

Community Services Department
Planning and Building
ADMINISTRATIVE PERMIT APPLICATION
(Care for the Infirm see page 8)



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Kosin detached garage/workshop			
Project Description: Detached Accessory building			
Project Address: 745 Linterna Ln, Sparks NV 89441			
Project Area (acres or square feet): 4000 sq ft			
Project Location (with point of reference to major cross streets AND area locator): Linterna Ln and Alamosa Dr.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
076-361-23	10.03		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Greg Kosin		Name: Infinity Engineering Inc	
Address: 745 Linterna Ln		Address: 2135 Green Vista Drive	
Zip: 89441		Suite 107 Zip: 89431	
Phone: 909-270-0982	Fax:	Phone: 775-333-5211	Fax:
Email: gkosin302@gmail.com		Email: infinityreno@gmail.com	
Cell:	Other:	Cell:	Other:
Contact Person: Greg Kosin		Contact Person: Waseem Akhtar	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Greg Kosin		Name:	
Address: 745 Linterna Ln		Address:	
Zip: 89441		Zip:	
Phone: 909-270-0982	Fax:	Phone:	Fax:
Email: gkosin302@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Detached accessory building

2. What section of the Washoe County code requires the Administrative permit required?

110.306.10 (d)

3. What currently developed portions of the property or existing structures are going to be used with this permit?

none

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

extend existing gravel driveway to new accessory building. completion time same as completion of project.

5. Is there a phasing schedule for the construction and completion of the project?

Completion date mid May 2023

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Very rural and should not have any impact of the area due to the project

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

Project will improve the property and increase property values to surrounding areas.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Building will be built using colors to match the surroundings and look of the existing structures in the area.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Having this garage will allow storage of my vehicles and equipment to be stored indoors and out of public view.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

N/A

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

N/A

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	Existing Septic system
b. Water Service	Existing Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Administrative Permit Application Supplemental Information for Care of the Infirm

(All required information, to include the physician's signed affidavit, is considered a public record and will be treated as such by Washoe County. Information may be attached separately)

1. Name of the Infirm:

Detached accessory building

2. Name of Nevada licensed physician identifying the need for on-premise care and the physician's estimate as to the length of on-premise care required (attach physician's signed affidavit, form on page 11):

110.306.10 (d)

3. Name(s) of the Caregiver(s):

none

4. Describe the type and size of recreational vehicle or self-contained travel trailer that is proposed for use as a temporary residence of the caregiver. (Attach a site map showing the proposed location.)

5. Describe the arrangements/methods proposed for the temporary provision of:

a. Water Service:

b. Sewage (Sanitary Sewer) Service:

c. Garbage (Solid Waste) Service:

d. Electricity:

e. Natural Gas:

6. What will you do to minimize the anticipated negative impacts or effect your waiver will have on adjacent properties?

Building will be built using colors to match the surroundings and look of the existing structures in the area.

7. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

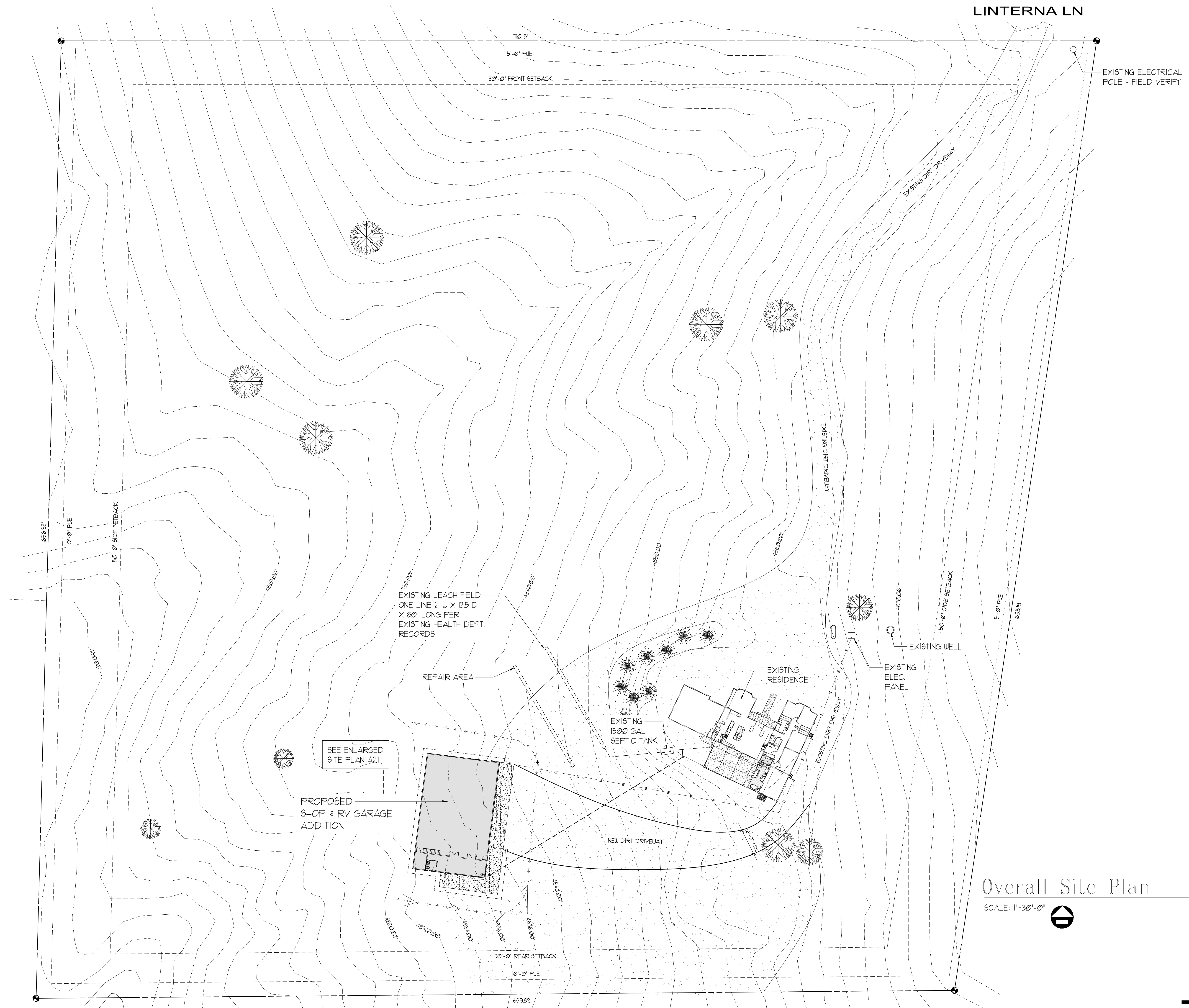
n/a

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Community Services (provided and nearest facility):

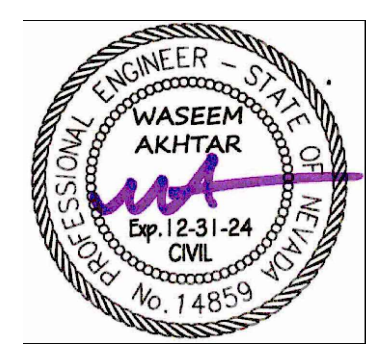
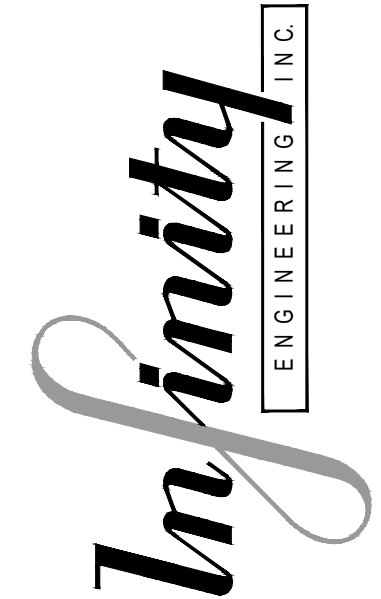
a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	



