

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <i>Rios New Resident.</i>			
Project Description: <i>Building New House</i>			
Project Address: <i>205 Pompe Way</i>			
Project Area (acres or square feet): <i>2304 sqft</i>			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <i>Pompe way and Salmon way</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>086-522-32</i>	<i>1.41</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <i>R.C.I Investors</i>		Name:	
Address: <i>11525 Lemmon Dr.</i>		Address:	
<i>Reno NV.</i> Zip: <i>89506</i>		Zip:	
Phone: <i>(775)276-2187</i> Fax:		Phone: Fax:	
Email: <i>riosconcrete21@yahoo.com</i>		Email:	
Cell: <i>(775)276-2187</i> Other:		Cell: Other:	
Contact Person: <i>Jose Rios.</i>		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

1152 sqft.

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

2304 sqft

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

stacco / same color

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

Garage.  
2 cars. / Drive Way 2 cars

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

New House Will help to Keep the property cleaner From Weeds.  
x

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

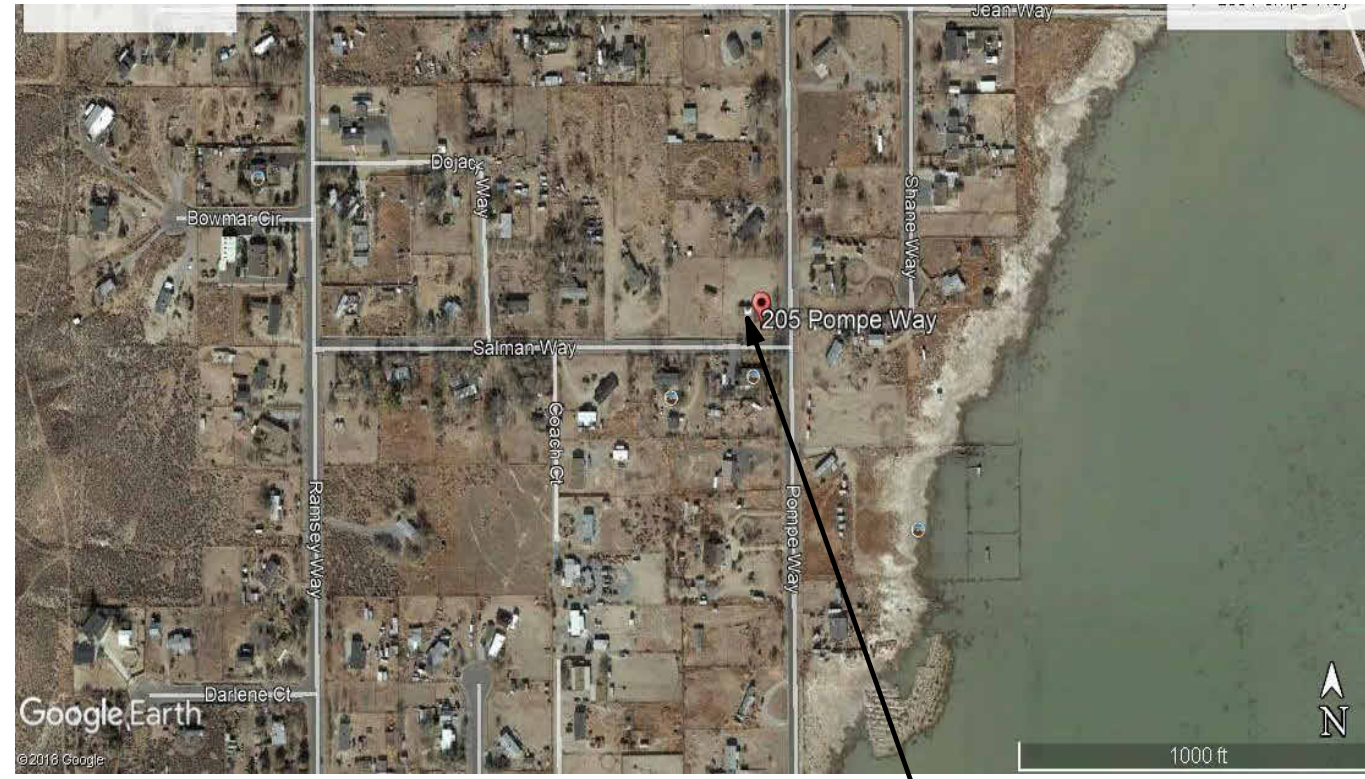
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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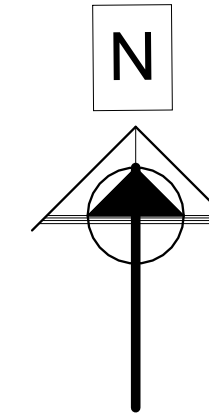
10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	New Septic.
Electrical Service	Nevada Energy	Nevada Energy
Solid Waste Disposal Service	Wastemana	
Water Service	Truckee Meadows	Truckee Meadow



VICINITY MAP

SITE LOCATION



**EARTHWORK SUMMARY:**

NO GRADING, CUT, OR FILL REQUIRED, OWNER TO PERPETUATE NATURAL DRAINAGE.

