

USS Storage Yard

Special Use Permit



Prepared by:



April 10, 2023

USS Storage Yard

Special Use Permit Application

Prepared for:

United Site Services of Nevada, Inc.

118 Flanders Road

Westborough, MA 01581

Prepared by:

Christy Corporation, Ltd.

1000 Kiley Parkway

Sparks, Nevada 89436

(775) 502-8552

April 10, 2023

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Washoe County Development Application
Special Use Permit Application

Attachments:

Existing Site Features/Site Plan

USS STORAGE YARD

Introduction

This application includes the following request:

- A **Special Use Permit** to allow for the establishment of the following uses within the General Rural zone per section 110.206.10b of the Washoe County Development Code (High Desert Area Plan):
 - Operable Vehicle Storage
 - Wholesaling, Storage, and Distribution (Heavy)
 - General Industrial (Heavy)

Project Location

The USS Storage Yard consists of 7.0± acres located on a 360.0± acres property along the southeast side of County Route 34 north of Gerlach within the High Desert Area Plan. Specifically, the project site (APN # 071-180-29) lies approximately 5 miles north of Gerlach via County Route 34. Figure 1 (below) depicts the project location. Figure 2 (following page) depicts the property boundary and project location.



Figure 1 – Vicinity Map

USS STORAGE YARD

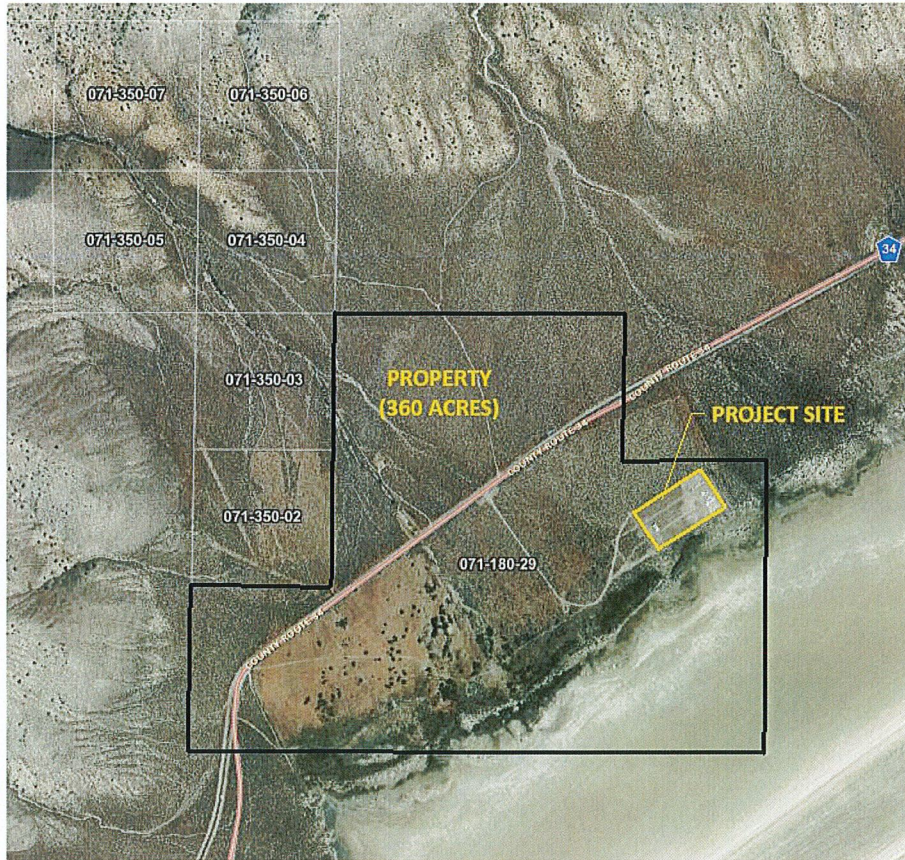


Figure 2 – Property Boundary Map

Existing Conditions

The 7-acre project site is currently an occupied storage yard surrounded by perimeter fencing. Access to the site is direct from County Route 34 and is located at the central portion of the property frontage. The site access also serves an existing, permitted wireless communications facility. The remainder of the 360-acre site is vacant and a portion to the southwest is utilized as grazing land.