LINTERNA LN

REVISIONS	BY

2135 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NEVADA 89431
 775-333-8211 (PHONE)
 E-Mail: infinityreno@gmail.com



1-4-23

OVERALL SITE PLAN

KOSIN RESIDENCE
 SHOP & RV GARAGE ADDITION
 745 LINTERNA LANE
 WASHOE COUNTY, NEVADA 89441

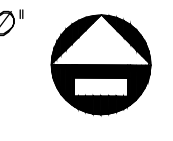
DRAWN BY:
 WA
 JOB #
 22-1633
 DATE
 1-4-23
 SCALE

FOR JURISDICTION

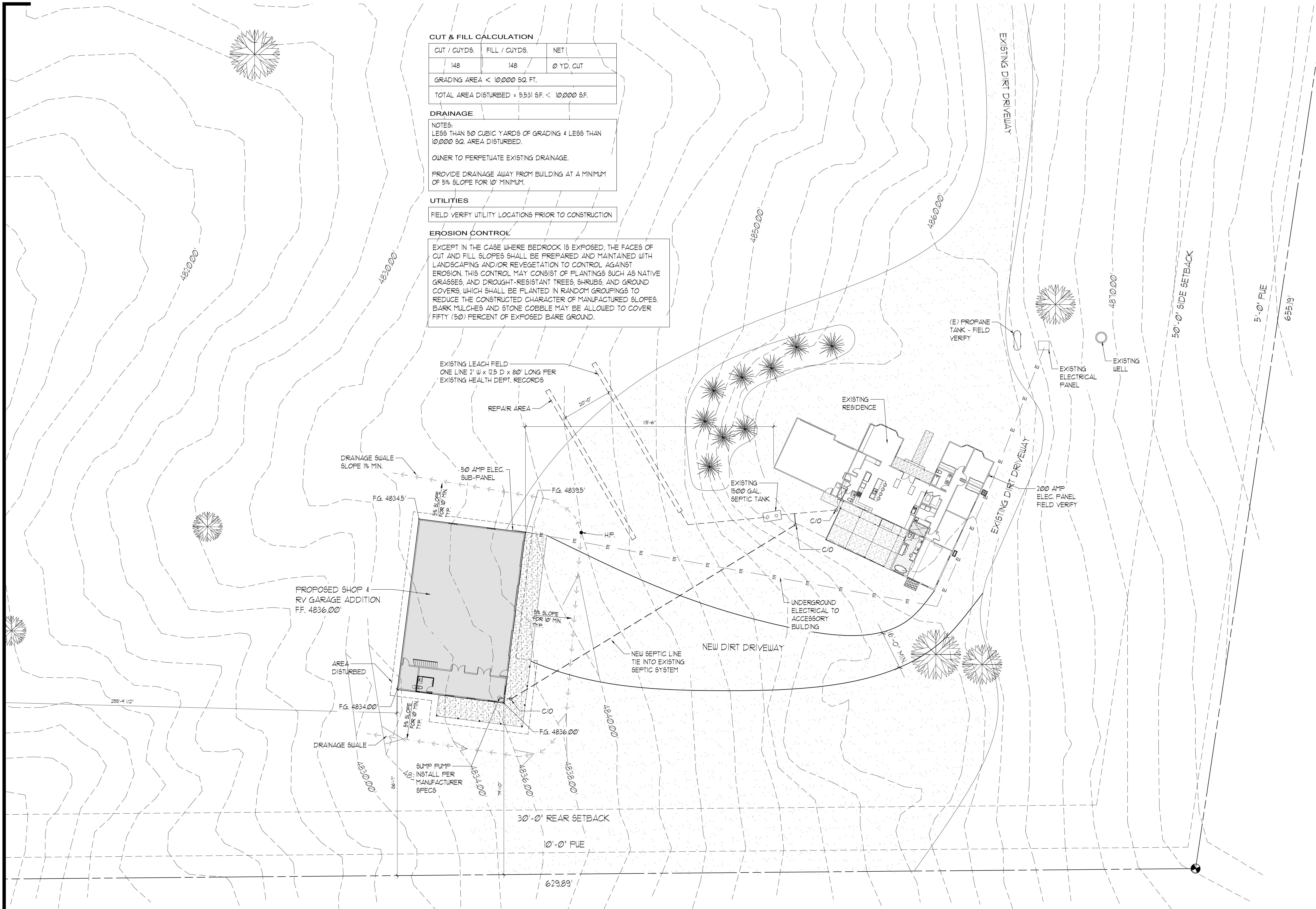
APPROVAL

Overall Site Plan

SCALE: 1"=30'-0"



A2.0



CUT & FILL CALCULATION

CUT / CUYDS.	FILL / CUYDS.	NET
148	148	0 YD. CUT
GRADING AREA < 10,000 SQ. FT.		
TOTAL AREA DISTURBED = 5531 SF. < 10,000 SF.		

DRAINAGE

NOTES:
 LESS THAN 50 CUBIC YARDS OF GRADING & LESS THAN 10,000 SQ. AREA DISTURBED.

OWNER TO PERPETUATE EXISTING DRAINAGE.

PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10' MINIMUM.

UTILITIES

FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION

EROSION CONTROL