NOTE: CLEANOUT ARE REQUIRED IN THE BUILDING SEWER WITHIN (2) FEET OF BUILDING FOUNDATION AND NOT TO EXCEED FIFTY (50) FOOT INTERVALS TO THE SEPTIC TANK, OR AS REQUIRED BY HEALTH AUTHORITY.

**CONTRACTOR / BUILDER**

TRUCKEE MEADOWS CONSTRUCTION  
 NV LICENCE: 0022814  
 CONTACT: JOSE RIOS  
 11525 LEMMON DR.  
 RENO, NV 89506  
 PHONE: (775) 276-2187

**GENERAL NOTES**

**OWNER INFORMATION:**

OWNER: RCI INVESTORS  
 11525 LEMMON DR.  
 RENO, NV 89506  
 (775) 276-2187

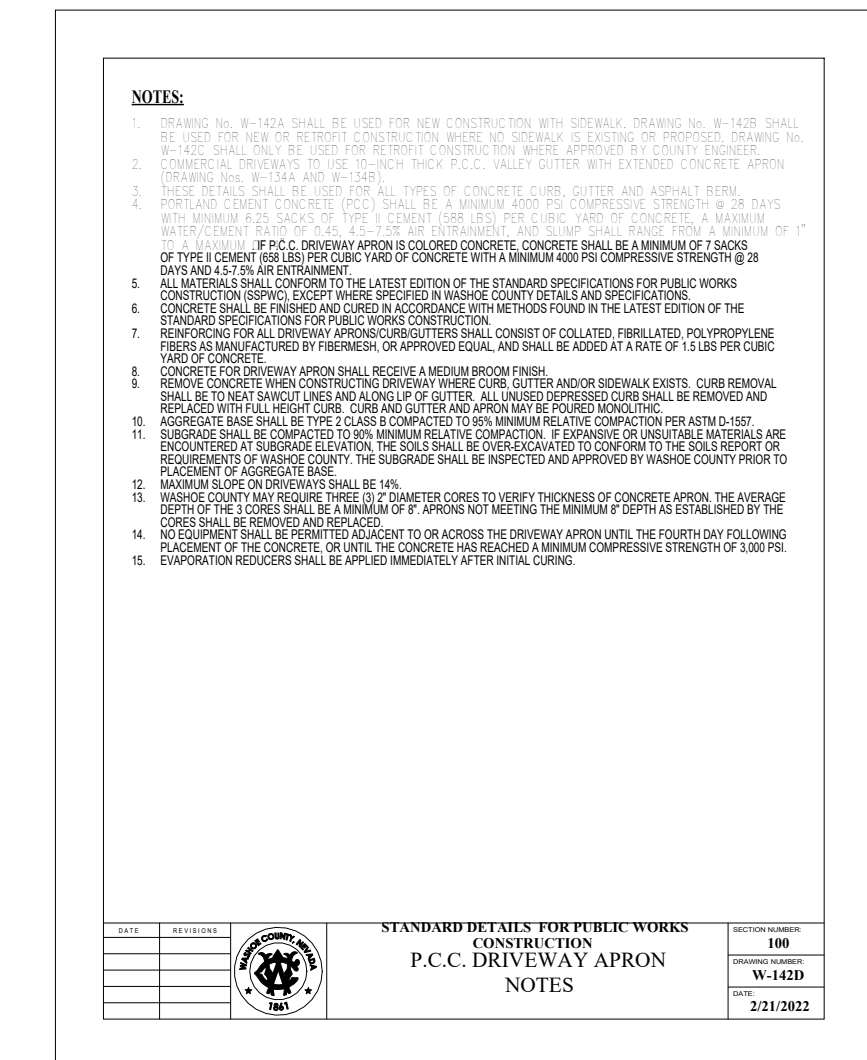
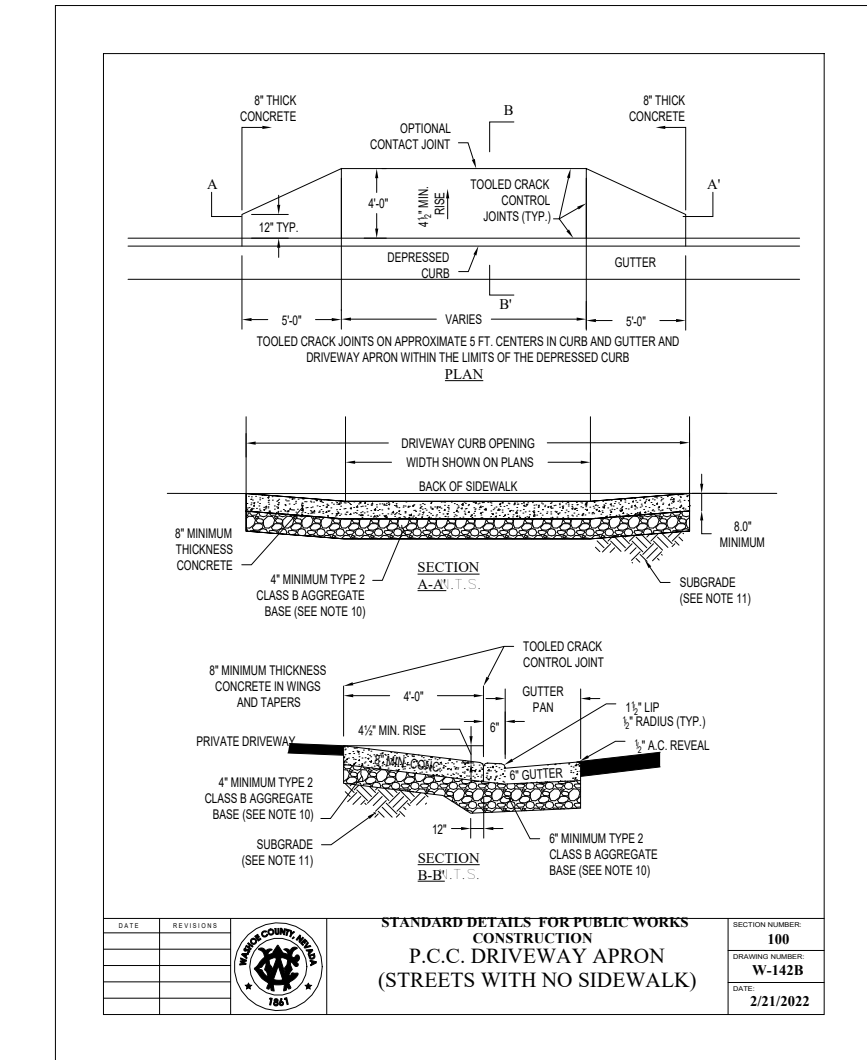
A. P. N. 086-522-32  
 LOT: 4  
 AREA= 61,420 SF = 1.41 ACRES  
 ZONING: LDS  
 FLOOD ZONE: X  
 WATER: MUNICIPAL  
 SEWER: SEPTIC.

