITH NETTING AND STAPLED.
 4. PRIOR TO CONSTRUCTION OR AS SOON AS PRACTICABLE, THE LOW PERIMETER OF ALL AREAS TO BE GRADED SHALL HAVE A SILT FENCE. IN ADDITION, ALL STORM DRAIN INLETS TO HAVE FIBER ROLLS. WASHOE COUNTY BEST MANAGEMENT PRACTICES TO BE FOLLOWED.

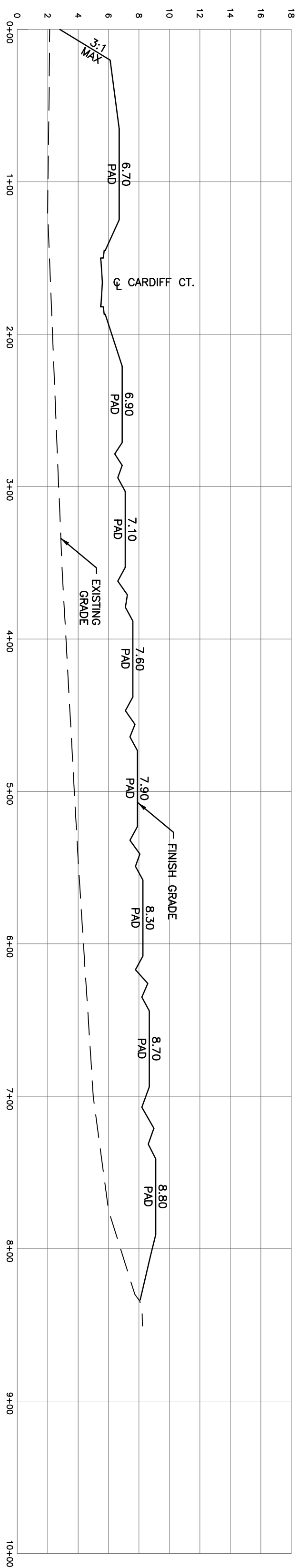


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WASHOE COUNTY SHEET G-1 OF 4	PYRAMID RANCH ANNEX GRADING/UTILITIES	NEVADA MARK DATE REVISION DESCRIPTION BY	C & M ENGINEERING AND DESIGN, LTD 5488 RENO CORPORATE DR., SUITE 200B, RENO, NV 89511 PHONE: (775) 856-3312
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SECTION A-A
 HORIZ. SCALE: 1"=60'
 VERT. SCALE: 1"=6'



SECTION B-B
 HORIZ. SCALE: 1"=60'
 VERT. SCALE: 1"=6'

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SHEET 4 OF 4	PYRAMID RANCH ANNEX		NEVADA	MARK	DATE	REVISION DESCRIPTION	BY	PROJECT NO. 04-009.100 PROJECT NAME: PYRAMID RANCH ANNEX TENT MAP DRAWN BY: [Name] CHECKED BY: [Name] DATE: [Date]	C & M ENGINEERING AND DESIGN, LTD 5488 RENO CORPORATE DR., SUITE 200B, RENO, NV 89511 PHONE: (775) 856-3312
	CROSS SECTIONS								