

Braesview Custom Lot Subdivision

Tentative Subdivision Map Application

Washoe County Planning Commission Presentation

May 4, 2021

Property Location

The subject property includes four parcels (APN's 044-391-26, 28, and 29 and 162-240-01)

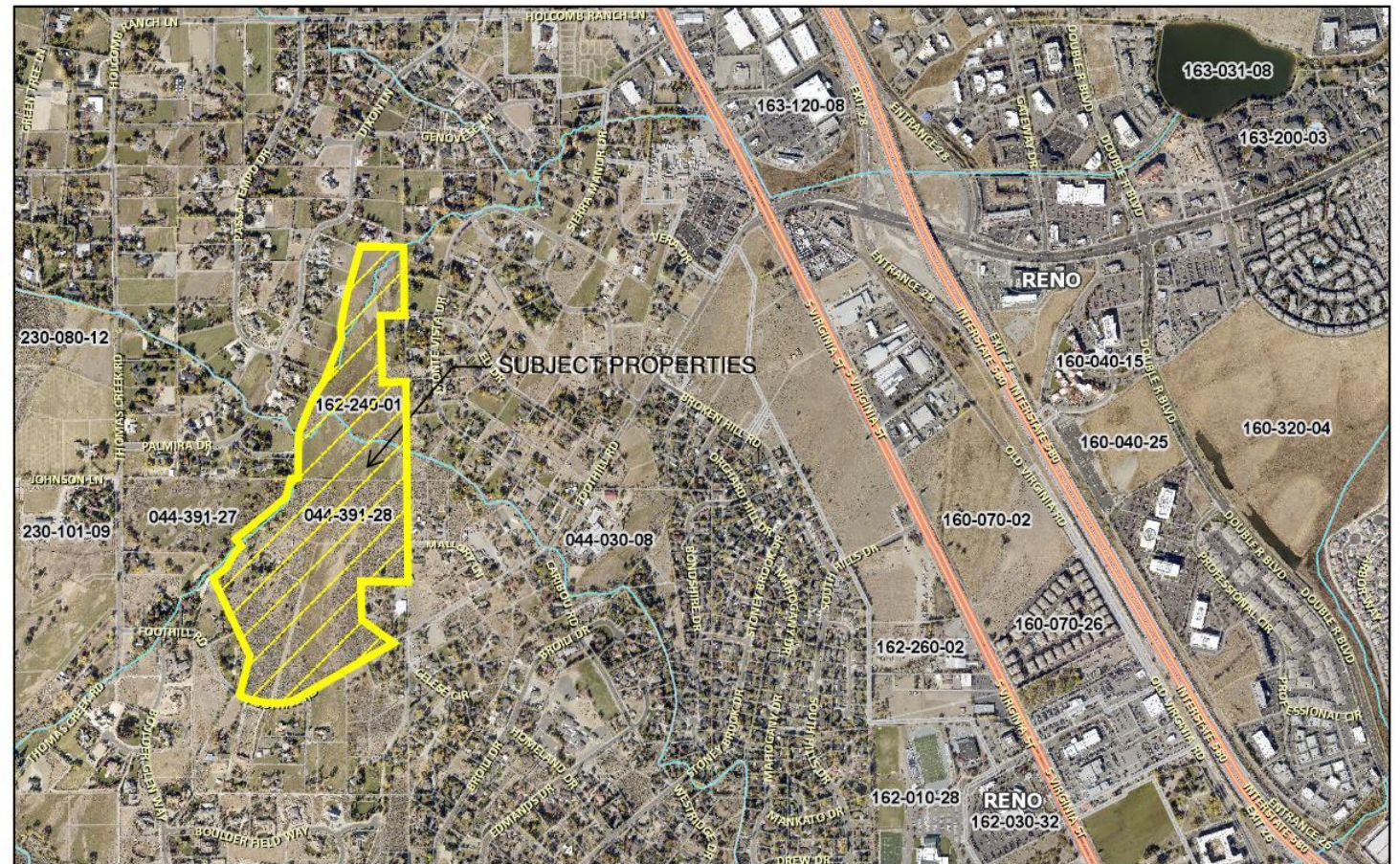
The total property size is 75.88+/- acres.

The project proposes 24 custom single-family lots

Minimum lot size of 2.5 AC
Maximum lot size is 5.36 AC

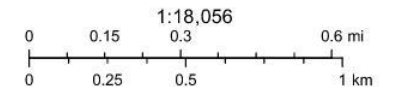
The proposed project presents a residential density of one lot per 3.16+/- acres of land.