SETBACKS:  
 FRONT: 30'  
 SIDE: 12'  
 REAR: 30'

CURRENT CODES:  
 2018 IBC  
 2018 IRC  
 2018 UPC  
 2018 UMC  
 2017 NEC  
 2018 IECC  
 2018 NNCA (NORTHERN NEVADA CODE AMMENDMENTS)  
 2018 NNCA (NORTHERN NEVADA ENERGY CODE AMMENDMENTS)

PROVIDE 5% MIN. DRAINAGE FOR THE FIRST 10' AWAY FROM DEWELLING AND 1% MIN. DRAINAGE THEREAFTER.

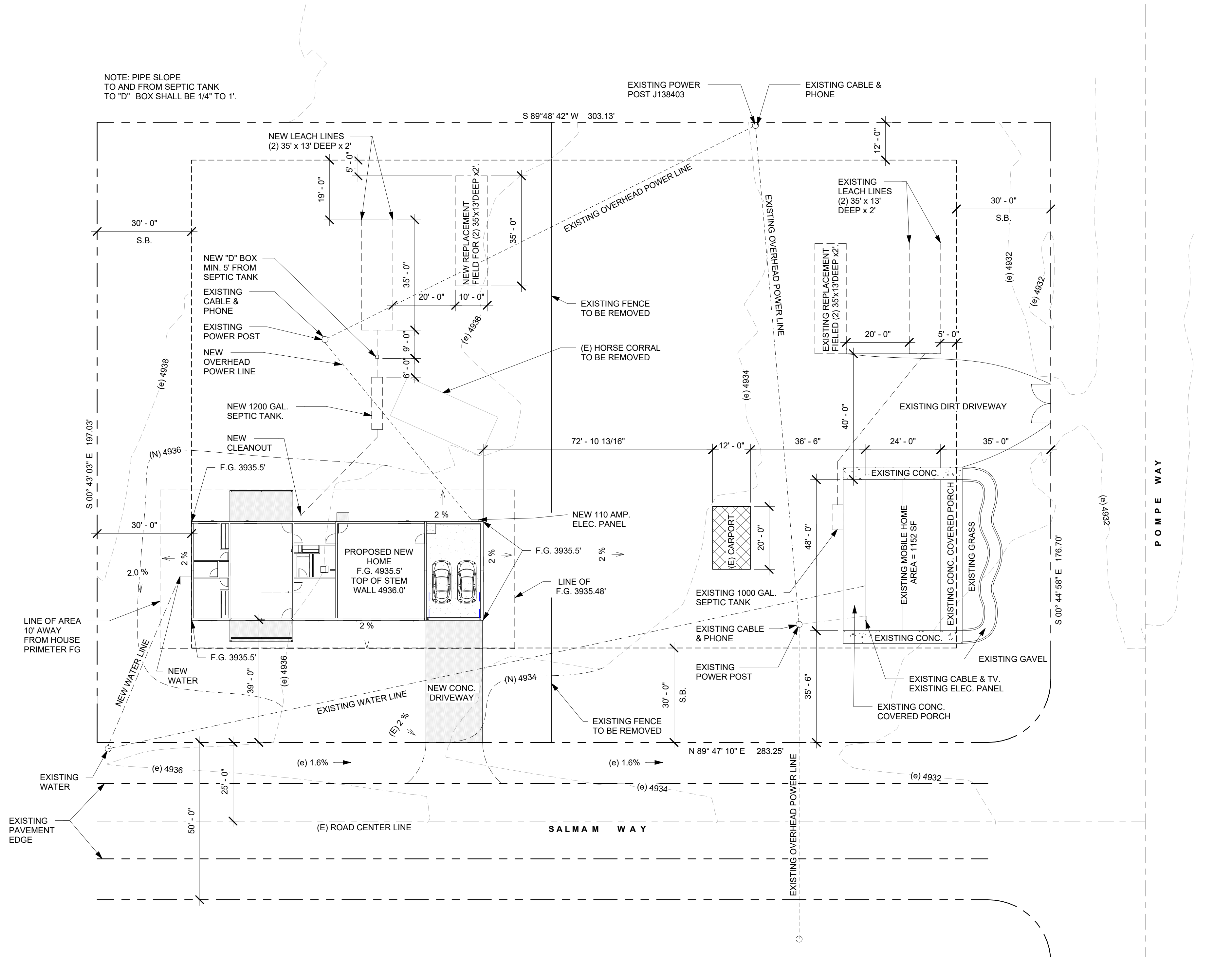
CONTRACTOR OR OWNWNE BUILDER TO VERIFY LOCATION OF ALL UTILITIES, SEPTIC TANK AND WATER LOCATION PRIOR TO CONSTRUCTION.



