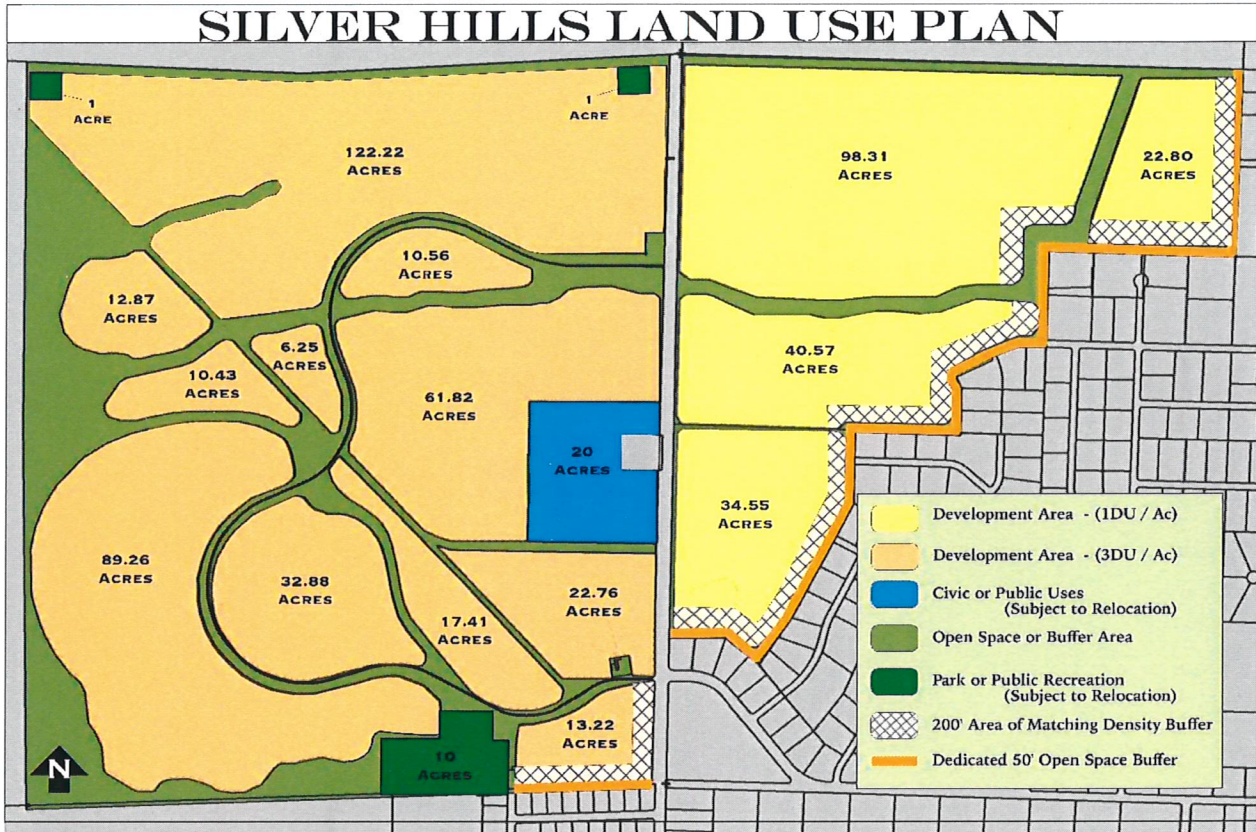


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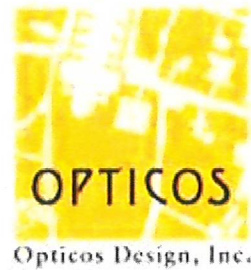
SPECIFIC PLAN DEVELOPMENT STANDARDS



Prepared By:



With Input From:



June 17, 2019

Job # 315-01

SILVER HILLS

DEVELOPMENT STANDARDS HANDBOOK

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SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

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SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

CHAPTER 1 – INTRODUCTION

1.1 Specific Plan Area

The Silver Hills Specific Plan area consists of 780.32± acres located within the North Valleys Areas Plan. Specifically, Silver Hills (APN #'s 087-390-10, 087-390-13, 086-232-31, and 086-203-05) is located on the east and west sides of Red Rock Road, north of Silver Knolls. The project site is separated from the Cold Springs Valley by a large ridgeline that runs along the western boundary of the project. Figure 1-1 (below) depicts the Specific Plan Area covered by this Handbook.

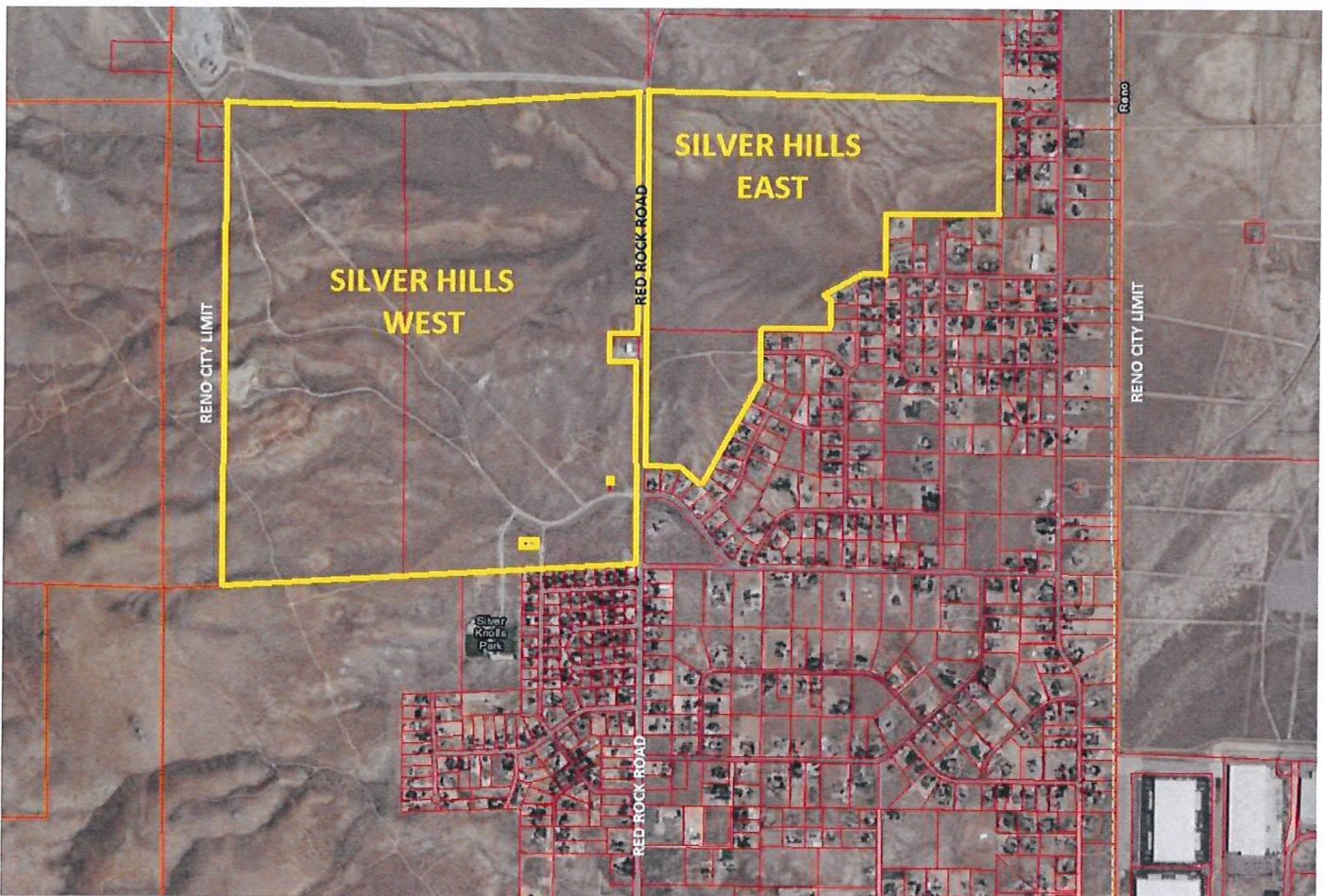


Figure 1-1 – Specific Plan Area



SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.2 Statement of Plan and Purpose

The purpose of this Development Standards Handbook (Handbook) is to provide for the orderly development of the Silver Hills Specific Plan Area (Specific Plan) and ensure that the high-quality development contemplated with this Handbook is carried forward through all phases of the project. This is accomplished through the implementation of the uses, design standards, and improvements defined within this Handbook.

Since implementation of public and private improvements will occur in multiple phases, over many years, the standards and guidelines contained herein establish a common framework to guide future tentative maps and improvement plans. Development of Silver Hills is ultimately controlled and restricted by these development standards as well as the applicable policies of the North Valleys Area Plan and requirements of the Washoe County Development Code.

Upon adoption, Washoe County shall review future tentative map and/or development requests in context with the uses and regulations provided herein. The purpose of this Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, etc. Instead, the Handbook ensures consistency and quality throughout Silver Hills. Additionally, the Handbook includes enforceable standards to ensure that all new development within Silver Hills properly relates to the surrounding uses and existing conditions.

The Silver Hills Specific Plan and this Handbook have been developed to meet the ever-growing need for housing within the North Valleys. Specifically, the plan provides for a wider mix of housing opportunities to meet the needs of a broad range of the area's population. The North Valleys is, and is planned to be, one of the largest employment centers in the region. As such, Silver Hills will serve to provide a jobs/housing balance within the North Valleys. The benefits to this planning approach are numerous and include:

- The opportunity to reduce commute times and commuter trips.
- The ability to live in close proximity to jobs, schools, parks, and open space.
- Creating a sense of community through common design elements.
- The ability to provide housing for multiple segments of the market.
- Preservation of key natural features.
- Provision of parks, open space, public facilities, and community amenities that can be enjoyed by all residents.
- Implementation of "smart growth" concepts and standards.
- Ensuring that new development properly relates to existing uses.
- Providing a high-quality community that residents and Washoe County can be proud of.

Most importantly, the purpose of the Silver Hills Specific Plan is to provide housing that results in a higher quality of life for its residents and those living within the area.

1.3 Community Theme and Vision

This Handbook serves to adopt a general overall theme for the Silver Hills community which includes unique development standards and the opportunity for innovative concepts such as an agrihood, varied single family housing types, etc. The Specific Plan area is characterized by rolling terrain that afford views across the valley, past Reno-Stead Airport. Although the majority of the property is less than 15% slope, topography varies from flat to steep terrain along the western ridgeline, creating the opportunity to incorporate a “mountain ranch” theme. It is planned to incorporate numerous evergreen plantings along with unique landscape and open space treatments that may include fruit orchards, gardens, ponds, and natural open spaces that accentuate the views, natural terrain, and site features. The use of wood/timbers, stone accents, evergreens, craftsman style architecture, and rustic detailings serve to reinforce a mountain feel within the project. Once again, standards are included later in this Handbook that serve to implement the project theme.

1.3.1 Community Benefits

The Silver Hills Specific Plan establishes guidelines that provide opportunity for unique single family housing types and community amenities. As Silver Hills develops in multiple phases over a 15 to 20 year period, the opportunity to incorporate innovative amenities such as community gardens may occur. As the rapidly growing popularity of concepts such as agrihoods demonstrates, families are eager to reimagine these collaborative efforts in a new setting, with a variety of price points to meet the needs of various life stages. This Handbook establishes the ability to remove the pressure of seeking family-oriented activities outside of the community and invest in community lifestyle, through the provision of parks, open space, trails, and various other community amenity options. This creates a sense of place and community and provides a better quality of life for residents.

There are numerous positive “side-effects” of a master-planned community. By providing community amenities and neighborhood retail opportunities, residents are more likely to recreate and socialize within the community which can also reduce traffic impacts. Additionally, this can reduce crime naturally as neighbors feel connected to where they live and invest in caring about their community.

A central feature of the Silver Hills plan is the provision of significant open space and recreational opportunities. The standards contained herein provide opportunity for open spaces that perhaps could be planted with ancient grains which provide good low water use soil cover/stabilization and can be either harvested or cut and left to regrow the following season. This results in a clean, environmentally respectful design that utilizes precious resources with far greater efficiency by encouraging joint use, reducing overall home maintenance, providing pedestrian access to resident needs, and making an adaptable community. Resident lives can be simplified giving them more time to enjoy friends and family.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Open space and landscaping standards are designed to incorporate smart water recycling and responsible development practices in addition to neighborhood-supporting commercial and the potential for mini-farms or orchards, while placing an emphasis on a walkable neighborhood concept. The Silver Hills Specific Plan respects the surrounding environment by creating housing density with less sprawl, where resources are focused around low maintenance yards, passive solar lot placement (as feasible), solar options, and emphasis on activities within the community. The resource emphasis is placed at the center of the community where the benefit is used and enjoyed by all community members.

With full buildout estimated at 10 - 15+ years, Silver Hills will grow as the need of good community-oriented housing is required. Within Silver Hills land design practices will create retention basins that act also as a green environment for residents with high density plantings and places for children to safely explore. Concepts like a tractor park, a bike and skate park, and natural “mini- parks” such as those placed at the end of cul- de-sacs that invite rather than cut off the sense of community are all envisioned for Silver Hills.

Rather than a bedroom community or suburb of disconnected neighborhoods, Silver Hills will embody the desire for residents to feel a sense of place and community pride. Plantings that use recycled water (to the extent possible) will not only impact the question of how to manage waste water but will reduce soil erosion and transpiration by returning the water into trees, shrubs, and ground cover. The Silver Hills Specific Plan emphasizes recycled water use for common area landscape, natural pathways and potentially “micro” orchards, grapes, berries, and beneficial insect habitat plantings.

1.3.2 Sense of Place

Creating a sense of place is one of the key components in creating a vibrant and balanced community. A sense of place will be developed within Silver Hills through the creation of human-scale environments in which residents will feel both comfortable and safe. Open space and trail connections will tie the community together, encouraging residents to get out and explore their community, interacting with their neighbors. Uniform design standards tie the community together and provide for amenities that encourage both active and passive recreation.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

The east side of Silver Hills (east of Red Rock Road) is characterized by a more rural development pattern. This area is envisioned to “blend” with the established homes and development that exists within Silver Knolls to the south. Thus, larger lots are planned in this area creating a more rural atmosphere. Consistent with existing development patterns, open space areas will primarily consist of buffers and trails allowing for larger homesites. This not only complements existing development within Silver Knolls but will serve as a transition between existing neighborhoods and new neighborhoods within the west side of Silver Hills.

1.3.3 Neighborhood Diversity

Silver Hills provides for neighborhood diversity by allowing varied residential dwelling designs and densities in order to support niches of different lifestyle and life stages. The variety in housing options encourages a mix of product types that are ultimately tied together through the incorporation of the design standards adopted within this Handbook. Overall density within the western portion of Silver Hills is maintained at 3 dwelling units per acre but allows for clustering of density in order to encourage flexibility in design and provide for a wider range of housing options that appeal to a variety of resident lifestyles. This concept provides opportunities for residents regardless of their stage in life and serves to support the surrounding employment centers and emerging commercial nodes within the North Valleys.

Neighborhoods east of Red Rock Road will be designed with a more rural theme that complements existing neighborhoods within Silver Knolls. Overall density east of Red Rock Road will be maintained at 1 dwelling unit per acre. Thus, overall density for Silver Hills will be approximately 2.5 dwelling units per acre.

1.3.4 Missing Middle

The housing market within Washoe County has what is often referred to as a “Missing Middle.” The Missing Middle is a range of compact and clustered housing types that are compatible in scale with single-family homes that help meet the ever-growing demand for affordable-by-design housing. Unlike the stereotypes commonly associated with affordable housing (poor quality, less desirable locations, etc.), the Missing Middle’s affordable-by-design concept allows a builder to maintain higher quality craftsmanship, enhanced architectural design, amenities, etc. by developing a quality project with a smaller overall footprint. This can be achieved in numerous ways such as reducing yard sizes in exchange for shared common areas and recreational amenities, through clustering which maximizes infrastructure efficiency, etc.

Missing Middle housing types are designed to meet specific needs of shifting demographics and the new market demand for walkable communities and resident amenities. This approach to housing is considered “missing” because very few of these housing types have been built since the early 1940’s due to regulatory constraints, restrictive development codes that prevent flexibility in design, the shift to an automobile-dependent growth pattern, etc. In Washoe County, the need for more affordable housing has reached an all time high with many residents simply being pushed out of the market due to rising home prices. A Missing Middle concept directly addresses this need.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.3.5 Implementation

The vision for Silver Hills will be implemented through the adoption and enforcement of the design standards and requirements included within this Handbook. The Washoe County Department of Planning and Building will use this Handbook as a guide for reviewing projects (i.e. tentative maps, special use permits, etc.) proposed within Silver Hills. All new development shall comply with the standards and requirements listed herein, as applicable. In cases where a specific standard is not addressed, the provisions/requirements of the Washoe County Development Code shall be applied.

1.4 Relationship to Existing Plans

Silver Hills is located within the North Valleys Area Plan, an element of the Washoe County Master Plan. This Handbook and the standards contained herein are designed for compatibility with the goals, policies, and character management statement of the Silver Hills Suburban Character Management Area, as adopted concurrently with this Handbook, and incorporates input from the community as expressed at numerous community meetings and visioning workshops. The Silver Hills land use plan is consistent with both goals and policies of the North Valleys Area Plan and Truckee Meadows Regional Plan in that it provides for a jobs/housing balance within the area and serves to address the housing needs of the community as a whole through diversification in housing size, style, and density.

Consistent with the Area Plan, the overall density within Silver Hills will not exceed 2.5-dwelling units per acre. Clustering of density will occur within the boundaries of the Specific Plan to accommodate a variety of housing styles and products. However, consistent with the provisions of the Washoe County Development Code, no individual project within Silver Hills (i.e. tentative map area) may exceed the maximum dwelling units per acre permitted within the Specific Plan zone. Furthermore, multi-family housing shall not be permitted within Silver Hills. Attached single-family products such as duplexes, town homes, etc. shall be permitted in areas designated for such on the Land Use Plan adopted with this Handbook and are subject to density limitations outlined in the Washoe County Development Code. Consistent with the Truckee Meadows Regional Plan, the Silver Hills Specific Plan does not increase density on areas of slope in excess of 30%.

Silver Hills provides for consistency with the Conservation Element of the North Valleys Area Plan through the conservation and preservation of open space and prominent ridgelines within the Specific Plan boundaries. Additionally, this Handbook includes standards to address any applicable natural hazards that may arise including, but not limited to geologic hazards, flood zones, etc. The plan also preserves and implements provisions related to utility corridors contained in the Washoe County Master Plan, Development Code, and Truckee Meadows Regional Plan.

A complete traffic impact analysis has been completed for Silver Hills. Improvements triggered by new development within the Specific Plan have been identified and standards included to ensure that improvements are made at the appropriate time and that specific triggers for the improvements are defined. This ensures full compliance with transportation plans adopted by Washoe County and the Regional Transportation Commission.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Upon final adoption and recordation, this Handbook and its associated content, standards, and requirements shall be deemed consistent with the North Valleys Area Plan as well as with the Truckee Meadows Regional Plan. The Washoe County Board of Commissioners shall be the authoritative body to determine compliance with conformance review by the Truckee Meadows Regional Planning Agency, as applicable.

1.5 Silver Hills Land Use Plan

Silver Hills includes a land use plan that allows for single family detached and attached housing at various densities. Consistent with the Suburban Master Plan designation of the Specific Plan Area, overall density within the plan boundaries will not exceed 2.5 dwelling units per acre. Thus, **the maximum number of residential units within Silver Hills is capped at 1,872.**

Figure 1-2 (below) depicts the land use plan for Silver Hills. Land use designations and development standards associated with them are fully defined in the following chapter.

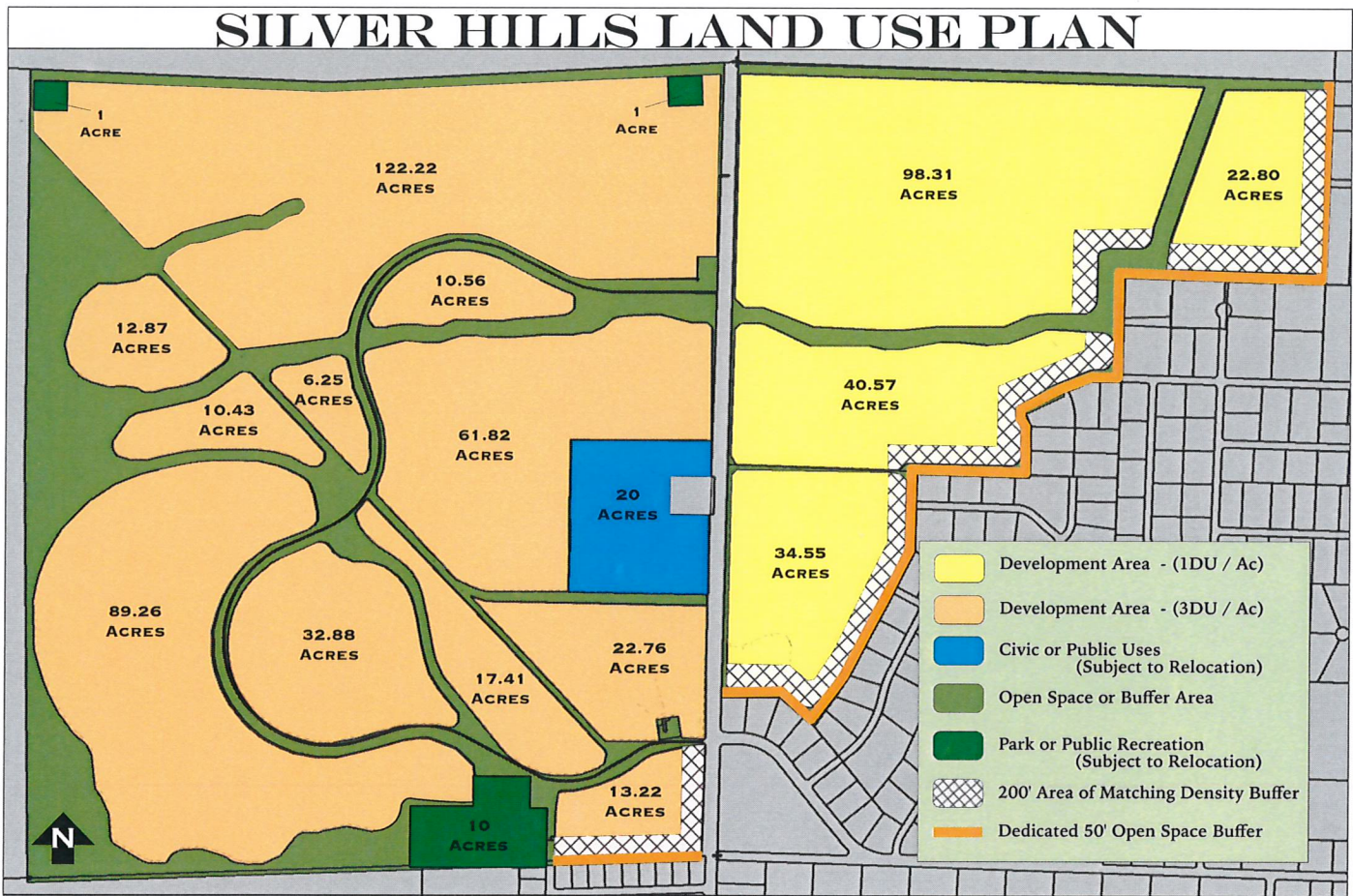


Figure 1-2 – Silver Hills Land Use Plan

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

The Silver Hills land use plan takes on an uncomplicated approach by identifying development areas based on overall suitability. Rather than creating multiple land use categories for residential areas, simplified categories are created based on community character. Specific densities are not designated for development areas. Instead, individual project densities are regulated through the provisions of the Silver Hills Development Standards as defined in Chapter 2, along with site-specific conditions. An exception to this are areas within the Specific Plan located east of Red Rock Road. This area will maintain an overall density of 1 dwelling unit per acre, subject to the provisions included in Chapter 2.

The Development Standards include specific requirements that were derived based on the development suitability analysis. Overall project density is capped at a maximum of 2.5 dwelling units per acre and total units shall not exceed 1,872. Densities within individual projects (i.e. tentative maps) are subject to the standards of the Washoe County Development Code and the requirements for Common Open Space Development, along with supplemental requirements of this handbook.

Open Space, Public Facility/Civic, and Parks/Recreation use categories are defined on the land use plan as well and are also subject to the development standards included within Chapter 2.

Table 1-1 (below) summarizes the Silver Hills land use plan.

Table 1-1 – Silver Hills Land Use Summary

Land Use Designation	Area (acres)	Land Use Concept
Residential Development Areas	595.91±	Provides for single-family residential uses at varying densities (as allowed per the Common Open Space Standards) along with limited community-oriented commercial uses, as regulated in Chapter 2.
Public Facility/Civic Use	20±	Reserved for public community facilities such as schools, libraries, fire station, etc.
Open Space	152.41±	Dedicated open or common areas. No development shall be permitted with the exception of recreational facilities, utilities, etc. May be public or private.
Park	12± ¹	Reserved for public park facilities.
TOTAL	780.32±	-----

1 – Excludes interior neighborhood parks.