Parcels adjoining the site are vacant and include terrain similar to that of the project site. All adjoining properties are zoned General Rural (GR). The majority of the surrounding parcels are public lands managed by the Bureau of Land Management (BLM) while two parcels adjacent and directly northwest of the site are privately owned.

The site generally slopes gradually from the northwest to the southeast, sloping gently down from the highway to the playa. The area subject to the Special Use Permit request included with this application is flat and includes native vegetation (sagebrush, rabbitbrush, etc.).

USS STORAGE YARD

Figure 3 (below) depicts the existing conditions of the property included with this Special Use Permit request.



Figure 3 – Existing Conditions

USS STORAGE YARD

Project Description/Request

This application includes a Special Use Permit (SUP) request to bring into compliance an outdoor storage yard at the project site. As defined by the Washoe County Development Code, the SUP will allow for operable vehicle storage, wholesaling, storage, and distribution (Heavy) and General Industrial (Heavy) use types. These uses are specifically allowed in the General Rural (GR) zone with the approval of a SUP per section 110.206.10(b) of the Development Code (High Desert Area Plan General Rural Zone Modifier).

The proposed project area is 7.0± acres on a 360± acres site. The storage area is located in the eastern portion of the site and will consist of outdoor storage which would include portable sanitation units, trucks, restroom and kitchen trailers, and temporary fencing. The storage yard is not open to the public and is only being utilized as material, vehicle, and equipment storage for United Site Services (USS). Additionally, the site is only accessed during a limited window from the end of July through early September.

The project development is proposing to utilize a portable office building supplied with a potable water tank, and grey and black water tanks. United Site Services provides water and wastewater services as a part of their daily business operations in the Gerlach area and can guarantee maintenance and proper operation of the facility. This request is in place of a permanent commercial building supplied by a well and septic system as the property is not utilized as public storage and is only accessed during a short window during the summer.

As typical within the High Desert Area Plan, it is requested that the suburban development standards included in the Development Code be modified to reflect the rural site location and natural landscape. Specifically, it is requested that the paving and landscaping requirements be waived. This is consistent with other projects in the area and will ensure that the overall character and feel of the high desert is retained. For example, new landscaping such as trees and shrubs are in sharp contrast to the natural landscape and result in greater visual impacts that draw attention to site improvements rather than screen them. Screening/fencing consisting of 6-foot high slatted chain link fencing is in place at the perimeter of the storage area to screen all outdoor storage areas from outside of the property boundaries.

In lieu of paving, it is proposed to utilize an all-weather surface (aggregate base) for roadways and storage areas within the project boundary. The proposed storage use is of very low intensity and will generate minimal vehicle trips during the six-week window when the site is accessed by staff only. Thus, an all-weather surface will be more than adequate and will still accommodate the vehicles and equipment while keeping with the rural character of the area.

Figure 4 (following page) depicts the site plan of the storage yard, as previously described.