EXCEPT IN THE CASE WHERE BEDROCK IS EXPOSED, THE FACES OF CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED WITH LANDSCAPING AND/OR REVEGETATION TO CONTROL AGAINST EROSION. THIS CONTROL MAY CONSIST OF PLANTINGS SUCH AS NATIVE GRASSES, AND DROUGHT-RESISTANT TREES, SHRUBS, AND GROUND COVERS, WHICH SHALL BE PLANTED IN RANDOM GROUPINGS TO REDUCE THE CONSTRUCTED CHARACTER OF MANUFACTURED SLOPES. BARK MULCHES AND STONE COBBLE MAY BE ALLOWED TO COVER FIFTY (50) PERCENT OF EXPOSED BARE GROUND.

EXISTING LEACH FIELD
 ONE LINE 2' W x 12.5' D x 80' LONG PER
 EXISTING HEALTH DEPT. RECORDS

REPAIR AREA
 20'-0"

DRAINAGE SWALE
 SLOPE 1% MIN.

50 AMP ELEC. SUB-PANEL

FG. 4834.5'

PROPOSED SHOP & RV GARAGE ADDITION
 FF. 4836.00'

AREA DISTURBED

FG. 4834.00'

DRAINAGE SWALE

SUMP PUMP
 INSTALL PER MANUFACTURER SPECS

30'-0" REAR SETBACK

10'-0" FUE

629.89'

655.19'

655.19'

Enlarged Site Plan

SCALE: 1"=20'-0"



REVISIONS	BY

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 SPARKS, NEVADA 89431
 775-333-8211 (PHONE)
 E-Mail: Infinityreno@gmail.com

Infinity
 ENGINEERING, INC.

