

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Detached Accessory dwelling for Sweden			
Project Description: D.A.D of 940 sq. ft. with a main dwelling of 1923 sq. ft.			
Project Address: 445 Utah St., Reno, NV 89506			
Project Area (acres or square feet): 2 Acres			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
08-287-04	2		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Michael Sweden		Name: Colin Pears Const.	
Address: 445 Utah St.		Address: 3690 Ranch Crest Dr.	
Reno, NV	Zip: 89506	Reno, NV	Zip: 89509
Phone: 775.691.6783	Fax:	Phone: 775.691.7444	Fax:
Email: fleetmanager@esisecurity.us		Email: colin@cpcnevada.com	
Cell: 775.691.6783	Other:	Cell: 775.691.7444	Other:
Contact Person:		Contact Person: Colin Pears	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Michael Sweden		Name:	
Address: 445 Utah St.		Address:	
Reno, NV	Zip: 89506		Zip:
Phone: 775.691.6783	Fax:	Phone:	Fax:
Email: fleetmanager@esisecurity.us		Email:	
Cell: 775.691.6783	Other:	Cell:	Other:
Contact Person: Colin Pears		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

1923[#]

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

940[#]

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

same exterior finish materials

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

3

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

shrouded exterior lights

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	New septic
Electrical Service	NV energy	NV energy
Solid Waste Disposal Service	Waterco	Waterco
Water Service	TMWA	TMWA

Property Owner Affidavit

Applicant Name: Michael A Sweden

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Michael A Sweden
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 08028704

Printed Name Michael A. Sweden

Signed Michael A. Sweden

Address 445 Utah St.
Reno NV 89506

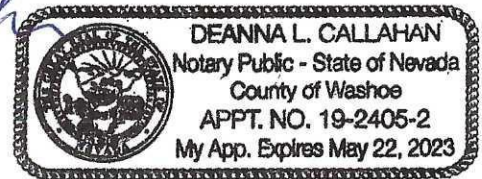
Subscribed and sworn to before me this 16 day of August, 2019.

State of Nevada
County of Washoe

Notary Public in and for said county and state

My commission expires: 5/22/2023

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 08028704
 AIN:

Balance Good Through:	08/28/2019
Current Year Balance:	\$1,238.10
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$1,238.10

AUTO
 :895062:
 MICHAEL A SWEDEN
 445 UTAH ST
 RENO NV 89506

Description:

Situs: 445 UTAH ST
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
08028704	2019	2019081542	1	08/19/2019	412.71	0.00	0.00	412.71	0.00
08028704	2019		2	10/07/2019	412.70	0.00	0.00	0.00	412.70
08028704	2019		3	01/06/2020	412.70	0.00	0.00	0.00	412.70
08028704	2019		4	03/02/2020	412.70	0.00	0.00	0.00	412.70
Current Year Totals					1,650.81	0.00	0.00	412.71	1,238.10

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Permit # _____



Washoe County

Department of Building & Safety

1001 E. Ninth Street
P.O. Box 11130
Reno, NV 89520-0027
Phone (775) 328-2020



FAX (775) 328-6132 or FAX (775) 325-8016
www.washoecounty.us/bldgsafety

RESIDENTIAL/REMODEL

BUILDING PERMIT APPLICATION

Parcel Number: _____ Address: <u>445 UTAH ST</u>	
Unit No. _____ <u>Reno NV 89506</u>	
Owner Information:	Owner/Builder Permit? <input type="radio"/> Yes <input checked="" type="radio"/> No
Name: <u>Michael & Anna Sweden</u>	Phone No: <u>775 830 6534</u>
Address: <u>445 UTAH ST RENO NV 89506</u>	
Contractor Information:	
General Contractor: <u>Colin Pears Const</u>	Contact Name: <u>Colin</u>
Address: <u>3650 Ranch Crest Dr Reno NV 89509</u>	
Phone: <u>775 691 7444</u>	Fax: _____
Nevada License No.: <u>50543</u>	County Business License No.: _____
Design Professional Information:	
Architect's Name: <u>Contractor</u>	Phone No.: _____
Email: _____	Fax No.: _____
Engineer's Name: _____	Phone: _____
Email: _____	Fax No.: _____
Person to contact regarding the permit:	
Name: <u>Colin Pears</u>	Phone No.: <u>775 691 7444</u>
Email: <u>colin@cpcnevada.com</u>	Fax No.: <u>775 786 2114</u>

Permit #

Project Information:

(Complete Applicable Items)

Contract Price: 140 000⁰⁰
 Total Project Sq. Footage: _____
 New Living Area Sq. Footage: _____
 Remodel Sq. Footage: _____
 Current Living Area Sq. Footage: _____
 New Garage Sq. Footage: _____
 Current Garage Sq. Footage: _____
 New Covered Deck and Porch Sq. Footage: _____
 New Deck and Porch Sq. Footage: _____
 Patio Cover or Sunroom Sq. Footage: _____
 Shed Sq. Footage: _____
 Fence Lineal Footage: _____


Water Well: _____
 Septic System: _____
 Architectural Committee _____

Yes No
 Yes No
 Yes No

Description of Work:

Remodel Mother In-law quarters

Applicant (print) Colin Pears Date: _____

Signature 

FOR OFFICE USE ONLY

RTC:

New Single Family Home Accessory Dwelling (second kitchen on site) N/A

Park Tax Determination:

New Dwelling on Vacant Lot Replace Existing Dwelling Built Prior To 1974 N/A

Building Code Information:

Edition of Code: _____ Building Code used: _____

Type of Construction: Wood Framing ~ Steel Framing Occupancy Use _____

Occupancy Group: Single Family Home ~ Townhouse ~ Duplex



2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
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Above-Grade Wall 0.00

Below-Grade Wall 0.00

Floor 8.00

Ceiling / Roof 0.00

Ductwork (unconditioned spaces): _____

Glass & Door Rating	U-Factor	SHGC
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Window 0.30

Door

Heating & Cooling Equipment	Efficiency
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Heating System: _____

Cooling System: _____

Water Heater: _____

Name: _____ **Date:** _____

Comments



Generated by REScheck-Web Software Compliance Certificate

Project Pears Sweden Remodel

Energy Code: **2018 IECC**
Location: **Reno, Nevada**
Construction Type: **Single-family**
Project Type: **Alteration**
Orientation: **Bldg. faces 180 deg. from North**
Climate Zone: **5 (5674 HDD)**
Permit Date:
Permit Number:

Construction Site:
445 Utah Street
Reno, NV 89503

Owner/Agent:
Colin Pears

Designer/Contractor:
Gordon Northan
ZEPHYR architecture
604 Putnam Drive, NV
Reno, NV 89503
gwnorthan738@gmail.com

Compliance: Passes using prescriptive requirements for alteration projects

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat Ceiling or Scissor Truss Exemption: Framing cavity filled with insulation	---	---	---	---	---
Wall: Wood Frame, 16" o.c. Orientation: Unspecified Exemption: Framing cavity filled with insulation	---	---	---	---	---
Floor: Slab-On-Grade (Unheated) Insulation depth: 4.0'	134		8.0	0.648	87
Window: Vinyl Frame Orientation: Unspecified	90			0.300	27

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Signature

Date

Project Notes:

Remodel of an existing 2 brm detached accessory dwelling



Inspection Checklist

Energy Code: 2018 IECC





Requirements: 63.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] ¹	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] ¹ 	Slab edge insulation R-value.	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<i>See the Envelope Assemblies table for values.</i>
402.1.2 [FO3] ¹ 	Slab edge insulation depth/length.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<i>See the Envelope Assemblies table for values.</i>
303.2.1 [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U- _____	U- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Ducts located completely inside the building envelope.
403.3.2 [FR13] ¹	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R- _____	R- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.4.1 [FR24] ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.5.3 [FR18] ²	Hot water pipes are insulated to ≥R-3.	R- _____	R- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ²	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R- _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<i>See the Envelope Assemblies table for values.</i>
303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<i>See the Envelope Assemblies table for values.</i>
303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [FI3] ¹	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [FI17] ¹	Blower door test @ 50 Pa. ≤5 ach in Climate Zones 1-2, and ≤3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [FI27] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: All ducts and air handlers are located within conditioned space.
403.3.4 [FI4] ¹	Duct tightness test result of ≤4 cfm/100 ft ² across the system or ≤3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: All ducts and air handlers are located within conditioned space.
403.3.2.1 [FI24] ¹	Air handler leakage designated by manufacturer at ≤2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.1.1 [FI9] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1 [FI11] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.2 [FI30] ²	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to ≤ 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
404.1 [FI6] ¹	90% or more of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
401.3 [FI7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [FI18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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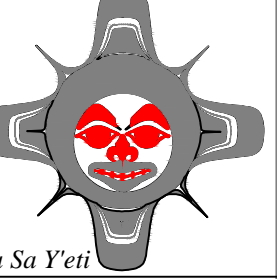
SWEDEN RESIDENCE ACCESSORY DWELLING

445 Utah Street, Washoe County, NV 89506 APN 080-287-04

REVISIONS

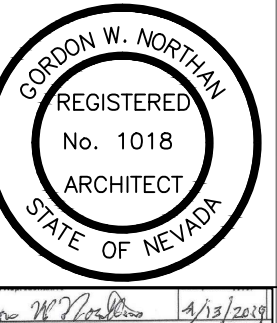
TITLE AND SITE PLAN

ZEPHYR
architecture



604 Putnam Drive
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SWEDEN ACCESSORY DWELLING
445 Utah Street,
Michael A. Sweden
445 Utah Street, Washoe County, NV 89506
APN 080-287-04

Scale 1"=20'-0"
Rev.
Date 7/26/2019
File No. pears sweden a00
Drawing Identity

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of

PROJECT DATA

Project Owner: MICHAEL A. SWEDEN, 445 Utah Street,
Washoe County NV 89506, (775)
Project Address: 445 Utah Street, Washoe County, NV 89506
APN: 080-287-04; Assessor Map No. 080-28
Subdivision: Heppner Subdivision 1 (#559), Lot 33
Project site elevation: 4,928 ft.
Occupancy type: "R-3"
Zone: LDS
Flood Zone: X
Fire Hazard Zone: Moderate (FEMA FIRM PANEL 32031C2850G)
Utilities: water well, sewer septic, public utility electric services
Construction type: Type VB
Codes: International Residential Code (IRC) 2018 ed.

PROJECT DESCRIPTION:

Remodel of an existing single story, wood frame, two bedroom, one bath residence with an area of about 1,200 sq. ft. Interior remodeling includes demolition of existing partitions, construction of new wood frame partitions and incidental electrical and HVAC system modifications. Scope of Work includes wood carpentry, gypsum board wall finish, paint, doors and frames, windows, insulation. No other building or site work is included. No grading is required.

GENERAL NOTES:

The intent of the drawings and specifications is to show the Work of this project in compliance with the International Residential Building Code (IRC), 2018 edition. The Contractor shall not knowingly install or construct Work which violates, or may violate, these standards and regulatory conditions.

Changes to the Work of this project shall be made only by written directives such as Field Directives or Change Orders prepared and issued by the Architect.

The Contractor is responsible for administering the site conditions and the performance of the Work in compliance with industry safety standards and environmental protective standards as contained in the Federal EPA and local agencies. In the event of an emergency which endangers life and/or property the Contractor may act in the defense of life and property without prior notification and approval of the Architect.

The Contractor shall provide access to the Work during ordinary work hours for the inspection and testing activities and personnel of the owner, the Architect and governing public agency personnel.