VICINITY MAP



January 5, 2021

APN



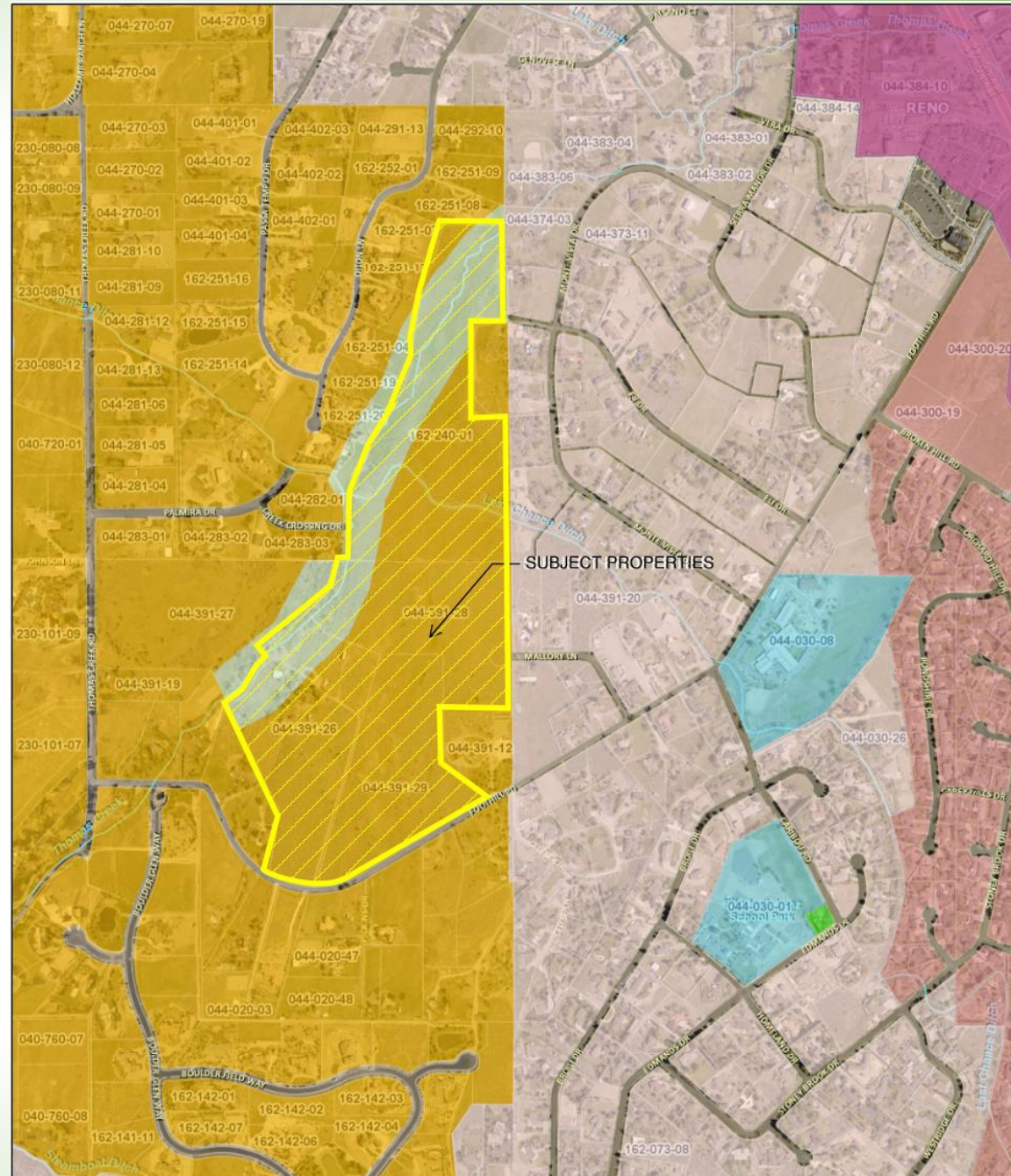
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.
Washoe County Technology Services - Regional Services Division, 1001 E. 9th St, Building C-200, Reno, NV 89512 www.washoecounty.us/gis (775) 328-2345

Property Zoning

Property is zoned HDR and GR

Using the split zoned density calculations of Washoe County, the property is allowed to have 24 lots on the 75.88 acres.