USS STORAGE YARD

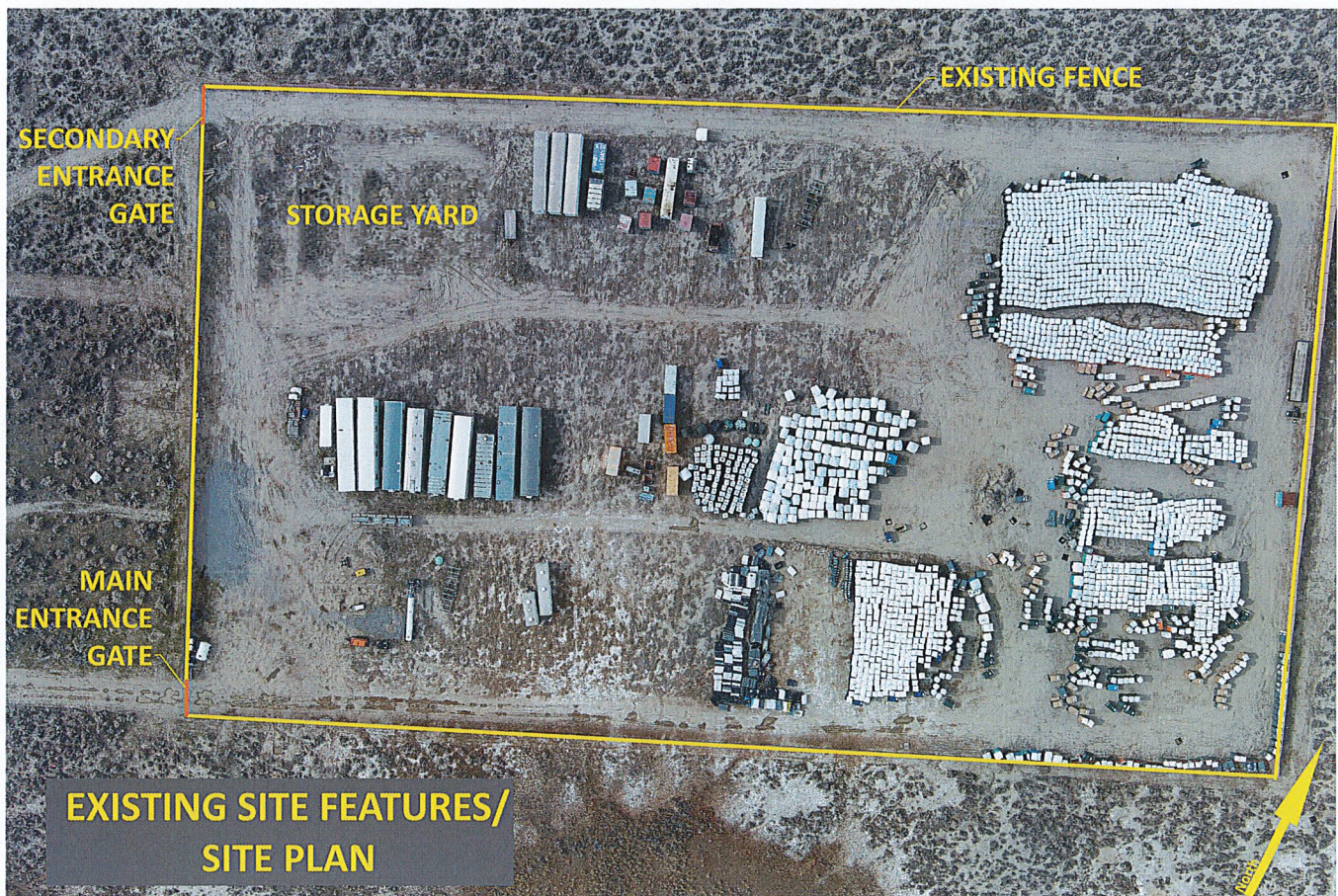


Figure 4 – Existing Site Features/Site Plan

The storage uses planned are of a very low intensity and are not anticipated to generate negative impacts to the surrounding area. The primary potential impact is visual. The in-place fencing provides proper screening to blend in with the natural surroundings and ensures that visual impacts are mitigated.

Lighting of the facility is not planned at this time. The High Desert Area Plan strongly discourages lighting that results in spill-over and glare, reducing views of the nighttime skies. No light pollution will occur as a result of this operation.

Traffic generated by the project will be minimal. The Institute of Transportation Engineers (ITE) Trip Generation Manual provides trip generation rates for General Heavy Industrial (land use code 120). Based on the most conservative estimate of the full 7± acres developed, 47 average daily trips (ADT) with 14 am and 15 pm peak trips are expected. Traffic impacts generated by the project account for no more than 50% of the volumes that would require a traffic impact analysis per Washoe County standards. The project will not impact the level of service on Route 34 or any roadways within the area.

USS STORAGE YARD

Special Use Permit Findings

In order to approve a Special Use Permit, the following findings must be made. Responses are provided in **bold face type**.

1. Consistency. The granting of the special use permit is consistent with the policies and maps of the Comprehensive Plan Elements and the Area Plan in which the property is located.

Section 110.206.10b of the Washoe County Development Code specifically provides for a modifier to the General Rural development standards and allowed use table within the High Desert Area Plan permitting the requested uses with the approval of a SUP. Additionally, the Board of Adjustment has the ability to modify development standards as part of the public SUP review process (section 110.810.20e) allowing for the proposed deviations to landscaping and paving standards.

2. Adequate Public Facilities. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities must exist or will be provided.

The proposed outdoor storage uses are of a very low intensity and do not require utility connections or the need for potable water. The applicant will only utilize the site during a 6-week window and the site will only be accessed by staff to remove and replace the items being stored on-site. No grading is proposed for the site as it is relatively flat and no grade changes are being proposed.