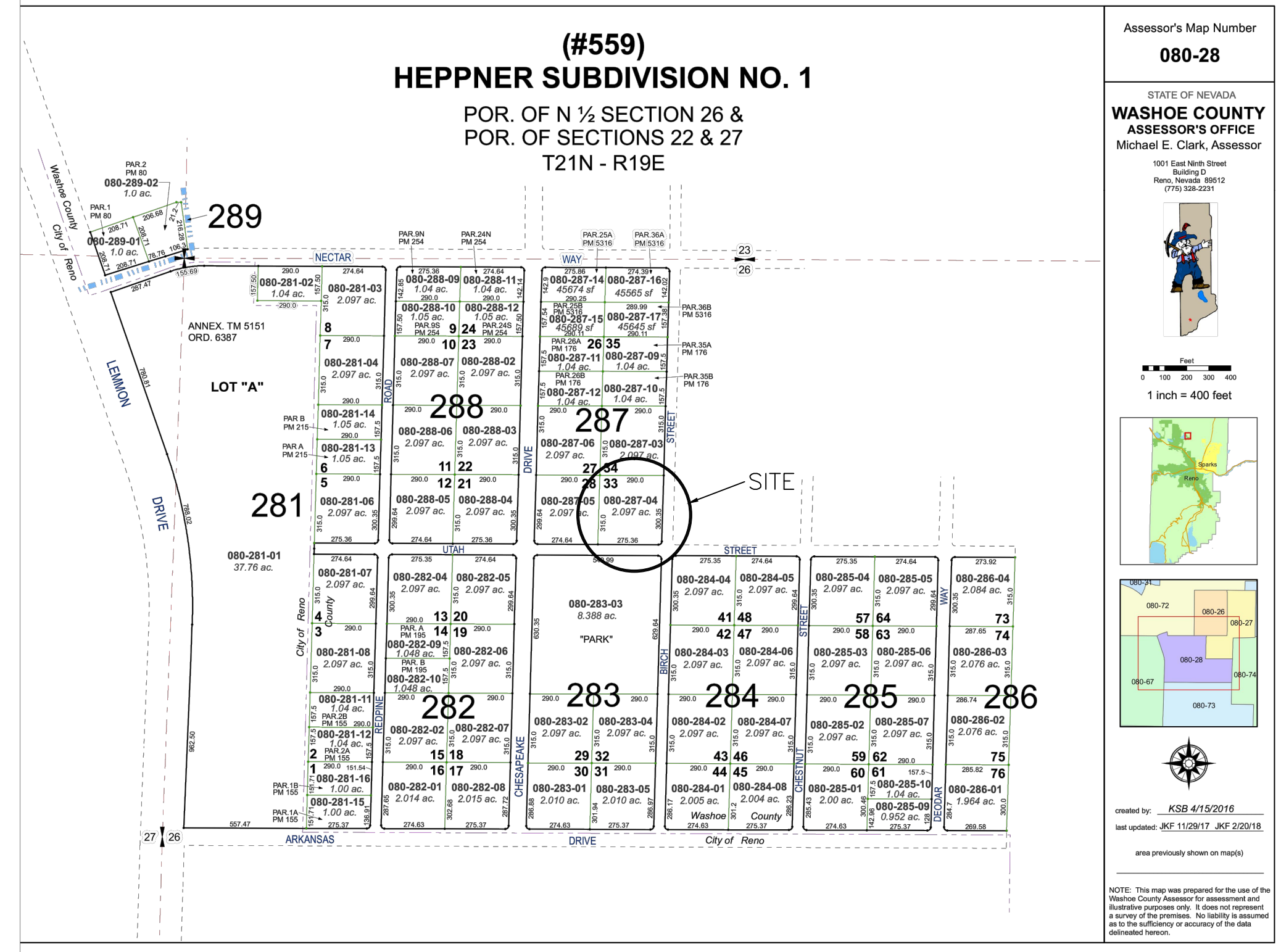
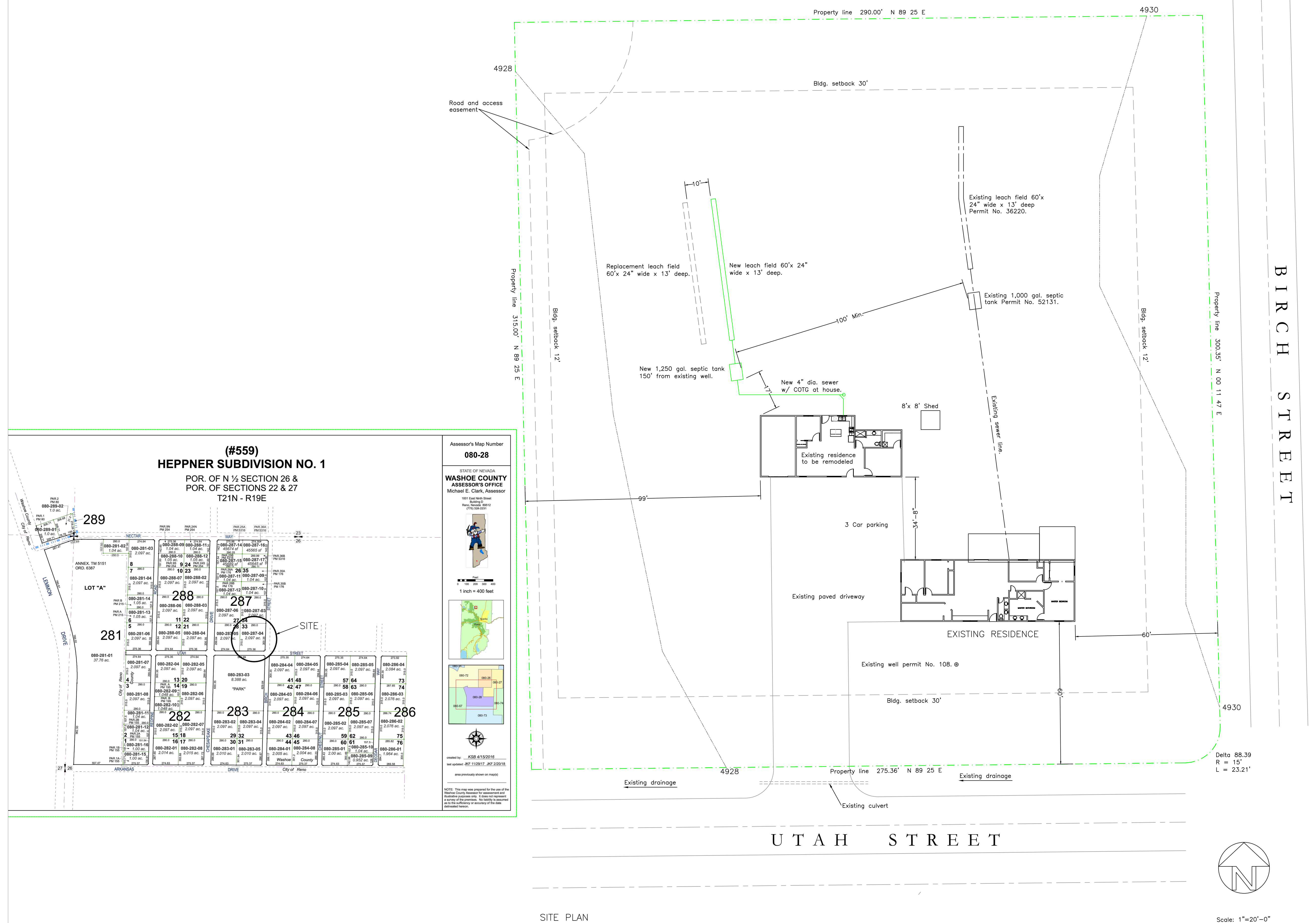
Workmanship shall meet or exceed the accepted industry standards as defined by the various trades and no allowance shall be made for lack of skill or experience. All installed materials and equipment shall be new and in compliance with the specified standards. The Contractor shall provide weather protective measures during the course of the Work and shall provide project security against vandalism and theft.

Waste materials shall be regularly removed from the site and disposed in a legal manner in compliance with Federal EPA and local governing agency requirements. Trash shall be kept in an approved manner until removal.

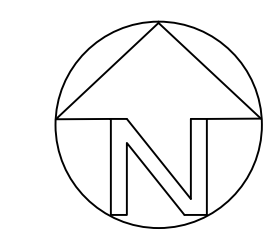
The Contractor shall provide fire prevention practices and fire suppression systems and devices as required by governing public agencies and the project insurers.

SCHEDULE OF DRAWINGS

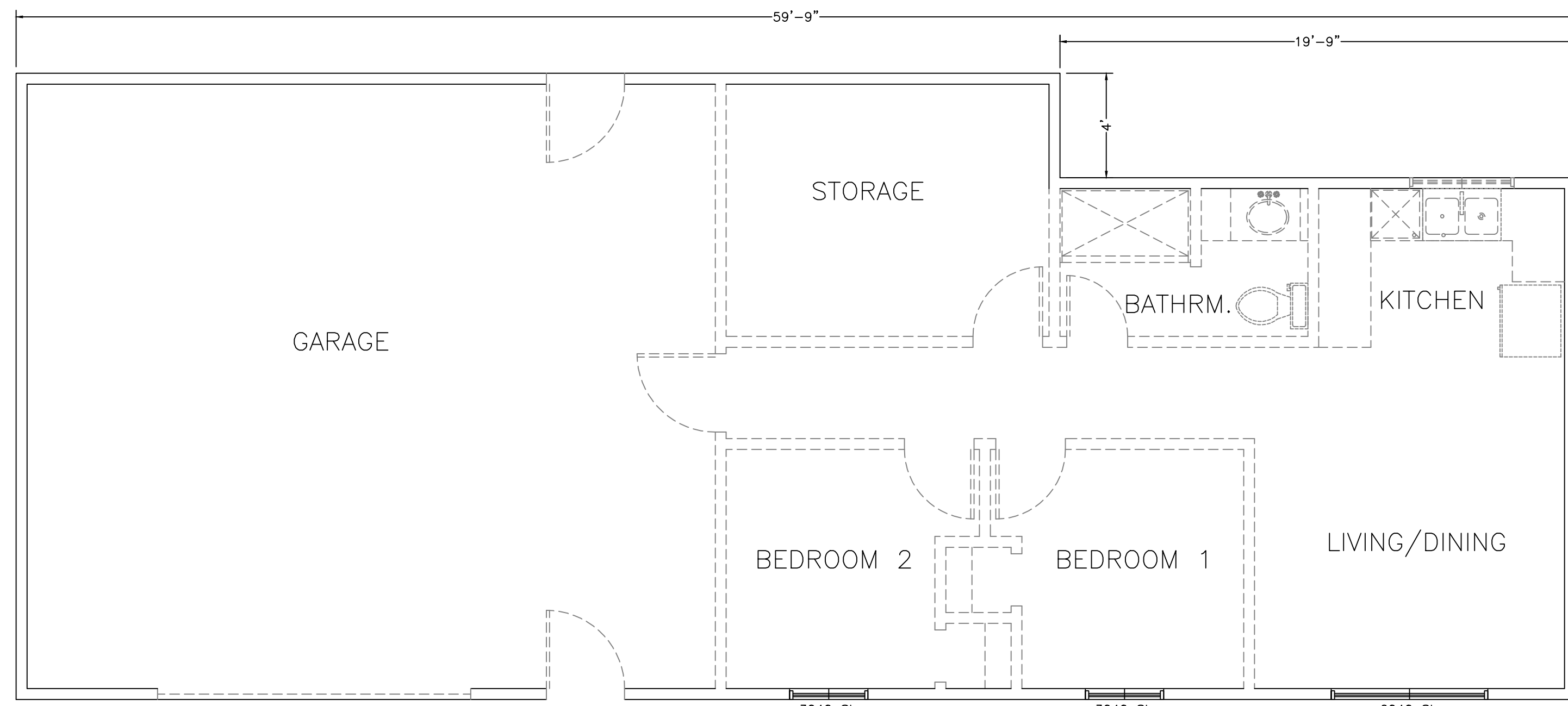
- A0.0 TITLE, BUILDING AND SITE
- A1.0 EXISTING HOUSE & DEMOLITION PLANS
- A2.0 REMODEL PLANS & NOTES