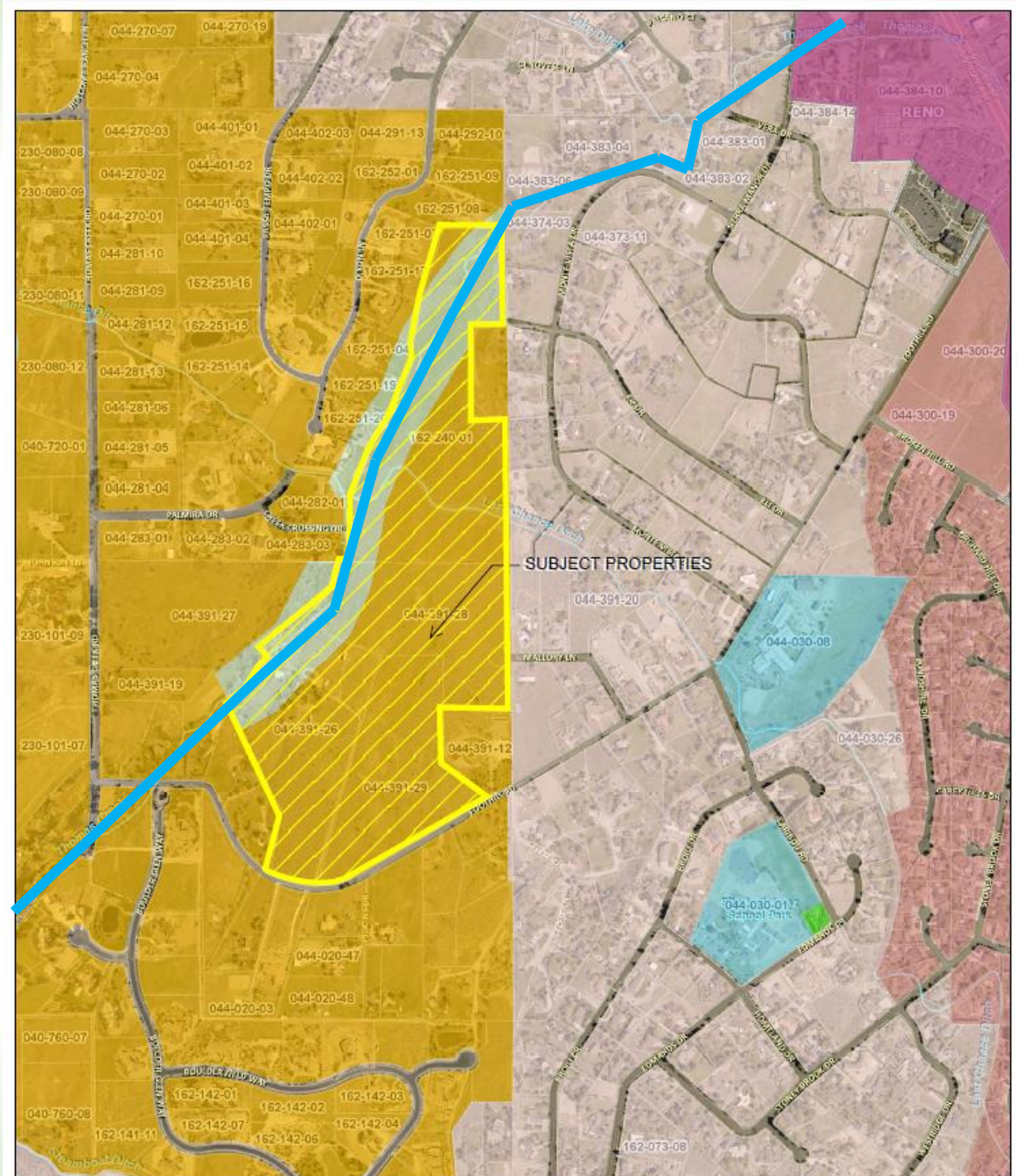
Zoning and Thomas Creek

Zoning on property consists of HDR and GR.
GR is limited to the Thomas Creek corridor.

Page 5 of staff report covers the allowed division
The GR zoned portion of the property based on
Code Interpretation 03-2.

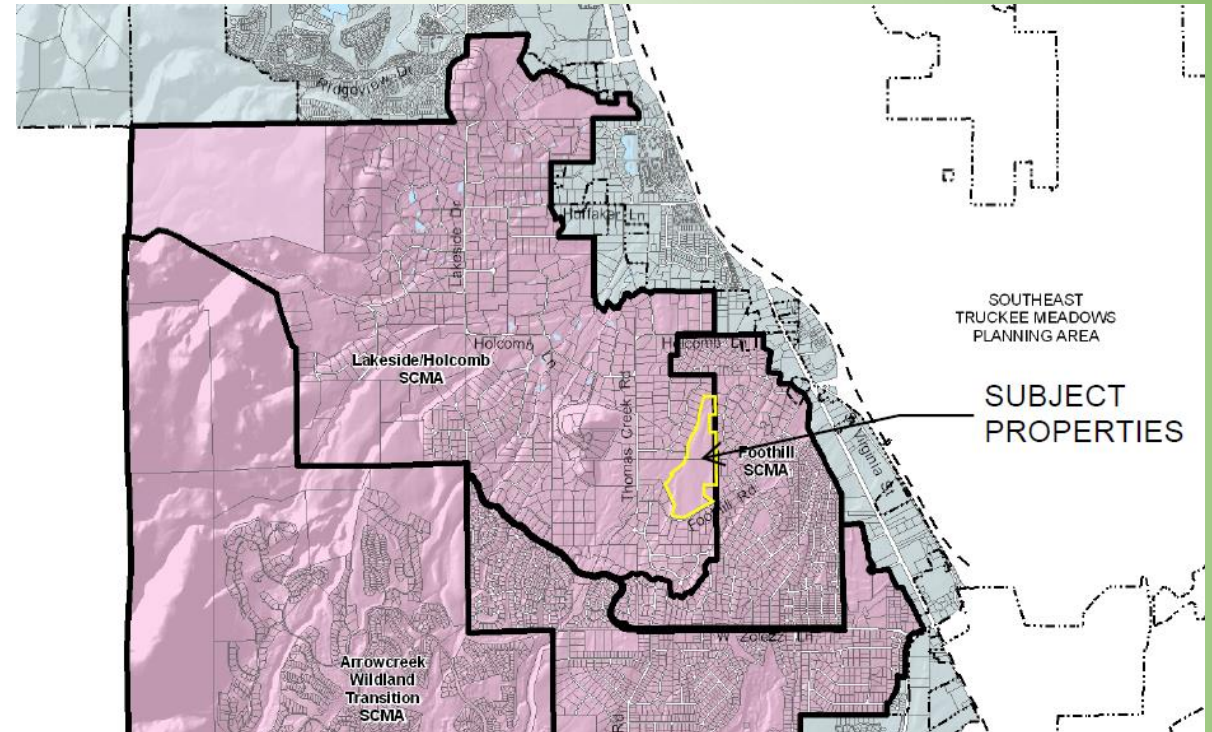
GR designation is clearly associated with the Creek
and limitations of development or disturbance in
critical and sensitive stream zone buffers is
appropriately protected under Article 418 of
the WCC.