Additionally, as the storage facility does not serve the public and is only utilized during a short window of time, the applicant is proposing to utilize a portable office building supplied with a potable water tank and grey and black water tanks. United Site Services provides these water and wastewater services as a part of their daily business operations in the Gerlach area.

3. Site Suitability. The site must be physically suitable for the proposed use and for the intensity of development.

The portion of the site proposed for storage use is well suited for development and includes slopes less than 2%. As the proposed uses have a low intensity, the site is suitable for storage.

4. Issuance Not Detrimental. Issuance of the permit may not be significantly detrimental to the public health, safety, or welfare; have a detrimental impact on adjacent properties; or be detrimental to the character of the surrounding area.

No negative impacts are anticipated with the granting of this SUP request. The outdoor storage use without public access is very low intensity and will not generate large amounts of onsite activity. The activity at the site will be limited to 6-week window during the summer. The project location and the use of suitable fencing to screen the outdoor storage area further ensures that negative impacts will not occur. Outdoor storage occurs throughout rural areas of the High Desert Area Plan and is not out of character with other properties in the Gerlach area.

APPENDICES

Community Services Department

Planning and Building

SPECIAL USE PERMIT

SPECIAL USE PERMIT FOR GRADING

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: USS Storage Yard			
Project Description: The proposed project is an SUP to allow for the establishment of Operable Vehicle Storage, Wholesaling, Storage, and Distribution (Heavy) and General Industrial (Heavy) within the General Rural zone per section 110.206.10b of the Washoe County Development Code (High Desert Area Plan). The property will be utilized to store portable sanitation units, restroom trailers, trucks and temporary fencing materials.			
Project Address: County Route 34, 5 miles north of Gerlach			
Project Area (acres or square feet): 7 acres			
Project Location (with point of reference to major cross streets AND area locator): The site is located approximately 5 miles north of Gerlach on the south side of Highway 34.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
071-180-29	360		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Jola G. Mott		Name: Christy Corporation, LTD	
Address: PO Box 193		Address: 1000 Kiley Parkway	
Gerlach, NV	Zip: 89412	Sparks, NV	Zip: 89436
Phone:	Fax:	Phone: 775-502-8552	Fax:
Email: nevadasunset@yahoo.com		Email: Lisa@christynv.com	
Cell:	Other:	Cell: 908-763-6576	Other:
Contact Person: Jola Mott		Contact Person: Lisa Nash	
Applicant/Developer:		Other Persons to be Contacted:	
Name: United Site Services of Nevada, Inc.		Name:	
Address: 118 Flanders Road		Address:	
Westborough, MA	Zip: 01581		Zip:
Phone: 508-948-5840	Fax:	Phone:	Fax:
Email: Christine.wightman@unitedsiteservices.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Christine Wightman		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A Special Use Permit to allow for the establishment of Operable Vehicle Storage, Wholesaling, Storage, and Distribution (Heavy) and General Industrial (Heavy) within the General Rural zone per section 110.206.10b of the Washoe County Development Code (High Desert Area Plan).

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Refer to the attached site plan.

3. What is the intended phasing schedule for the construction and completion of the project?

The project is in existence and phasing is not applicable.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The project area is flat and unconstrained. Refer to the attached report for a detailed analysis.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The operation is in existence.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

The screening of the outdoor storage area ensures visual impacts are mitigated. This is addressed in the attached report.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Refer to the attached report and site plan for this information.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	Septic
b. Electrical Service	Solar or Generators
c. Telephone Service	Cellular Service
d. LPG or Natural Gas Service	Granite Propane
e. Solid Waste Disposal Service	Gerlach GID
f. Cable Television Service	Various Providers
g. Water Service	Well

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	Gerlach Fire
b. Health Care Facility	Renown Regional Medical Center
c. Elementary School	Gerlach
d. Middle School	Gerlach
e. High School	Gerlach
f. Parks	Water Tower Park in Gerlach
g. Library	Washoe County Spanish Springs Branch
h. Citifare Bus Stop	Not Applicable