SITE PLAN



Scale: 1"=20'-0"

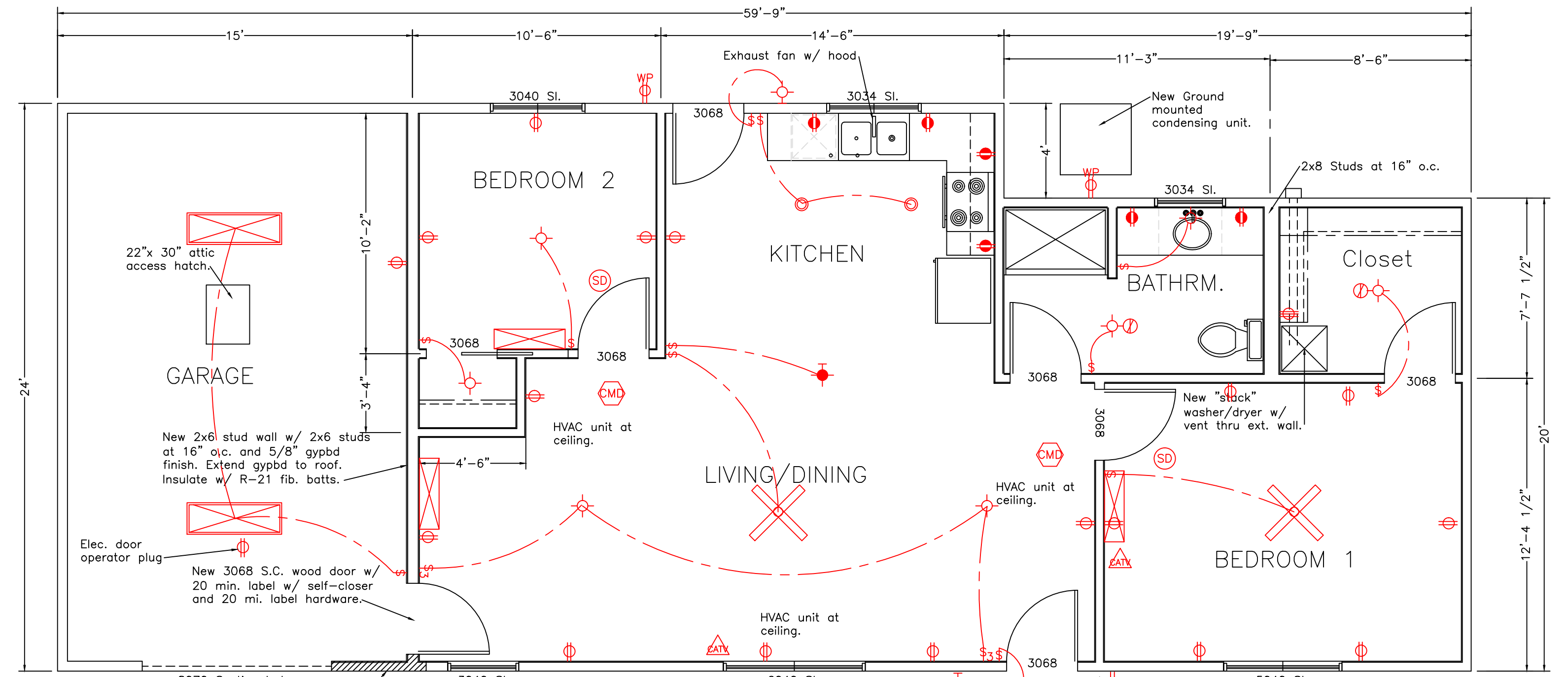


DETACHED ACCESSORY DWELLING DEMOLITION PLAN

Scale: 1/4"=1'-0"

NOTES

- Shore and support roof framing before removing bearing walls. All interior partitions are non-bearing.
- Close wall openings at removed door and windows to match existing construction.
- Cut new openings in exterior walls for new doors and windows and install new 4x12 D.F. No. 2 headers w/ 2x king and queen studs each end. Existing garage door header to remain.
- Cut and cap plumbing utilities as required and prepare for new plumbing fixtures.
- Cut and remove existing electrical wiring not used in new remodel work. Extend new wiring as required for outlets and light fixtures. Coordinate existing main electrical service panel circuits for new or changed loads. Verify existing grounding.
- Remove demolition waste materials and dispose in compliance with Federal and local environmental regulations.



DETACHED ACCESSORY DWELLING REMODEL PLAN

Net Living Floor area: 940 sq. ft.

Scale: 1/4"=1'-0"

NOTES

- New interior partitions 2x4 studs at 16" o.c. w/ 1/2" gypbd on exposed faces. Tape, texture and paint w/ latex matte finish. Base board 2.1/2" wood at all exposed wall faces.
- New ceiling finish 1/2" gypbd and new R-38 fib. batt insulation except garage ceiling. New garage ceiling 5/8" type "X" gypbd and extend to existing roof deck. Tape, texture and paint w/ latex semi-gloss finish.
- Clean and prepare existing floor for new carpet floor covering except in Kitchen and bathrooms. Install sheet vinyl floor covering adhesively applied and w/ 2.1/2" wood base (paint) in Kitchen and bathrooms.
- Interior doors 1.3/8" thick wood w/ Birch veneer faces and wood frames and trim. Hardware 1.1/2 pr. 4"x 4" plain bearing each and w/ wall mounted door stops as required. Locksets lever actuated w/ bedroom and bathroom functions. Pocket door 1.1/4" wood w/ heavy duty track.
- Exterior doors 1.3/8" solid core wood w/ wood frames and trim, weatherstripping, aluminum sill saddle set in mastic and lever actuated entry lockset w/ deadbolt function. New garage door upward acting sectional w/ electric closer.
- Windows vinyl frame dual glazed w/ U factor of 0.30 complete w/ screens and locks. Bedroom egress windows to be tempered glazing.
- Kitchen casework and counters laminated plastic finish.
- Water flow: Water closets porcelain tank type w/ 1.28 gal. per flush. Lavatory faucets 1.2 gal./min. max. flow rate. Kitchen sink faucet maximum flow rate 1.8 gal./min. Shower head maximum flow rate 1.8 gal./min.
- Remove existing heating equipment and replace with Mitsubishi H2i ductless Mini Split 3 High Wall Indoor units 19.1 SEER rated w/ hand held remote controls and condensing unit ground mounted.
- Remove existing exterior wall insulation and replace with new R-13 fib. batt insulation w/ vapor barrier facing - except garage ext. walls

REMODEL ELEC. PLAN

REMODEL NOTES

- Install new electrical lighting and outlets as shown and circuit w/ AFCI protections.
- Modify existing electrical and plumbing systems as required for new work. Light fixtures shall be high efficiency LED type 75 watt rated.
- Verify main electrical service panel for capacity and circuit types to conform with the NEC and 2012 IRC standards and code requirements. Verify grounding.
- All light switching shall be motion sensor type with occupancy timer.
- Exterior light fixtures shall be shielded as required for anti-light pollution control.