NOTE: ENCROACHMENT/ EXCAVATION PERMIT SHALL BE OBTAINED FROM ENGINEERING DIVISION PRIOR TO ANY WORK IN THE COUNTY RIGHT-OF-WAY.

NOTE: AN ENCROACHMENT / EXCAVATION AND/OR REVOCABLE OCCUPANCY PERMIT IS REQUIRED PRIOR ANY IMPROVMENT IN THE COUNTY RIGHT-OF-WAY.

NOTE: SEWER: EXISTING AND NEW IS ON SEPTIC SYSTEM.  
 POWER IS PROVIDED BY NEVADA ENERGY.  
 WATER IS MUNICIPAL BY TRUCKEE MEADOWS AUTHORITY  
 NO GAS SERVICE.



NOTE: PIPE SLOPE TO AND FROM SEPTIC TANK TO "D" BOX SHALL BE 1/4" TO 1'.

S 00° 43' 03" E 197.03'

S 00° 44' 58" E 176.70'

N 89° 47' 10" E 283.25'

S 89° 48' 42" W 303.13'

1 SITE PLAN  
 1" = 20'-0"

SHEET NAME:

**SITE PLAN**

REVISION SCHEDULE

No.	Description	Date
1	Revision 1	Date 1

PROJECT NAME AND ADDRESS:

**"RIOS NEW RESIDENCE**

205 POMPEY WAY,  
 WASHOE CO. NV 89506

PROJECT No.

SCALE: AS NOTED

DATE: 11/06/2023

Printed date: 11/6/2023 12:45:30 PM

SHEET:

**A1.1**

**GENERAL NOTES**

**OWNER INFORMATION:**

RCI INVESTORS  
 PHONE: 775-276-2187  
 ADDRESS:  
 11525 LEMON DR.  
 RENO NV 89506

CONTACT:  
 JOSE RIOS  
 11525 LEMON DR.  
 RENO, NV 89521  
 PH: 775-276-2187

NOTES:  
 PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER LISTING AND MFG. INSTRUCT. AND PER 2018 I.R.C. SECTIONS M1801 THRU M1701 VENTING PER 2018 I.R.C. M1501 THRU M1804.3  
 MEDICINE CABINETS 14 1/2" x 24" - PLACE 48" AND 72" FROM F.F. - 3" FROM WALL.  
 ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS NOTED OTHERWISE.  
 MEASUREMENTS ARE TO STUD FACE U.N.O.  
 JOINTS & PENETRATIONS SHALL BE CALKED & SEALED - PROVIDE WEATHER STRIPPING AROUND DOORS AND WINDOWS.

ALL WORK AND MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2018 I.R.C. AND ALL THE LOCAL GOVERNING CODES, REGULATIONS, AND ORDINANCES.  
 ALL SOLDERERS & FLUXES SHALL BE MANUF. TO APPROVED STANDARDS. SOLDERERS & FLUXES WITH A LEAD CONTENT WHICH EXCEEDS TWO TENTHS (0.20) OF ONE PERCENT (1%) ARE PROHIBITED IN PIPING SYSTEMS USED TO CONVEY POTABLE WATER.