ATTACHMENTS

**SECONDARY
ENTRANCE
GATE**

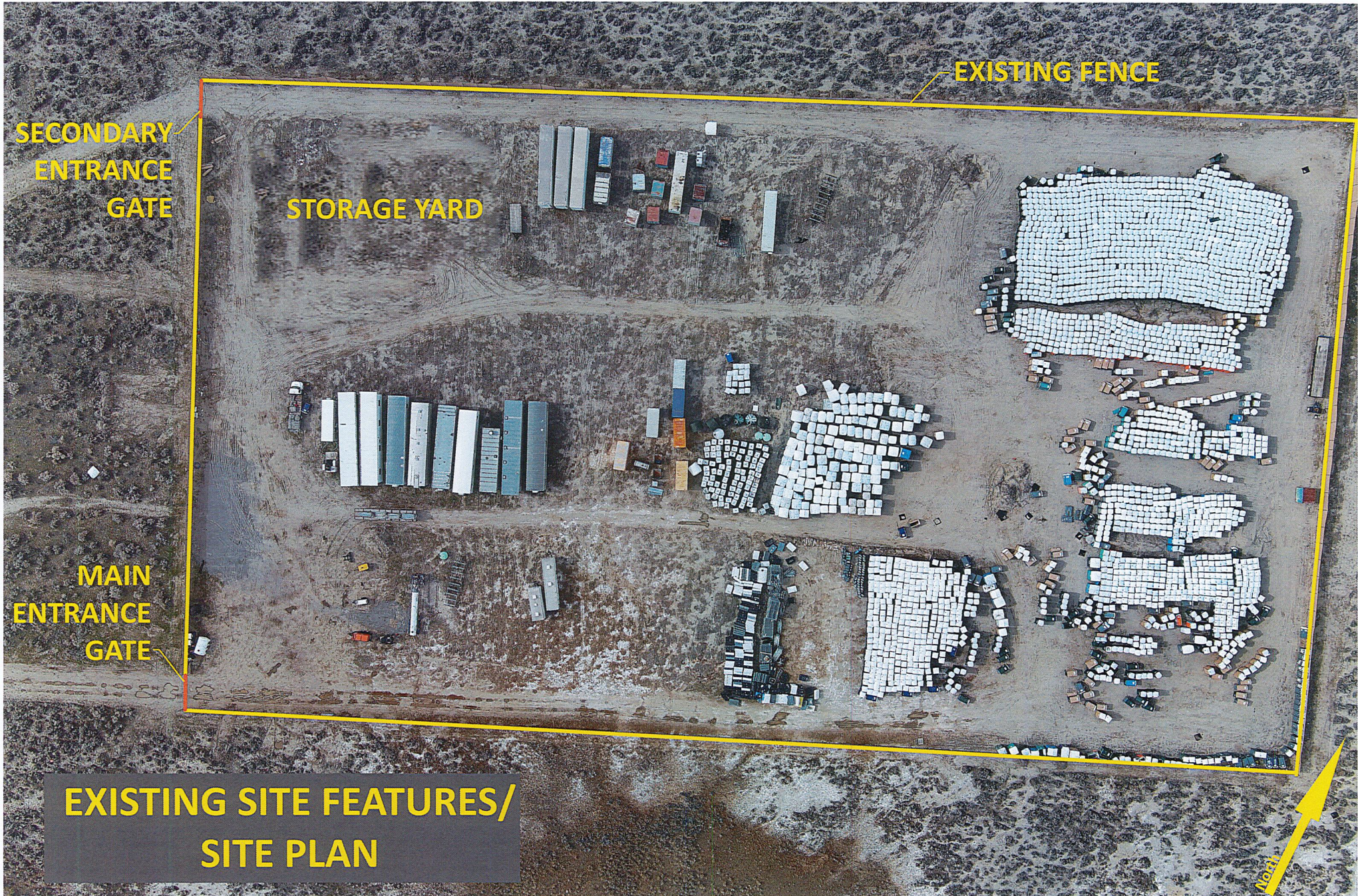
STORAGE YARD

EXISTING FENCE

**MAIN
ENTRANCE
GATE**

**EXISTING SITE FEATURES/
SITE PLAN**

North





May 11, 2023

Roger Pelham
Washoe County Planning & Building Division
1001 E. Ninth Street, Building A
Reno, Nevada 89512

Re: The USS Storage Yard Special Use Permit (WSUP23-0012)

Dear Roger,

The purpose of this letter is to provide the additional information requested and a detailed site plan. Each of the items is listed below with responses in **bold face** type.