1.6 Site Suitability

The Silver Hills land use plan was developed based on a complete and thorough analysis of site conditions including topography, access, significant site features, availability of utilities, surrounding conditions, etc.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.6.1 Site Analysis

A comprehensive site analysis was completed utilizing the criteria defined in section 110.442.30(2) of the Washoe County Development Code. This includes a comprehensive slope analysis to determine the base criteria for development suitability. Additionally, an opportunities and constraints analysis was completed to identify significant site features, logical access points, natural hazards/constraints, etc. **Adoption of the Silver Hills Specific Plan does not result in additional density on slopes greater than 30%.**

Figures 1-3 (below) and 1-4 (following page) provide the slope analysis and opportunity and constraints analysis for the Silver Hills Specific Plan area.

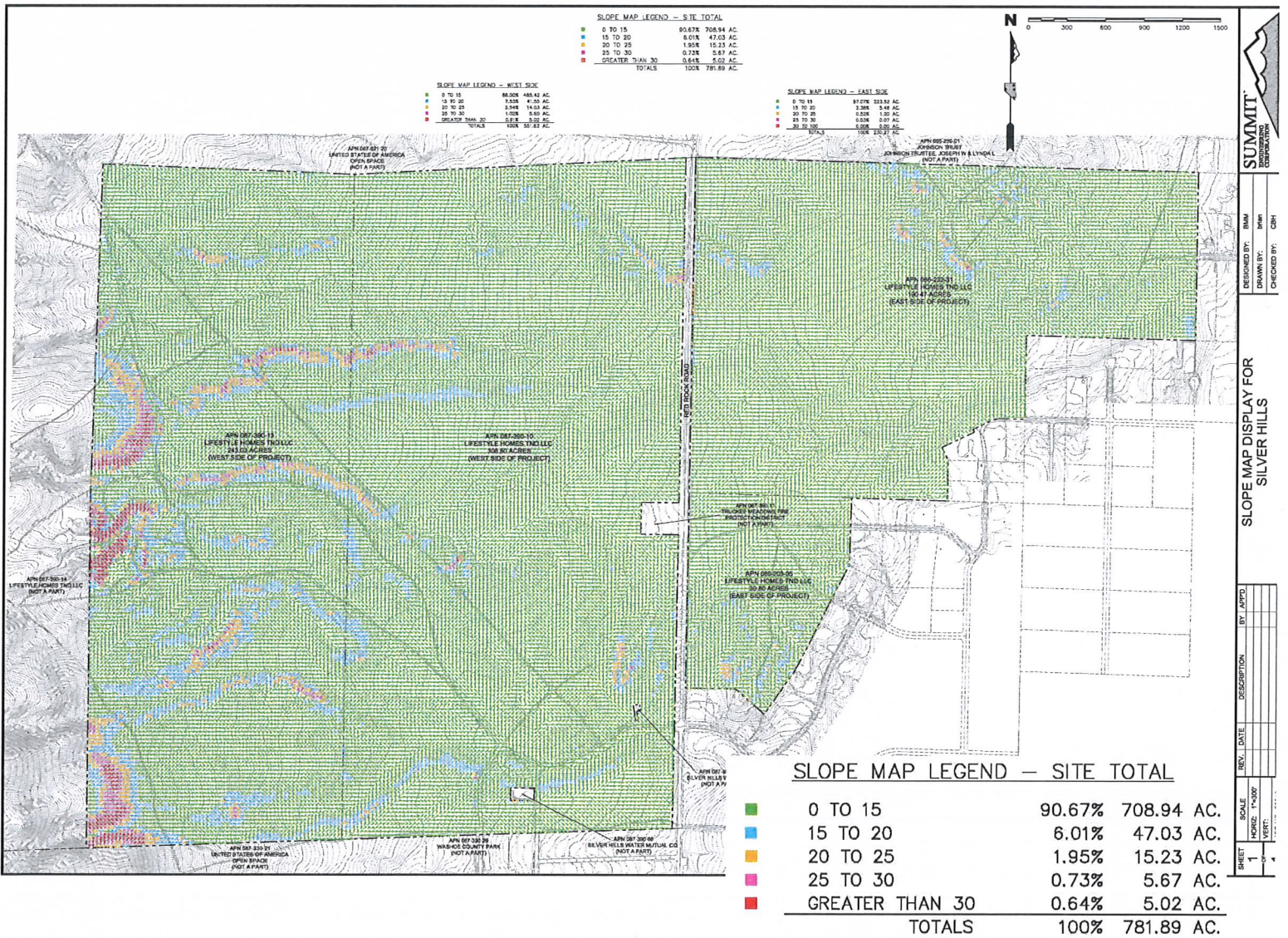


Figure 1-3 – Slope Analysis

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

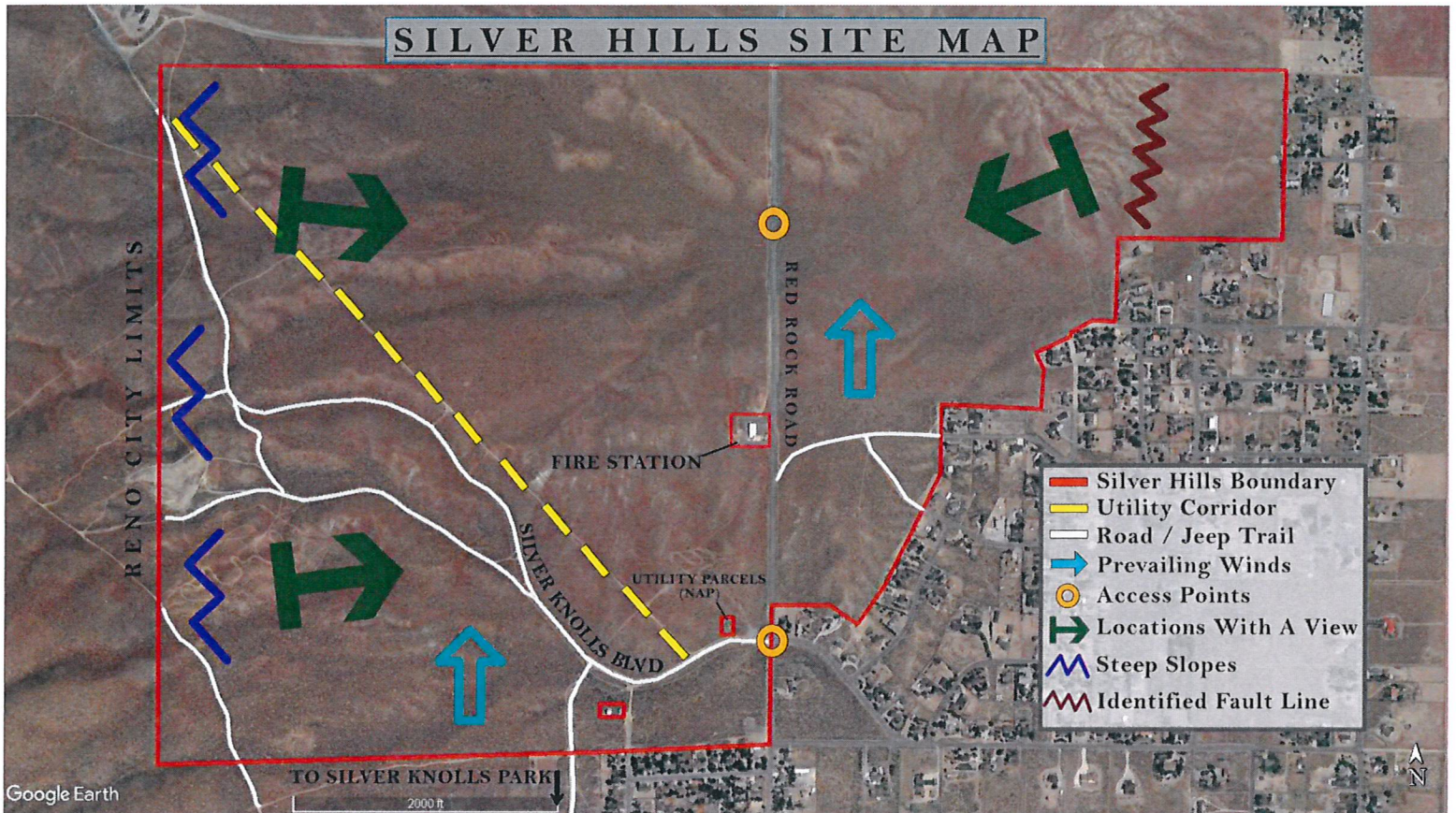


Figure 1-4 – Opportunities and Constraints Analysis

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.6.2 Development Code Analysis

Section 110.442.30(2) of the Washoe County Development Code requires a site analysis of the Specific Plan area to determine areas of constraint and common open space, as completed with Figure 1-4. Also, each of the individual considerations from the Development Code is addressed below:

- (a) **Adjacent Land Use** – Adjoining land use includes a mix of vacant, residential, and public facility uses. The Specific Plan area is bordered by public lands to the north and vacant land to the west (within the City of Reno). There is a large BLM parcel to the south along with Silver Knolls Park and approximately 10 developed single-family lots (approximately ½ acre in size) that adjoin the project at the southeast corner of the Specific Plan area. A volunteer fire station also lies adjacent to the plan area along the Red Rock Road frontage. Open space surrounds the entire perimeter of the western Specific Plan area, including a dedicated 50-foot buffer adjacent to existing homes to the south. The east side of the Specific Plan includes vacant land to the north with developed lots to the south and east, averaging approximately one acre in size. As detailed later in this Handbook, density matching standards along with a 50-foot open space buffer are included at the perimeter of Silver Hills in areas that adjoin existing development.
- (b) **Existing Structures** – There are no existing onsite structures. There are two outparcels located internal to the Specific Plan area that include utility infrastructure and structures. However, these parcels are excluded from the Specific Plan.
- (c) **Existing Vegetation** – Existing onsite vegetation is typical of the Nevada high desert and includes a mix of grasses and brush, including sagebrush, rabbit brush, etc. There are no mature trees located within the Specific Plan boundary. There is significant disturbance to native vegetation within Silver Hills that has resulted from off road vehicles, bicyclists, motorcycles, etc. including trails, berms, etc.
- (d) **Prevailing Winds** – Generally, winds blow down the eastern slope of Peavine Mountain and across the site. It is also not uncommon for winds to blow across from the north. Prevailing winds will be a consideration with the design and placement of building envelopes with future tentative map design. As detailed later, there are no uses proposed for the Specific Plan that would generate fumes or foul odors, thus ensuring no downwind impacts. All development must comply with Washoe County District Health Department requirements to ensure proper dust control/mitigation is in place during construction periods.
- (e) **Topography** – As depicted in Figure 1-5, Silver Hills is relatively flat with nearly 91% of the site containing slopes that are 15% or less. Thus, per Washoe County standards, the property is well suited for development. The terrain does rise to the west as it approaches the adjoining ridgeline. The Silver Hills land use plan accounts for the increased slope and incorporates the vast majority of steeper slopes into dedicated open space. Also, no density intensification occurs in areas where slopes are 30% or greater.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- (f) Soil – A preliminary geotechnical investigation has been included as an attachment to the Specific Plan and does not identify any soil conditions that would preclude development at the densities permitted within this Handbook.
- (g) Natural Drainageways – As a relatively flat site, there are no large defined drainageways within the Specific Plan boundaries that constitute a significant natural feature. There are smaller drainages that convey runoff from the west across the site. The Silver Hills Specific Plan along with the Washoe County Development Code establish standards in terms of providing drainage facilities and onsite detention and/or retention. In fact, as detailed later in this Handbook, Silver Hills includes standards that exceed Washoe County code by requiring a net reduction in runoff from new development within the Specific Plan.
- (h) Wetlands and Water Bodies – There are no identified wetlands or water bodies onsite.
- (i) Flood Hazards – FEMA has mapped the Silver Hills Specific Plan area as unshaded zone X. Unshaded X is defined by FEMA as an area of minimum flood hazard, outside the Special Flood Hazard Area (SFHA) or 100-year flood (1% annual-chance storm event), and also higher than the elevation of the 500-year flow (0.2% annual-chance flood).
- (j) Seismic Hazards – The preliminary geotechnical report identifies a potential fault within the plan area. The fault is included within open space and will also be addressed (per Washoe County code) with future tentative maps. As detailed in the geotechnical investigation, the standards included within this Handbook serve to properly address any new construction that will occur in the immediate vicinity of these areas.
- (k) Avalanche and Landslide Hazards – There are no landslide or avalanche hazard areas located within the Specific Plan boundaries.
- (l) Sensitive Habitat and Migration Routes – There are no known sensitive habitats located onsite. However, the site does have the potential for wildlife and deer to traverse the property. To ensure this can continue with the development of Silver Hills, open space corridors are provided throughout the Specific Plan area.
- (m) Significant Views – Silver Hills enjoys views across the valley to the east towards Reno-Stead Airport along with views of Peavine Mountain to the south and the various ranges that surround the area.
- (n) Appropriate Access Points – Access points for Silver Hills were determined based on existing development patterns in the area along with recommendations derived from a comprehensive traffic impact analysis.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.7 Handbook Provisions

1.7.1 General Provisions

This Silver Hills Development Standards Handbook describes in general terms when, where and how development will occur within the Silver Hills Specific Plan area. It provides ample specificity to establish base qualitative standards for all of phases of the project along with design parameters to which each individual project built within Silver Hills must conform. It is intended to offer design flexibility while at the same time maintaining minimum standards. Chapter 2 of the Handbook contains standards and regulations relative to development, which establish the development standards for Silver Hills. Chapter 3 contains standards and parameters relative to design and architecture which establish the theme and quality of new development within the Specific Plan area.

1.7.2 Binding Effect of Handbook

Pursuant to NRS 278A.520, NRS 278A.570 and the Washoe County Development Code, this Handbook cannot be modified or otherwise impaired by the action of the County without the consent of the Master Developer (Lifestyle Homes TND, LLC) and any required landowner, except as specified in NRS 278A.410. Similarly, pursuant to NRS 278.0201, the ordinances, resolutions or regulations applicable to Silver Hills and governing the permitted uses in it, the density and standards for design, improvements and construction on it are those in effect at the time of adoption of this Specific Plan and Handbook.

The standards set forth in this Handbook shall, in accordance with NRS 278A.570, supersede any zoning and subdivision statutes that may otherwise apply. In case of a conflict, this Handbook and any associated modifications/conditions required by the Washoe County Board of Commissioners at the time of adoption shall control. When not addressed by this Handbook, the provisions of the Washoe County Development Code shall control.

1.7.3 Individual Project Approvals

Individual projects within Silver Hills shall be subject to review and approval as outlined in the Washoe County Development Code. This includes tentative subdivision maps, special use permits, variances, etc. Although new development shall be reviewed in context with the standards and requirements of this Handbook, all statutory public review requirements set forth in NRS and the Washoe County Development Code shall remain in full effect and shall be applied to new development requests within Silver Hills.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

1.7.4 Deviations from Handbook Standards

All projects within Silver Hills shall comply with the standards and requirements of this Handbook. However, it is recognized that unusual or unique circumstances may arise from time to time. Therefore, deviations from standards contained herein, not to exceed 20%, may be granted on a case by case basis with the approval of the Director of the Department of Planning and Building. Additionally, any deviation from the standards of this handbook must also be approved by the Silver Hills Design Review Committee (DRC). The Design Review Committee, and its organizational characteristics, shall be established with the Silver Hills covenants, conditions, and restrictions (CC&R's) as proposed by the Master Developer and approved by the Washoe County District Attorney's Office.

1.7.5 Modifications to Handbook

Upon adoption and recordation, the standards and requirements outlined within this handbook shall take full effect. Any modification to these standards, land uses, densities, etc. that exceed 20% (refer to section 1.6.4) shall require the review and approval of the Washoe County Planning Commission and Washoe County Board of Commissioners. Modifications to this Handbook or the Specific Plan boundary shall be subject to the review of a Regulatory Zone Amendment (RZA) and the associated requirements and public review defined within the Washoe County Development Code.

1.7.6 Density

Gross density within the Silver Hills Specific Plan area shall not exceed 2.5 dwelling units per acre. Density within any one planning area may not exceed that allowed with Common Open Space Development, as defined in the Washoe County Development Code Article 408 or as further restricted through provisions/requirements of this handbook. The maximum number of units within the Silver Hills Specific Plan may not exceed 1,872. The Master Developer shall be responsible for providing a running-total of units to be provided with each individual tentative map request in order to demonstrate compliance with this standard.

1.7.7 Permitted Unit Transfers

The Silver Hills land use plan, depicted in Figure 1-2, designates several "bubble" areas for residential uses at varying densities (through Common Open Space Development). The number of dwelling units allowed within any specific land use area is calculated by multiplying the gross acreage for such area by the maximum allowed density for the land use designation for that area.

Permitted units may be transferred from one land use area to another under the following conditions:

(1) Permitted units may be transferred from one land use area to another within the Silver Hills Specific Plan area. No such transfers will be allowed to or from development areas outside of the Specific Plan.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- (2) Before and after each transfer, the total permitted units for all land use areas shall not exceed 1,872; densities for residential uses may not be exchanged with or converted to non-residential uses.
- (3) Unit transfers that result in more than 228 total units east of Red Rock Road shall be prohibited.
- (4) Unit transfers that result in more than 1,644 total units west of Red Rock Road shall be prohibited.
- (5) The number of permitted units transferred to any other land use area shall not exceed the maximum density for such area, as defined within the individual land use category (refer to Chapter 2).
- (6) Any proposed density transfer shall be subject to the approval of the Master Developer.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

CHAPTER 2 – DEVELOPMENT STANDARDS

2.1 Purpose and Compliance

The purpose of Chapter 2 is to set regulatory requirements for the various land uses located within Silver Hills. These requirements include standards for land use, density/intensity, roadway design, landscaping and buffering, trails, fencing, community amenities, etc. All new development within Silver Hills shall comply with the text, policies, standards, and associated tables and exhibits of this Handbook.

The standards contained herein shall supersede those contained within the Washoe County Development Code. However, in instances where this Handbook does not specifically address a standard or remains silent, the requirements of the Washoe County Development Code shall apply.

2.2 Land Use Development Standards

2.2.1 Silver Hills Land Use Plan

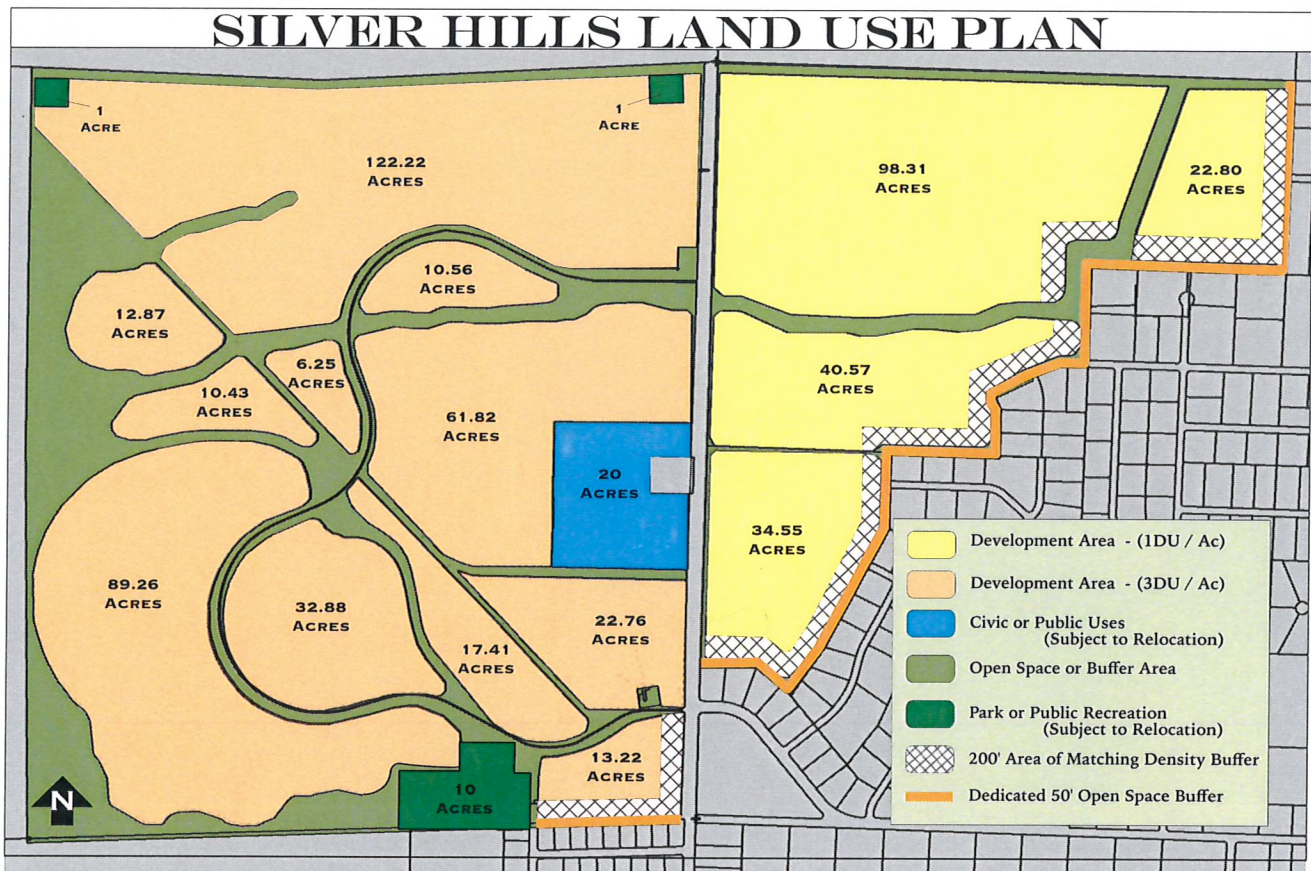


Figure 2-1 – Land Use Plan

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.2.2 Land Use Descriptions

Land uses with Silver Hills are identified based on their development suitability. The development suitability was determined based on natural (i.e. slopes, views, etc.) conditions as well as influencing factors such as relationship with existing homes and facilities. Residential development areas have been identified based on this analysis and are intended to provide for a range of single-family housing types.

Density ranges provide flexibility based on market conditions, housing type, etc. Individual projects may be constructed at densities consistent with those permitted under Article 408 (Common Open Space Development) for the Suburban Master Plan Designation. Lot, setback, and design standards contained herein will essentially regulate density and provide for consistency of the envisioned housing within Silver Hills, as defined within this chapter.

The Silver Hills land use plan is essentially separated into two “sides;” west of Red Rock Road and east of Red Rock Road. The overall gross density on the west side shall not exceed 3 dwelling units per acre while the gross density east of Red Rock Road shall not exceed 1 dwelling unit per acre.

In addition to the residential land use/development category, three nonresidential categories are included within Silver Hills. These include Public Facility/Civic Use, Park, and Open Space. Uses such as orchards, community barns, community gardens, recreational facilities, childcare facilities, schools, libraries, utility structures, churches, etc. that are compatible with and oriented towards the needs of residential neighborhoods, may also be allowed (refer to allowed uses – Table 2-2). The following is a description of each of the land use categories included within Silver Hills:

Residential Development Areas

The Residential Development Areas identified on the Silver Hills Land Use Plan are intended to provide for a wide range of single family housing types. For example, areas adjacent to existing neighborhoods as well as peripheral areas of the project that may include steeper terrain have the potential for larger lots or custom/semi-custom home sites. In peripheral areas less dense neighborhoods serve to provide a “density transition” between suburban densities and open space areas and/or public lands. The east side of Silver Hills will take on a more rural character and maintains an overall density of 1 dwelling unit per acre. The development areas identified east of Red Rock Road shall include a mix of one-acre and half-acre homesites with half-acre lots not accounting for more than 50% of the total units.

“Mid-range” densities are also permitted within Silver Hills. These areas allow single family detached homes at traditional suburban densities. Lot sizes typically range from 5,000 to 12,000 square feet but may include larger lots in areas adjoining existing development or areas of less intense development. These types of mid-range densities shall generally be located in non-constrained areas with slopes less than 15%.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Smaller lot single family uses are also contemplated within the Specific Plan area and may include cluster development, patio homes, attached single-family, etc. serving to diversify the overall housing mix within the project, provide for new and innovative neighborhood design concepts, and appeal to a wider demographic range of the population.

As noted previously, overall residential density within the Specific Plan Area is capped at 2.5-dwelling units per acre (gross density). This is based on an allowed gross density of 3 units per acre west of Red Rock Road and 1 unit per acre east of Red Rock Road. Individual subdivisions may provide for clustering with higher densities in accordance with the Common Open Space Development regulations included within the Washoe County Development Code. Therefore, this Handbook does not establish minimum/maximum densities for the Residential Development Areas. Instead, density within individual subdivisions will be determined based on market factors and overall development opportunities such as terrain, views, relationship to surrounding areas, etc. An exception to this is the area east of Red Rock Road. Clustering east of Red Rock Road may not result in lot sizes smaller than one-half acre. Furthermore, a minimum of 50% of the total lots on the east side of Silver Hills shall be a minimum of one-acre. This flexibility will allow new housing within Silver Hills to respond to market demands and provide for new and innovative housing options. It also provides a unique ability to internally self-regulate the housing market by meeting actual demands within the marketplace and does not simply provide for a cookie-cutter approach to land development.