PROFESSIONAL ENGINEER STATE OF NEVADA
 WASEEM AKHTAR
 Exp. 12-31-24
 No. 14859

1-4-23

ENLARGED SITE PLAN

KOSIN RESIDENCE
 SHOP & RV GARAGE ADDITION
 745 LINTERNA LANE
 WASHOE COUNTY, NEVADA 89441

DRAWN BY:
 WA

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SCALE

FOR JURISDICTION

APPROVAL

A2.1

ATTIC VENT CALCULATIONS

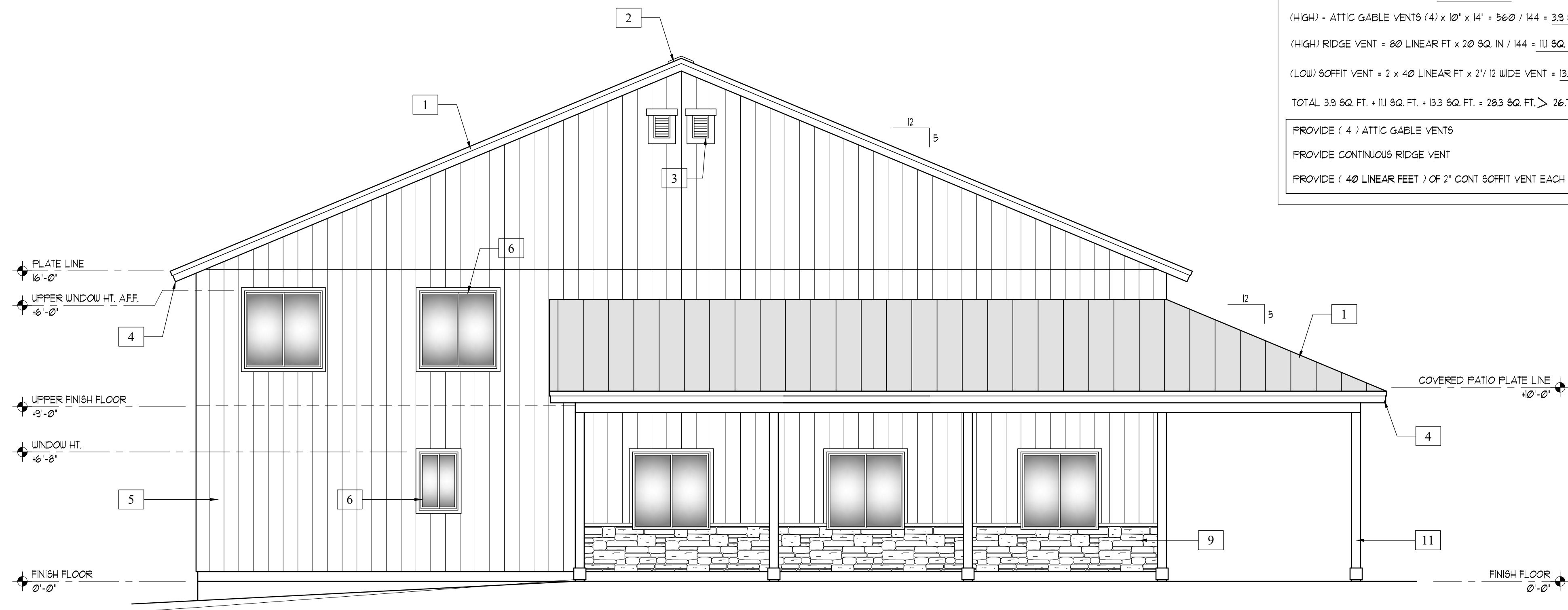
ATTIC VENTILATION CALCULATIONS
 PER IRC 2018, R806.1 & R806.2
 ROOF AREA = 4,000 S.F. / 150' = 26.7 SQ. FT. REQ.
 (HIGH) - ATTIC GABLE VENTS (4) x 10' x 14' = 560 / 144 = 3.9 SQ. FT.
 (HIGH) RIDGE VENT = 80 LINEAR FT x 20 SQ. IN / 144 = 11.1 SQ. FT.
 (LOW) SOFFIT VENT = 2 x 40 LINEAR FT x 2 1/2" WIDE VENT = 13.3 SQ. FT.
 TOTAL 3.9 SQ. FT. + 11.1 SQ. FT. + 13.3 SQ. FT. = 28.3 SQ. FT. > 26.7 SQ. FT. OK
 PROVIDE (4) ATTIC GABLE VENTS
 PROVIDE CONTINUOUS RIDGE VENT
 PROVIDE (40) LINEAR FEET) OF 2" CONT SOFFIT VENT EACH SIDE OF BUILDING MIN.