- Detailed description of the specific activities related to the use type Automotive and Equipment. Automotive and equipment use type refers to establishments or places of business primarily engaged in automotive-related or heavy equipment sales or services. The following are automotive and equipment use types:
 - Storage of Operable Vehicles. Storage of operable vehicles refers to storage of operable vehicles, recreational vehicles and boat trailers. Typical uses include storage areas within personal storage facilities and storage yards for commercial vehicles.

Specific activities requested: Storage of operable vehicles within a storage yard. The vehicles will consist of commercial pumper trucks that will be winterized and stored for ten months of the year.

- Detailed description of the specific activities related to the use type Wholesaling, Storage and Distribution. Wholesaling, storage and distribution use type refers to establishments or places of business primarily engaged in wholesaling, storage and bulk sale distribution including, but not limited to, open-air handling of material and equipment other than live animals and plants. The following are wholesaling, storage and distribution use types:
 - Heavy. Heavy refers to distribution and handling of materials and equipment. Typical uses include monument sales, stone yards or open storage yards.

Specific activities requested: The site will be an open storage yard. The site will not be open to the public for access and will store items that include portable sanitation units (porto-pots), portable hand washing stations, restroom and kitchen trailers, water, grey and black water holding tanks, and temporary fencing. All equipment and holding tanks will be emptied and sanitized off-site before being returned for storage.

- Detailed description of the specific activities related to the use type General Industrial. General industrial use type refers to the on-site production of goods other than those that are agricultural or extractive in nature, but excludes those uses classified under custom manufacturing and high technology use types. The following are general industrial use types:
 - Heavy. Heavy refers to production processes which should not be located near residential or commercial uses due to the intensive nature of the industrial activity and/or the scale of operation. These uses may be located near other manufacturing uses exhibiting similar characteristics although special control measures may be required for some extremely intensive operations to ensure compatibility with similar industrial uses. Typical uses include motor vehicle assembly, sawmills, textile dyeing, leather tanning, hazardous chemical production, petroleum refining, primary metal processing, storage of manufactured homes and production of explosives or propellants.

Specific activities requested: The site might store portable buildings that sit directly upon the ground. This would specifically address the portable building units that are not on chassis and as such, are not covered under operable vehicle rules and are classified under code as manufactured home storage.

- Revised Site Plan with the requested details.

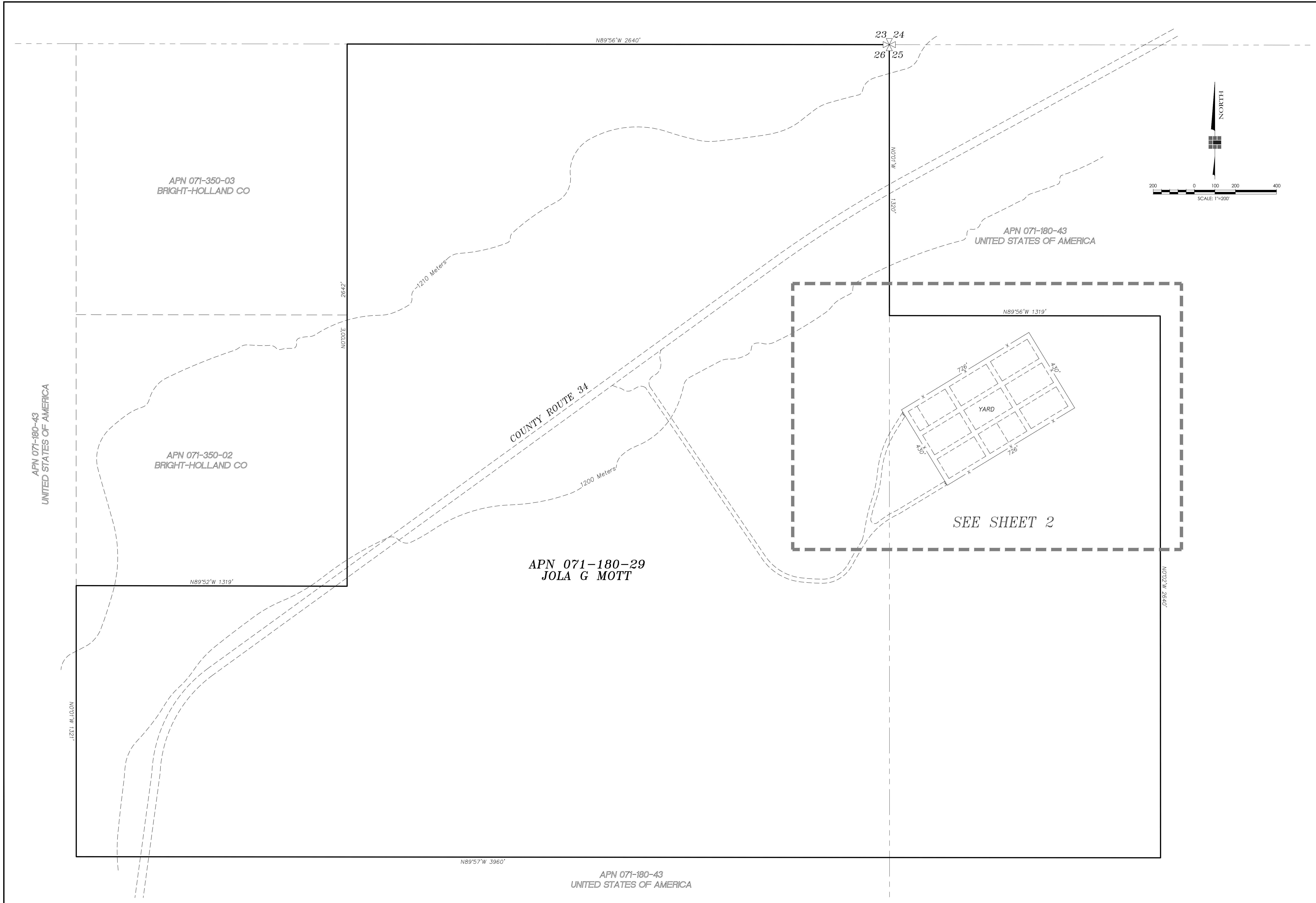
A vicinity plan and preliminary site plan are attached as requested.