The development standards set forth in this Handbook serve to ensure that development within the Residential Development Areas properly relates to both the built and future environments and includes provisions that will “feather” densities from the internal core of the Specific Plan Area to the project periphery. This is achieved through site design standards, provisions for open space, trails, etc.

As mandated by the Washoe County Master Plan, Development Code, and Truckee Meadows Regional Plan, for development areas west of Red Rock Road the minimum lot size within Silver Hills will be 3,700 square feet and the overall unit count may not exceed 3 units per gross acre for a total of 1,644 units. For development areas east of Red Rock Road, the minimum lot size shall be 21,780± square feet and the overall unit count may not exceed 1 dwelling unit per gross area for a total of 228 units. Total units within the Silver Hills Specific Plan shall not exceed 1,872. Multi-family development within the Residential Development Areas shall be prohibited.

Public Facility/Civic Uses

This area consists of 20± acres and generally surrounds the existing volunteer fire station on Red Rock Road. The area is envisioned for public uses that could include an elementary or middle school, expansion of the fire station, a library, etc. There is no residential land use associated with the Public Facility/Civic Use area. However, should no public use be established (or in a formal planning stage) at the 80%-buildout stage of the project, this area may be developed consistent with the Residential Development Area. Additionally, Public Facility/Civic Use areas may be relocated throughout the Specific Plan area in order to address specific community needs, better serve the public, or more properly relate to development patterns, subject to the provisions of this Handbook.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Park

Land designated as Park provides solely for public parks and recreation, including trailheads, and consists of 12± acres. Based on meetings with the Washoe County Regional Parks and Open Space Department, 10± acres of park land will be provided at the southwest portion of the Specific Plan area in order to allow for the expansion of the existing Silver Knolls Park. Additionally, two public trailheads (approximately 1 acre each) will be provided within the western portion of the Specific Plan, providing staging areas and public access to the Silver Hills trail network and adjoining public lands. The Park designation is depicted on the land use plan in schematic format. Final locations will be influenced based on individual projects within the Specific Plan boundaries, input from the Washoe County Regional Parks and Open Space Department, and the surrounding community. The 12 acres established is a minimum and may be increased as the project develops over time.

The 10± acres of Park use adjacent to the existing Silver Knolls park at the southwest boundary of the Specific Plan area may include recreational equipment, sports fields, equestrian staging areas, etc. (subject to Washoe County Regional Parks and Open Space Department input/needs). Trailheads will provide parking and/or staging areas that allow public access to the Silver Hills trail system and adjoining BLM land(s).

As Silver Hills develops, additional park space and developed parks may be provided. Park projects will be presented to the Washoe County Regional Parks and Open Space Department for review. Smaller park facilities such as neighborhood parks may be constructed by the Master Developer and maintained by the Silver Hills Master Homeowners Association (or sub-association), and shall be available for public use. Thus, Park use is permitted within all land use categories within the Silver Hills Specific Plan.

Note: An adequate construction, operation, and maintenance agreement between Washoe County and the Master Developer must be established prior to the construction of park facilities within Silver Hills.

Open Space

The Open Space area includes no development and serves to provide trail corridors, wildlife corridors, community aesthetic enhancement, passive recreation opportunities, and buffers between land uses. Open Space land use is located throughout the Specific Plan area including a dedicated 50-foot (minimum) open space buffer along the exterior boundary of the Specific Plan that shall include a public trail (except on the far west side where steeper terrain exists), suitable for equestrian use (as defined later in this Handbook). Open Space land use may include public or private ownership and may also include orchards, community gardens and barns, drainage channels, public infrastructure, utility corridors, etc.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Table 2-1 (below) summarizes the land use categories within the Silver Hills Specific Plan:

Table 2-1 – Land Use Summary

LAND USE	GROSS AREA
RESIDENTIAL	
Residential Development Area ¹	595.91± acres
NONRESIDENTIAL	
Public Facility/Civic Use (PFC)	20± acres ²
Park (P)	12± acres
Open Space (OS)	152.41± acres
TOTAL	780.32± acres

1 – Note: Limited Neighborhood Commercial uses shall be permitted within Residential Development Areas. Refer to Section 2.3.

2 – If no public use is planned or established at the 80% build out stage of the Specific Plan, this area shall revert to residential.

2.2.3 Density Matching

In areas where new residential development adjoins an existing neighborhood or platted subdivision density matching shall occur. This shall include comparable lot sizes or increased buffers to ensure that privacy of existing homes and community character is retained. Areas subject to density matching are identified with hatching on the land use plan (refer to Figure 2-1). The required 50-foot exterior open space buffer may not be counted towards density matching requirements. At a minimum, the density match area adjoining existing subdivisions shall extend 150-feet from the open space buffer internal to the Specific Plan area.

Development areas east of Red Rock Road have a more extensive density match requirement. As depicted on the land use plan (Figure 2-1), a 50-foot buffer shall be provided along the perimeter of the Specific Plan boundary. No structures shall be erected within this buffer area. Trails, public facilities such as drainage channels/basins, utility easements, etc. may be located within the buffer area. Additionally, all future residential parcels that abut the 50-foot buffer along the southern and eastern boundary of the Specific Plan area (east of Red Rock Road) shall be a minimum of one-acre in size. All new homes located adjacent to the 50-foot buffer, within the density match area, shall be limited to single story design.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.2.4 Density/Intensity Standards

Development Density and Intensity standards for each land use suitability area within Silver Hills are defined herein. For residential uses, minimum standards are established based on Washoe County Development Code requirements but are purposely flexible in order to encourage a wide range of single-family home types and promote new and innovative design concepts.

- **Residential Development Areas**

TYPE/DESCRIPTION	Lower Density Neighborhoods	
	Lower density single family neighborhoods provide single family detached homes in areas where comparable densities adjoin and in peripheral areas of Silver Hills. These areas may include custom/semi-custom home sites. Detached accessory dwellings are permitted but shall not exceed 1,200 square feet or 50% of primary residence, whichever is larger.	
	SINGLE FAMILY DETACHED	NOTES
BUILDING INTENSITY		
		If clustering of units with lot sizes less than 15,000 square feet, a minimum of 5% common open space shall be provided. Lots 1 acre or larger may include horses.
Typical Lot Sizes	15,000 square feet to 1 acre	
Minimum Lot Width	100 feet	
Building Height	35 feet maximum	
BUILDING SETBACKS		
Front Yard	30 feet	
Side Yard	10 feet	
Rear Yard	30 feet	
BUILDING PROJECTIONS	Refer to Washoe County Development Code (LDS standards)	
ACCESSORY USES		
Accessory uses shall be permitted pursuant to Washoe County Development Code Article 306		
NOTES		
1 – With Common Open Space		
2 – Lots east of Red Rock Road shall be a minimum of 21,780 square feet		
3 – A minimum of 50% of lots located east of Red Rock Road shall be a minimum of 1 acre in size.		

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 2-2 – Typical Low-Density Neighborhood (West of Red Rock Road)

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 2-2A – Typical Low-Density Neighborhood (East of Red Rock Road)

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- **Mid-Range Single Family Neighborhood**

TYPE/DESCRIPTION	Mid-Range Single Family Neighborhood	
	Mid-range density subdivisions provide single family detached dwellings at typical suburban densities. Densities within these areas shall provide appropriate transitions between adjoining projects. Pedestrian connections (i.e. trails or sidewalks) shall be provided in order to provide community connectivity.	
	SINGLE FAMILY DETACHED	NOTES
BUILDING INTENSITY		
Maximum Net Density (du/ac)	Per the Common Open Space Development standards allowed within Article 408	5% of gross project area shall be dedicated to common open space.
Typical Lot Sizes	5,000 to 15,000 square feet	
Minimum Lot Width	50 feet	
Building Height	35 feet maximum	
BUILDING SETBACKS		
Front Yard	15 feet ¹	
To Front Load Garage	20 feet	
To Side Load Garage	15 feet ¹	
To Alley Load Garage	5 feet	
Front Yard	15 feet	
Side Yard	5 feet	
Rear Yard	15 feet	
BUILDING PROJECTIONS	Refer to Washoe County Development Code (HDS standards)	
ACCESSORY USES		
Accessory uses shall be permitted pursuant to Washoe County Development Code Article 306		
NOTES		
1 – Minimum driveway depth shall be 20 feet along public rights-of-way. Setback to dwelling area may be reduced to 15 feet in order to provide building elevations that are not garage dominant.		

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

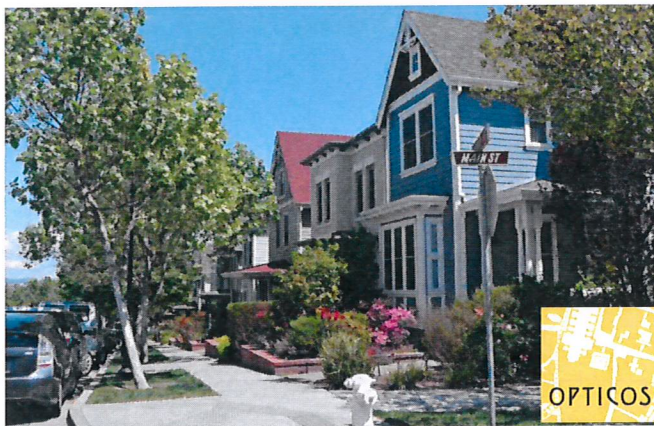
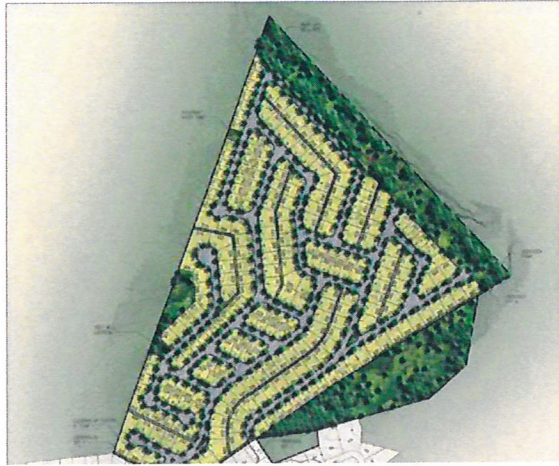


Figure 2-3 – Typical Mid-Range Single Family Neighborhood

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- **Suburban Single-Family Neighborhoods**

TYPE/DESCRIPTION	Suburban Single-Family Neighborhoods		
	Suburban Single-Family Neighborhoods are intended to provide a range of single family detached and single family attached products and may include small-lot patio homes, the use of alleyways and community greens, townhomes, and/or duplexes. These neighborhoods are located internal to the Silver Hills Parkway loop road.		
	SF – DETACHED	SF - ATTACHED	NOTES
BUILDING INTENSITY			
Maximum Net Density (du/ac)	Per the Common Open Space Development standards allowed within Article 408	Per the Common Open Space Development standards allowed within Article 408	Single Family attached projects shall include a sub-homeowner’s association responsible from common area maintenance, including maintenance of private streets (if any).
Lot Size	4,000 square feet ¹	3,700 square feet	
Minimum Lot Width	30 feet	20 feet	
Building Height	35 feet	40 feet	
LANDSCAPING			
Landscape Requirement		20% of total project area	Landscaped front yard areas maintained by HOA may be included in overall landscape requirement
BUILDING SETBACKS FROM PROPERTY LINES			
FRONT YARD SETBACKS			
To Main Structure w/ Front Entry Garage	10 feet	10 feet	
To Porch	10 feet	10 feet	
To Front Entry Garage (from public ROW)	20 feet	20 feet	
To Side Entry Garage	10 feet	10 feet	

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

BUILDING SETBACKS FROM PROPERTY LINES			
To Main Structure w/ Alley Loaded Garage	10 feet	10 feet	
SIDE YARD SETBACKS			10ft. min. bldg. separation
Interior Side Yard	0 or 5 feet	0 or 5 feet	
Side yard to Adjacent Street	10 feet	10 feet	
REAR YARD SETBACKS			* 10 feet min for cluster SFD
To Main Structure	15 feet *	10 feet	
To Alley Loaded Garage	5 feet	5 feet	
To Deep Recessed Garage	10 feet	10 feet	
BUILDING PROJECTIONS	Refer to Washoe County Development Code (LDU standards)		
ACCESSORY USES			
Accessory uses shall be permitted pursuant to Washoe County Development Code Article 306			
NOTES			
1 – May be reduced to 3,700 square feet for patio/cluster homes that share common vehicle courts, alleys, etc.			

It is recognized that future innovative concepts may not necessarily fit within the standard “mold” in terms of design/layout. Therefore, the residential development standards included within Section 2.2.4 may be varied by up to 20% subject to approval by the Master Developer. However, minimum lot size (3,700 square feet), maximum density (14 du/ac with Common Open Space) and required open space may not be varied.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

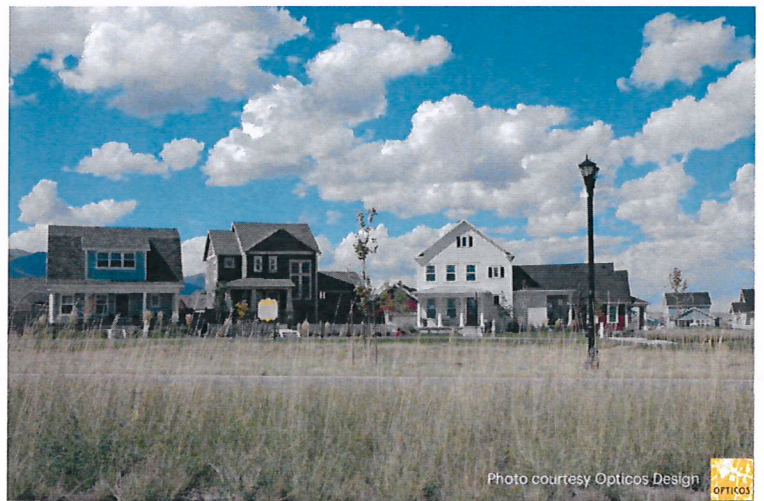
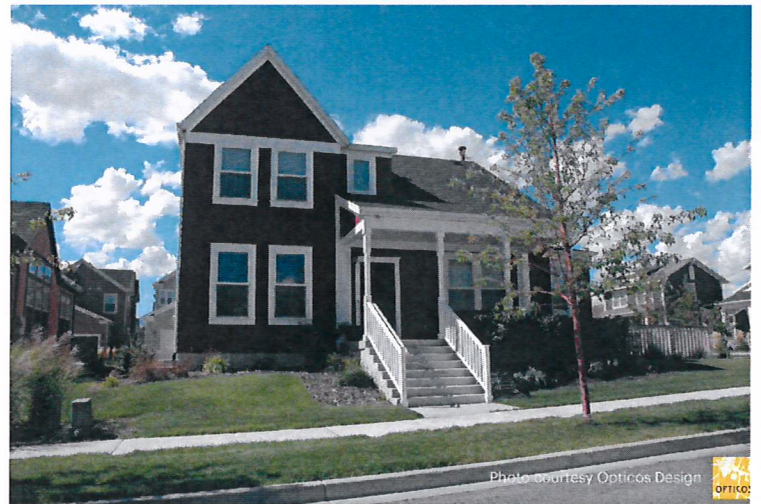


Figure 2-4 – Typical Suburban Single-Family Prototypes

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

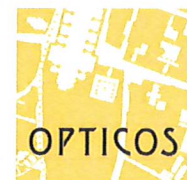
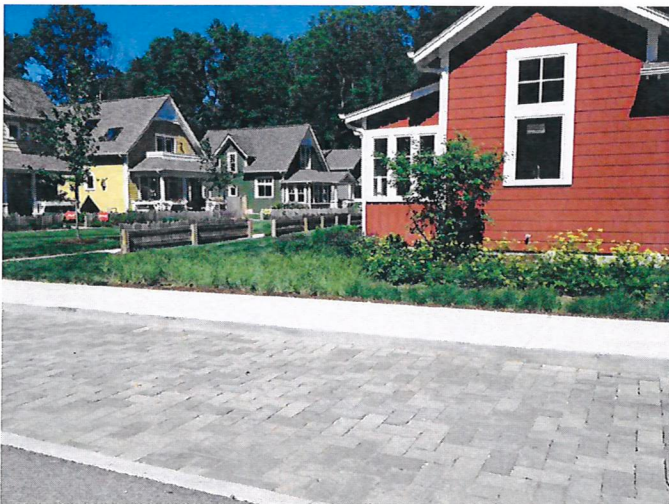


Figure 2-5 – Typical Suburban Single-Family Prototypes

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

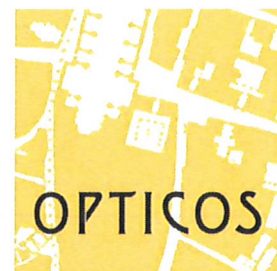
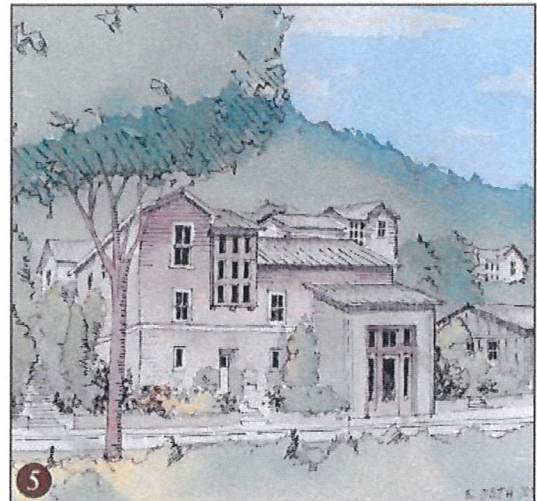
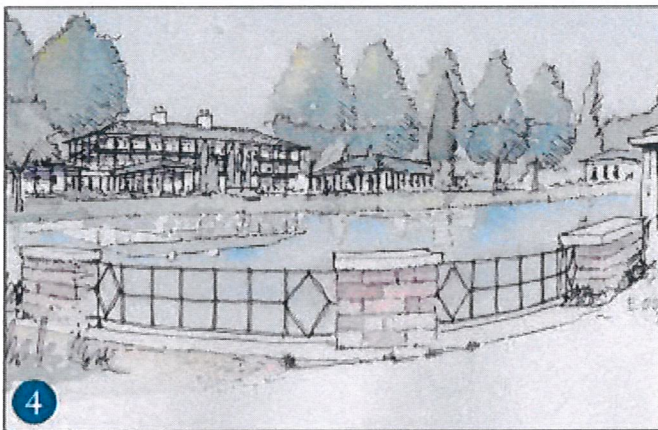


Figure 2-6 - Typical Suburban Single-Family Prototypes

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- **Public Facility/Civic Use**

TYPE	Public Facility/Civic Use
DESCRIPTION	The Public Facility/Civic Use designation provides for public facilities such as schools, libraries, utility structures, fire stations, sheriff substations, etc.
BUILDING INTENSITY	
Building/Facility Height	40 feet maximum
Building Separation	0 feet, or 20 feet minimum
LANDSCAPING	
Landscape Requirement	Minimum of 20% development area ¹
BUILDING SETBACKS	
Front	20 feet minimum
Side	15 feet minimum
Rear	20 feet minimum
NOTES	
1 – Requirement may be reduced to 10% for Washoe County School District facilities.	
2 – Land use may be relocated/reconfigured at the discretion of the Master Developer.	

- **Park**

TYPE	Park
DESCRIPTION	The Park designation provides for the development of active and passive public recreational facilities. ¹
BUILDING INTENSITY	
Minimum Size	10 acres
Building/Facility Height	35 feet maximum
Building Separation	0 feet, or 20 feet minimum
LANDSCAPING	
Landscape Requirement	Site specific to use.
BUILDING SETBACKS	
Collector Roads	20 feet minimum
Internal Local and Private Roads	15 feet minimum
Property Line ²	10 feet minimum
NOTES	
1 – Park locations may be relocated as development occurs, subject to approval by the Department of Parks and Open Space.	
2 – This includes all property lines within Silver Hills that do not border arterial or collector roads.	

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- **Open Space**

TYPE	Open Space
DESCRIPTION	The Open Space designation allows for passive recreation, landscape buffers, trails and trail corridors, wildlife corridors, utility corridors, drainage facilities, infrastructure, and undisturbed areas.
BUILDING INTENSITY¹	
Building/Facility Height	20 feet maximum
Building Separation	0 feet, or 20 feet minimum
LANDSCAPING	
Landscape Requirement	Site specific to use.
BUILDING SETBACKS	
Collector Roads	20 feet minimum
Internal Private Roads	15 feet minimum
Property Line ¹	10 feet minimum

2.3 Permitted and Conditional Uses

Permitted uses, and those requiring an Administrative Review or Special Use Permit within Silver Hills are provided in Table 2-2 - Allowed Uses table (following page). This table organizes potential uses within the land use categories presented within the Silver Hills Land Use Plan.

The following symbols are used in the matrix to indicate whether a proposed use is permitted, or whether an Administrative Review or Special User Permit may be required.

A – Permitted by right.

AR – Administrative Review required

S – Special Use Permit required

AN – Ancillary Use – Uses only allowed when ancillary to a permitted primary use

Empty Cell – Not permitted

The Washoe County Director of Planning and Building shall be responsible for determining the appropriate review board for uses requiring a Special Use Permit (i.e. Board of Adjustment vs. Planning Commission). Any subdivision of a parcel resulting in the creation of more than 4 lots shall be subject to the review and approval of a Tentative Subdivision Map.

Note: The Washoe County Department of Planning and Zoning shall define which residential land use designation to apply to a specific tentative map based on the lot sizes proposed, as defined in the previous tables.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Uses not listed in Table 2-2 are not permitted within the Specific Plan area. However, in an instance where a proposed use is not listed within Table 2-2 or within Table 110.302.05.01 of the Washoe County Development Code, the Director of Planning and Building may permit such use with the approval of an Administrative Review if such use is found to be complementary to and consistent with the allowed uses and standards contained within this Handbook. Any such use shall also require the consent and approval of the Master Developer and Design Review Committee.

Note: All uses shall be defined per the definitions contained within Article 902 of the Washoe County Development Code. Home-based businesses, as defined and permitted through the Washoe County Business License Division, shall be permitted. Uses noted with an asterisk (*) shall be subject to the supplemental use standards contained in section 2.3.1 of this handbook

Table 2-2 – Allowed Uses

LAND USE DESIGNATIONS	LDSF	MRSF	SFS	PFC	P	OS
RESIDENTIAL USE TYPES						
Single Family Residential Uses						
Attached Accessory Dwelling	A	A	A			
Detached Accessory Dwelling*	A	A				
Detached Accessory Structure	A	A				
Duplex			A			
Group Home	A	A	A			
Model Home Complex	AN	AN	AN			
Single Family, Attached			A			
Single Family, Detached	A	A	A			
CIVIC USE TYPES						
Active Recreation	A	A	A	A	A	A
Administrative Services				AR		
Child Daycare	A	A	A			A
Community Barn	A	A	A	A	A	A
Community Center				AR	AR	AR
Community Farms and Orchards	A	A	A			A
Community Garden	A	A	A	A	A	A
Convalescent Services	AR	AR	AR			
Cultural and Library Services				A		
Education				S		
Family Daycare	AR	AR	AR			
Group Care Facility	AR	AR	AR			
Large-Family Daycare	S	S	S			
Major Public Facilities	S	S	S	S	S	S
Nature Center					A	A
Passive Recreation	A	A	A	A	A	A
Postal Services				S		
Public Service Yard				S		
Religious Assembly	S	S	S			
Safety Services				S		
Utility Services	S	S	S	S	S	S
COMMERCIAL USE TYPES						
Administrative Offices				AR		
Commercial Antennas				S	S	S

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

LAND USE DESIGNATIONS	LDSF	MRSF	SFS	PFC	P	OS
Continuum of Care Facilities - Seniors	S	S	S			
Eating and Drinking Establishments – Convenience*						
Eating and Drinking Establishments – Full Service*			S			
Financial Services			S			
Indoor Sports and Recreation				S	AR	
Neighborhood Centers*			S			
Outdoor Entertainment*				A	A	
Outdoor Sports and Recreation				A	A	A
Personal Storage*			S	S		
Retail Sales – Convenience*			S			
Retail Sales – Specialty Stores*			S			
Satellite Dishes	Refer to Article 324 of WCDC					
Storage of Operable Vehicles*			S			
Wireless Communication Facilities	Refer to Article 324 of WCDC					

2.3.1 Supplemental Use Standards

Several of the uses listed in Table 2-2 include an asterisk (*). These uses, while allowed (subject to applicable entitlements) have additional restrictions defined in this section that are above and beyond the requirements of the Washoe County Development Code. Restrictions on these uses are listed below:

Agrihood Facilities – Agrihood facilities, as described throughout this handbook and including components such as barns, greenhouses, orchards, etc. shall be permitted within all land use categories with the exception of PFC and P but shall require the approval of the Design Review Committee unless included concurrent with a tentative map request approved by Washoe County.

Detached Accessory Dwelling – Detached accessory dwellings constructed as part of the original house floor plan (i.e. detached casitas, mother-in-law quarters) shall be permitted and may not exceed 1,200 square feet.