ELEVATION MATERIALS LIST

- 1 STANDING SEAM METAL ROOFING: STANDING SEAM METAL ROOFING OVER 30" APPROVED FELT- INSTALL PER MFG. REQ. SHALL CONFORM TO 2018 IRC SECTION 905 & 905.10
 - 2 RIDGE ROOF VENT: COR-A-VENT V-600T OR EQ. - SEE A5.0 - INSTALL PER MFG. SPECIFICATIONS
 - 3 GABLE END ROOF VENT: VENT OPENING SIZE SHALL NOT EXCEED 144 SQ. IN. PROVIDE CORROSION RESISTANT WIRE MESH W/ 1/4" MAX OPENING
 - 4 FASCIA: 2 x 8 W/ 1 x SHINGLE MOLD & DRIP EDGE
 - 5 EXTERIOR SIDING: 8" VERT METAL SIDING OVER SHEAR PLYUD. - INSTALL PER MFG. SPECIFICATIONS & SEE STRUCTURAL
 - 6 EXTERIOR WINDOWS: PER PLAN W/ 4" METAL TRIM- DOUBLE PANE, LOW E, U FACTOR OF 0.33 OR BETTER
 - 7 EXTERIOR DOORS: PER PLAN - SOLID WOOD OR HOLLOW METAL
 - 8 EXTERIOR GARAGE DOORS: PER PLAN - INSULATED OVERHEAD GARAGE DOORS INSTALL PER MFG. SPECIFICATIONS
 - 9 STONE VENEER: 'ELDORADO STONE' OR EQ. VENEER W/ WEEP SCREED & CAP ATTACH VENEER PER 2018 IRC SECTION R703.12
 - 10 CONCRETE PATIO: EXTERIOR CONCRETE PATIO O/ GRADE - SEE STRUCTURAL
 - 11 COVERED PATIO POST: 6 x 6 POST - SEE STRUCTURAL W/ 1 x 8 BOTTOM TRIM, TYP.
- NOTE:
 CONTRACTOR TO VERIFY ALL EXTERIOR FINISHES W/ OWNER PRIOR TO CONSTRUCTION.

ELEVATION NOTES

ATTIC VENTILATION: 2018 IRC R806.2
 MINIMUM VENT AREA: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.
 NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE.
 DRAINAGE:
 PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'-0"
 EXTERIOR FINISHES:
 ALL EXTERIOR PAINT COLORS, STAINS, TEXTURES ETC. VERIFY W/ OWNER
 G.I. FLASHING:
 ALL METAL'S AND FLASHING'S SHALL BE PAINTED TO MATCH ADJACENT SURFACES
 THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BUILDING ENVELOPE.



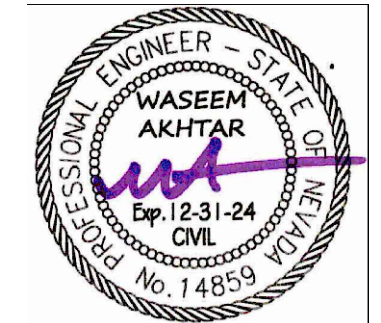
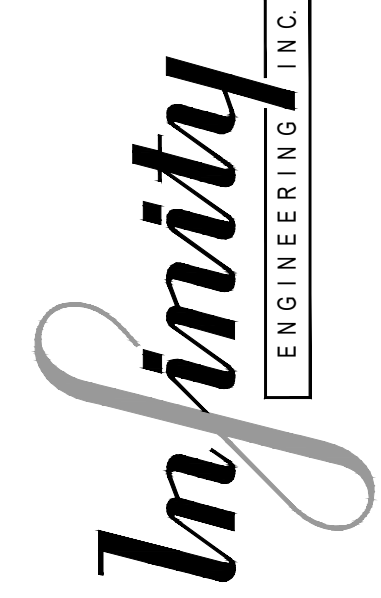
South Elevation
 SCALE: 1/4"=1'-0"