Thomas Creek continues to the north and
south of the subject property. GR designation does
not on the directly adjacent parcels.



South Truckee Meadows Area Plan – Character Management Area

- SW.1.6 The following Regulatory Zones are permitted within the Lakeside/Holcomb Suburban Character Management Area:
- General Rural (GR – One unit per 40 acres).
 - Low Density Rural (LDR – One unit per 10 acres).
 - Medium Density Rural (MDR – One unit per 5 acres).
 - Public/Semi-public Facilities (PSP).
 - Parks and Recreation (PR).
 - Open Space (OS).
 - Low Density Suburban (LDS – One unit per 1 acre).
 - High Density Rural (HDR – One unit per 2.5 acres).**



SOUTHWEST

CHARACTER MANAGEMENT PLAN

SUBURBAN CHARACTER MANAGEMENT AREA

 RURAL CHARACTER MANAGEMENT AREA

NOTE: THE SCALE AND CONFIGURATION OF ALL INFORMATION SHOWN HEREON ARE APPROXIMATE ONLY AND ARE NOT INTENDED AS A GUIDE FOR DESIGN OR SURVEY WORK. REPRODUCTION IS NOT PERMITTED WITHOUT PRIOR WRITTEN PERMISSION FROM THE WASHOE COUNTY COMMUNITY DEVELOPMENT DEPARTMENT.

0 1,250 2,500 5,000

Scale in Feet

**Department of
Community Development**

**WASHOE COUNTY
NEVADA**

SOURCE: COMMUNITY SERVICES

WPCP ADOPTION DATE: January 5, 2010
 BCC ADOPTION DATE: February 9, 2010
 RPC ADOPTION DATE: March 10, 2010

Reno, Nevada 89520
 Post Office Box 11130
 (775) 328-3600

South Truckee Meadows/Washoe Valley CAB Meeting

STM/WV CAB hearing via Zoom on April 1, 2021

Many good comments and questions were presented at the CAB meeting that helped the design team identify some areas where we could work with neighbors to address some of the initial concerns:

Follow-up conversations with surrounding neighbors brought solutions to:

- (1) A couple non-recorded existing water line/service lateral from the Last Chance Ditch were identified with the help of a couple neighbors. These will be accommodated with development and easements for their locations will be formalized.
- (2) Neighbors in Sierra Manor identified traffic concerns with the north access point and the applicant and engineer worked with Washoe County and the TMFPD to change the northern access point to a gated emergency access, rather than an open access point. Revised site plans showing the gated access were provided to staff and are included in the staff report.