Eating and Drinking Establishments – Convenience– Coffee shops, delis, or similar, up to 4,000 square feet may be permitted within Neighborhood Centers (see below) with the approval of a Special Use Permit. Establishments operating outside the hours of 6:00 am to 11:00 pm are not permitted.

Eating and Drinking Establishments – Full Service – Restaurants, including restaurants with alcohol service, up to 4,000 square feet may be permitted within Neighborhood Centers (see below) with the approval of a Special Use Permit. Free-standing bars, or establishments operating outside the hours of 6:00 am to 11:00 pm, are not permitted.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Neighborhood Centers – The Silver Hills Specific Plan recognizes that small neighborhood commercial uses can be beneficial and can serve to create a stronger sense of community. For that reason, support retail services, up to 45,000 square feet may be located within the Silver Hills Parkway loop road (defined in Table 2-2 as the SFS zone). Individual commercial uses in excess of 5,000 square feet are prohibited. Neighborhood centers shall incorporate the architectural standards included herein and shall include clustering of smaller buildings rather than a large “strip” building structure (refer to Figure 2-8).

Outdoor Entertainment – Outdoor entertainment such as school events, community concerts and performance, and the like are permitted within the Public Facility and Parks land uses and shall not extend past 10:00 pm. More than 2 events per month at any given facility shall require the approval of a Special Events Permit by Washoe County.

Personal Storage – Personal storage shall be limited to the storage of boats, recreational vehicles, and the like. These areas shall be screened with a 6-foot minimum solid sight obscuring fence. Additionally, a minimum of 15% of the total site area shall be landscaped, including the use of evergreen trees in order to provide year-round screening. Personal storage uses do not count towards the 45,000 square foot limitation on neighborhood commercial/retail use. Personal storage use shall be limited to no more than 15 acres.

Retail Sales - Convenience – Convenience retail is permitted within Neighborhood Centers and may not exceed 5,000 square feet. Additionally, hours shall be limited to 6:00 am to 11:00 pm only. Freestanding convenience stores and service stations are prohibited.

Retail Sales – Specialty Stores – Specialty stores such as boutiques, personal services, salons, and the like shall be permitted within neighborhood centers and shall not exceed 5,000 square feet.

Storage of Operable Vehicles – Storage of operable vehicles shall be limited to the storage of boats, recreational vehicles, and the like and shall be for the exclusive benefit of Silver Hills residents. These areas shall be located behind a minimum 6-foot sight-obscuring solid fence. Storage uses do not count towards the 45,000 square foot limitation on neighborhood commercial/retail use. Operable vehicle storage shall be limited to no more than 15 acres.

Additional Use Restrictions:

Total commercial area may not exceed 45,000 square feet. Refer to Figure 2-7 for typical neighborhood center concept. Live/work residential units and storage facilities shall not count towards the 45,000 square foot limitation.

Standards of the Neighborhood Commercial (NC) zone shall be applied to any commercial use standard not addressed herein.

Neighborhood commercial uses shall be located within the Silver Hills Parkway “ring” central to the Specific Plan area and shall not extend into peripheral areas of the project boundaries.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 2-7 – Typical Neighborhood Center

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 2-8 – Typical Retail Concept

2.4 Streetscape Development Standards

2.4.1 Circulation Plan

Silver Hills will be accessed through an extension of Silver Knolls Boulevard that will circle through the west side of the Specific Plan Area, connecting back to Red Rock Road at the northern end of the project boundary. This roadway, known as Silver Hills Parkway, will be constructed to a collector roadway standard and will include two lanes with a center turn lane at intersections. At the two primary entries along Red Rock Road, the center turn lane will include a landscape island that will include evergreen plantings and shrubs.

As Silver Hills develops with future tentative maps, local roadways will connect with Silver Hills Parkway, providing access to individual neighborhoods. Neighborhoods within the project may be interconnected with local streets but all residential traffic will be directed towards Silver Hills Parkway for primary access in and out of the Specific Plan area.

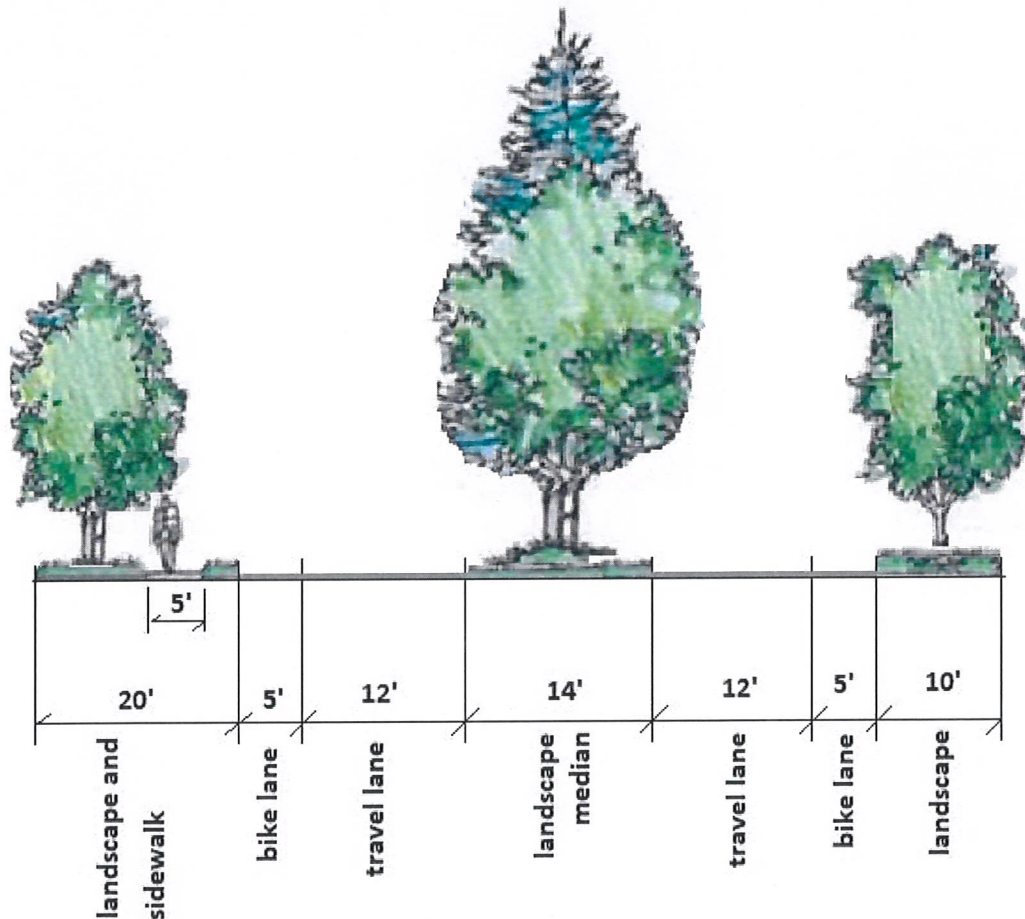
2.4.2 Roadway Design

Development of roadways within Silver Hills will generally conform to the standards defined in the Washoe County Development Code. However, as noted previously, Silver Hills Parkway will include a 100-foot landscape median at its two intersections with Red Rock Road, identifying the project to residents and visitors with distinct entry monumentation (as described later). A cross section of the proposed Silver Hills Parkway is depicted in Figure 2-9 on the following page. The right-of-way section includes two 12-foot travel lanes along with a 5-foot bike lane on each side. A 14-foot center turn lane is provided (with the exception of the 100-foot entry landscape median). Additionally, a 10-foot landscaped common area will be included on one side, with 20-feet on the other (this may vary from side to side depending on site conditions). The 20-foot landscape common area shall include a 5-foot (attached or detached) asphalt or concrete pedestrian path. Roadways east of Red Rock Road shall conform to standard Washoe County standards/details.

As an alternative to Washoe County local street standards, individual builders within Silver Hills may wish to incorporate a modified local street section. Examples include provisions sidewalk on one side of the street, allowing the use of rolled curbs, etc. Any deviation from Washoe County Development Code standards for roadway design must be reviewed and approved by the Washoe County Engineering and Capital Projects Division on a case by case basis at the time of tentative map and/or final design and shall also be approved by the Truckee Meadows Fire Protection District.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Landscaping and a 5-foot pedestrian path will be provided along Silver Hills Parkway in its entirety. The pathway shall be paved or constructed of concrete and will be located within the common area that will parallel Silver Hills Parkway. The path may be attached or detached from back of curb and may cross from side to side depending on location and site conditions. A striped pedestrian crosswalk shall be required at all crossing points of the 5-foot pedestrian path.



Note: Landscape median length is 100-feet.
Section includes center turn lane for remainder of roadway section.

Figure 2-9 – Silver Hills Parkway Section

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.4.3 Access Standards

RTC access management standards and the Washoe County Public Works design standards shall be used to direct the design of access and layouts for individual projects within Silver Hills at the time of development. Accesses and layouts will be reviewed and approved by the Silver Hills Design Review Committee (DRC) and the Washoe County Department of Planning and Building.

Alleys are an allowed alternative within single-family residential areas of Silver Hills. An alley is a private roadway that is intended to provide access to an abutting property such as a garage or rear yard. Alleys are not intended for general traffic circulation or primary emergency access routes. Alleys shall meet the width requirements per sections 110.436.105 and 110.436.110 of the Washoe County Development Code and shall be maintained by the adjoining property owner (through an easement agreement) or by a sub-association established by an individual builder with the approval of the Silver Hills Master Developer.

2.4.4 Silver Hills Parkway Streetscape

Silver Hills Parkway shall be designed to promote a sense of community through the incorporation of a landscaped median at the project entries as well as landscaping along both sides of the roadway. Additionally, a 5-foot paved pedestrian path will run adjacent to the roadway, within the landscaped common areas. The path may be detached from the roadway section and may cross over to the opposite side of Silver Hills Parkway where topography or engineering requirements dictate.

A project identifying entry feature may be permitted at the primary access points of the Silver Hill Specific Plan area along Red Rock Road. The entry feature serves to help establish the project theme and is expected to be reminiscent of a historic ranch entry. The entry may utilize a mix of timber and stone accents and will include signage to identify the project. Additional details on project entries are included later in this Handbook. A 100-foot long landscaped median shall be located at each access point along Red Rock Road. The median shall be set back from the intersection to provide proper sight distance for drivers. In areas that the landscape median does not occur, a 14-foot center turn lane shall be provided in areas where turning movements occur.

The pedestrian path along Silver Hills Parkway shall be installed with the construction of the adjacent roadway. This applies to landscaping along Silver Hills Parkway as well. Landscaping located within the right-of-way and the landscape buffer adjacent to Silver Hills Parkway shall be maintained by the Silver Hills master homeowner's association (HOA). Additionally, the HOA shall be responsible for the 5-foot pedestrian path that parallels the Silver Hills Parkway right-of-way. Washoe County shall be responsible for the maintenance of the public right-of-way areas.

The following landscape standards apply to Silver Hills Parkway:

- Landscaped common areas shall occur adjacent to both sides of Silver Hills Parkway. At a minimum, one side shall be 10 feet with the other at 20 feet. The 20-foot landscape common area shall include a 5-foot paved (or concrete) pedestrian path.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- A 100-foot landscape median shall be provided at the primary entries along Red Rock Road. The median shall be setback a minimum of 15-feet from the intersection in order to allow proper site distance for drivers.
- Evergreen trees shall be 6' minimum height with deciduous trees at a minimum 1.5" caliper, at time of planting.
- Landscaped common areas adjacent to Silver Hills Parkway may include a mix of xeriscape materials such as decomposed granite, rock mulch, etc. rather than turf.
- At time of planting, all groundcover and shrub areas must have 100% coverage with organic, rock and/or bark mulch, to protect the soil.
- Slope banks shall utilize native and/or adapted species to reduce maintenance and irrigation requirements. Adapted species refers to non-native or exotic plant species that are non-invasive and well adapted to the local climate and growing conditions.
- Large trees shall be defined as those that exceed 40 feet in height and 40 feet canopy diameter at maturity.
- Medium trees shall be defined as those that range from 20 feet to 40 feet in height and 10 feet to 40 feet in canopy diameter at maturity.
- Small trees shall be defined as those ranging from 8 feet to 20 feet in height and 6 feet to 20 feet in canopy diameter at maturity.
- Formal groupings refer to the linear or patterned arrangement of plants at a regular spacing interval.
- Informal and clustered groupings refer to the random or irregular arrangement of plants in groups of 3 or more and spaced a maximum of 60 feet between clusters.

2.4.5 Red Rock Road Streetscape

A 25-foot landscape buffer will be provided along Red Rock Road as it traverses the project area. This 25-foot will include enhanced native landscape in order to provide an aesthetically pleasing streetscape and will incorporate elements common to the overall project design, reinforcing a project sense of place. While trees will be included within the buffer, much of it may remain natural. The Red Rock Road frontage (west side) will include a 6-foot-decomposed granite (or similar) path that connects the north and south intersections of Silver Hills Parkway. The path may meander but shall be detached from the right-of-way by a minimum of 5 feet.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

The path along Red Rock Road shall be installed with the first phases of development. This applies to landscaping within the Red Rock streetscape as well. The Red Rock Road streetscape/landscape buffer shall be maintained by the Silver Hills master homeowner's association (HOA). Additionally, the HOA shall be responsible for maintenance of the 4-6-foot (west side) and 6-foot multi-purpose path (east side) that lie within the landscaped common area. Washoe County shall be responsible for the maintenance of the public right-of-way areas.

The 25-foot landscape buffer located on the east side of Red Rock Road shall include native vegetation. Formal plantings within the east side buffer are discouraged. Any new trees shall be planted to protect privacy of existing or new homes and shall not include formal clustering of plant material.

The following landscape standards apply to the west side of Red Rock Road:

- Landscaped common areas (minimum of 25-feet in width) shall occur adjacent to Red Rock Road.
- Located within the 25-foot streetscape shall be a detached 4-6-foot decomposed granite or similar path. These facilities shall be setback a minimum of 5-feet from the Red Rock Road right-of-way.
- Evergreen trees shall be 6' minimum height with deciduous trees at a minimum 1.5" caliper, at time of planting.
- Landscaped common areas adjacent to Red Rock Road may include xeriscape materials such as decomposed granite or rock mulch rather than turf.
- At time of planting, all groundcover and shrub areas must have 100% coverage with organic, rock and/or bark mulch, to protect the soil.
- Large trees shall be defined as those that exceed 40 feet in height and 40 feet canopy diameter at maturity.
- Medium trees shall be defined as those that range from 20 feet to 40 feet in height and 10 feet to 40 feet in canopy diameter at maturity.
- Small trees shall be defined as those ranging from 8 feet to 20 feet in height and 6 feet to 20 feet in canopy diameter at maturity.
- Formal groupings refer to the linear or patterned arrangement of plants at a regular spacing interval.
- Informal and clustered groupings refer to the random or irregular arrangement of plants in groups of 3 or more and spaced a maximum of 60 feet between clusters.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Table 2-3- Silver Hills Streetscape Standards

Roadway	Landscape Buffer	Required Landscape	Pedestrian Amenities
Silver Hills Parkway	10 feet/20 feet	<p style="text-align: center;">Tree Type: Mix of Evergreen and Deciduous</p> <p style="text-align: center;">Pattern/Spacing: Average of 50' on Center</p> <p style="text-align: center;">Other: 60% shrub/40% ground cover mix</p>	5-foot attached or detached asphalt or concrete path ¹
Red Rock Road (applies to west side only)	25 feet/25 feet	<p style="text-align: center;">Tree Type: Mix of Evergreen and Deciduous</p> <p style="text-align: center;">Pattern/Spacing: Average of 70' on Center</p> <p style="text-align: center;">Other: Native ground cover mix</p>	6-foot detached multi-purpose path ²

1 – Pedestrian path to be located within 20-foot landscape buffer.

2 – Design to be consistent with Washoe County Green Book standards.

2.4.6 Street Lighting

Lighting within Silver Hills is designed to enhance the quality and safety of the streetscape corridors while maintaining dark skies standards. Lighting located within the right-of-way of collector roads, local streets, and other public common areas will be installed by the Master Developer or individual builders and maintained by NV Energy or Washoe County (for standard poles/fixtures). Lighting located within alleys, associated with commercial or privately maintained parking lots, or non-NV Energy standards, shall be the responsibility of the property owner or a sub-homeowner’s association (subject to approval by the Master Developer and Design Review Committee). Any street lights that do not meet Washoe County standards shall be private, and the CC&R’s shall indicate operation and maintenance of street lights shall be the responsibility of the homeowner’s association or NV Energy (as applicable).

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

This section provides lighting standards for collectors and local streets, as well as pedestrian, landscape and sign lighting within Silver Hills.

The goals of the Silver Hills lighting standards are to:

- (1) Provide a safe level of illumination for both motorists and pedestrians;
- (2) Reinforce the pedestrian scale of the community;
- (3) Provide appropriate lighting in context with the surrounding built environment; and
- (4) Allow for quality lighting design that reflects the theme of the community

2.4.7 Collectors and Local Streets

The following standards apply to collector and local streets within of Silver Hills:

- Any street lights that do not meet Washoe County standards shall be private, and the CC&R's shall indicate operation and maintenance of street lights shall be the responsibility of the homeowners association or NV Energy (as applicable).
- Lighting fixture types shall be of a consistent scale, design and color along street corridors
- Street lighting shall be directionally shaded to reduce spill-over and glare and include "dark skies" standards.
- Light fixture height shall not exceed 20 feet.
- Refer to Table 2-4 for additional lighting standards.
- Street lights shall be maintained by NV Energy or Washoe County. Non-NV Energy standard fixtures and lights within private parking lots or alleyways shall be maintained by individual property owners or a sub-HOA (to the approval of the Master Developer and Design Review Committee).
- All street lights shall incorporate dark skies technologies and fixtures.
- All collector and local roadways shall include NV Energy "decorative" light fixtures (refer to Figure 2-10).
- For local streets, individual builders may utilize non-NV Energy standard fixtures. These fixtures shall be maintained by the HOA (or a sub-HOA) and must be approved by the Master Developer/Design Review Committee.
- Individual projects east of Red Rock Road may reduce required street lighting by up to 50% (based on Washoe County code standards) in order to complement existing adjoining neighborhoods.



NV Energy Decorative Head Light Fixture

Figure 2-10 – Typical Light Fixtures

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Table 2-4 – Streetscape Lighting Standards

Roadway Designation	Roadway	Location	Standards		
			Model (Luminaire, mast arm and pole)	Placement	Spacing
Collector	Silver Hills Pkwy.	NV Energy Standards ¹	NV Energy approved decorative fixture (see Figure 2-9) ³	Alternating ¹	Spaced at regular intervals
Neighborhood Local	All public streets within a parcel or subdivision	NV Energy Standards ¹	NV Energy approved decorative fixture (see Figure 2-9) ^{2,3}	Alternating ¹	Spacing Varies

1 – Placement and Spacing of street lighting is subject to approval by NV Energy and Washoe County, as specified in the Washoe County Development Code.

2 – Non-NV Energy fixtures may be used subject to the approval of the Master Developer/Design Review Committee and shall be maintained by the HOA or approved sub-HOA.

3 – Any street lights that do not meet Washoe County standards shall be private, and the CC&R's shall indicate operation and maintenance of street lights shall be the responsibility of the homeowner's association or NV Energy (as applicable).

2.4.9 Entries

The consistent treatment of neighborhood entries will help establish a consistent community character within Silver Hills. Two primary entries will occur along the west side of Red Rock Road and will include a formal entry feature that spans the roadway, providing project identification. The entry feature is expected to be modeled after a traditional ranch gate entry and shall include the use of timbers with stone base accents.

The following standards shall apply to primary entry monuments:

- Maximum height of any roadway span shall be 20 feet. Roof structures may be incorporated into spans (refer to Figures 2-11-2-13) but are not required.
- Decorative lighting such as lanterns or similar may be included on primary entry features.
- Project signage, including the project name and/or logo may be included on the span structure and side base structures.
- All signage shall include internal or indirect illumination. Up-lighting of entries is permitted only when spill-over past the Specific Plan boundary does not occur.
- A formal entry(s) shall not be required for areas east of Red Rock Road.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Project entry structures and all non-County maintained items (signs, landscaping, paths, etc.) constructed within the Washoe County rights-of-way will require a revocable occupancy permit and shall comply with AASHTO clear zone requirements.



Figure 2-11 – Primary Entry Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

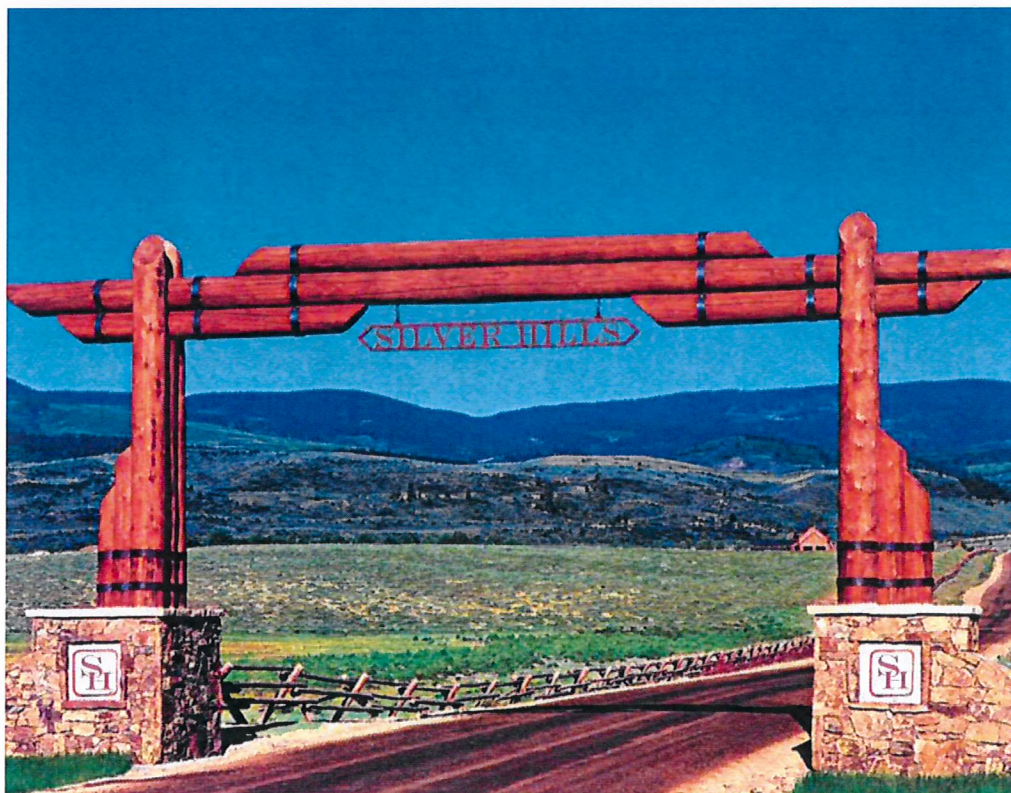
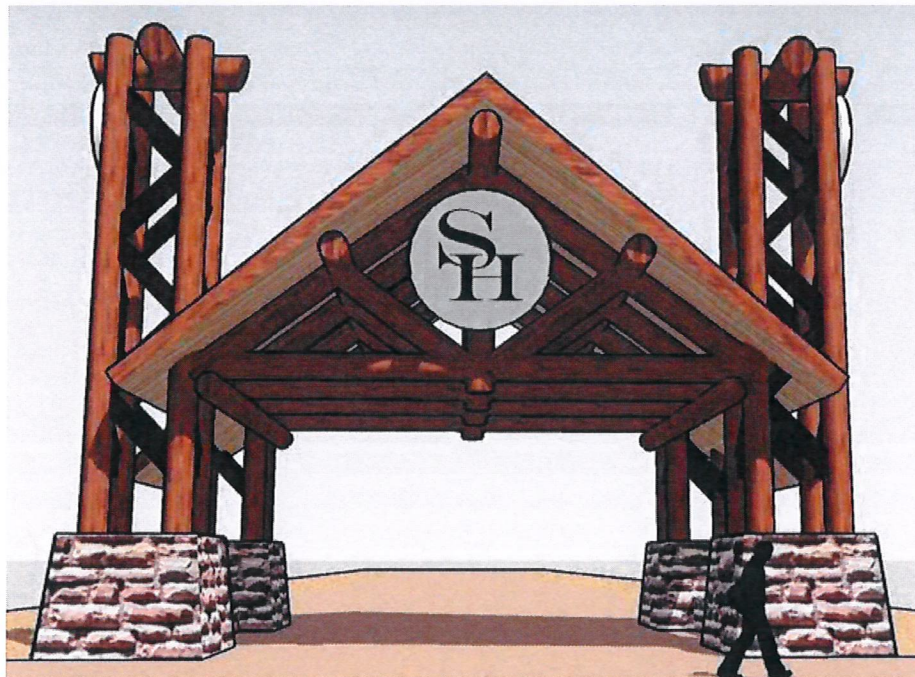


Figure 2-12 – Primary Entry Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Note: Roof structures (as depicted above) are allowed as an option for project entries.