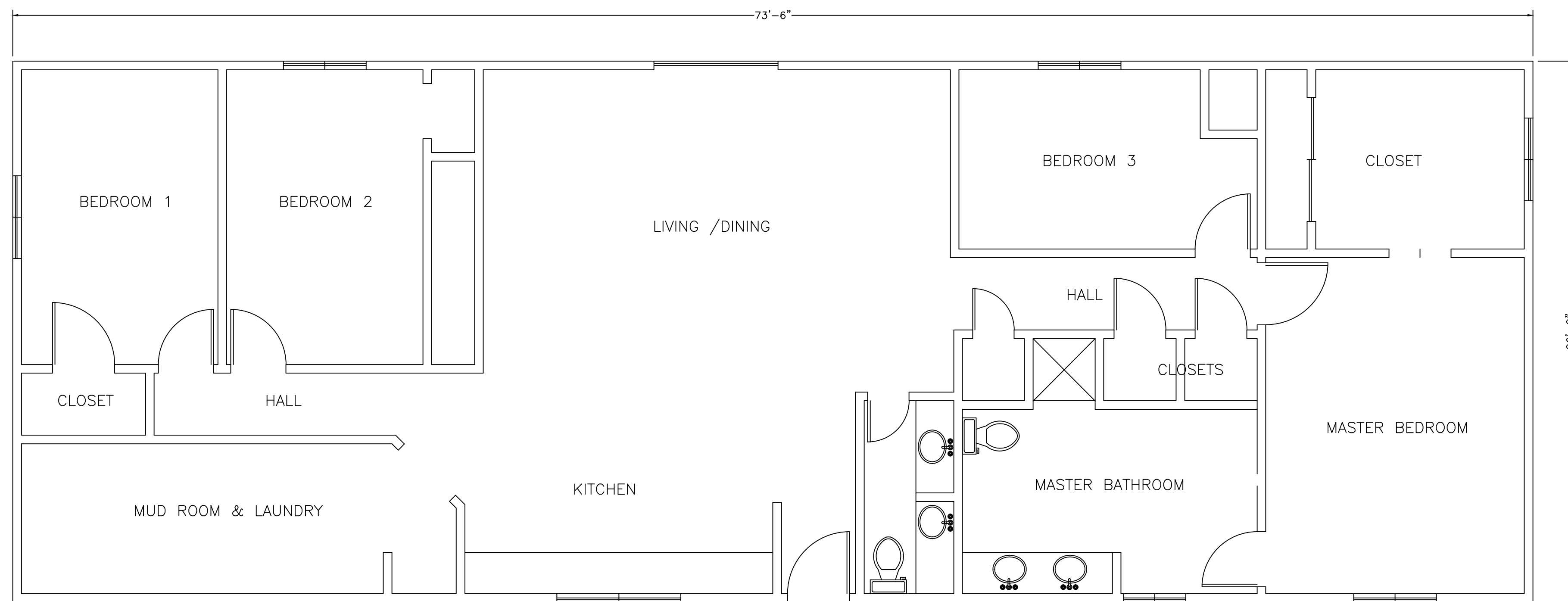
ELECTRICAL FIXTURE SCHEDULE

- ⊙ Recessed ceiling high efficiency LED 75 watt rated.
- ⊕ Three pole wall switch at +40"
- ⊕ Vertical wall mount duplex outlet w/ arc fault circuit at +18".
- ⊕ Vertical mount wall duplex outlet at 40" a.f.f. over counters.
- ⊕ 240/208 Volt electrical outlet w/ 3 prong plug
- ⊕ Single pole switch
- ⊕ WP 110V duplex outlet, weather proof @ 18" a.f.f.
- ⊕ Clg. mtd., 16" round, LED dimmable, 120v, 30w, 2700K
- ⊕ Wall mtd., LED, 120v, 30w, 2700k, WP at ext. locations
- ⊕ Pendant type, LED, 120v, 30w, 2700K
- ⊕ Downlight 6" round, LED, 800 Lumen, 120V, dimmable.
- ⊕ 125 CFM Exhaust fan w/ humidistat control.
- ⊕ Ceiling mounted smoke detector 110V w/ battery, interconnected
- ⊕ Ceiling mounted carbon monoxide detector 110V w/ battery, interconnected
- ⊕ Cable television wall outlet 18" a.f.f.
- ⊕ 42" Dia. Fan/LED (4) light fixture pendant mount w/ switches.
- ⊕ 48"x24" Surface mount T-8 two tube fluorescent

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
- Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
 - A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)



EXISTING RESIDENCE

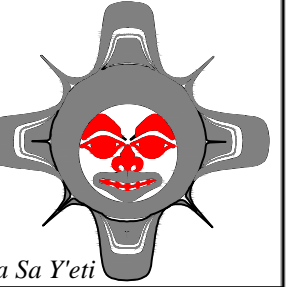
Area: 1,923 sq. ft.

Scale: 1/4"=1'-0"