East Elevation
 SCALE: 1/4"=1'-0"

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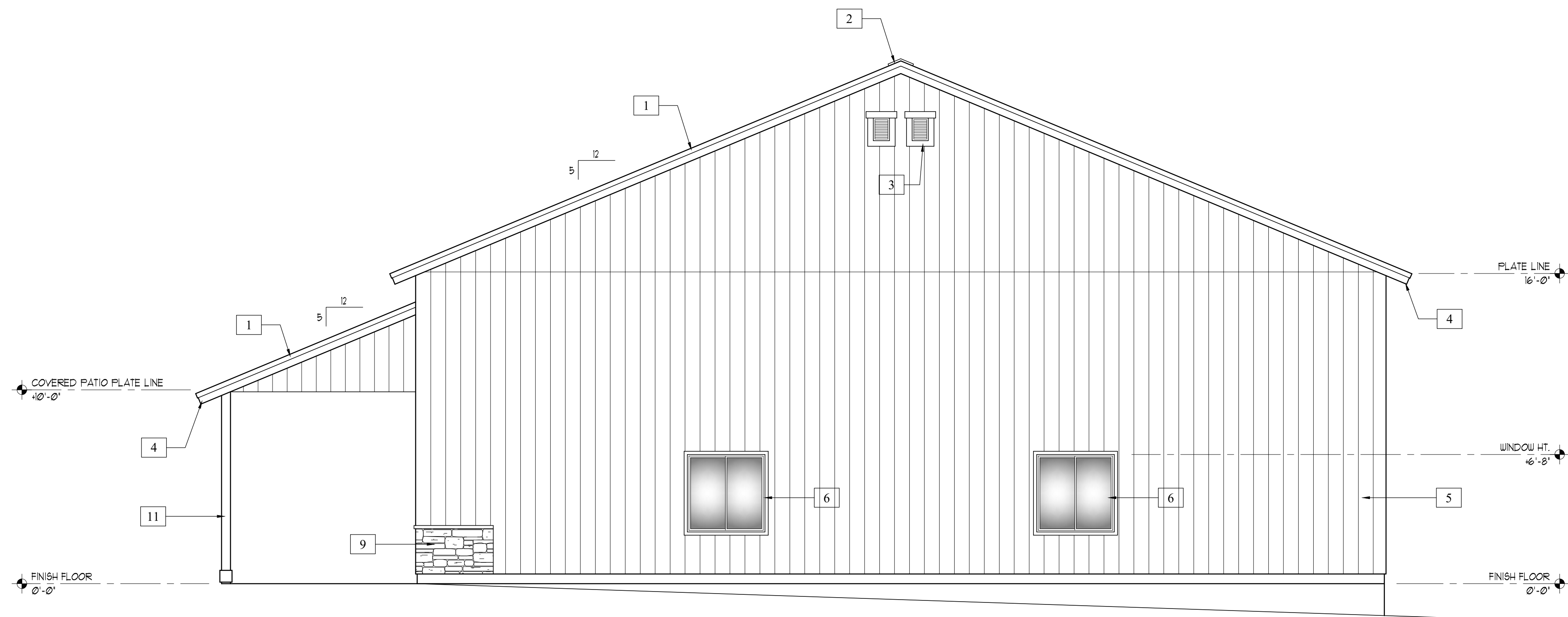
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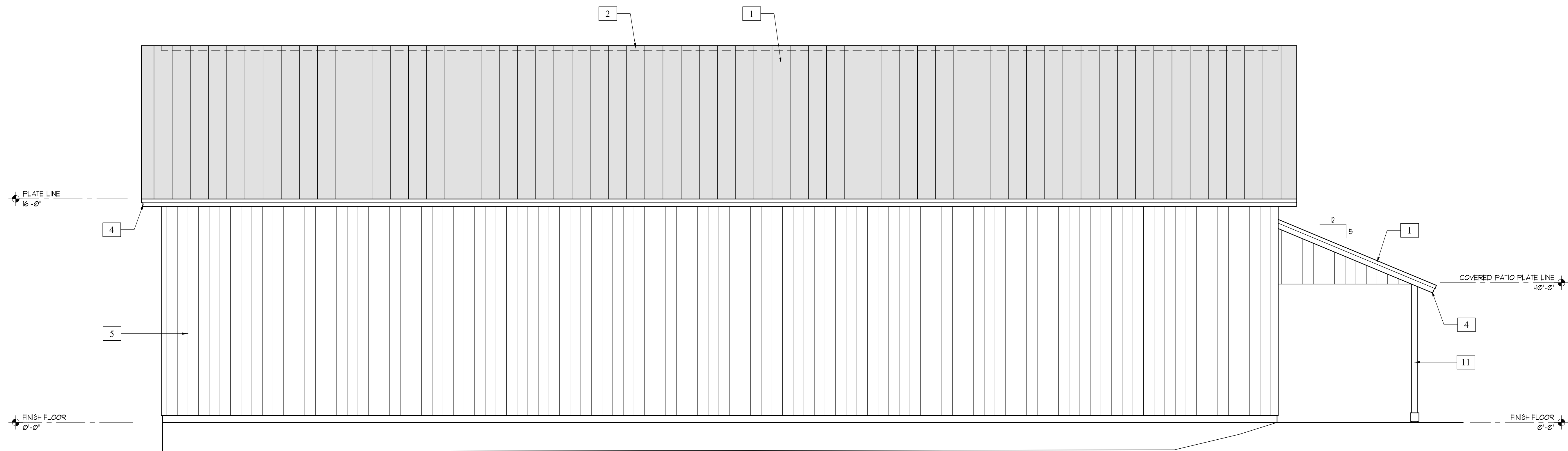
APPROVAL