Figure 2-13 – Primary Entry Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.4.9 Neighborhood Entries

Silver Hills will incorporate entry monumentation for all individual neighborhoods within the Specific Plan area. The following standards shall apply to neighborhood entry signs:

- Project entry structures and all non-County maintained items (signs, landscaping, paths, etc.) constructed within the Washoe County rights-of-way will require a revocable occupancy permit and shall comply with AASHTO clear zone requirements.
- A neighborhood entry treatment shall be placed at the primary entrance to each neighborhood.
- Entry monuments shall be located outside the sight visibility triangle of the road intersection.
- Neighborhood entry treatments shall be designed with similar characteristics to that of primary entries, but on a smaller scale. Entry monuments may incorporate the use of stone, timbers, barn wood, etc. in order to carry on the Silver Hills theme.
- Entry monuments shall be located within dedicated common area and not within individual lots.
- Landscaping adjacent to neighborhood entries shall incorporate native materials, predominantly designed to look natural and wild, with some manicured ornamental landscaping where necessary.
- Neighborhood entry landscape treatments shall be reviewed and approved by the Design Review Committee as well as Washoe County (with associated tentative map, Special Use Permit, etc.).
- Neighborhood entries shall not exceed 6 feet in height.
- Up-lighting or indirect lighting of monument signs shall be permitted.
- Neighborhood/project entry signs shall have a consistent design within each project.
- Monument signs shall be maintained by the homeowner's association or a sub-homeowner's association (with the approval of the Master Developer).
- Neighborhood entries are optional for neighborhoods east of Red Rock Road.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 2-14 – Neighborhood Entry Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.5 Signs

Signage within Silver Hills shall be limited to project entries (refer to section 2.4), internal wayfinding signs, and limited commercial signage within the MR zone. The following general standards apply to all signs within the Specific Plan area:

- Signs within Silver Hills shall comply with the regulations governing signs contained within the Washoe County Development Code. Where a conflict exists between these development standards and the Development Code, the standards contained herein shall apply.
- Monument signs shall have a maximum height of six (6) feet. No additional freestanding signs shall be permitted with the exception of directional wayfinding signs or traffic control signs. Pylon or pole signs are specifically prohibited.
- Internally lit signs shall not result in spill-over or glare upon adjoining properties.
- Refer to section 2.5.2 for non-residential sign standards.

2.5.1 Wayfinding Signs

A wayfinding sign is a sign that directs the flow of pedestrians or vehicles to community elements such as neighborhoods, parks, schools, etc. The following standards apply to wayfinding signs within Silver Hills:

- Wayfinding signs shall have a maximum height of 6 feet.
- Wayfinding signs shall not be placed within 100 feet of an intersection or nearer than 50 feet from a required regulatory sign (i.e. traffic control sign) on collector roadways.
- Wayfinding signs will be maintained by the Silver Hills homeowner's association and shall be approved by the Master Developer prior to installation.
- Temporary wayfinding signs may be used to identify individual projects, model home complexes, etc. within Silver Hills.
- Wayfinding signs shall be consistent with the concepts/examples presented in Figure 2-15.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

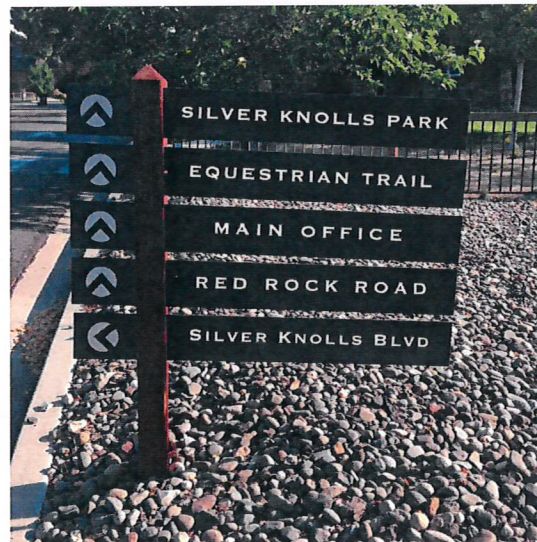


Figure 2-15 – Wayfinding Sign Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.5.2 Commercial Signs

Limited commercial areas are permitted within residential development areas as detailed previously in this Handbook. It is the intent that commercial areas not be dominated with signage. Rather, signs will be used for business identification and shall be incorporated with building architecture. The following standards apply to commercial uses within Silver Hills:

- Unless specifically addressed within this handbook, signage area shall comply with the standards included in the Washoe County Development Code for the Neighborhood Commercial zone.
- For retail uses, a common monument sign, not to exceed 8 feet in height, shall be permitted with up to 10 individual tenant panels. This sign may be internally illuminated if faced away from residential uses.
- Building signs shall be downlit or indirectly lit. Internal illumination shall be prohibited.
- Roof signs shall be prohibited.
- The use of flashing signs, reader boards, or scrolling message signs shall be prohibited.
- Refer to Figure 2-16 for examples of sign character for limited commercial uses within Silver Hills.

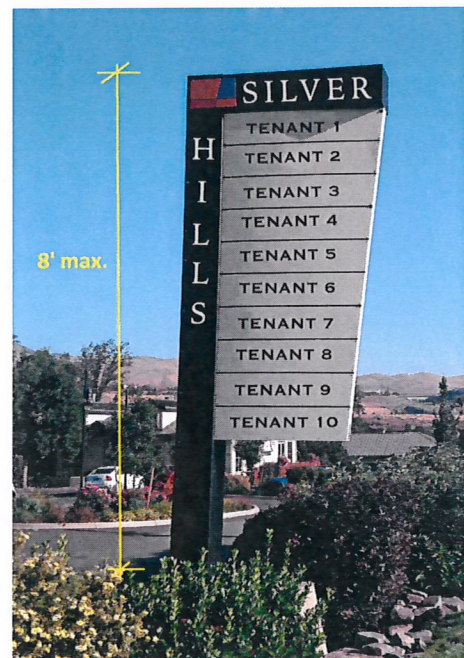


Figure 2-16 – Typical Commercial Signage

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.6 Trails

Trails are provided throughout the Silver Hills Specific Plan area and serve to provide pedestrian and equestrian links within the community. Trails are located within open space areas and shall be constructed in phases as adjoining development occurs. There are two primary trail types within Silver Hills; pedestrian trails and multi-use trails. To provide clarification, “pedestrian” shall refer to individuals (walking, running, etc.), and other non-motorized forms of transportation, including equestrian use (as applicable).

Pedestrian trails are intended solely for pedestrian and bicycle use and are located to provide links to neighborhoods and community facilities such as parks and schools. Multi-use trails are located within the perimeter open space buffer and are intended for use by pedestrians/hikers, bicyclists, and equestrian users. Specifically, multi-use trails provide access to public lands that surround Silver Hills and allow for horseback riders to access these lands through the Silver Hills Specific Plan area.

Figure 2-18 provides a backbone trail plan for Silver Hills. It is anticipated that as individual neighborhoods within the Specific Plan develop, links to the primary trail network will be provided within common open space. The intent is to provide pedestrian connections from within individual neighborhoods to the overall trail network, allowing residents to access various parts of the community without interaction with automobiles.

The following trail standards shall apply within the Silver Hills Specific Plan

- Trails shall comply with Washoe County Green Book Standards. Any deviation from such shall be subject to the review and approval of the Washoe County Regional Parks and Open Space Department.
- A 6-foot multi-use trail (decomposed granite or similar) shall be located within the open space buffer on the northern and southern perimeters of the Specific Plan area. This trail shall allow for both pedestrian and equestrian traffic.
- A minimum of two developed public trailheads (approximately 1-acre in size) shall be located west of Red Rock Road within the Specific Plan boundaries. Final trailhead locations shall be determined with input from the Washoe County Regional Parks and Open Space Department.
- A 5-foot paved pedestrian trail shall be located within the utility corridor open space, connecting the western and eastern sides of the project. A continuation of this trail shall provide a connection to Silver Knolls Park located south of the Specific Plan area.
- Refer to sections 2.4.4 and 2.4.5 for trail/pathway standards along Silver Hills Parkway and Red Rock Road.
- Trails shall be constructed in phases as development occurs by the Master Developer or individual project builder.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Trails shall be maintained by the Silver Hills homeowner’s association.
- As development occurs, the Washoe County Department of Planning and Building shall require trail connections to the master trail system, as applicable in order to provide for neighborhood connectivity.
- An equestrian route through the Specific Plan area shall be maintained during construction.
- Multi-use trails/paths shall be constructed of decomposed granite (or similar) and utilize either a concrete or solid border to define the limits of the trail. Refer to Figure 2-17 below.
- A minimum of one undercrossing, capable of accommodating equestrian users, shall be provided under Red Rock Road, linking the east and west sides of the Specific Plan Area.

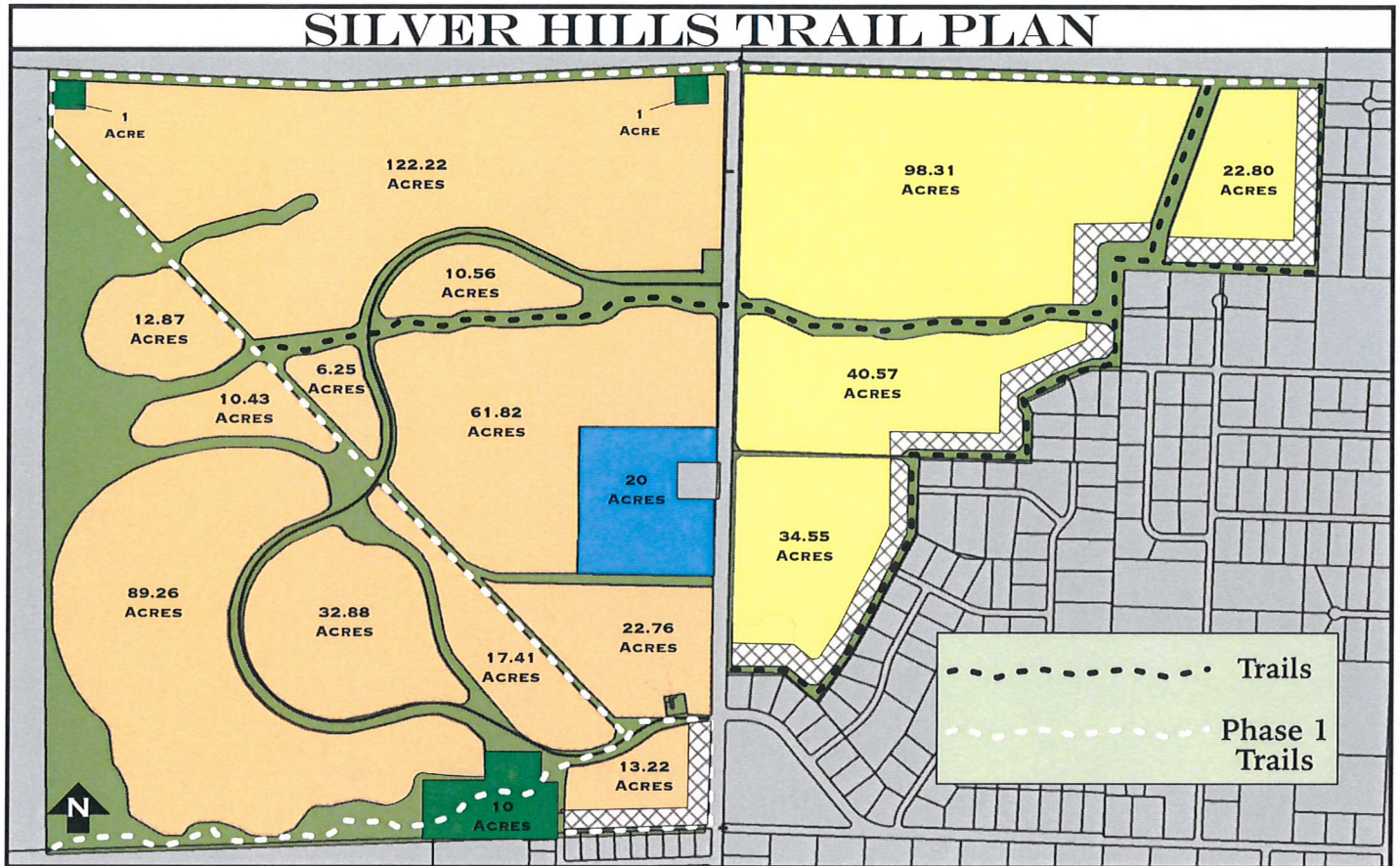


Figure 2-17 – Typical Multi-Use Trail

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Trails occur within areas of natural landscape. However, plantings of evergreen and deciduous trees, at the Master Developer's discretion, shall be permitted.
- Access points to the trail system shall include barriers such as bollards, gates, or similar to prevent motorized vehicles from accessing the trail network. Use of trails within Silver Hills by motorized vehicles shall be prohibited. Vehicles necessary for trail and common area maintenance are exempt from this standard.
- Trailheads may incorporate access for off-highway vehicles to access public lands but shall prohibited motorized access on trails within the Specific Plan boundary (subject to approval by the Washoe County Regional Parks and Open Space Department).
- Trailheads shall be constructed by the Master Developer and maintained by the Silver Hills Homeowners Association or similar (subject to approval by the Washoe County Department of Regional Parks and Open Space).
- Connections to the trail system from future subdivisions including trail access points shall be reviewed and approved by the Master Developer or Design Review Committee.
- All trails shall be located within dedicated common areas.
- Bollard lighting may be used to illuminate trail access points, at the discretion of the Master Developer.
- Trails located within park areas dedicated to Washoe County shall be maintained by Washoe County.
- Neighborhoods shall be required to consider trail access in their design and provide efficient links to existing BLM trailheads, where applicable.
- A trail head parking area (site to be determined) shall be provided adjacent to public lands and provide adequate area for parking, trailers, and the loading/unloading of off-road vehicles.
- Refer to Figure 2-18 for a master trail system map.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Trails identified in white (Phase 1 Trails) shall be constructed with initial phase of development for respective development area (i.e. east and west sides).

Note: Trails shown are in addition to pedestrian pathways and multi-use pathways that adjoin major roadways, as detailed in in Table 2-3.

Figure 2-18 – Silver Hills Master Trails Plan

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.7 Parks

Silver Hills will provide new park facilities to the benefit of the whole community. A minimum of 12 acres of developed park facilities shall be provided in Silver Hills. This includes 10± acres at the southwest portion of the Specific Plan area, adjoining Silver Knolls Park, along with two 1-acre trailheads. Final trailhead locations and park configuration shall be determined with input from the Washoe County Regional Parks and Open Space Department.

2.7.1 Community/Regional Park

A minimum of 10 acres are reserved at the southern portion of the Specific Plan area, immediately adjacent to the existing Silver Knolls Park. It is envisioned that this area will serve as an extension of the existing community park and provides for expansion of the facilities for both active and passive recreation, and possibly allow Washoe County to develop Silver Knolls Park to a regional park standard. Additionally, this area has the potential to provide equestrian staging facilities including horse trailer parking, access to equestrian trail heads, etc.

Final design of the park and its associated facilities will be subject to input and direction from the Washoe County Regional Parks and Open Space Department. The park facilities will be constructed by the Master Developer with construction of the 500th unit within the Silver Hills Specific Plan and will be reimbursed with park tax funds collected by Washoe County. The community park site will be dedicated to Washoe County for public use and maintained by Washoe County. Any relocation of park area shall be subject to the review and approval of the Washoe County Regional Parks and Open Space Department.

2.7.2 Neighborhood Parks

Neighborhood parks may be constructed within the Silver Hills Specific Plan area. Neighborhood Parks shall generally be 2 to 3 acres. Construction of neighborhood parks shall be at the discretion of the Master Developer. Maintenance of neighborhood parks shall be provided by the Silver Hills Homeowners Association or sub-association. Park facilities not dedicated to Washoe County may be private and for the use of Silver Hills residents only, at the discretion of the Master Developer.

There is no limit to the amount of neighborhood parks permitted within Silver Hills.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.7.3 Trailheads

A minimum of two (2) public trailheads shall be constructed within the Silver Hills Specific Plan area, west of Red Rock Road. Trailheads will be constructed by the Master Developer and maintained by the Silver Hills Homeowners Association. Trailhead facilities shall be a minimum of 1-acre in size and subject to review and approval of the Washoe County Regional Parks and Open Space Department.

Final location and configuration of trailheads, including amenities (i.e. parking, staging areas, etc.) shall be determined with input from the Washoe County Regional Parks and Open Space Department. The first trailhead shall be constructed at or prior to the construction of the 150th residential unit west of Red Rock Road, with the second trailhead constructed at or before the 500th residential unit west of Red Rock Road.

2.7.4 Agrihood Farm

The standards contained herein contemplate an agrihood/community farm concept as a possible community amenity within open space and common areas. Should this occur, the following standards shall be applied:

- Membership to the community farm may be offered to non-residents of Silver Hills through a Community Supported Agriculture (CSA) program.
- The farm shall include a designated Farm Manager who shall be responsible for the daily operations, planting of crops, and as an advisor to community/farm members. This position shall be appointed and funded by the Silver Hills homeowner's association.
- The HOA may choose to appoint an Activities Director to work with the Farm Manager to provide classes/activities for community/farm members and to coordinate volunteer activities, events, etc.
- The farm may include a greenhouse(s) for resident farm basket production as well as Community Supported Agriculture (CSA)
- Excess crops shall be donated to local food banks or sold to a coop that benefits reinvestment into agrihood facilities.
- The Agrihood Farm may provide a Children's Farm that shall include a small beginning garden environment that includes raised beds, tools, a shared garden shed, and weekly classes for families (may be subject to fees).
- The Agrihood Farm may include a large fruit orchard along with mini-orchards or mini-gathering parks. These facilities may be located outside of the main farm such as at the end of cul-de-sacs within the Specific Plan Area.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- An edible, low water, and beneficial insect and wildlife habitat emphasis shall be placed in all common area landscaping.
- Orchard production within the Silver Hills Agrihood Farm shall benefit the homeowner’s association community improvement fund.
- A central pavilion and/or barn is permitted to be located within the farm and may provide a commercial kitchen, meeting rooms, etc. that can be used or rented by residents.
- The use of alternative energy sources such as solar and wind turbine is highly encouraged.
- A “tractor park” that incorporates farm equipment and play areas for children may be incorporated into the Agrihood Farm.

2.8 Urban/Wildland/Public Lands Interface

The Silver Hills Specific Plan area is located within an urban/wildland interface area subject to wildfires. As such, the following standards shall apply:

- New development that abuts open space and/or natural areas shall provide a minimum of 20-feet of defensible open space consistent with standards adopted by the Truckee Meadows Fire Protection District (TMFPD).
- With individual tentative maps, TMFPD shall have the ability to condition site specific fire mitigation requirements such as increased defensible space, specific plant palettes, etc.
- The Silver Hills Homeowners Association shall be responsible for the maintenance of common areas outside of individual lots to ensure weeds and other combustibles are removed in order to maintain a minimum of 20-feet of defensible space from the property line of an abutting unit.
- With new development, access to open space areas shall be coordinated with TMFPD to allow for fire equipment to access open space/common areas during a wildfire event.
- A fire hydrant shall be located at each trailhead adjacent to public lands.
- A vehicular access, for emergency purposes, shall be provided at each adjacent BLM trailhead. These access points should align with existing trails, to the extent possible and may include gates and/or barriers to prevent non-emergency access.
- A vehicle parking and staging area shall be colocated with a trailhead at the border of Silver Hills with BLM/public lands and shall provide ample area for loading/unloading of off road vehicles. Location shall be determined with input from BLM and Washoe County.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

2.9 Mailboxes

Individual mailboxes, if allowed by the United States Postal Service (USPS), shall be paired at driveways to serve adjacent homes. The style of the mailboxes, including address numbers shall be compatible with the architectural styles of the homes and shall be consistent throughout each project within Silver Hills. Mailbox designs shall be approved by the Silver Hills Design Review Committee and the USPS. Mailboxes shall be provided and installed by individual builders prior to the issuance of certificates of occupancy for the individual homes.

When individual mailboxes are not permitted, clustered boxes shall be located in convenient areas conducive to temporary on-street parking. Placement of cluster boxes shall not be near intersections and shall not conflict with individual driveways or utilities. Locations shall be approved by the USPS and the Silver Hills Design Review Committee.

The United States Postal Service (USPS) shall be responsible for the maintenance of mailboxes/mailbox cluster boxes within Silver Hills.

CHAPTER 3 – SITE DESIGN AND ARCHITECTURAL STANDARDS

3.1 Overview

The purpose of this chapter is to establish base standards and design parameters for which future development within Silver Hills shall follow. These standards will guide the development of the Specific Plan area by providing specific design criteria for grading, building orientation, landscaping, lighting, signs, walls and fences, and other design elements that tie the community together, and helping to create the sense of place discussed in Chapter 1.

Architectural standards and guidelines are provided to ensure projects within Silver Hills are attractive, relate to one another, and reinforce the project theme. The pictures contained in this chapter are provided to convey “imagery” of the standards and guidelines but are not intended to require the specific design style depicted. Alternative themes with respect to design and architecture are encouraged in order to promote diversity of housing styles within Silver Hills as a whole.

As new projects (i.e. tentative maps) move ahead within Silver Hills, they shall be reviewed in context with the standards included within this chapter. This includes review by the Silver Hills Design Review Committee (DRC) and Washoe County to determine consistency with site design and architectural standards.

3.2 Site Planning Standards and Guidelines

The purpose of the site planning standards and guidelines is to address general provisions of site development which include building orientation, grading and drainage, parking areas, landscape, lighting, signs, walls and fences, and service areas. Site planning controls the proper placement of buildings and internal roads that service and access the various uses in the community. It addresses the linkages and land use relationships at a human-scale, in order to create a stimulating and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods and minimize negative impacts on the natural environment.

3.2.1 Site Planning and Development Standards

Site planning, architectural design, and landscape design shall be consistent throughout Silver Hills in order to encourage neighborhoods that fully integrate with one another. There are a variety of methods to accomplish this including the use of consistent fencing, landscape treatments, design elements such as neighborhood entries, etc.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Individual neighborhoods within Silver Hills shall promote visual diversity and avoid monotonous development patterns. Methods to achieve this include, but are not limited to: not repeating floor plans/elevations directly next to each other, providing for a minimum of three distinct elevations for each home plan, designing homes so that the garages are integrated into front elevations, varying setbacks within the neighborhood, including design elements such as porches, overhangs, etc.

Site Design

The following standards and guidelines promote visual diversity within individual neighborhoods:

- “Home forward” architecture shall be encouraged in the design of new home elevations. This includes integrating the garage into the elevation or placing home elements such as porches, entries, and windows to the front, as depicted in Figure 3-1.



Figure 3-1 – Typical “Home Forward” Design

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- To the extent practical, mirroring of facades shall occur between lots so that garages and entries are adjacent to each other. This creates variations in setback, providing for a more visually diverse streetscape. The pattern shall include breaks so that it creates variation with patterns across the street and does not become overly repetitious. This standard shall not apply to zero lot line products.
- Front elevations that face the street shall integrate garages to the extent possible. Methods to achieve this include off-setting the garage (refer to Figure 3-1), matching the garage architecturally with the primary façade, or incorporating alternatives such as side load or split garages (i.e. two car front load with a separate one car side load garage), alleys, etc. Refer to Figure 3-2.



Figure 3-2 – Garage Integrated Elevations

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Setbacks shall be varied to the extent possible in order to eliminate a monotonous appearance along the street.
- Neighborhoods that border the community trail system shall provide for a point of connection with final neighborhood design. Connection points can occur at the end of cul-de-sacs or within dedicated public access easements located within common open space. Trail connection points shall be a minimum of 8 feet in width and include a 4-foot multi-purpose path (decomposed granite or similar) that provides a link to the community trail.
- Neighborhoods with smaller lot sizes are encouraged to utilize alleys and provide homes that open up on a community green in order to promote walkability and encourage interaction between neighbors. Refer to Figure 3-3.



Figure 3-3 – Mixed Residential Neighborhood Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Alleys within single-family residential developments shall have a minimum width of 20 feet with no parking. Alleys shall not be used as an emergency access road.
- Alleys shall be maintained by the adjoining property owner through an easement agreement or by a sub-association to be set up by an individual builder with the approval of the Master Developer.
- Single family lots that abut common areas and open space shall utilize open rear yard fencing. This is intended to provide a sense of openness within common areas and avoids a “walled off” appearance. A solid 3-base with open top may be permitted as an alternative to open fencing with approval by the Design Review Committee.
- Cottage Court design (as depicted in Figure 3-4) may be incorporated into areas of smaller homesites. This building type consists of smaller, detached structures, providing multiple units arranged to define a shared court which takes the place of a private rear yard. Units shall front onto and be accessed from the shared court.