NOTES:  
 SAFETY GLAZING MUST BE USED IN ALL HAZARDOUS AREAS PER 2018 I.R.C. R308 W.C. AND FIXTURES  
 PROVIDE AT LEAST ONE EMERGENCY EGRESS MEET THE FOLLOWING DIMENSIONS:  
 2018 I.R.C. R310 & R311  
 WINDOW IN ROOMS USED FOR SLEEPING WHICH MIN. 5.7 SQ. FT. OF TOTAL AREA  
 MIN. CLEAR OPENING HEIGHT OF 24"  
 MIN. CLEAR OPENING WIDTH OF 20"  
 MAX. SILL HEIGHT FROM F.F. OF 44"  
 PROVIDE LANDINGS PER 2018 I.R.C. R311.3  
 MINIMUM DIMENSION: 36" x 36", MEASURED IN THE DIRECTION OF TRAVEL. SLOPE NOT TO EXCEED 2% (1/4" TO 12")  
 PROVIDE COMBUSTION AIR PER 2018 I.R.C. G2407  
 PROVIDE LIGHT AND VENTILATION PER 2018 I.R.C. R305

NEW ROOM SCHEDULE		
Name	Number	Area
LIVING ROOM	01	348 SF
MASTER BEDROOM	02	167 SF
BEDROOM # 2	03	116 SF
CL	04	20 SF
BATH 2	05	37 SF
HALL	06	16 SF
BEDROOM # 3	07	107 SF
CL	08	19 SF
KITCHEN AND DINING ROOM	09	249 SF
DINING ROOM	10	85 SF
LAUNDRY ROOM	11	6 SF
PANTRY	12	12 SF
W.I.C.	13	44 SF
MASTER BATH	14	64 SF
GAME ROOM	15	828 SF
2 CAR GARAGE	16	518 SF
GRAND TOTAL:	16	2636 SF

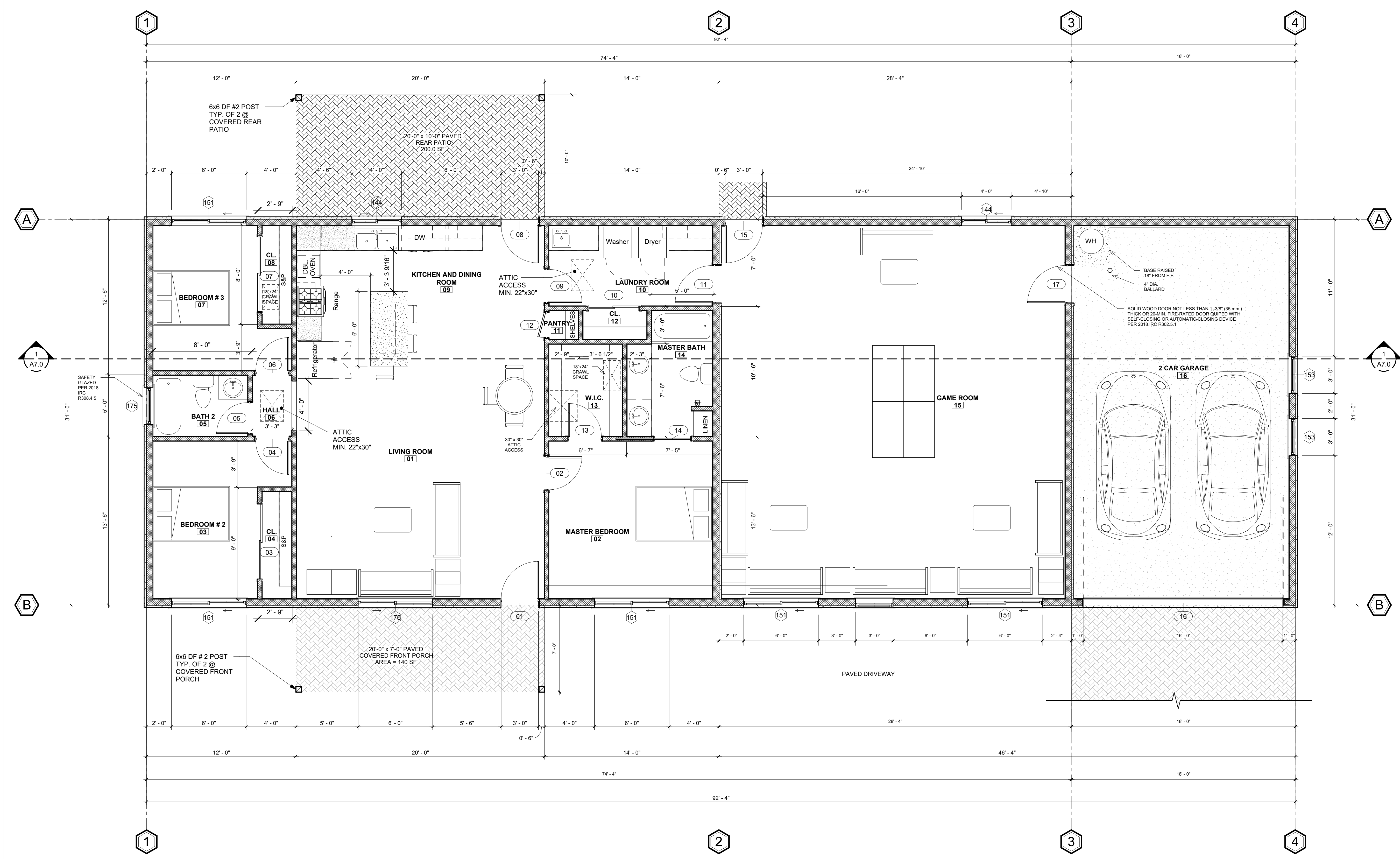
DOOR SCHEDULE		
Width	Height	Mark
3'-0"	6'-8"	01
2'-8"	6'-8"	02
6'-0"	6'-8"	03
2'-8"	6'-8"	04
2'-6"	6'-8"	05
2'-8"	6'-8"	06
6'-0"	6'-8"	07
3'-0"	6'-8"	08
2'-8"	6'-8"	09
4'-0"	6'-8"	10
3'-0"	6'-8"	11
2'-0"	6'-8"	12
2'-8"	6'-8"	13
3'-0"	7'-0"	14
3'-0"	6'-8"	15
16'-0"	7'-0"	16
3'-0"	6'-8"	17
Grand total: 17		