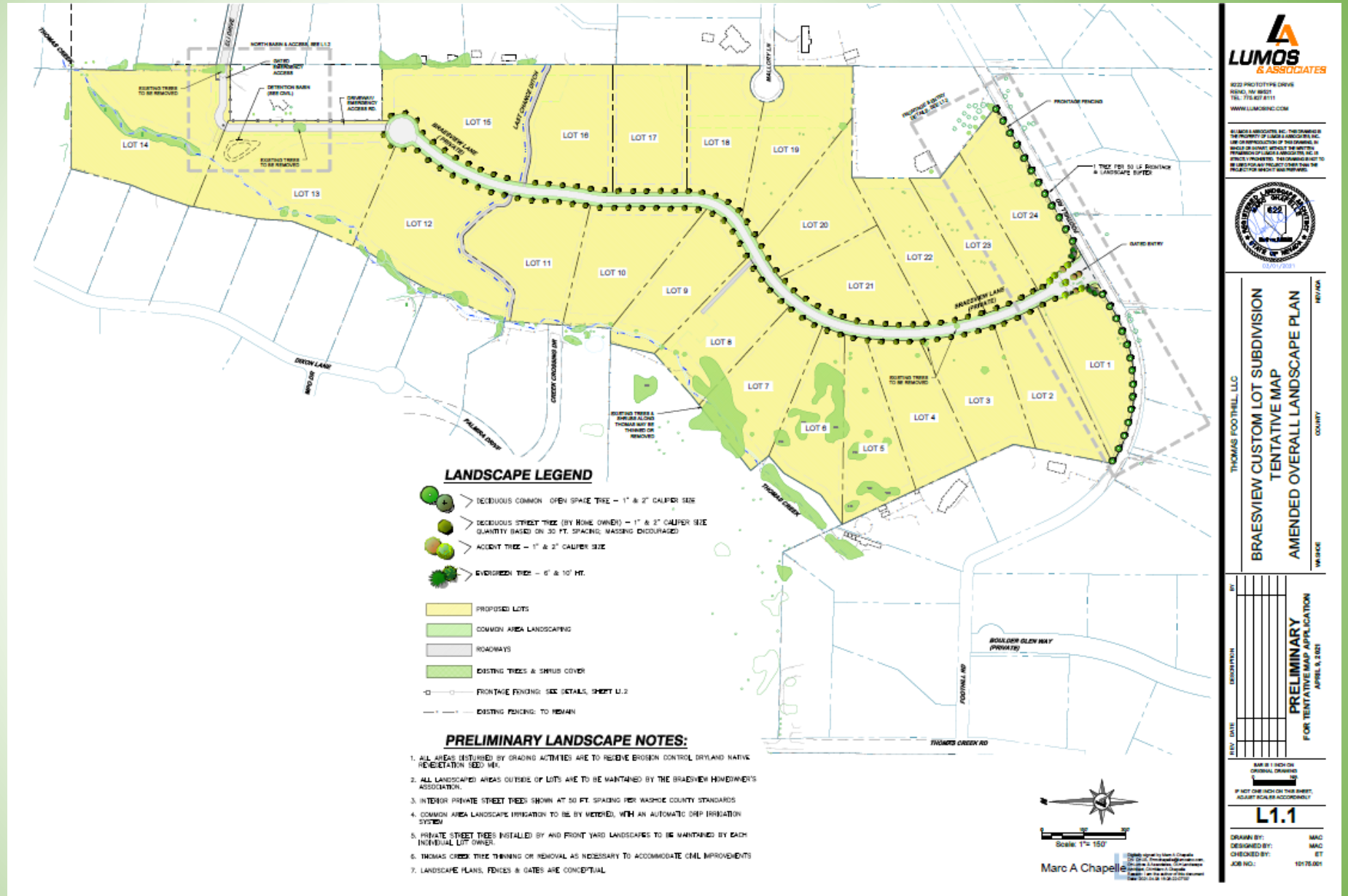
Site Plan

Project is a proposed Gated custom lot Subdivision.

The development of each home/lot will occur in a similar manner to how the existing vacant lots are developed in the area—