Figure 3-4 – Cottage Court Concept

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Grading

- Design of residential neighborhoods shall be sensitive to the natural terrain. Structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features including drainageways, rock outcroppings, etc.
- Grading of subdivisions or pad sites shall be designed to blend the edges of development with the adjoining natural terrain. This may be accomplished through the use of rockery walls in order to reduce the length of man-made slopes, etc.
- Landscaping and native revegetation shall be the preferred method of slope stabilization as opposed to rip rap on all manmade slopes.
- Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- Graded slopes shall be revegetated prior to the issuance of a certificate of occupancy for new homes. This standard may be phased with the phased development of individual projects (i.e. slopes shall be revegetated concurrently with development within any given phase). If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season to the satisfaction of the Washoe County Department of Planning and Building.
- Drought tolerant plant species and native reseeding shall be utilized to help minimize erosion.
- Slopes contained within individual lots as a result of terracing shall be maintained by the property on the down slope side.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Landscaping

- Individual builders or homeowners shall be responsible for landscaping the front yards of new homes within Silver Hills and shall be completed within one year from the issuance of the final certificate of occupancy.
- Homeowners shall be required to submit front yard landscape designs to the Design Review Committee for review and approval.
- Front yard landscaping, shall include an automatic irrigation system.
- At a minimum, each individual front yard shall include one tree per 400 square feet of yard area.
- Neighborhoods with common yards (i.e. community greens) shall provide trees at intervals not to exceed 30 feet.
- Landscape character may vary from neighborhood to neighborhood. Each neighborhood may use a unique plant palette with the approval of the Design Review Committee. Project entries shall retain a common theme, as previously described in Chapter 2.
- As an alternative to turf, natural xeriscaping and low-water plant materials may be used for front yards and common yards with the approval of the Design Review Committee.

Lighting

- Single family residences shall incorporate exterior lighting that is compatible with the architectural design of the home and includes fixtures that eliminate spill-over of light to adjoining parcels.
- Projects with community greens or common yards may choose to include bollard lighting. Bollards shall not exceed 4-feet in height.
- As detailed in Chapter 2, street lights shall include NV Energy approved fixtures and shall be spaced per Washoe County standards. Neighborhoods with community greens, alleyways, etc. may vary fixture standards with the approval of the Design Review Committee. Non-standard light fixtures may be used with Design Review Committee approval and shall be maintained by the Silver Hills homeowner's association or a sub-homeowner's association.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Walls and Fencing

- A 6-foot wood or vinyl fence with decorative pilasters (spaced at an average of 150-feet) shall be located at the rear yards of homes that back to Silver Hills Parkway. Final material and pilaster design shall be approved by the Design Review Committee and shall remain consistent throughout the Specific Plan area. Refer to Figure 3-5.
- Fencing along Silver Hills Parkway shall be placed on the property line and shall be maintained by the homeowner's association (exterior) and the adjoining property owner (interior). Fence replacement shall be the responsibility of the homeowner.



Figure 3-5 – Silver Hills Parkway Fencing Concept

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Wood privacy fencing may be used for individual lots and shall not exceed 6-feet in height. Refer to Figure 3-6.
- Rear yards adjoining open space may utilize open fencing. Open fencing may include split-rail, wrought iron, or similar and shall be consistent within the entire development. A solid 3-foot base with open fencing above may be permitted with Design Review Committee approval. This standard shall not apply to side yards that abut open space/common area in order to protect resident privacy. Refer to Figure 3-7. No rear yard gates are permitted directly abutting public (BLM) lands.
- Projects with common yards or community greens may include privacy walls, such as courtyard or patio walls, and shall not exceed 4 feet in height. These walls shall incorporate materials and colors consistent with the architecture of the homes.
- A 6-foot solid screen wall or fence may be used to separate any non-residential use from single family homes.
- All walls and fences associated with a project shall be installed concurrently with the project. Fences within residential lots shall be maintained by the lot owner.
- Chain link fencing shall only be permitted with temporary construction yards and is prohibited within individual lots.
- No fencing in excess of 3-feet (split-rail or picket) shall occur within the required front yard setback.

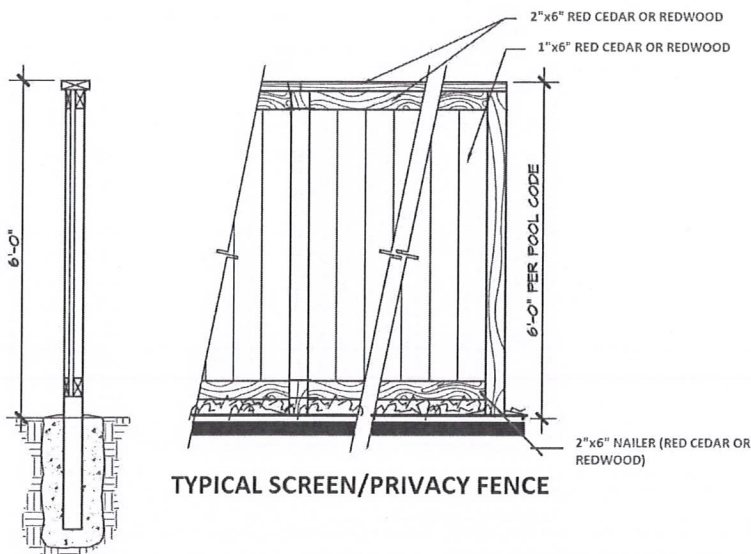


Figure 3-6 – Privacy Fencing Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

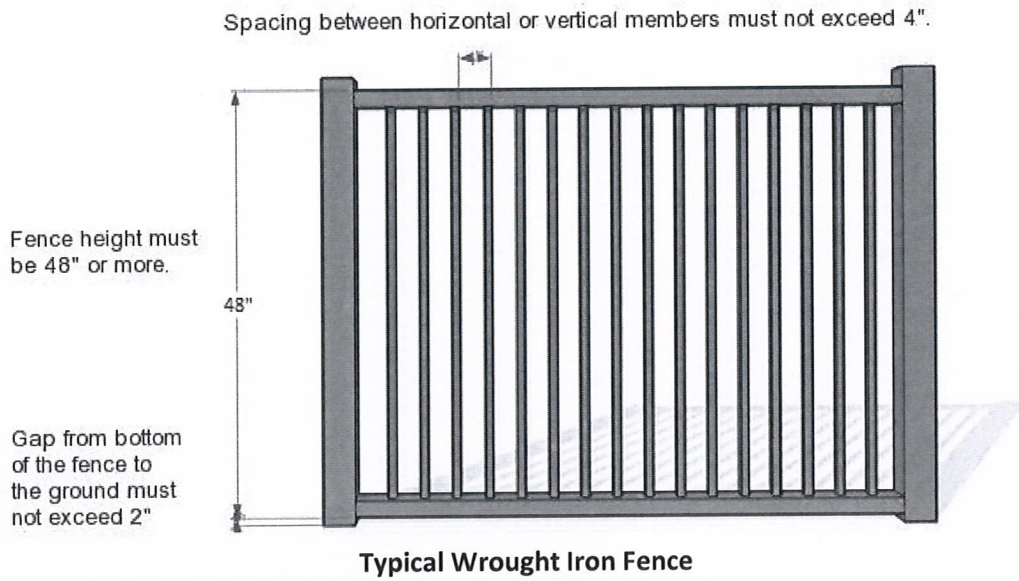


Figure 3-7 – Open Fencing Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Fencing for non-residential uses including neighborhood commercial, public facility, etc. shall conform with fencing standards contained in the Washoe County Development Code.
- Schools and Washoe County park facilities, may incorporate the use of chain link fencing with the approval of the Design Review Committee.

3.3 Architecture Standards and Guidelines

3.3.1 Background

The purpose of these architectural guidelines is to provide general design criteria and guidance for the development of the neighborhoods within Silver Hills. The guidelines are not intended to be restrictive, but rather promote both visual compatibility and variety within the Specific Plan area by utilizing complementary traditional architectural styles. The intended result is a high level of design direction and quality.

3.3.2 Architectural Theme

As discussed in Chapter 1, Silver Hills evokes an overall mountain ranch theme which is also consistent with the agrihood concept. The theme is reinforced with evergreen plantings that will occur along Silver Hills parkway, etc. Traditional ranch and craftsman architectural styles will reinforce the overall theme and feel of the project and are complementary to the existing environment that surrounds Silver Hills. In order to allow for variety, deviations to the architectural theme, including farmhouse or more eclectic designs, shall be permitted and can complement differing styles through the inclusion of common design elements. The ultimate goal of these standards is to create a high quality, attractive community that provides diverse housing choices to suit the variable tastes and needs of future residents.

The application of these architectural guidelines and standards to individual development projects will be reviewed and approved by the Design Review Committee (DRC) and the Washoe County Design Review Committee. New interpretations of these classic combinations of materials are encouraged as they relate to a general feeling of neighborhood unity. The following sections provide guidelines and standards that will aid in the creation of a community of which residents can be proud to call home.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

3.4 Single Family Architectural Standards

A key element of the Silver Hills architectural guidelines is to create a streetscape possessing both function and visual variety. The guidelines are intended to provide variety in appearance as well as a sense of individuality for each structure. Projects where identical buildings line the streets without variation in form and mass are prohibited.

It is recognized that all architectural styles are open to interpretation in design. Therefore, these standards are not intended to limit creativity or prevent certain types of design. Instead, they should be viewed as a baseline for review in terms of quality, general theme, etc. Deviations may be permitted with the review and approval of the Silver Hills Design Review Committee and Washoe County Design Review Committee.

3.4.1 Building Mass and Form

- Facades of buildings styles shall make use of expressive structural elements such as brackets and columns, variable window types, a mixture of materials and distinctive porches.
- A minimum of three (3) distinctive floor plans shall be used within each individual subdivision within Silver Hills. A subdivision with twenty (20) or less lots may have less than three (3) distinctive floor plans.
- The architectural detailing similar to that of the front elevations may be utilized on all sides of the home.
- Any building addition or additional building(s) (over 200 square feet) on a property shall match the main structure in building design, materials, roof pitch and architectural character.
- The exterior mass and form of residential architecture should be varied within neighborhoods to improve the streetscape. This can be accomplished through (but is not limited to) varied setbacks, floorplans, facade detailing, massing and rooflines.

3.4.2 Roof Form

- Roofs shall include variations in plane. This can be achieved with the use of elements such as hipped roofs, gables, dormers, porches, etc. Flat roofs are highly discouraged unless incorporated as an element to the overall architectural scheme of the building. Refer to Figure 3-8.
- Acceptable roof materials include concrete tile or architectural grade asphalt shingles. Metal roofing may be used to accent architectural features but shall not be the prominent roofing material.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 3-8 – Typical Roofline Variation

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

3.4.3 Materials and Colors

- Changes in materials and color are encouraged to provide visual interest and shall logically related to one another in order to avoid abrupt changes or conflicting architectural styles.
- Building materials and color schemes shall be consistent with a ranch theme and include the use of wood siding, cement fiber board, and/or stucco with accents such as stone or brick.
- The use of wood beams and/or timbers is encouraged on elevations and is reflective of the overall “upscale rustic” type of ranch style architecture.
- Color palettes for new homes shall include muted earth tones such as browns, beiges, whites, pale yellows, light greens, etc. reflective of a typical ranch style.
- The use of bright and vivid colors is prohibited.

3.4.4 Building Articulation

- Front elevations and those facing streets shall include significant articulation in order to avoid the appearance of flat planes. Methods for providing articulation include porches, dormers, bay windows, building offsets, recessed entryways, etc.

3.4.5 Accessory Structure and Uses

- Rain gutters shall be colored and/or painted to match the roof trip so that they are not visibly obtrusive to the main elevation. This standard may be waived with the approval of the Design Review Committee if the gutters serve as a distinctive architectural element of the home.
- Solar panels located on roofs shall either be architecturally integrated (i.e. solar tiles) or located to not be visibly obtrusive from the street.
- Patio covers and shade structures shall be approved by the Design Review Committee and shall be painted/colored to complement the primary structure. Such structures shall meet the minimum setbacks for the zone in which they are located. Refer to Chapter 2 for setback standards.
- Mounting of satellite dishes and/or antennas on the front elevation of homes shall be prohibited.
- Detached structures (where allowed – refer to Chapter 2) shall be painted to match the primary structure and are subject to the setback standards for that district.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Sheds that extend above the fence line and are visible from the street shall be prohibited. Sheds extending above the fence line shall be screened from view of adjoining residences and approved by the Design Review Committee.
- Parking of recreational vehicles, boats, and the similar may only be permitted within side yards if fully screened behind a 6-foot minimum fence.
- Accessory dwelling units (as permitted within Chapter 2) shall be integrated with the overall design of the primary structure such as the example included in Figure 3-9.
- Multi-generational single-family housing that includes an attached accessory dwelling shall be permitted per the standards included in Chapter 2. Refer to Figure 3-10.



Figure 3-9 – Typical Accessory Dwelling

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS



Figure 3-10 – Multi-Generational Housing Concept

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

3.5 Non-Residential Standards

Non-residential uses within Silver Hills are fairly limited and include limited neighborhood commercial uses, personal storage (intended to benefit residents of the Specific Plan area), schools, and public facilities. In general, the site planning and architectural standards provided in the Washoe County Development Code shall pertain to all non-residential uses within the Specific Plan boundary. However, the following supplemental standards shall also apply.

3.5.1 Non-Residential Supplemental Standards

- Neighborhood commercial uses shall be broken into a series of smaller buildings rather than grouped into larger structures. Refer to Figure 3-11.
- Commercial buildings shall be limited in size and location based on the supplemental use standards described in section 2.3.1.
- Elevations for commercial buildings shall be residential in nature and incorporate elements as detailed in section 3.2. Refer to Figure 3-11.
- Commercial architecture shall be consistent with the residential standards included in section 3.2.
- In areas where non-residential uses adjoin residential uses, a 6-foot solid wall or fence shall be installed at the property line.
- Personal storage facilities and outdoor storage, subject to the supplemental standards and restrictions called out in section 2.3.1, shall be screened with a solid masonry wall. The wall shall incorporate colors earth tone colors and include decorative pilasters (as approved by the Design Review Committee) approximately every 40 feet for expanses visible from a public right-of-way.
- Agrihood facilities (if incorporated) such as barns shall be incorporated with the overall architectural theme and include common elements such as batt and board siding, rock accents, or similar rustic farm feel. Refer to Figure 3-11 for typical barn/agrihood concepts.
- Greenhouses associated with the agrihood “commons” shall be exempt from the architectural standards but shall be limited to no more than 5,000 square feet. Refer to Figure 3-13 for greenhouse concepts.
- Metal barn structures may be permitted within agrihood areas subject to approval by the Design Review Committee.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

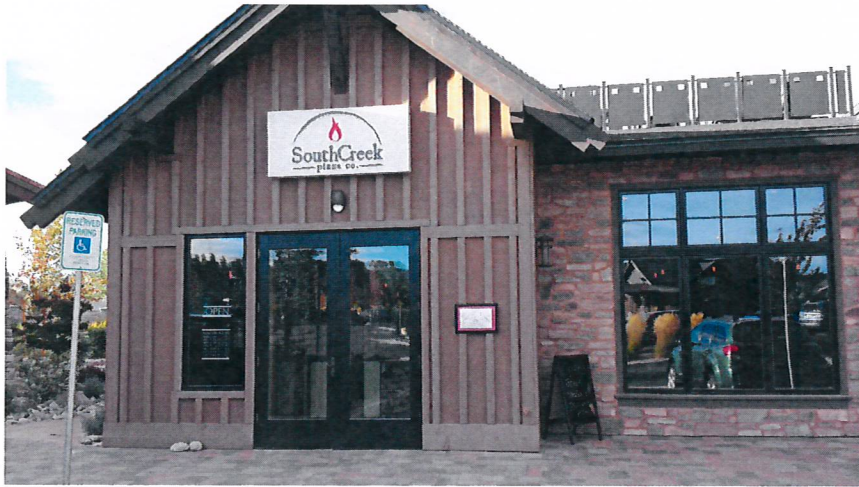


Figure 3-11 – Commercial Architecture/Scale

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

If agrihood facilities are developed within Silver Hills, Figures 3-12 and 3-13 depict facilities that are consistent with the standards contained herein.



Figure 3-12 – Typical Agrihood Building Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

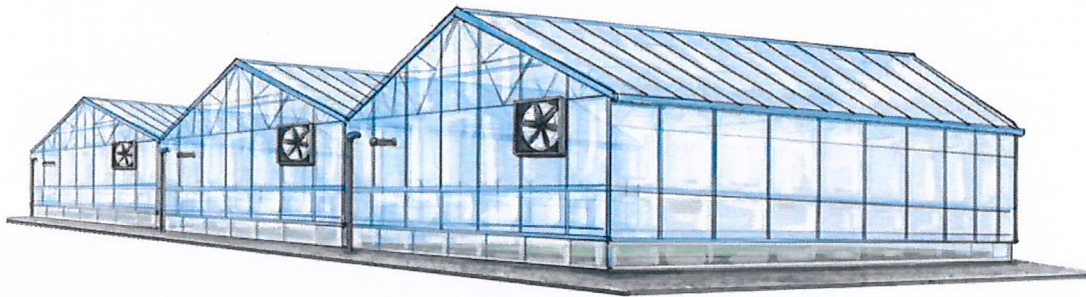


Figure 3-13 – Typical Agrihood Greenhouse Concepts

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- All non-residential building elevations must be reviewed and approved by the Silver Hills Design Review Committee.
- School and public park facilities/structures shall be exempt from the architectural guidelines and shall conform with the standards included in the Washoe County Development Code.
- When reviewing public facilities (i.e. schools, libraries, etc.), the Washoe County Design Review Committee shall consider the requirements of this chapter in making recommendations on project architecture.
- Non-reflective metal roofing may be permitted on commercial and agrihood buildings with the approval of the Design Review Committee. Refer to Figure 3-12 for an example of acceptable metal roofing.
- Buildings such as churches and community centers shall incorporate elements of the design guidelines contained herein in order to reinforce the project theme. This includes elements such as earth tone colors, acceptable roofing materials and pitches, use of stone, brick, or similar, etc. Refer to Figure 3-12.
- Facades of non-residential buildings shall include articulation to avoid long monotonous planes. Methods of articulation include, but are not limited to the use of faux windows, overhangs, trellises, awnings, pilasters, columns, etc.
- The use of pre-engineered metal buildings may be permitted with the approval of the Design Review Committee. Any metal building must comply with the roof standards contained within section 3.2 and include at a minimum a brick or stone wainscoting along with non-metal accents such as stucco, EIFS, etc. Refer to Figure 3-14 for example.
- Church steeples shall be subject to the design provisions (i.e. height) of the Washoe County Development Code.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

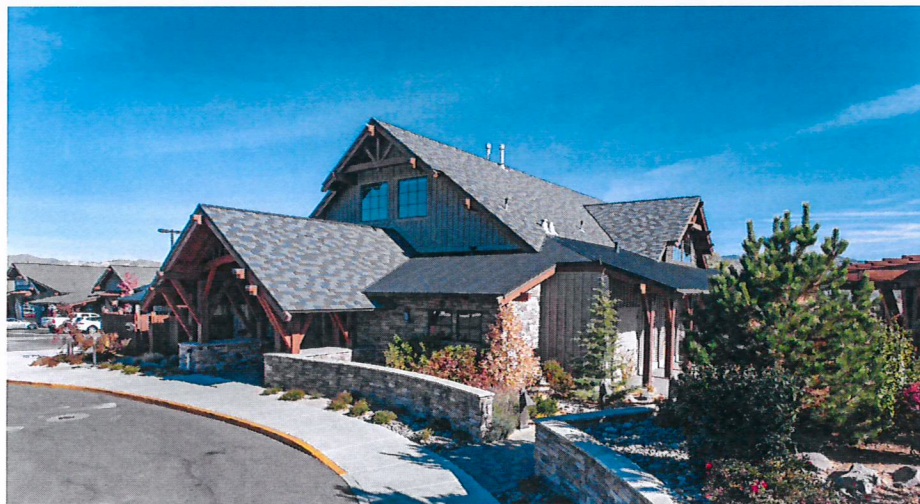


Figure 3-14 – Typical Non-Residential Structure

CHAPTER 4 – PHASING AND INFRASTRUCTURE

4.1 Phasing

It is anticipated that Silver Hills will develop over the course of many years and may take 15 to 20 years for complete buildout. There are a variety of factors that will contribute to the ultimate timing of construction within the Specific Plan area. These include, but are not limited to; market conditions, timing of infrastructure and improvements, subsequent review and entitlements, etc.

Generally, phasing is anticipated to commence along the Red Rock Road frontage, moving east and west into the Specific Plan Area. Final phasing will be determined based on market demands.

Although market conditions will ultimately dictate phasing, it is anticipated that Silver Hills will develop in up to 20 individual phases. Each phase will include up to 150 units with an estimated buildout of 15 to 20 years for the entire project.

4.2 Open Space, Trails and Parks

Much of the open space within the Specific Plan area is natural open space, drainageways, etc. that will remain undisturbed with the exception of areas which will be developed with the Agrihood concept as further outlined in Chapter 2 of this handbook. Improvements such as trails will follow the same development pattern as other infrastructure elements. As development projects are constructed adjacent to areas where trails and/or other improvements are planned/called out, the segments of these improvements adjacent to the development areas will occur.

Silver Hills will provide new park facilities to the benefit of the whole community. A minimum of 12 acres of developed park and trailhead facilities are planned. This includes a 10-acre addition to Silver Knolls Park as well as two 1-acre trail heads west of Red Rock Road. Park areas are subject to relocation (subject to Washoe County Regional Parks and Open Space Department approval) based on final community design/layout, input from reviewing agencies, etc.

A minimum of 10 acres are reserved at the southern portion of the Specific Plan area, immediately adjacent to the existing Silver Knolls Park. It is envisioned that this area will serve as an extension of the existing community park and provides for expansion of the facilities for both active and passive recreation. Additionally, this area has the potential to provide equestrian staging facilities including horse trailer parking, access to equestrian trail heads, etc.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Final design of the park and its associated facilities will be subject to input and direction from the Washoe County Regional Parks and Open Space Department. The park facilities will be constructed by the Master Developer with construction of the 500th unit within the Silver Hills Specific Plan and will be reimbursed with park tax funds collected by Washoe County. The community park site will be dedicated to Washoe County for public use and maintained by Washoe County.

A total of two public trailheads shall be constructed west of Red Rock Road. Trailheads will be a minimum of 1 acre in size and shall be coordinated with the Washoe County Regional Parks and Open Space Department in terms of amenities and facilities. The first trailhead shall be constructed at or prior to the 150th residential unit west of Red Rock Road with the second trailhead constructed at or prior to the 500th unit west of Red Rock Road.

4.3 Utilities/Infrastructure

4.3.1 Sanitary Sewer

All new units and uses within the Silver Hills Specific Plan area will require connection to sanitary sewer facilities. Sanitary sewer service for the Silver Hills Specific Plan is somewhat unique in that it will be provided by a mix of future County sewer facilities and existing and future City of Reno sewer facilities. The design peak flow rates for the various development types differ between entities as shown on the attached table of flows (refer to Table 4-1).

The City of Reno, operates and maintains the nearest available public sanitary sewer system to the project. The terminus of these facilities is an existing 12" diameter sanitary sewer trunk line located at the existing western terminus Echo Avenue.

Note that sewer designs are preliminary and will be refined with subsequent tentative maps. All improvements are subject to the review and approval of the Washoe County Engineering and Capital Projects Division. The use of pump stations and force mains may be permitted as necessary within the Specific Plan area.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

▪ **Alternative 1**

Future county gravity sewer mains will be constructed from the eastern project limits to the City facilities at two different locations, necessitated by the topography of the site and the future proposed grading.

- **Alignment Number 1** - The first alignment will be from the northeast midpoint of the project along Blackhawk Road to Osage thence south along Osage to the extension of Echo Avenue and then east to the point of connection to the existing City of Reno sewer system (refer to Figure 4-1).

This alignment will consist of approximately 9,000 lineal feet of gravity sewer main. All but the portion within the future extension of Echo Avenue is located in public right of way and the extension of Echo encompasses property owned by the Applicant.

The peak flow for the first 5,600 lineal feet of this main from the Blackhawk-boundary to the Osage – Silver Hills intersection is estimated at 1.64 MGD. This rate includes both estimates of future development areas on vacant land and anticipated hookups from residences currently served by septic systems adjacent to the alignment. From the Silver Hills intersection to the south the injection of an additional 0.63 MGD will be placed into the main resulting in the last 4,200 feet of the main needing a capacity of approximately 2.27 MGD (peak capacity).

- **Alignment Number 2** - The second alignment will commence at the southeast boundary of the project and follow Silver Knolls Boulevard to its intersection with Osage Road where it will intersect with alignment number 1 a length of approximately 4,870 feet (refer to Figure 4-2). The peak flow for this segment is anticipated to be 0.63 MGD. The phasing of the project will determine which of these alignments will be constructed first.

The design of both of these alignments will be required to take into consideration future sewer hookups of adjacent properties shown as outlined areas on attached Figure 4-3. Methods of reimbursement will be left to future negotiations with the affected parties.

▪ **Alternative 2**

Alternative 2 would require the securing of rights of way from Osage Road to the east along the projection of both Blackhawk Road and Silver Hills Boulevard to the Reno-Stead airport property. This alignment would then parallel the western Airport boundary for which a right of way would have to be obtained. To date, the applicant has been unable to secure these accesses from either the airport or the private property owners.