REVISIONS

FLOOR PLANS

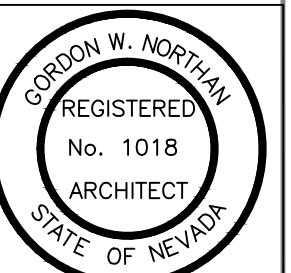
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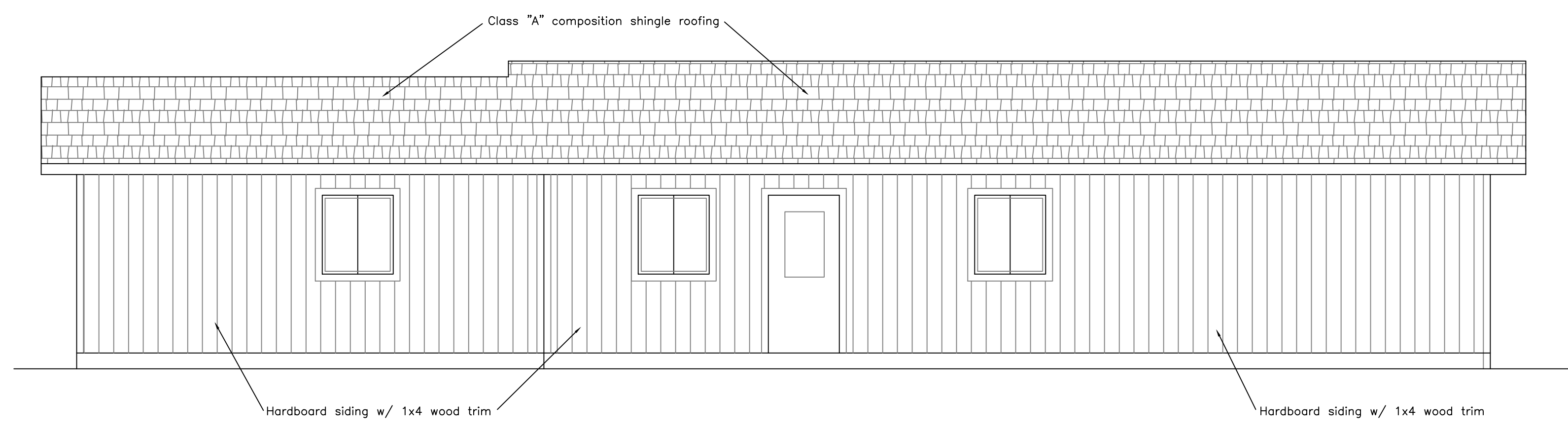
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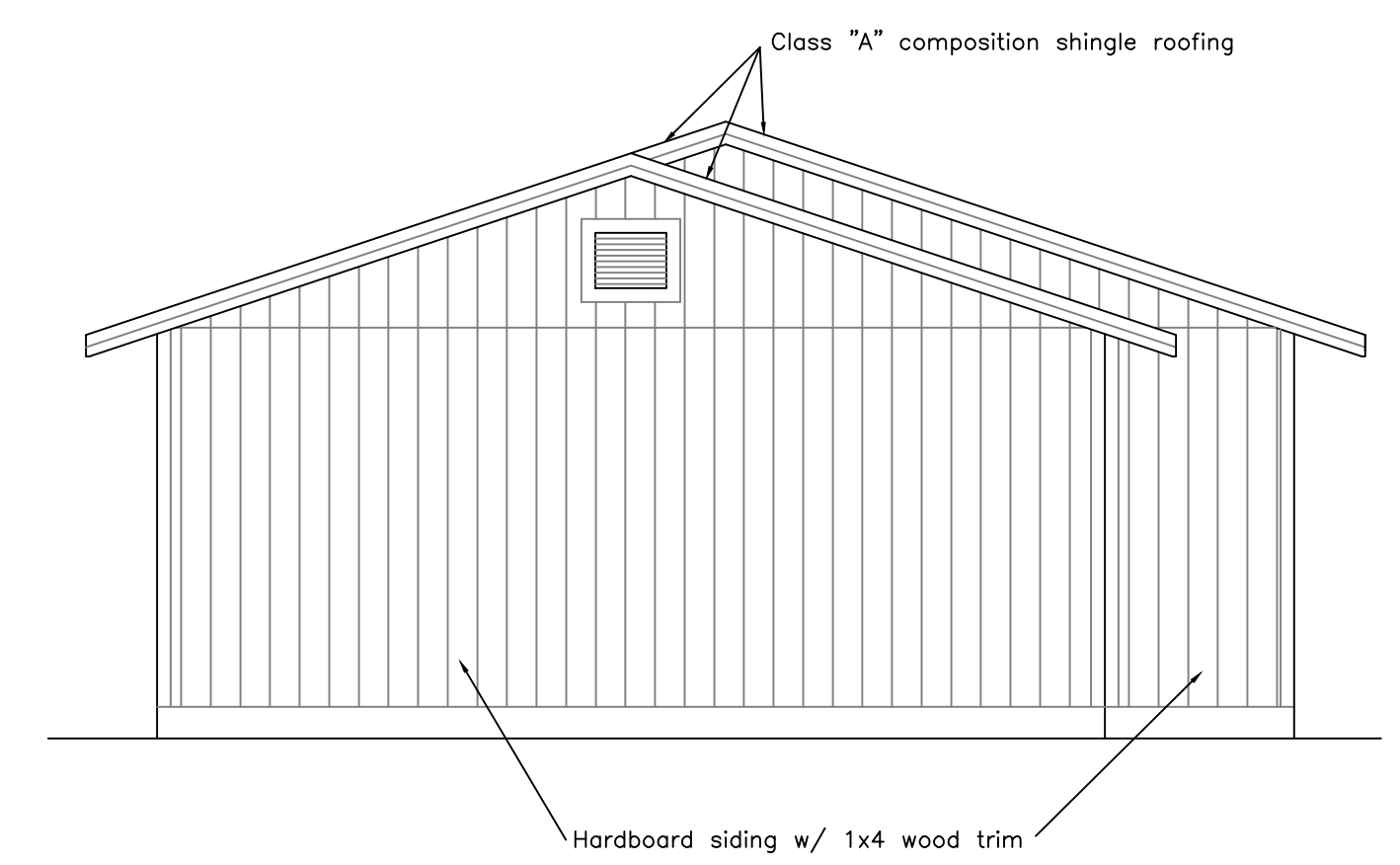
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REVISIONS



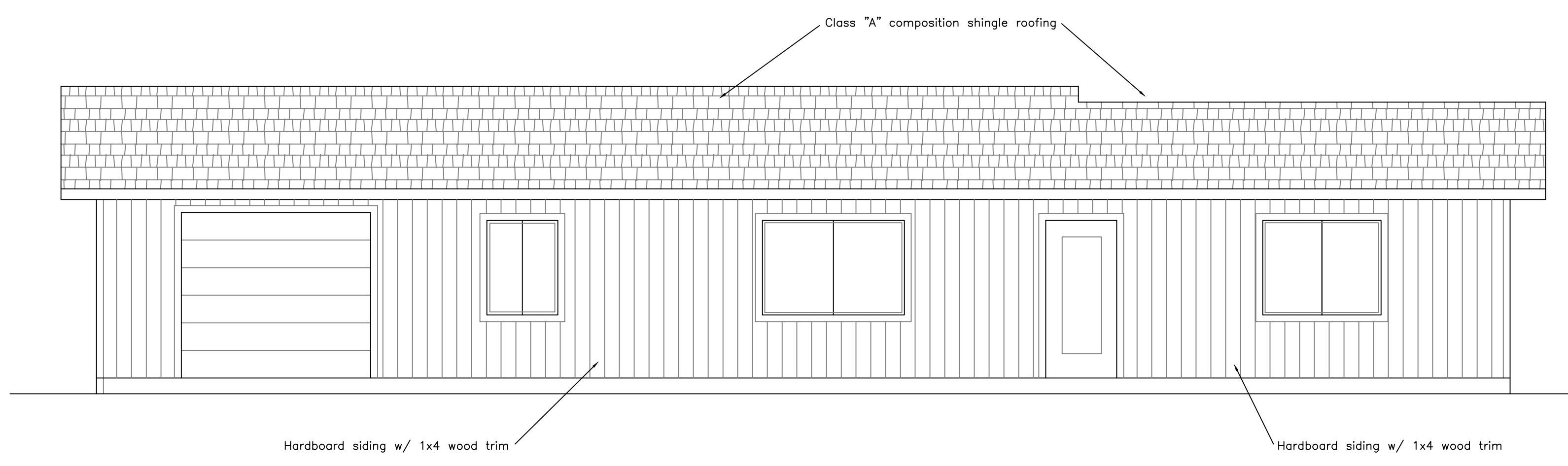
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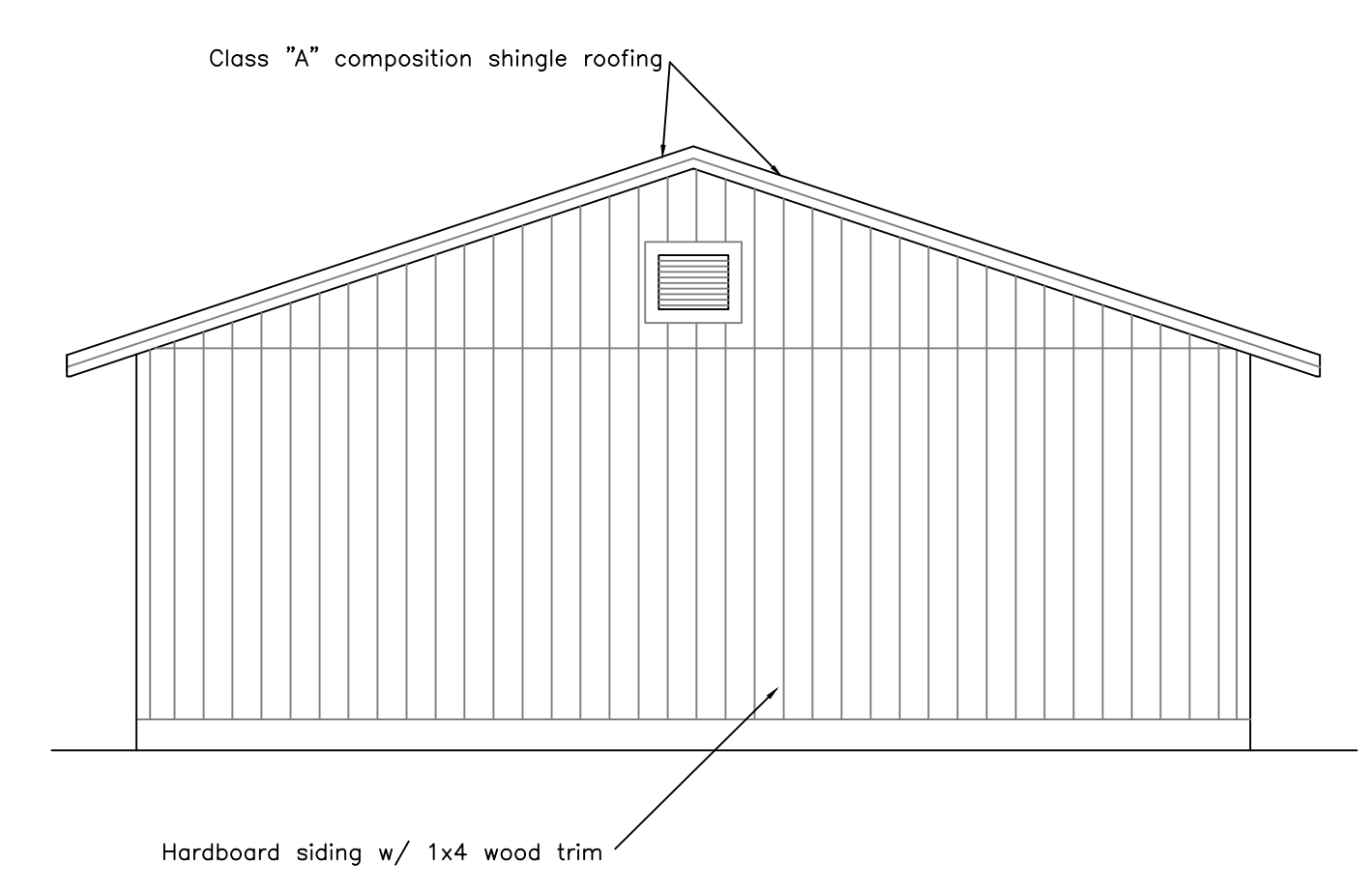
EAST ELEVATION