We look forward to working with you as the project moves forward. Please do not hesitate to contact me at (908) 763-6576 with any questions or concerns. Thank you.

Sincerely,



Lisa Nash
Planner

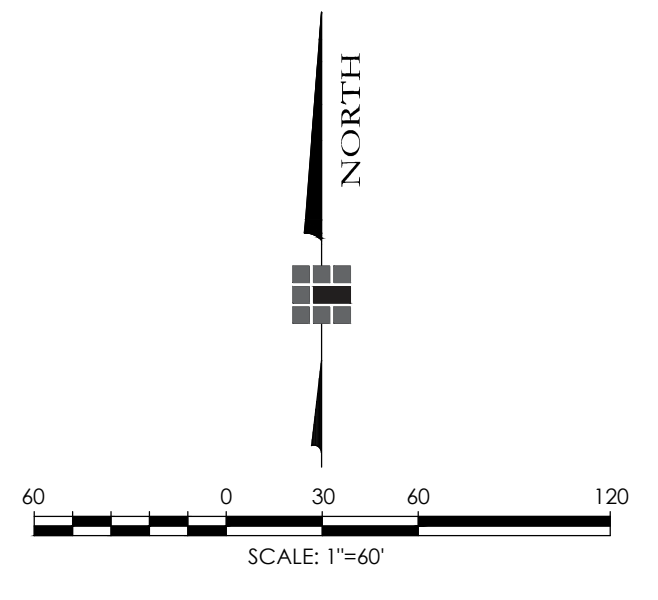


SITUATE IN THE
 EAST 1/2 OF SECTION 26 &
 WEST 1/2 OF SECTION 25,
 T.33N., R.23E., M.D.M.
 WASHOE COUNTY, STATE OF NEVADA

PRELIMINARY PLAN
 FOR
 USS STORAGE YARD
 GERLACH, NEVADA



NOTES:
 -ALL ROADS WILL BE GRAVEL ALL-WEATHER SURFACES. (NO CURB OR GUTTER)
 -PROPOSED IMPROVEMENTS WILL BE IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.



SITUATE IN THE
 EAST 1/2 OF SECTION 26 &
 WEST 1/2 OF SECTION 25,
 T.33N., R.23E., M.D.M.
 WASHOE COUNTY, STATE OF NEVADA

PRELIMINARY PLAN
 FOR
 USS STORAGE YARD
 GERLACH, NEVADA