If these rights of way were to be secured, the major portion of the facility would be constructed within the City of Reno on airport property requiring approximately 9,700 feet of main (refer to Figure 4-3). This portion of the infrastructure would be designed and constructed using City of Reno standards and flow rates. Once again, all sewer facility design can potentially incorporate oversizing based upon future negotiations with the public entities and private property owners.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Future county sewer mains will connect to an existing City of Reno 12” diameter trunk main stubbed off the west end of Echo Avenue. The portion of the existing City of Reno sanitary sewer system that will provide service to the project consists of an 18” sewer interceptor in Moya Blvd. (from Lear Blvd. to Echo Ave.), the existing City of Reno Lear Boulevard Pump Station located at the northeast corner of the intersection of Lear Boulevard and Moya Boulevard, the force main extending from the Lear Pump Station to the east, and existing gravity sewer pipes further to the east. The existing City of Reno sanitary sewer system currently conveys sewer from the west end of the Stead Industrial area in an easterly direction to the existing Reno/Stead Water Reclamation Facility (RSWRF) located at 4250 Norton Street near the intersection of Military Road and Lear Boulevard. An analysis of the existing City facilities including mains, the Lear Pump Station and associated force main may be required in order to ensure capacity for the proposed Silver Hills Development. It is assumed for the purposes of this summary that the Reno/Stead Water Reclamation Facility (RSWRF) will have or will be able to increase its capacity to serve the proposed project.

The proposed on-site sanitary sewer system for the Silver Hills Development will consist of 8” to 12” mains and manholes in accordance with Washoe County standards.

Table 4-1 - Sewer Design Criteria for City of Reno and Washoe County

Design Criteria	City of Reno	Washoe County
Peak Flow in Mains (8”to10”)	350 gallons per capita per day	
Peak Flow in Trunks (>10”<18”)	250 gallons per capita per day	
Average Daily Residential Flow		270 gallons per day (A)
Peak Flow - Single Family Residential for Mains (8” to 10” pipe)	1,050 gallons per day	810 gallons per day(A)
Peak Flow - Single Family Residential Flow for Trunks (>10”<18”)	750 gallons per day	810 gallons per day (A)

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

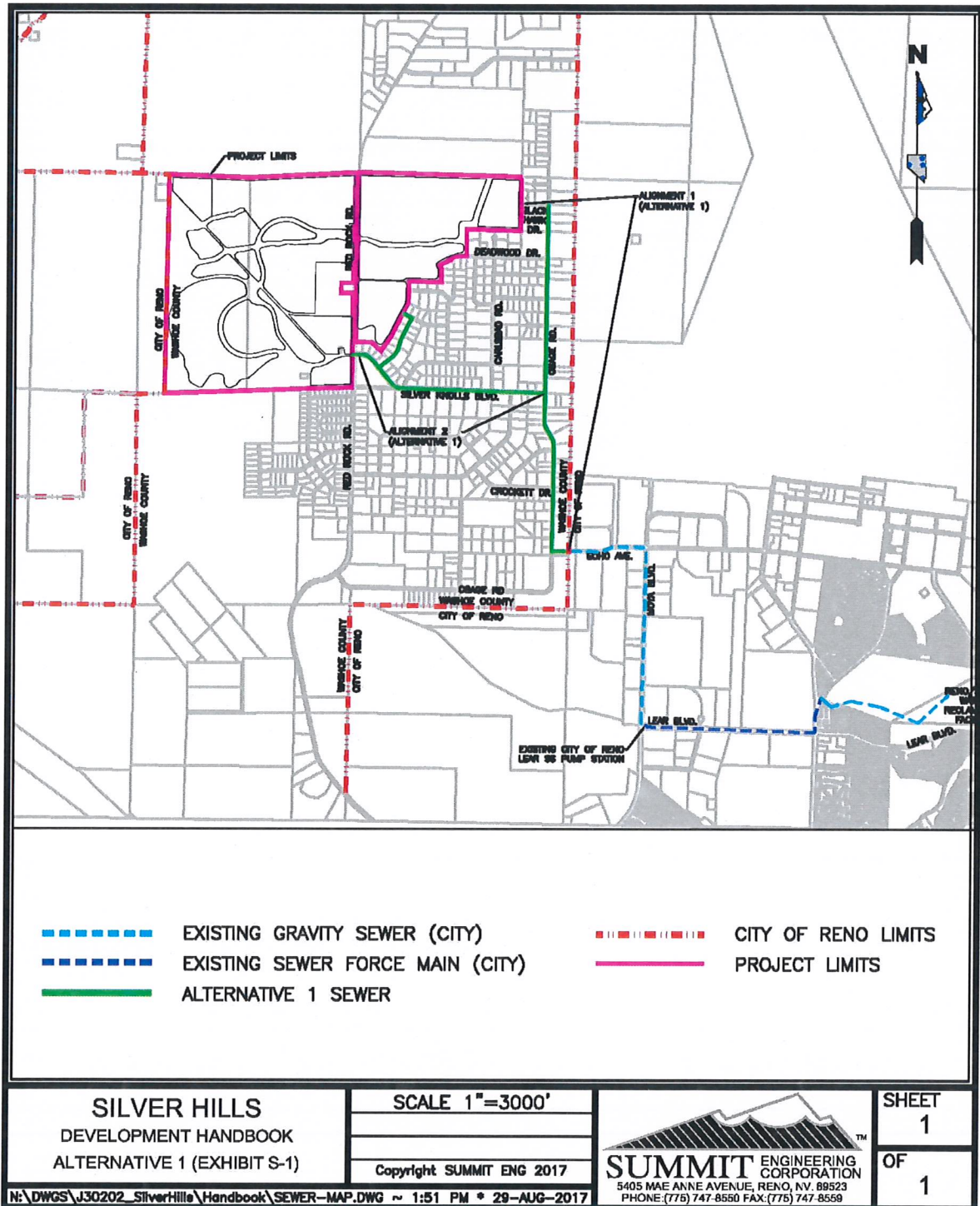


Figure 4-1 – Sewer Alternative 1

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

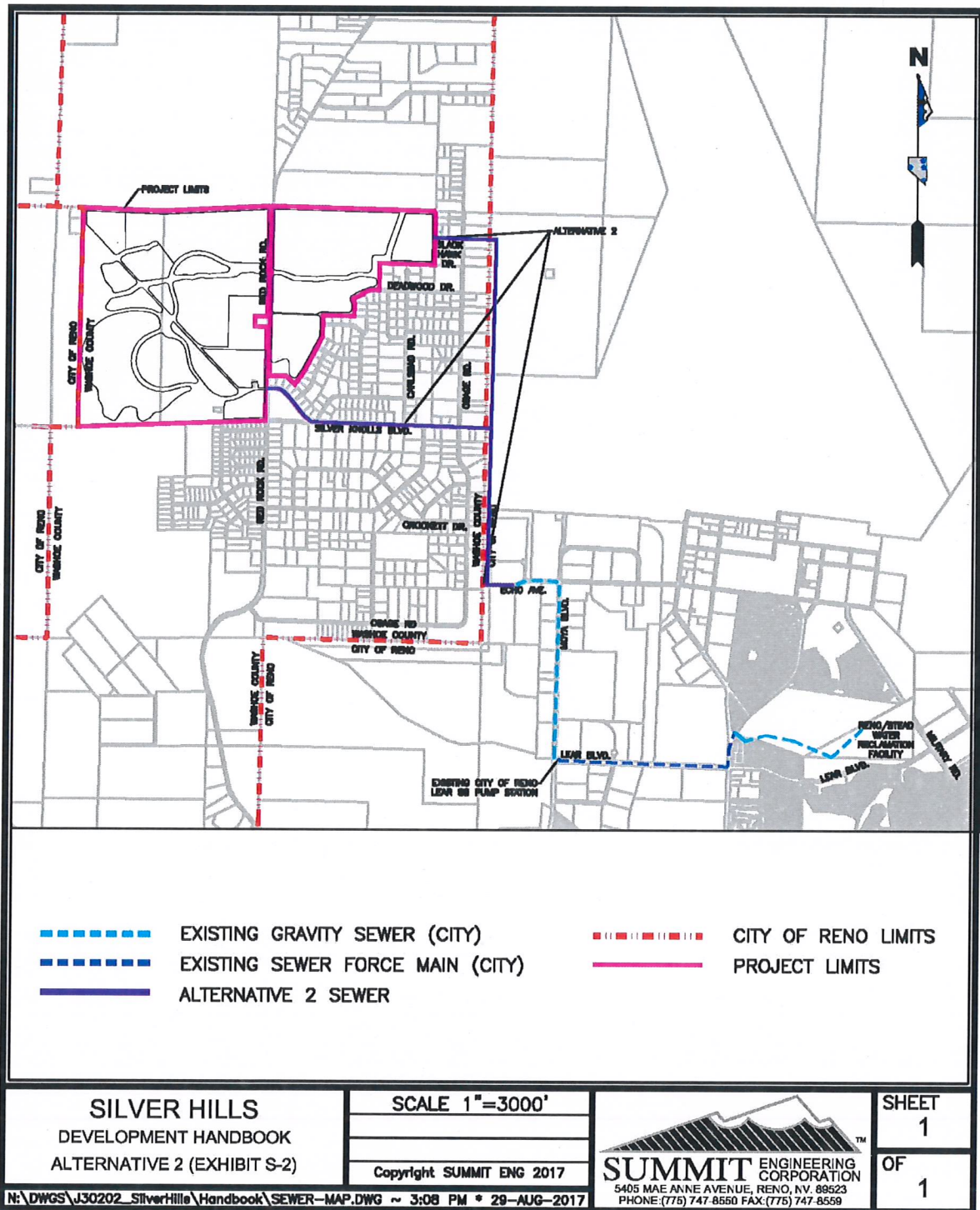


Figure 4-2 – Sewer Alternative 2

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

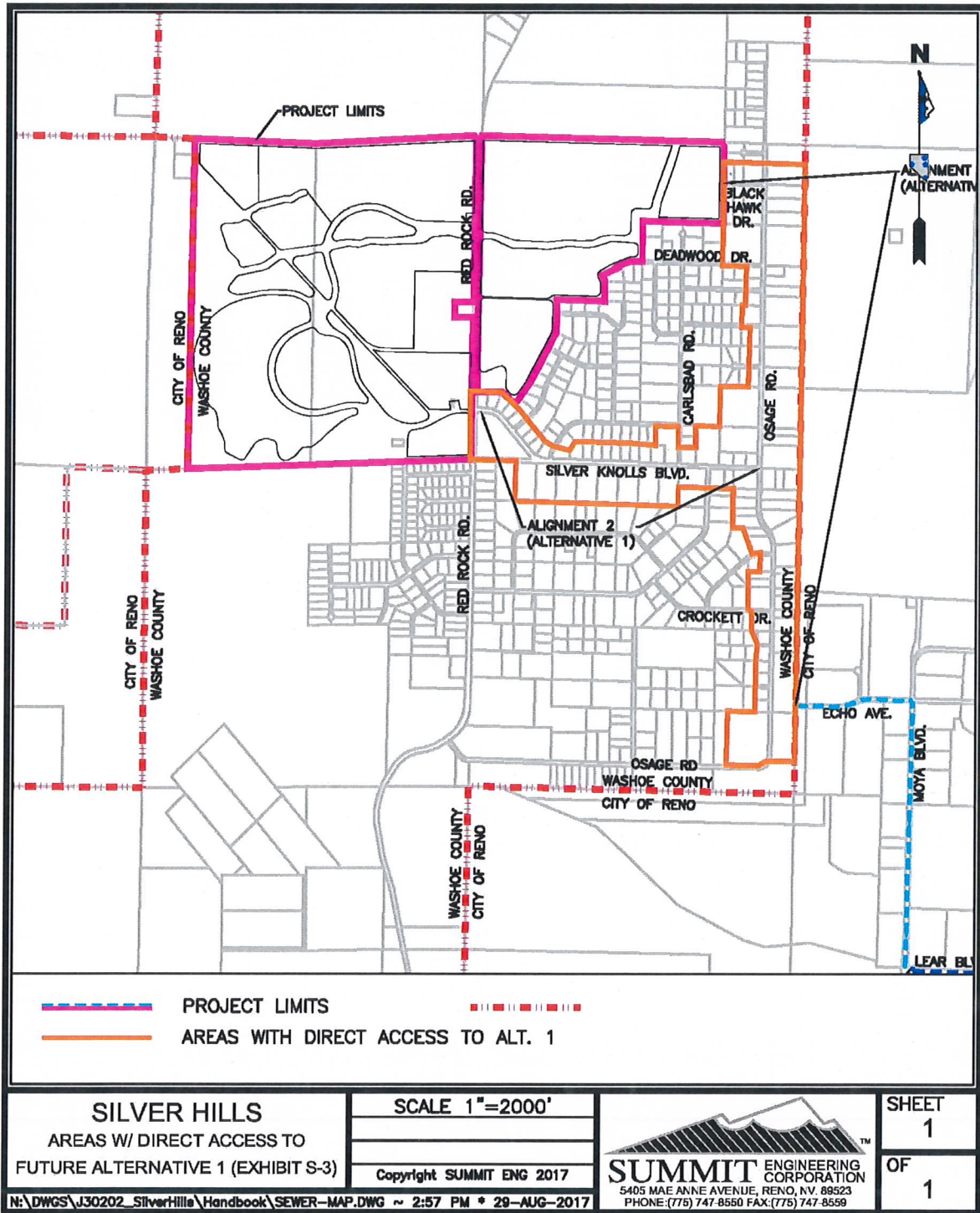


Figure 4-3 – Sewer Future Alternative 1

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.3.2 Water

The nearest existing water facilities to the project site is the Silver Knolls Water Company. There are existing Silver Knolls Water Company facilities within and adjacent to the project limits. However, the Silver Knolls Water Company is a small water system that is not capable of providing service to the Silver Hills project. The Silver Hills Development shall be annexed into the service territory of the Truckee Meadows Water Authority (TMWA) which currently exists to the southeast of the site. A TMWA Discovery will need to be prepared to provide service planning and an initial estimate of the required backbone water facilities necessary to provide service to the project.

In 2015, a TMWA discovery was prepared for a smaller project located on the same property. Although prepared for a different project, it is assumed for this purpose that many of the same requirements with oversizing will be necessary for the current proposal. The nearest TMWA facility to the site is a 12" diameter main located adjacent to the Army Aviation well to the east of the site within the confines of the Reno Stead Airport property (refer to Figure 4-4). From this location, a 3,500-foot main will need to be constructed to the boundary of the property.

An on-site booster pump station will need to be constructed in the northeastern portion of the site along the eastern boundary. From the booster station site and depending on the ultimate layout of the project, a parallel feeder main will need to be constructed to the northwest corner of the site.

A tank (or tanks) will be required and to obtain the elevation necessary will need to be located off-site. A suitable location for the tank (APN 556-120-07) is owned by the Developer and is adjacent to dedicated right of way. Naturally, due to terrain and the elevation of the tank, various pressure reducing stations will need to be incorporated into the ultimate design.

Water rights dedication will be required for the project, the amount of which cannot be anticipated at this time but will be one of the results of a future TMWA discovery application. The dedication rates will be based upon Rule 7 or a modification thereof when final demands are determined.

All improvements and plans are subject to the review and approval of the Washoe County Engineering and Capital Projects Division and Department of Water Resources.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

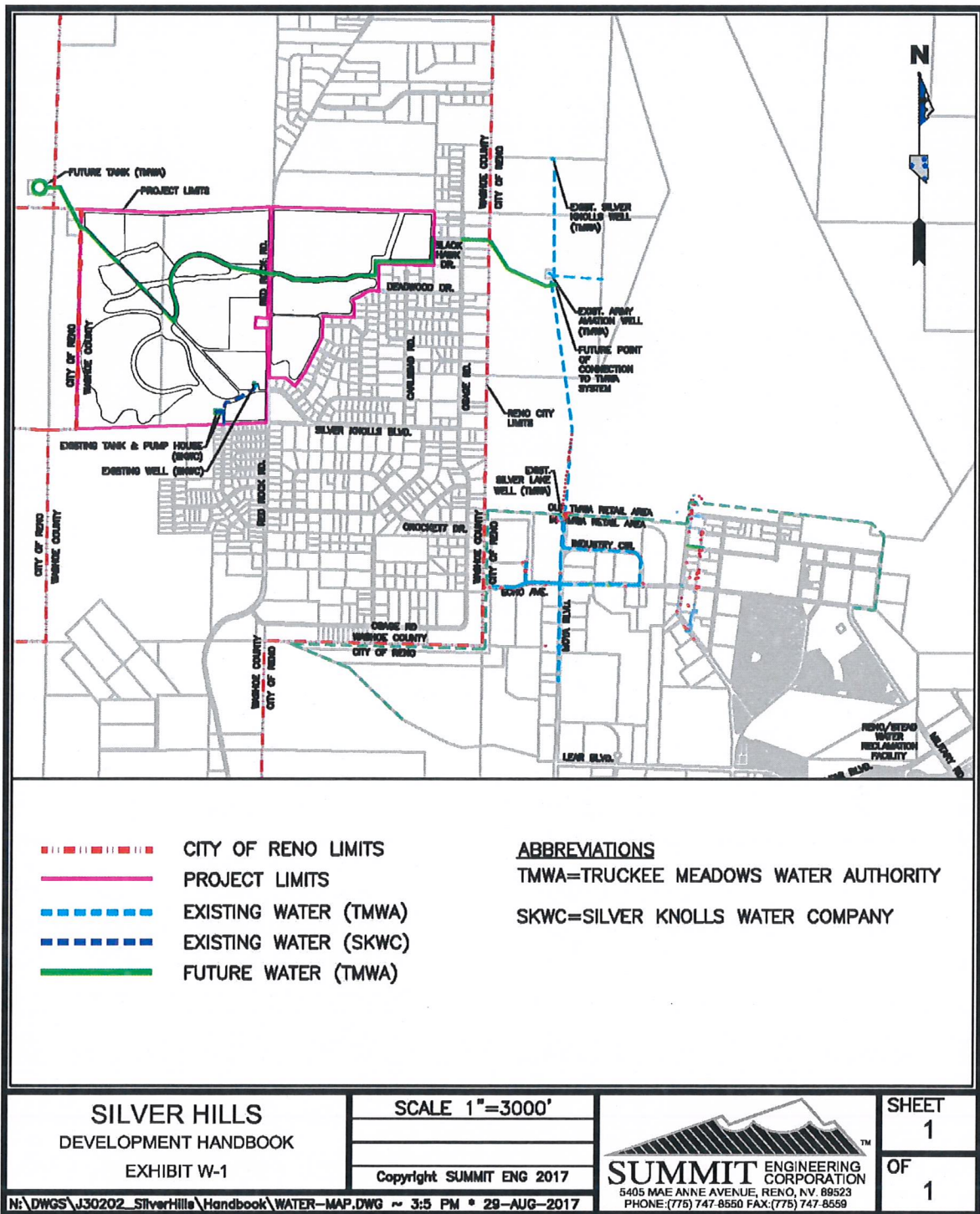


Figure 4-4 – Potable Water

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.3.3 Effluent

The Silver Hills Specific Plan area shall be allowed to utilize treated effluent for watering of common areas, parks, etc. Use of effluent shall be subject to applicable agreements with Washoe County, City of Reno, and the Truckee Meadows Water Authority.

At the time of adoption of this Specific Plan, infrastructure related to effluent use is not in place in the Red Rock/Silver Knolls area. Any use of effluent within the Silver Hills Specific Plan area shall be subject to separate agreements and/or improvements. This Specific Plan shall not limit or restrict the use of effluent for irrigation in any way. The Silver Hills project as well as various adjacent sites intend to use, at a minimum, all effluent generated on a yearly basis. The use of the effluent for allowed irrigation purposes is critical for the development of the parks, open space and Agrihood areas proposed as part of this plan. It is understood by all parties that effluent reuse is part and parcel to the development of a sustainable project. Not only will the use of the effluent reduce the need for storage in the existing surface water storage facilities (therefore reduce future flooding possibilities) but it will reduce the requirement for potable water sources for irrigation.

It must also be understood that the delivery of the effluent will be subject to the construction of a return flow pipeline to the vicinity of the site. Such a facility could very feasibly be constructed to remove excess effluent from the overtaxed storage facilities currently existing in the area. A proposal for a dam to the north of the Silver hills site has been discussed with City staff as a method to reduce flooding concerns currently existing.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.3.4 Storm Water Management

The Silver Hills Development will include the construction of an on-site storm drain system to collect and convey runoff in accordance with Washoe County standards. A trail system will be incorporated into the open space corridors to provide recreation opportunities and to provide pedestrian connectivity within the project and to the existing adjacent Silver Knolls Park (ref. Trail Plan). The open space corridors will also serve as storm water management areas including adequate area for both conveyance of offsite and on-site runoff through the site as well as adequate areas for both detention and retention to assure that a minimum of 125 percent of the increased stormwater from the site will be either retained or detained onsite thus lessening the current peak discharges at completion of construction.

When a specific phase of the project is being developed, it must incorporate any adjacent trails or open space as indicated on the trail plan which will necessarily include required storm drainage facilities.

The on-site storm drain system will include a combination of the following: drainage channels, detention or retention basins as required, culverts, catch basins, manholes, and pipes. The on-site storm drain system will be designed to maintain the rate of runoff leaving the site to a level that is at or below pre-development conditions.

The site in the pre-development condition, along with a larger watershed to the west of the site, drains in an easterly direction. There are various ephemeral drainages that cross through the project site that convey runoff in an easterly and southeasterly direction. There are no known existing seeps or springs within the limits of the project. Runoff from the Silver Hills Development, and other properties to the west and east of the project, is eventually discharged to Silver Lake. Storm water retention basins will be required in order to maintain runoff rates below pre-development rates. The project shall incorporate Low Impact Development (LID) design in accordance with Washoe County Development Code requirements, to the satisfaction of the Engineering and Capital Projects Division.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

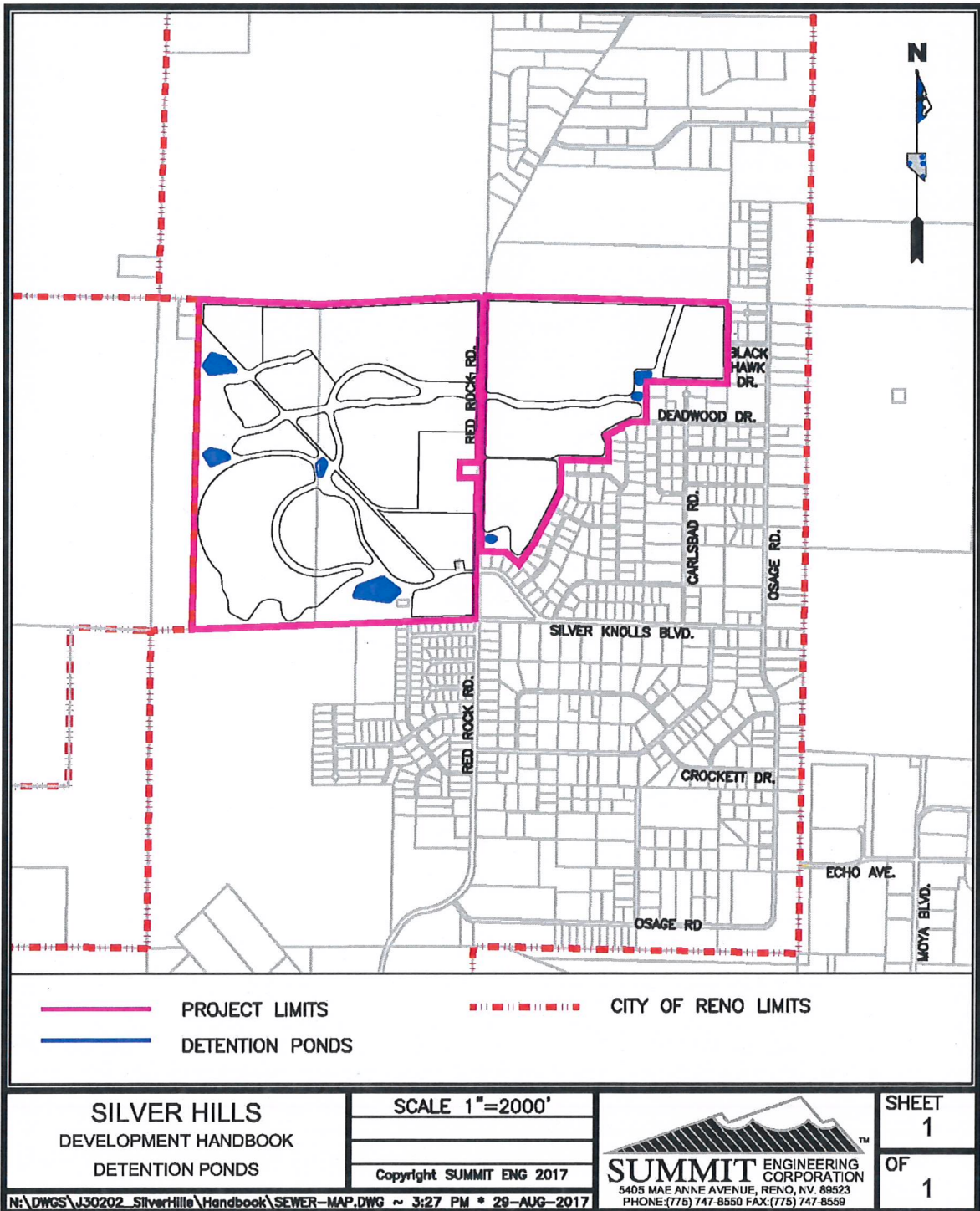


Figure 4-5 – Detention Pond Schematic

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.3.5 Roadways

Silver Hills will include a hierarchy of roadways including arterials (Red Rock Road), Collectors (Silver Hills Parkway), residential collectors, and local streets. Standards for arterials and residential collectors shall follow the adopted road sections specified in the Washoe County Development Code and Public Works Design Manual. Standards for Silver Hills Parkway (collector) are defined in Chapter 2. Similarly, individual builders within Silver Hills may choose to utilize standard Washoe County details for local roadways or utilize the modified standard detailed in Chapter 2.