Scale: 1/4"=1'-0"



SOUTH ELEVATION

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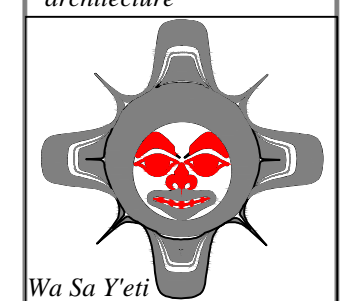


WEST ELEVATION

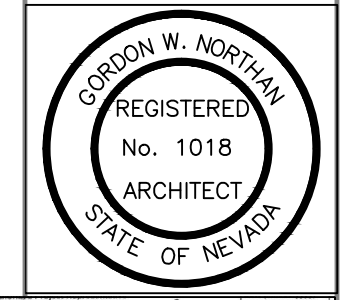
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ELEVATIONS

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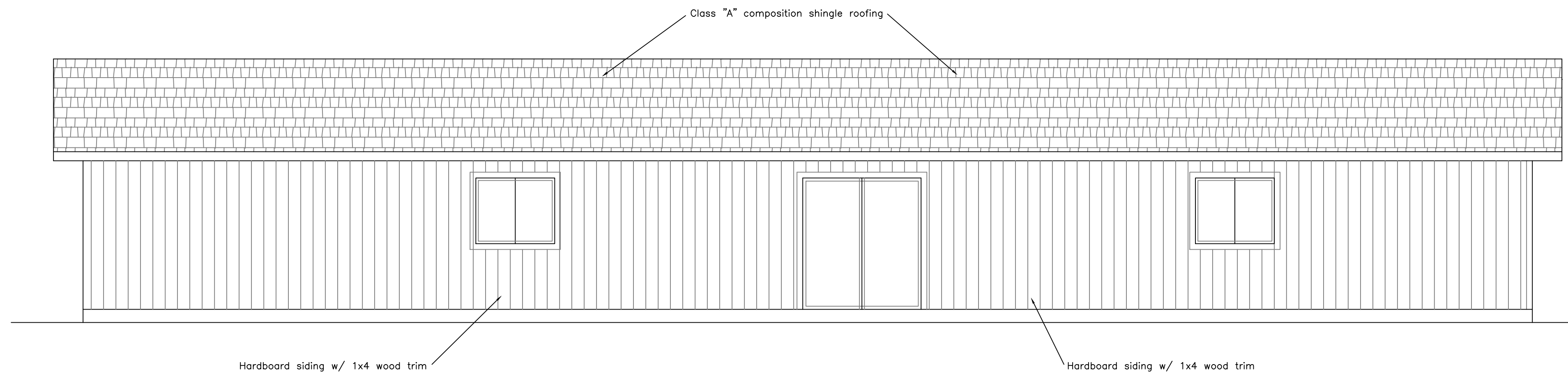