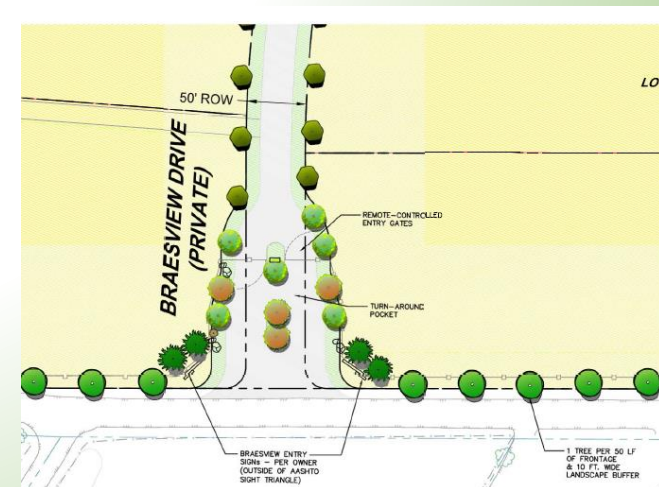
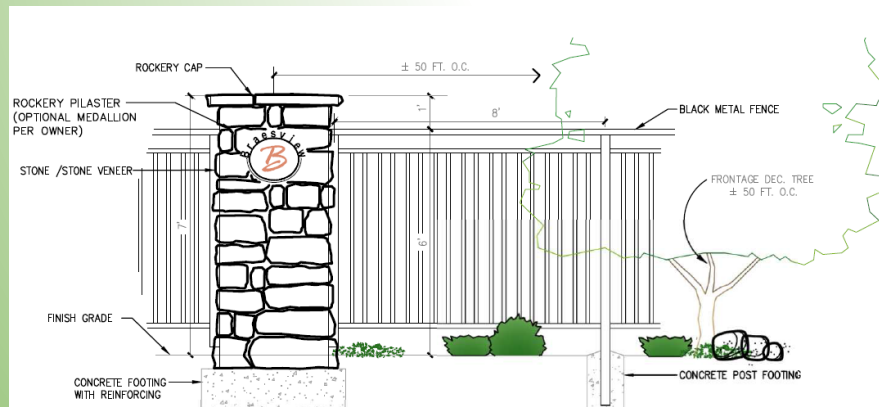
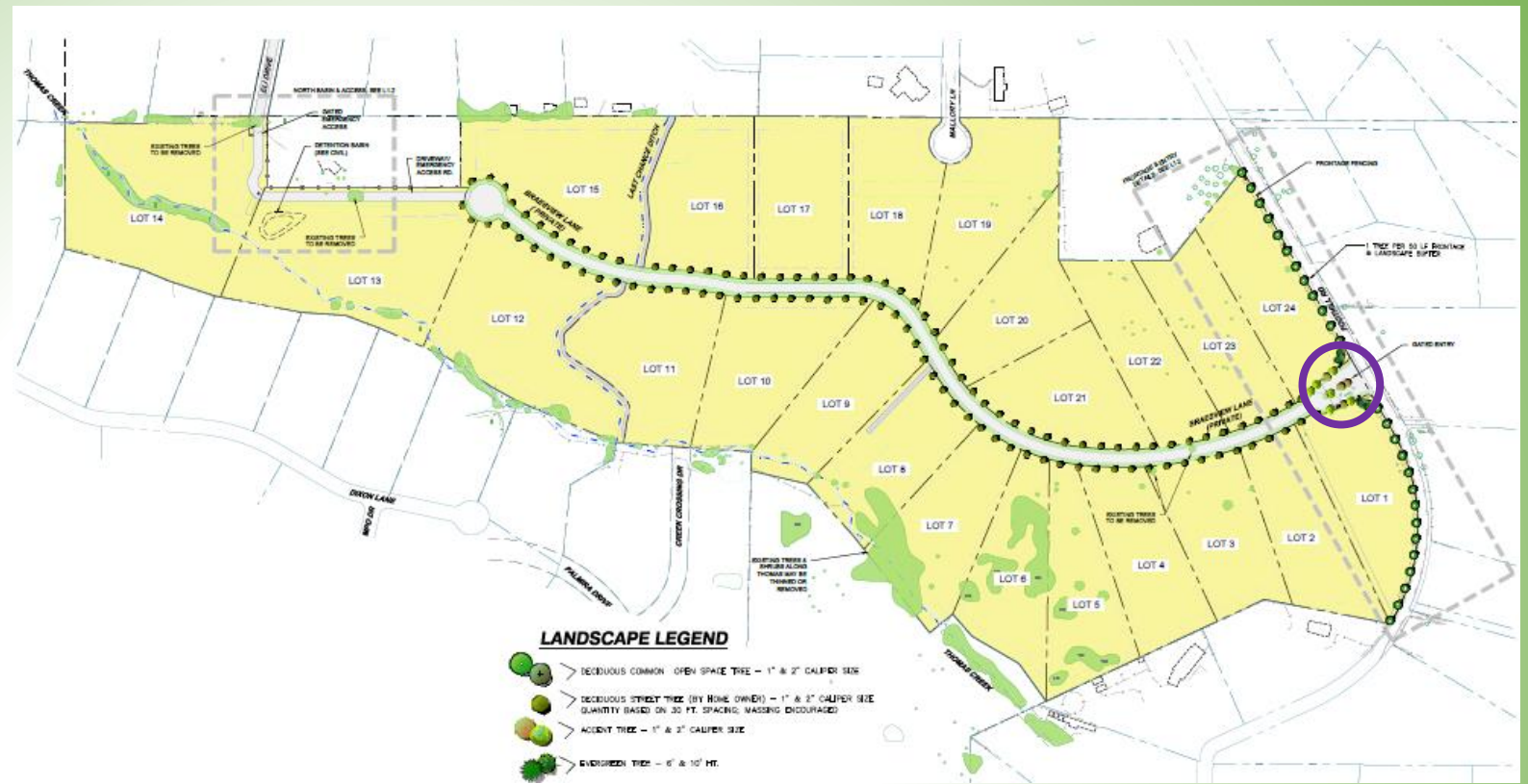
Custom homes designed per the desires of the future resident.

CC&R's will help to generally guide the acceptable design. Intended to provide relative freedom of design that will provide a complementary appearance but not identical.



Fencing and Gated Entry

Fencing with Stone Columns and open metal sections between is proposed along the street frontage of Foothill Road




Limits of Grading


Grading of the site is Proposed to be limited.


Grading primarily associated with roadway and drainage improvements.


6.91+/- acres of disturbed area on 75.88 acres (+/-9%)