Regional roadway improvements called out in the Silver Hills Traffic Impact Analysis dated September 15, 2017, along with conditions placed on improvements by the Washoe County Board of Commissioners shall be implemented per the recommendations and stipulations of those documents.

4.3.6 Natural Gas

As shown on the attached Figure 4-6, an existing 8" high pressure gas line currently traverses the entire portion of the site west of Red Rock Road. Although no application for service has been submitted to NV Energy because of the preliminary nature of the development, this line will be able to serve the first phases of the development. During the progression of the phased development, if the line must be upsized or somehow looped, it will be accomplished as required by the utility at that time.

4.3.7 Cable and Telephone

Telephone and cable services will be provided by AT&T. The main supply of the service will be from a fiber optic line which currently runs along Red Rock Road and also traverses the western portion of the project (refer to Figure 4-6). Based upon contact with Mr. Lyles of AT&T the following information was received:

"We (AT&T) will have enough fiber capacity to serve this development, however everything beyond the intersection at Red Rock and Silver Knolls will require new infrastructure. How we go about building this will largely depend on what NVE has existing in the area, where their tie in point is, and how they intend to serve the new development."

Extensions from the existing line which is currently in existence on the west side of Red Rock Road has always been anticipated and will be incorporated into the various phases of the development as they come on line.

Spectrum (Charter) also provides cable and television service within the region and may serve the Specific Plan area in addition to AT&T, allowing residents additional options.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

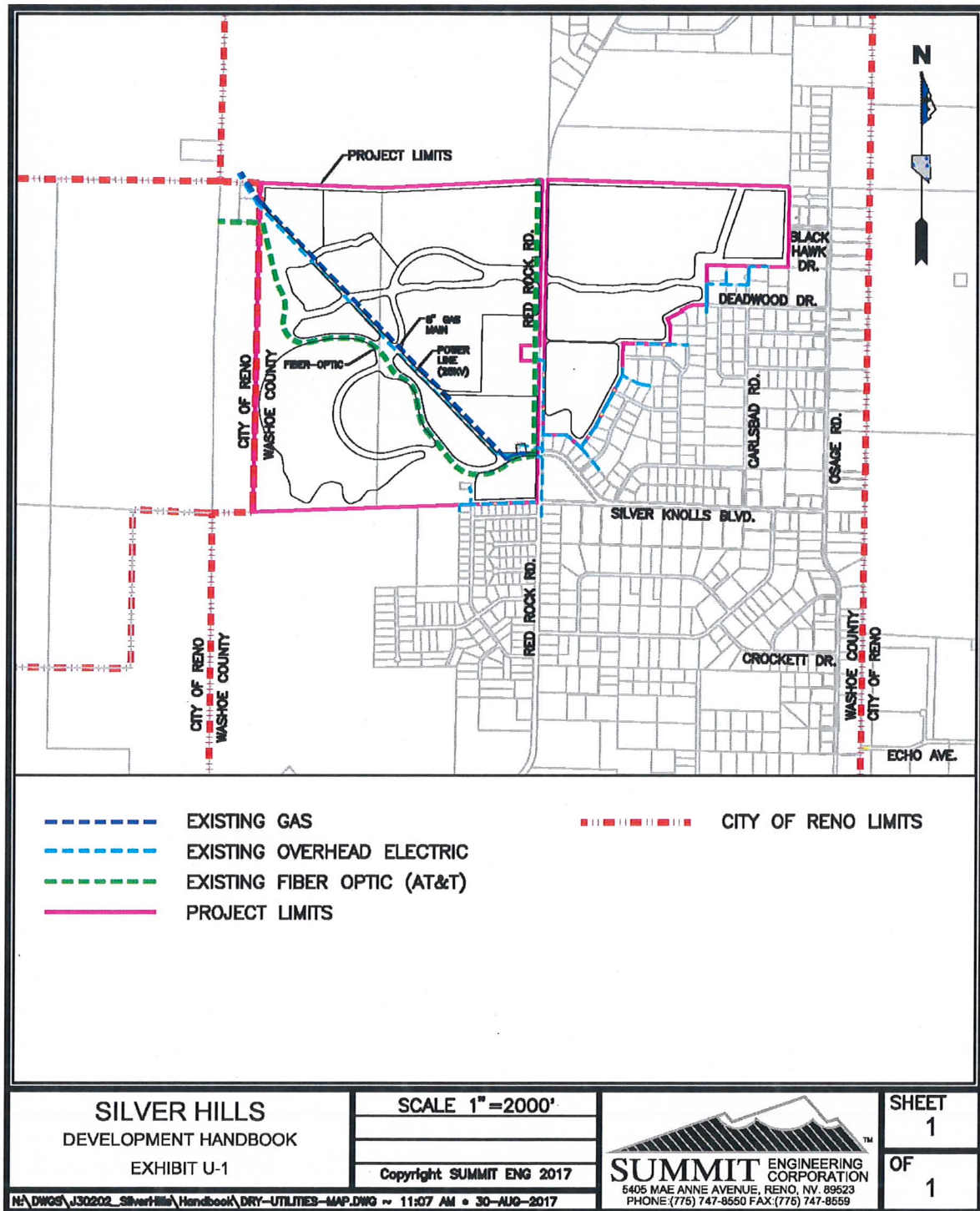


Figure 4-6 – Dry Utilities

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.3.8 Electric

As with other public utilities, no specific plan for electric utilities has been developed. An application for service must be submitted to NV Energy which has not been done. Numerous electrical facilities currently exist both on and surrounding the site as shown on the attached area layout from NV Energy

4.4 Site Grading

As shown on the attached slope map, the site is highly developable with over 90% of the total site having slopes between 0% and 15%. The majority of the areas with slopes over 30% are small pockets located along drainages which will be left as undeveloped open space. There will be no reason to attempt to develop the site outside the grading standards allowed in Washoe County Code 110.438.

Site grading plans for this phased development shall be provided with each Tentative Subdivision Map as required by Washoe County Code. All grading (in combination with landscaping) will be done to accommodate the unit types anticipated and, in a method, as sensitive as possible to the protection the resulting views from the surrounding areas.

4.5 Fire Protection

The Silver Hills Specific Plan area lies close to midway between two existing Truckee Meadows Fire Protection District stations; Cold Springs located at 3680 Diamond Peak Drive and Stead located at 10575 Silver Lake Drive. Additionally, there is an existing volunteer fire station located immediately adjacent and central to the Specific Plan area on the west side of Red Rock Road.

Current response times are consistent with TMFPD policy. Additionally, the Specific Plan dedicates 25 acres of Public Facility land use immediately adjacent to the current volunteer station on Red Rock Road. It is anticipated that up to 5 acres could be dedicated to Washoe County in order to transition the volunteer station to a full-time manned facility. Timing and demand for improvements to the Red Rock volunteer station is dependent on a variety of factors including the phasing of new development within Silver Hills as well as approved projects to the north and south. Therefore, the Master Developer shall work with TMFPD to determine if and when new improvements are required and shall enter into any agreements necessary as a supplement to this Development Standards Handbook.

TMFPD shall have reviewing authority over new development, including tentative maps within the Specific Plan Area. Therefore, if an individual project is not within a satisfactory emergency response time, TMFPD shall have the ability to condition supplemental mitigation measures such as fire sprinklers.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

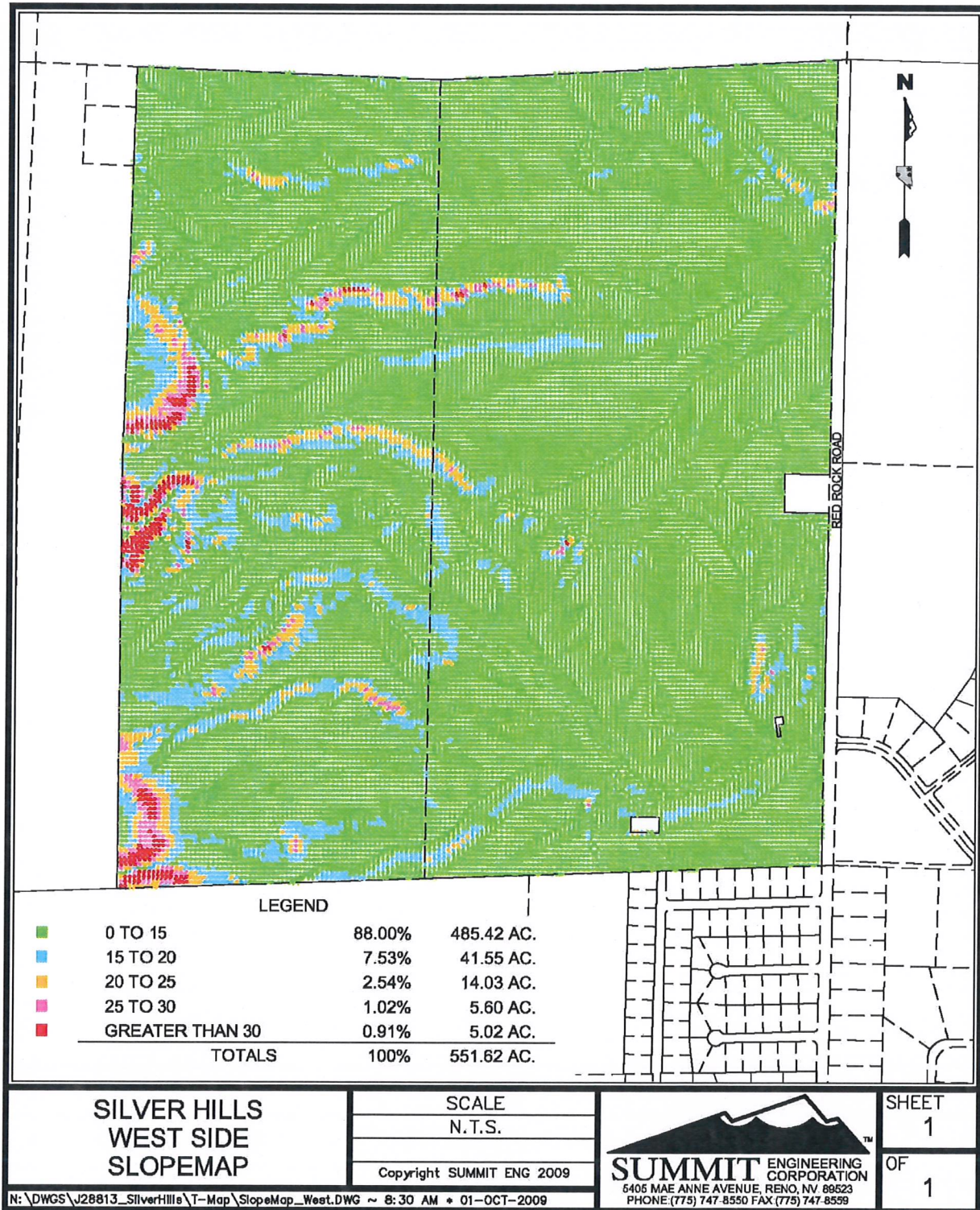


Figure 4-7 – West Side Slope Analysis

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

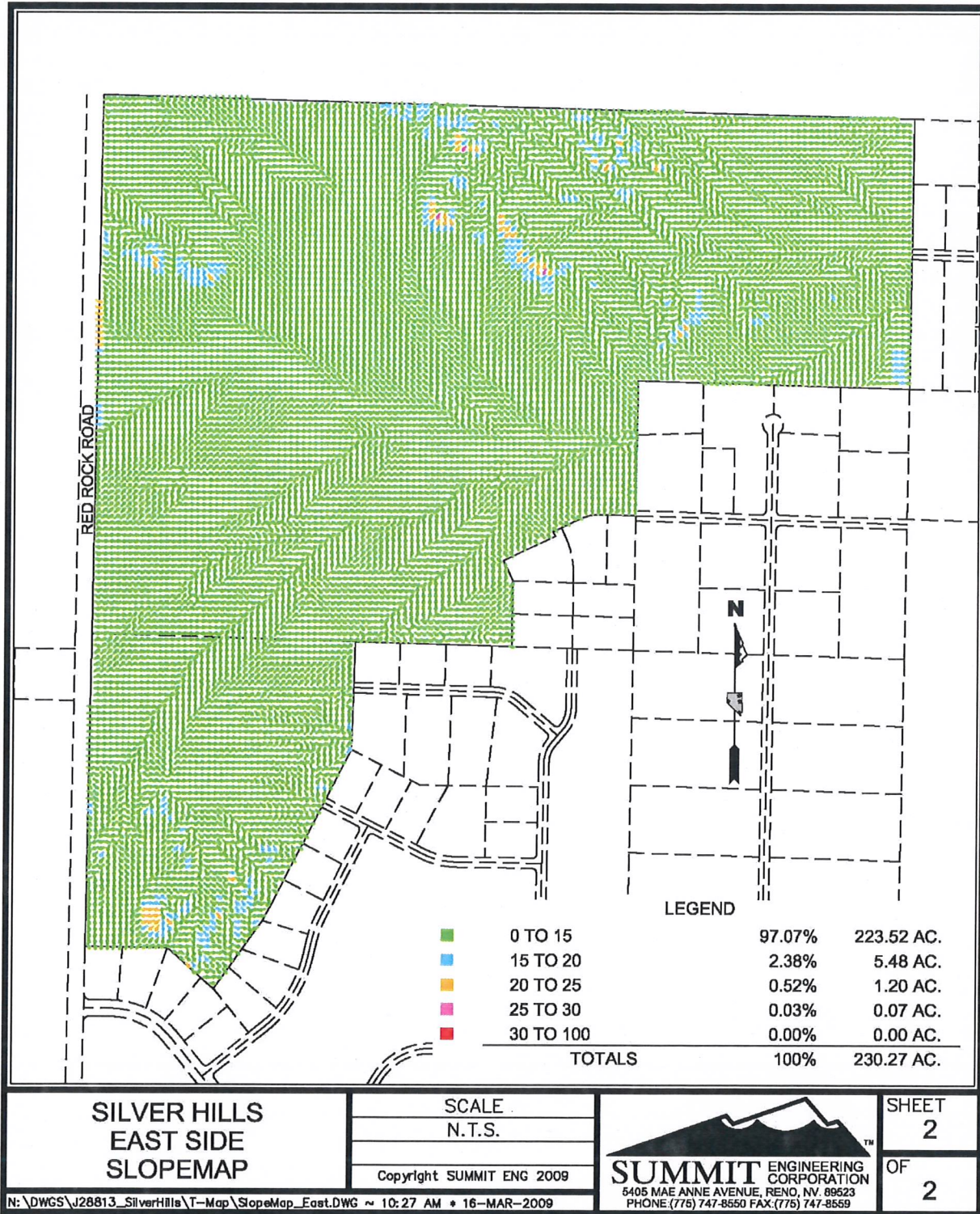


Figure 4-8 – East Side Slope Analysis

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

4.6 Police Protection

The Washoe County Sheriff's Office provides police services in the area of Silver Hills. Existing patrols are already occurring within the area. As Silver Hills and the surrounding approved projects are constructed, it may be possible to co-locate a Sheriff substation within the Public Facility zone. This would have to be coordinated with other projects of regional significance in the area such as Evans Ranch, Stonegate, etc.

CHAPTER 5 – CONSTRUCTION, OPERATION, AND MAINTENANCE

5.1 Clean Job Site

As construction occurs within Silver Hills, individual developers/builders shall ensure that construction sites, including standing and storage areas, are maintained in a clean and orderly fashion. Any hazardous materials shall (i.e. gasoline, paints, etc.) shall be stored in proper OSHA approved containers and in accordance with all applicable County, State, and Federal standards/permits.

5.2 Protection of Vegetation During Construction

Natural vegetation outside of the limits of grading for any given project within the Silver Hills Specific Plan area shall be protected from damage during construction. Any common or open space areas that are disturbed during construction (i.e. extension of utilities, construction access, etc.) shall be fully restored. This means open space areas will be revegetated with native vegetation and developed/improved common areas shall be returned to their prior (or better) level (i.e. landscaping, irrigation, etc.).

5.3 Temporary Protective Fencing

Construction that is adjacent to any open space areas, areas of public activity (i.e. trails, parks, etc.) or adjacent to significant natural features shall be required to erect temporary protective fencing to ensure that these areas are not disturbed and that public safety is upheld.

5.4 Erosion Control Plan and Storm Water Pollution Prevention Plan (SWPPP)

Per Washoe County Development Code and Nevada Division of Environmental Protection (NDEP) policy/regulation, all construction projects are required to have an Erosion Control Plan and Storm Water Pollution Prevention Plan (SWPPP) in place prior to all grading activities. The Erosion Control Plan(s) shall be reviewed and approved by the Washoe County Department of Planning and Building and the Washoe County District Health Department while, the SWPPP shall be approved by the NDEP. This standard applies for any and all land-disturbing activities that occur within the Specific Plan area.

5.5 Temporary Structures and Signs

Temporary structures such as construction trailers, portable offices, temporary sales offices, etc. shall be reviewed by the Master Developer and/or the Design Review Committee as to their location, hours of operation, etc. To the extent possible, construction trailers shall be located away from public rights-of-way, trails, and active common areas. All temporary structures shall be removed within 30 days of the completion of work or issuance of final certificate of occupancy (as applicable).

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

Individual projects within Silver Hills shall be permitted two 32 square foot temporary project identification sign. The purpose of this sign is to identify the project and may include builder name, selling price, contact information, phasing announcements, financing source, etc. This sign may not replace the required project entry monument (refer to Chapter 2) and shall be removed concurrently with the sale of the final home within that particular neighborhood. All temporary signs shall be reviewed and approved by the Master Developer or the Silver Hills Design Review Committee.

Security fencing associated with temporary structures and construction is permitted. This includes the use of chain link and barbed wire fencing on a temporary basis. Fencing shall be limited to no more than 6 feet in height and shall be removed concurrently with the temporary structure.

5.6 Model Home Complexes

Model Home Complexes shall comply with the following standards:

- The location of model home complexes and details regarding parking, lighting, landscaping, fencing, signing and hours of operation shall be reviewed and approved by Master Developer and the Washoe County Department of Planning and Building.
- Model home complexes/sales offices shall operate between the hours of 7:00 am to 6:00 pm, 7 days per week.
- Any temporary sales office and/or model home complex shall cease operation with the sale of the final home in the subdivision. Additionally, all temporary signs, etc. shall be removed concurrently.
- Accessible parking shall be provided per Washoe County Development Code standards for all model home complexes.
- Temporary parking lots, subject to ADA standards shall be permitted with new model home complexes and shall be removed concurrently with the sale of the final unit within the subdivision.
- Temporary open view fencing is permitted within the front yard setbacks of model home complexes and shall be removed with the sale of the final unit within the subdivision. Acceptable fencing includes wrought iron or split rail and shall not exceed 4 feet in height.
- Lighting for model home complexes may be provided for safety and security purposes and shall be approved by the Master Developer and/or the Design Review Committee. Temporary security lighting shall be removed with the sale of the final unit within the subdivision.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- Lighting of temporary parking lots, other than bollard lighting limited to 4 feet in height, shall be prohibited.
- Temporary flags and flag poles shall be permitted within model home complexes subject to review and approval of the Master Developer and/or Design Review Committee. All flags and flag poles shall be removed with the sale of the final unit within the subdivision.

5.7 Construction Yards and Hours

As construction commences within Silver Hills, construction yards will be necessary. A construction yard is a temporary area used for the storage of materials, supplies, tools, equipment, etc. The following requirements will apply to all projects within the Silver Hills Specific Plan area:

- Construction hours, including activity within construction yards, shall be limited to 7:00 am to 8:00 pm weekdays and 9:00 am to 6:00 pm on weekends.
- To the greatest extent possible, new construction yards shall be located away from existing residences.
- Construction yard location shall be reviewed and approved by the Master Developer and/or the Design Review Committee.
- Construction yards shall be subject to applicable Washoe County permits, including a Washoe County District Health Department dust control permit.
- Construction yards shall be removed and sites returned to a natural or developed state with issuance of the final certificate of occupancy within the subdivision(s) they serve.
- All construction yards shall be kept in a neat and orderly fashion. All materials, equipment, etc. shall be kept behind a 6-foot minimum fence. Acceptable fencing includes wood or chain link and may include barbed wire.
- Temporary pole lighting is permitted within construction yards for security purposes. All fixtures shall be shielded to ensure spill-over and glare does not occur on adjoining properties.
- An onsite resident may be permitted within temporary living quarters (modular unit or recreational vehicle) within active construction yards for security purposes.
- The project contractor shall be responsible for obtaining applicable permits and enforcement of these standards.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

5.8 General Construction Standards

- Construction hours shall be limited to 7:00 am to 8:00 pm weekdays and 9:00 am to 6:00 pm on weekends.
- Individual builders shall be responsible for obtaining all required permits such as dust control, SWPP, etc.
- Roadways within construction areas shall be kept free of debris such as scrap materials, nails, etc. and shall be swept on a regular basis.
- Adequate dumpsters shall be provided within construction areas to ensure debris does not spill over into streets or blow off-site.
- Builders shall designate to the Master Developer and Washoe County a project contact person responsible/authorized to correct problems regarding the project on a 24-hour/7 days a week basis.
- Fencing may be erected around construction sites on a temporary basis. This may include chain link at a maximum of 6-feet.
- The Master Developer and subsequent Homeowners Association(s) shall include the implantation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

5.9 Common Area Maintenance

Silver Hills will include a significant amount of common area and open space. This includes both private and public common areas. In general, private common areas will be located within individual subdivisions and may include neighborhood greens, private recreational amenities, private streets, etc. Public common areas include dedicated open space, trails, drainageways, utility corridors, etc.

5.9.1 General Maintenance Standards

- Concurrent with the approval of the first tentative map or development permit (i.e. road construction), the Master Developer shall submit a final Three-Year Maintenance Plan to the Washoe County Department of Planning and Building for review and approval. The plan shall fulfill the requirements of Section 110.442.35(2) of the Washoe County Development Code. The maintenance plans shall be reviewed and updated, as necessary, by the Washoe County Department of Planning and Building every 3 years.
- Prior to or concurrent with the issuance of the first building permit, the Master Developer shall demonstrate that a master homeowner's association has been formed and articles of incorporation are filed with the Nevada Secretary of State.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

- The Silver Hills Homeowners Association shall be responsible for the ongoing maintenance of all public common areas within the Specific Plan Area. This includes vegetation, preservation of watersheds, debris and litter removal, trail maintenance, maintenance of community signs and amenities, landscape maintenance, maintaining public access where applicable, noxious weed abatement, etc.
- The Silver Hills Homeowners Association shall be responsible for the permanent maintenance of public common/open spaces.
- As an alternative to a Homeowner’s Association, an alternative legal instrument may be formed to provide for the ongoing permanent maintenance of common/open space areas and community amenities. Acceptable instruments include a Landscape Maintenance Association (LMA) or Landscape Maintenance District (LMD) subject to the approval of the Master Developer and Washoe County.
- The Silver Hills Homeowner’s Association or any subsequent entity charged with the task of maintenance shall comply with the regulations set forth in NRS 278A.120 through 278A.190.
- Except for dedicated public parks within the Specific Plan area, Washoe County shall not be responsible for common or open space areas within Silver Hills.
- The Master Developer and subsequent Homeowners Association(s) shall include the implantation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

5.9.2 Private Open Space and Common Areas

- Private Open Space and common areas such as neighborhood greens, private streets, etc. shall be maintained by a sub-homeowner’s association specific to an individual neighborhood.
- Sub-homeowner’s associations must comply with all applicable rules and regulations, including any adopted covenants, conditions, and restrictions (CC&R’s), included within the Specific Plan and shall require approval from the Master Developer and Washoe County.
- The Silver Hills Homeowners Association may choose to maintain private common areas through an agreement with a sub-HOA or individual builder. This shall be subject to approval of the Master Developer and/or Silver Hills Homeowners Association Board of Directors.
- The Master Developer and subsequent Homeowners Association(s) shall include the implantation of Best Management Practices to prevent the spread of noxious weeds during construction activities.

SILVER HILLS – SPECIFIC PLAN DEVELOPMENT STANDARDS

5.9.3 Agrihood Farms and Facilities

- Agrihood facilities (i.e. orchards, barns, greenhouses, etc.) and common areas shall be maintained by the master homeowner's association.
- As an alternative to a typical homeowner's association, Silver Hills may incorporate its own advisory board that will oversee agrihood operations and maintenance.
- The Master Developer and subsequent Homeowners Association(s) shall include the implantation of Best Management Practices to prevent the spread of noxious weeds during construction activities.