NEW WINDOW SCHEDULE				
Width	Height	Type Mark	Family	
4'-0"	3'-0"	144	Window-Sliding-Double	
4'-0"	3'-0"	144	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
6'-0"	5'-0"	151	Window-Sliding-Double	
3'-0"	4'-0"	153	Window-Single-Hung	
3'-0"	5'-0"	161	Window-Single-Hung	
3'-0"	3'-0"	175	Window-Single-Hung	
6'-0"	6'-0"	176	Window-Sliding-Double	
Grand total: 12				

AREAS:	
HOUSE GROSS AREA =	2304.0 SF
GARAGE =	558.0 SF
TOTAL AREA =	2862.0 SF
HEATED AREA =	2209.0 SF

CONTRACTOR:  
 TRUCKEE MEADOWS CONSTRUCTION INC.  
 LICENSE # : 0050249  
 5945 LOS ALTOS PKW STE 103 RENO, NV 89436  
 CONTACT:  
 JOSE RIOS  
 PH: 775-276-2187

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**1 FLOOR PLAN**  
 1/4" = 1'-0"

SHEET NAME:  
**FLOOR PLAN**

No.	REVISION OR ISSUE	DATE:

PROJECT NAME AND ADDRESS:  
**RIOS NEW RESIDENCE**

12025 CUNNINGHAM WAY  
 RENO, NV 89506

PROJECT No.  
 SCALE: AS NOTED  
 DATE: 10-28-2023  
 Printed date: 10/28/2023 8:51:43 PM

SHEET:  
**A3.0**

**GENERAL NOTES**

**OWNER/BUILDER INFORMATION:**

RCI INVESTORS  
PHONE: 775-276-2187  
ADDRESS:  
11525 LEMON DR.  
RENO NV 89506

CONTACT:  
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11525 LEMON DR.  
RENO, NV 89521  
PH: 775-276-2187

SHEET NAME:

**FRONT END  
REAR  
ELEVATION  
PLAN**

No.	REVISION OR ISSUE	DATE:

PROJECT NAME AND ADDRESS:

**RIOS NEW  
RESIDENCE**

12025 CUNNINGHAM WAY  
RENO, NV 89506

PROJECT No.

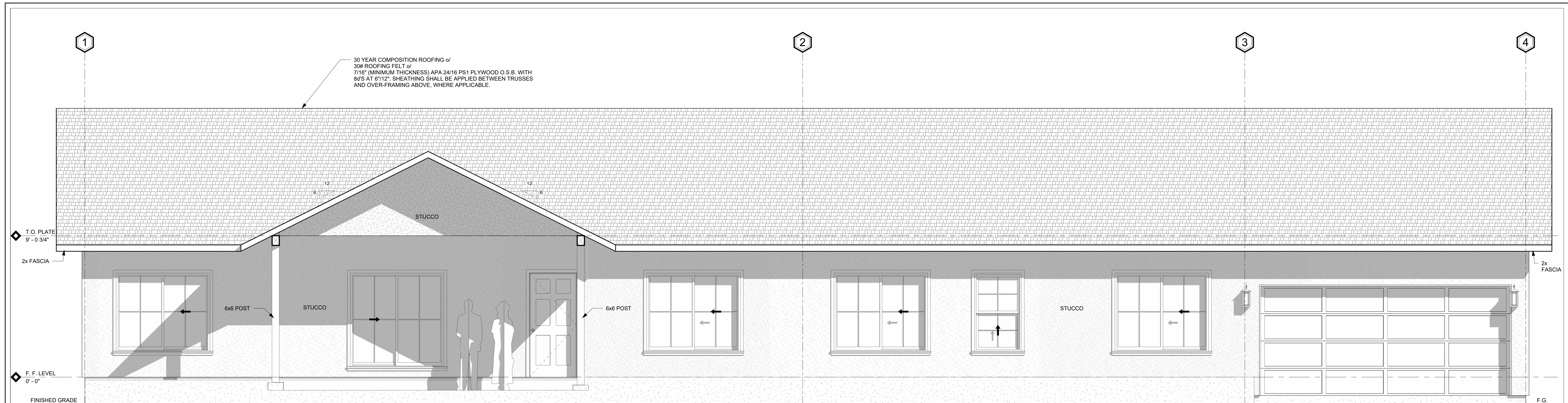
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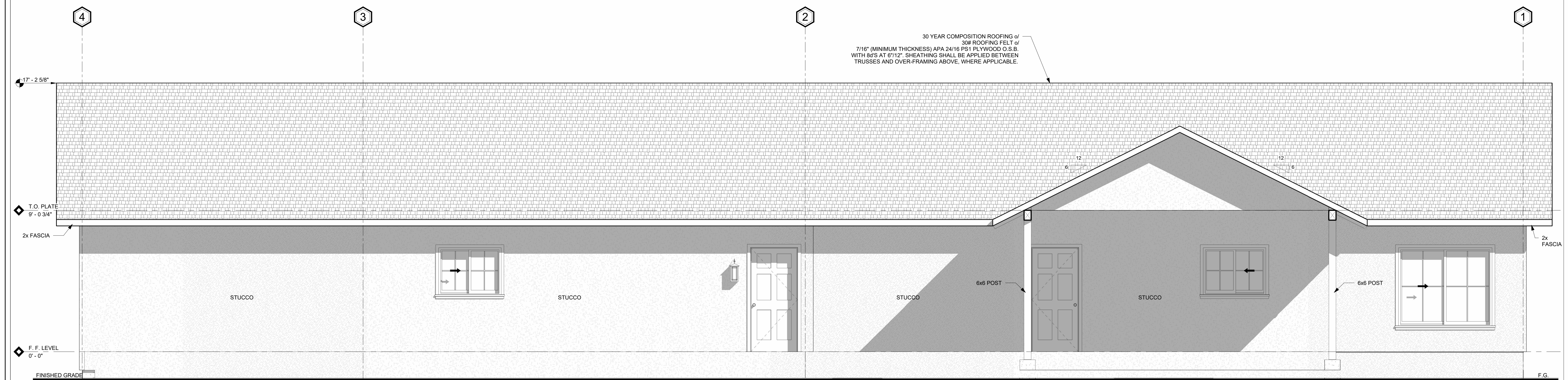
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SHEET:

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**1 FRONT ELEVATION**  
3/8" = 1'-0"



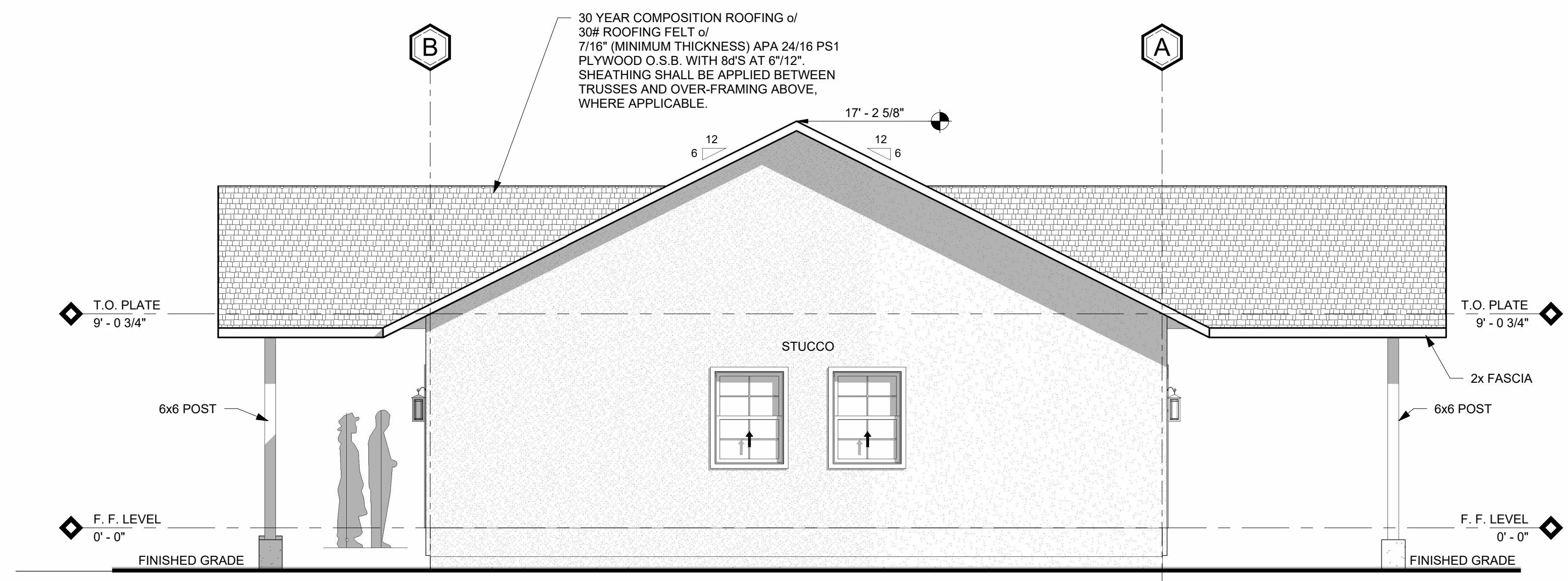
**2 REAR ELEVATION**  
3/8" = 1'-0"

NOTES:  
ROOF SHALL BE CLASS C PER 506.2 OF THE 2018 IBC.  
GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER PER 2018 IBC 504.4