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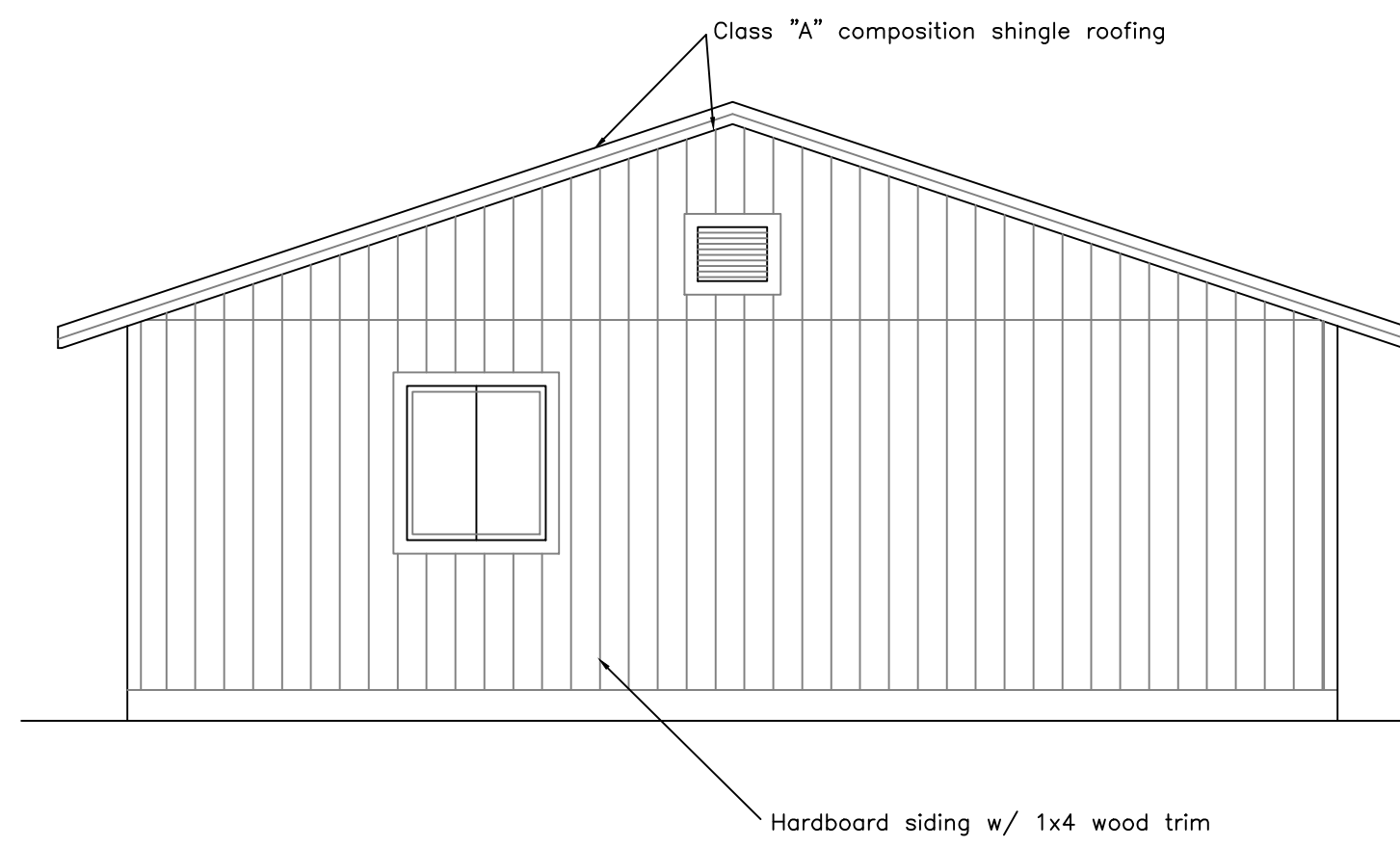
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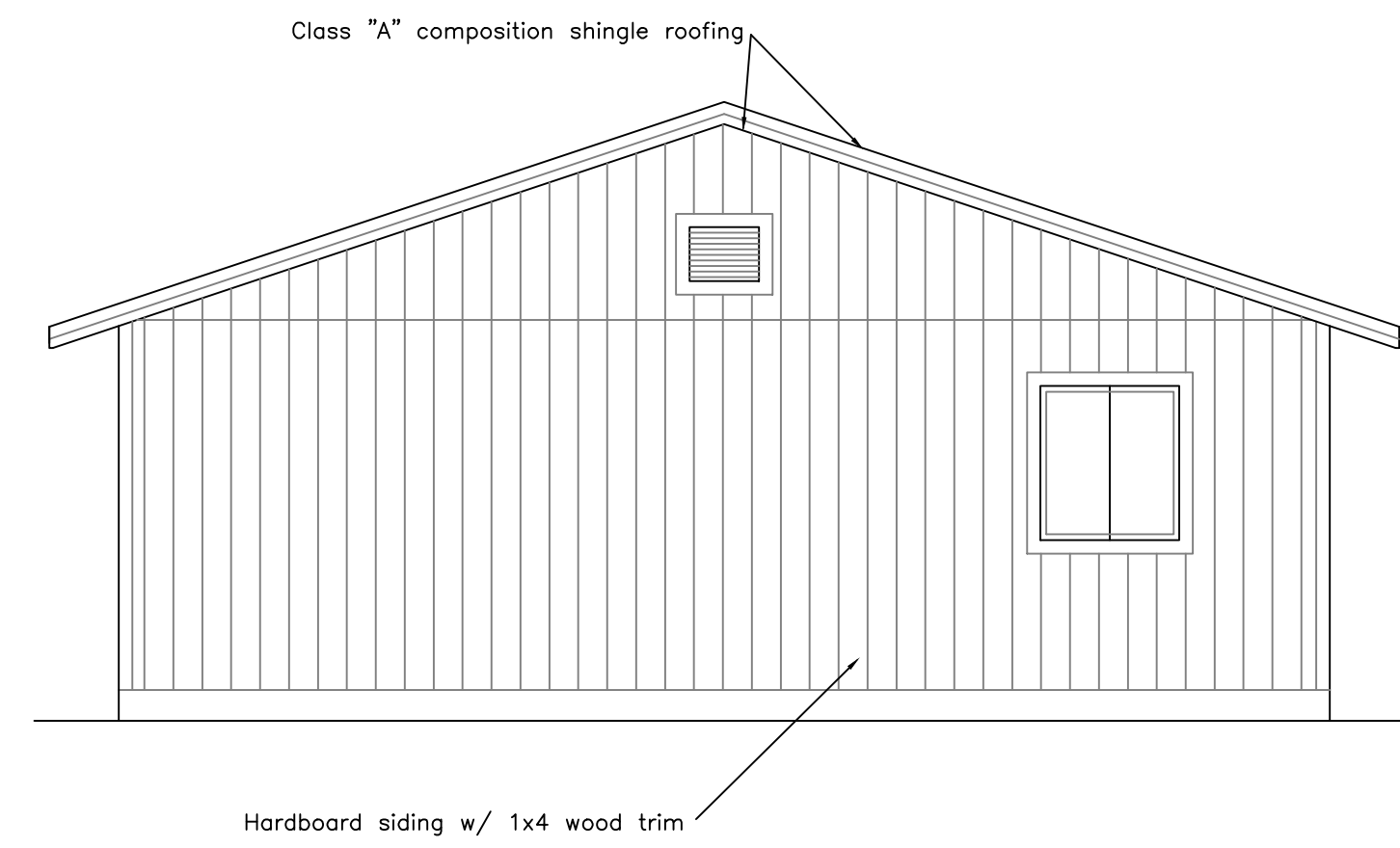
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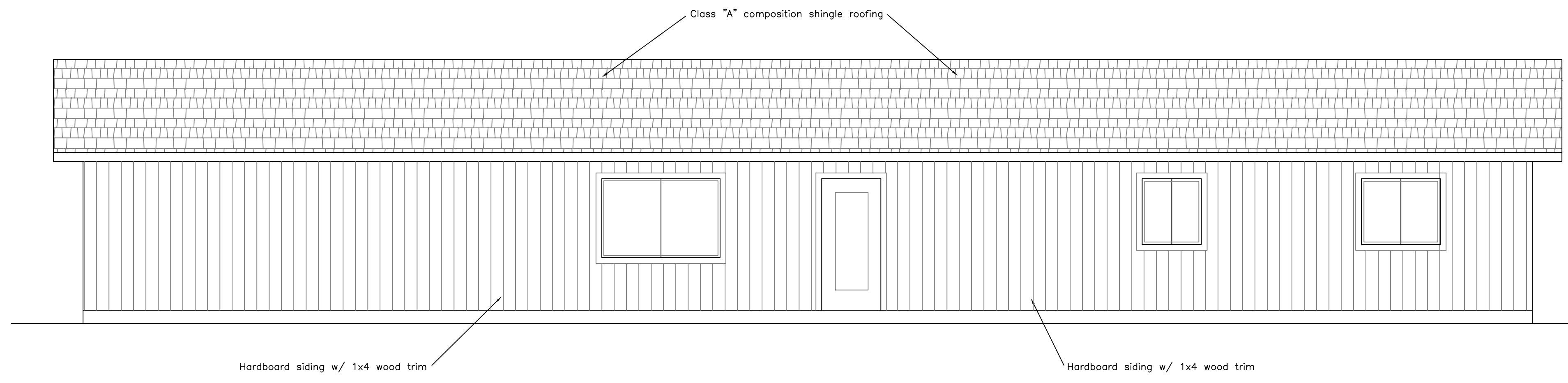
EAST ELEVATION

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WEST ELEVATION

Scale: 1/4"=1'-0"



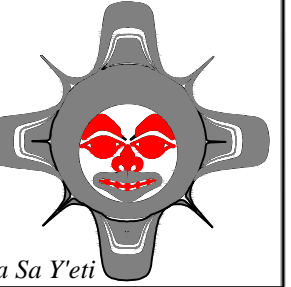
SOUTH ELEVATION

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REVISIONS

EXISTING RESIDENCE ELEVATIONS

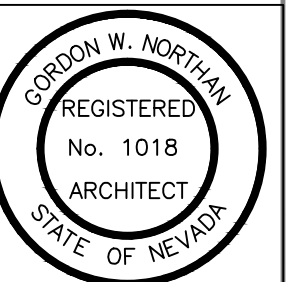
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Gordon W. Northan 10/3/2019

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