A4.0



North Elevation

SCALE: 1/4"=1'-0"



West Elevation

SCALE: 1/4"=1'-0"

ELEVATION MATERIALS LIST

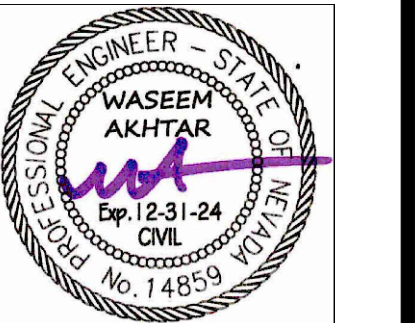
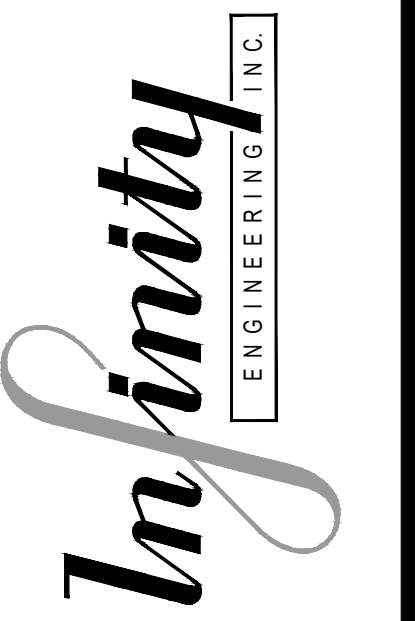
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NOTE:
CONTRACTOR TO VERIFY ALL EXTERIOR FINISHES W/ OWNER PRIOR TO CONSTRUCTION.

NOTE:
SEE 44.0 FOR ADDITIONAL NOTES & INFORMATION

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1-4-23

ELEVATIONS

KOSIN RESIDENCE
SHOP # RV GARAGE ADDITION
745 LINTERNA LANE
WASHOE COUNTY, NEVADA 89441

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SCALE

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APPROVAL

A4.1