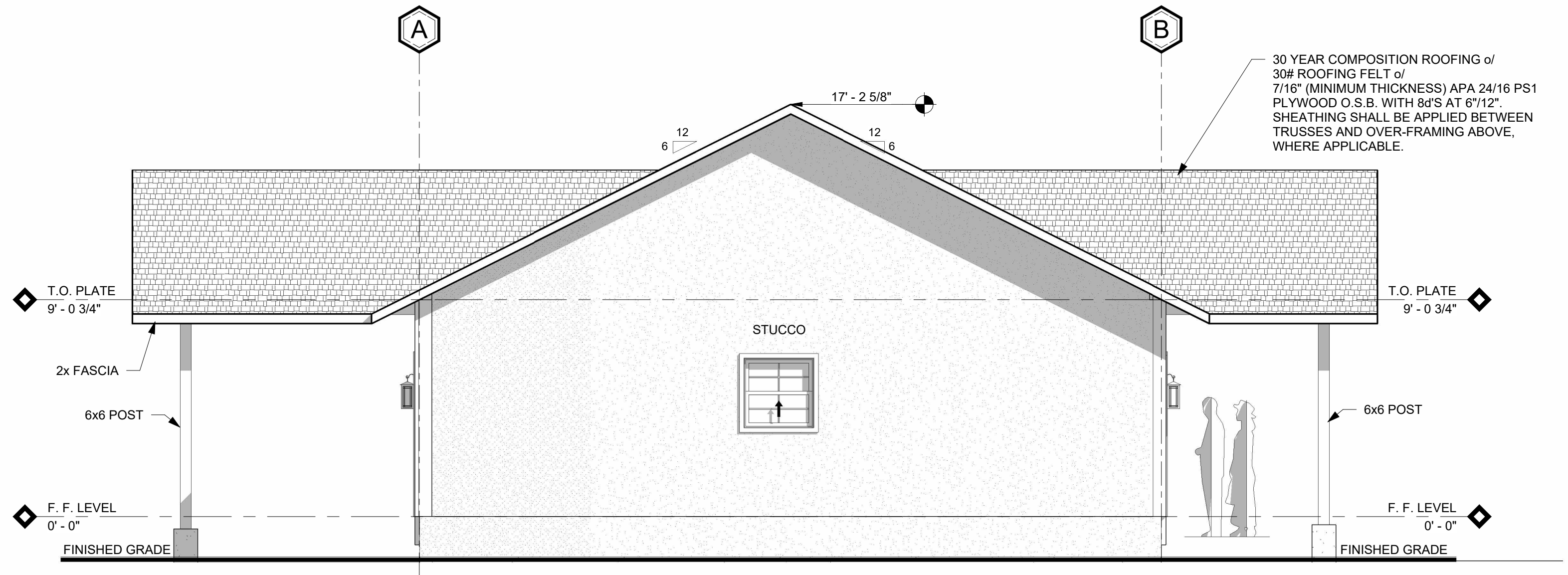
CONTRACTOR:  
TRUCKEE MEADOWS CONSTRUCTION INC.  
LICENSE # 0050248  
5945 LOS ALTOS PKW STE 103 RENO, NV 89436

CONTACT:  
JOSE RIOS  
PH: 775-276-2187

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



1 RIGHT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"

NOTES:  
ROOF SHALL BE CLASS C PER 506.2 OF THE 2018 IBC.

GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER PER 2018 IBC 504.4

NOTES NEW STRUCTURE:

STUCCO:  
SHALL BE TWO COAT STUCCO FINISH of PAPER BACKED METAL LATH, OMEGA OR EQUAL. INSTALL PER MANUFACTURE of TYVEK STUCCORAP & PAPER BACKED METAL LATH. FINISH PER BUILDER.  
TWO COAT STUCCO FINISH OVER SELF FURRING METAL LATH TYPICAL AT ALL SOFFITS, U.N.O.  
INSTALL PER MANUFACTURER. STUCCO EXTERIOR CONTROL JOINTS ARE TO BE PLACED ABOVE AND BELOW WINDOWS AND ABOVE ALL DOOR VERT. CONTROL JOINTS SHALL ALSO BE PLACED IN EXTERIOR WALLS SO AS TO PROVIDE A PLASTER PANEL NO MORE THAN 10'-0" IN ANY DIRECTION. USE "J" WEEP w/ HOLES TYP 4" ABOVE GRADE AND 2" ABOVE PAVING.

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Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**GENERAL NOTES**

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PHONE: 775-276-2187  
ADDRESS:  
11525 LEMON DR.  
RENO NV 89506

CONTACT:  
JOSE RIOS  
11525 LEMON DR.  
RENO, NV 89521  
PH: 775-276-2187

**SHEET NAME:**

**RIGHT AND LEFT  
ELEVATION  
PLAN**

**REVISION SCHEDULE**

No.	Description	Date

**PROJECT NAME AND ADDRESS:**

**RIOS NEW  
RESIDENCE**

12025 CUNNINGHAM WAY  
RENO, NV 89506

PROJECT No.  
SCALE: AS NOTED  
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**SHEET:**

**A6.1**