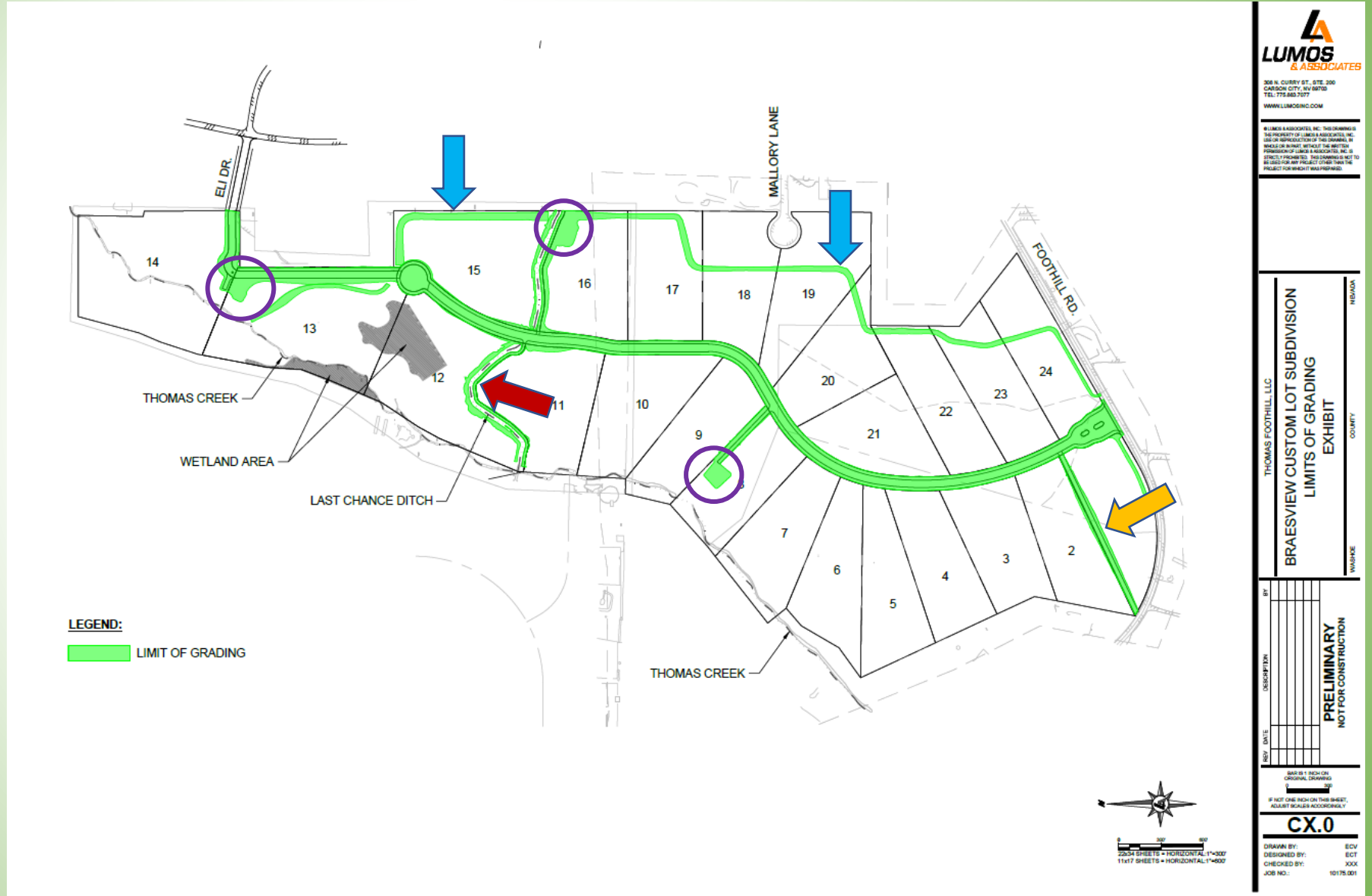
Grading of individual lots will follow the same rules as other vacant residentially zoned lots in the County.

 Pass-Through Drainage

 Water Line

 Last Chance Ditch

 Detention Basins



Existing Site Conditions

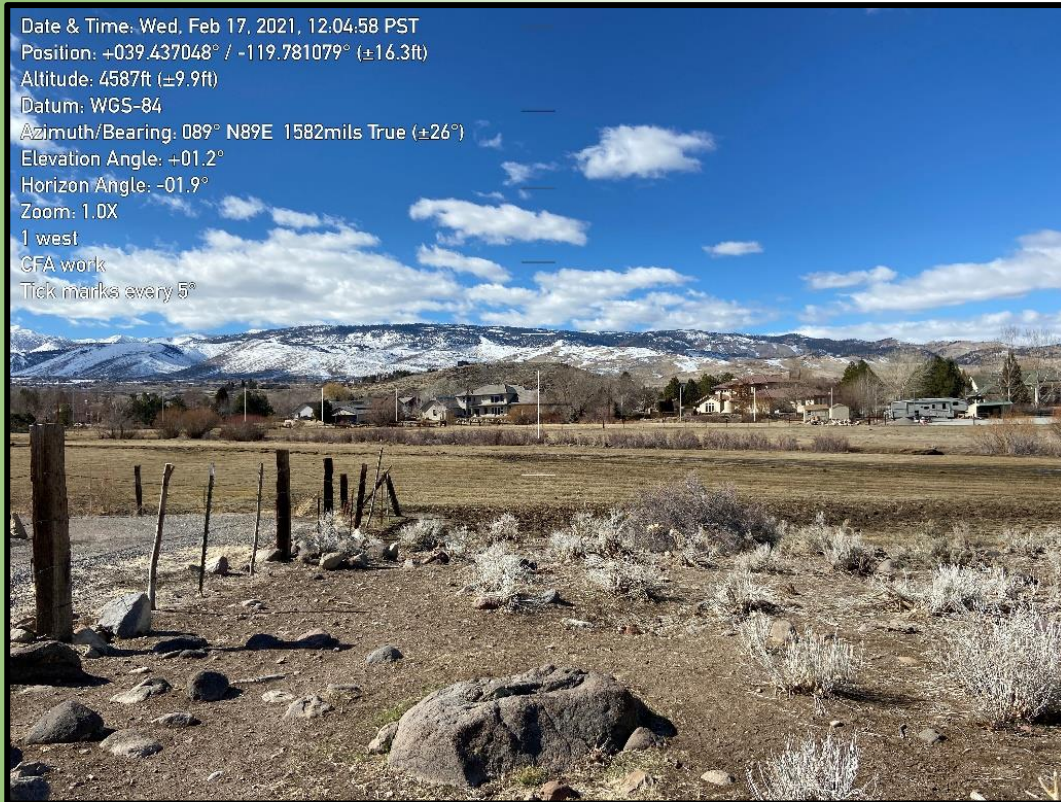


Photo from Eli Drive Entry Location.
View to the West

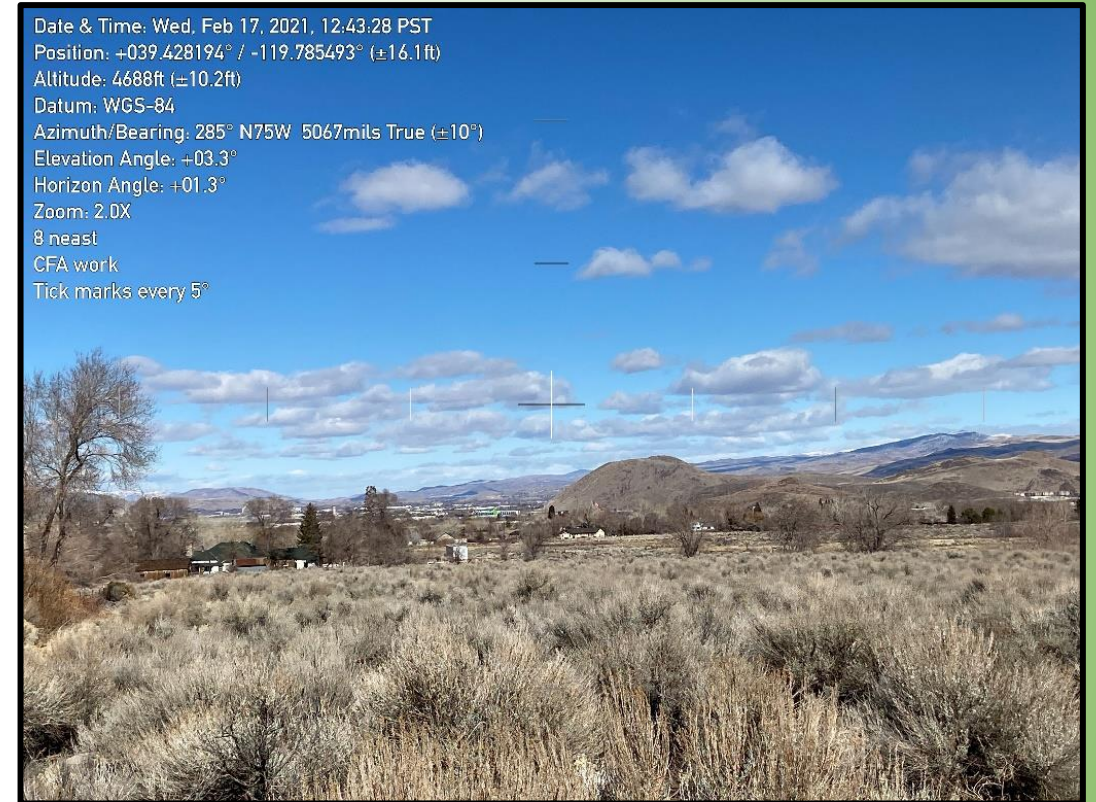


Photo from SW corner of site near Foothill Road.
View to the NE – Ex. Single Family Home can be seen on left side of photo.

Existing Site Conditions



Photo of Thomas Creek with overgrown Vegetation
View to the Southwest



Photo of Last Chance Ditch – View to the West.

Development Statistics

Total Project Area:	75.88+/- AC
Maximum Dwelling Units Allowed:	24 Residential Lots
Total Custom Lots Proposed:	24 Residential Lots
Common Area Lots:	1 Lot (Private Road)
Gross Density Proposed:	0.32+/- DU/AC

Areas of Use

Residential Lot Area:	72.33+/- AC
Total Common Area:	3.55+/- AC

Lot Sizes

Minimum Lot Size:	2.5+/- AC
Maximum Lot Size:	5.36+/- AC
Average Lot Size:	3.01+/- AC

The applicant believes that this project:

- Conforms with the existing master plan and zoning designations;
- Presents lot sizes and a development pattern that is similar in size, style and ultimate design to other lots in the area;
- Project streets will be privately maintained and will not present a burden to Washoe County.
- Provides appropriate stormwater management for water that currently sheet-flows off the property, sometimes in an uncontrolled manner.
- Presents a high-quality custom home development with lot sizes that are expected in this part of Southwest Reno

Closing

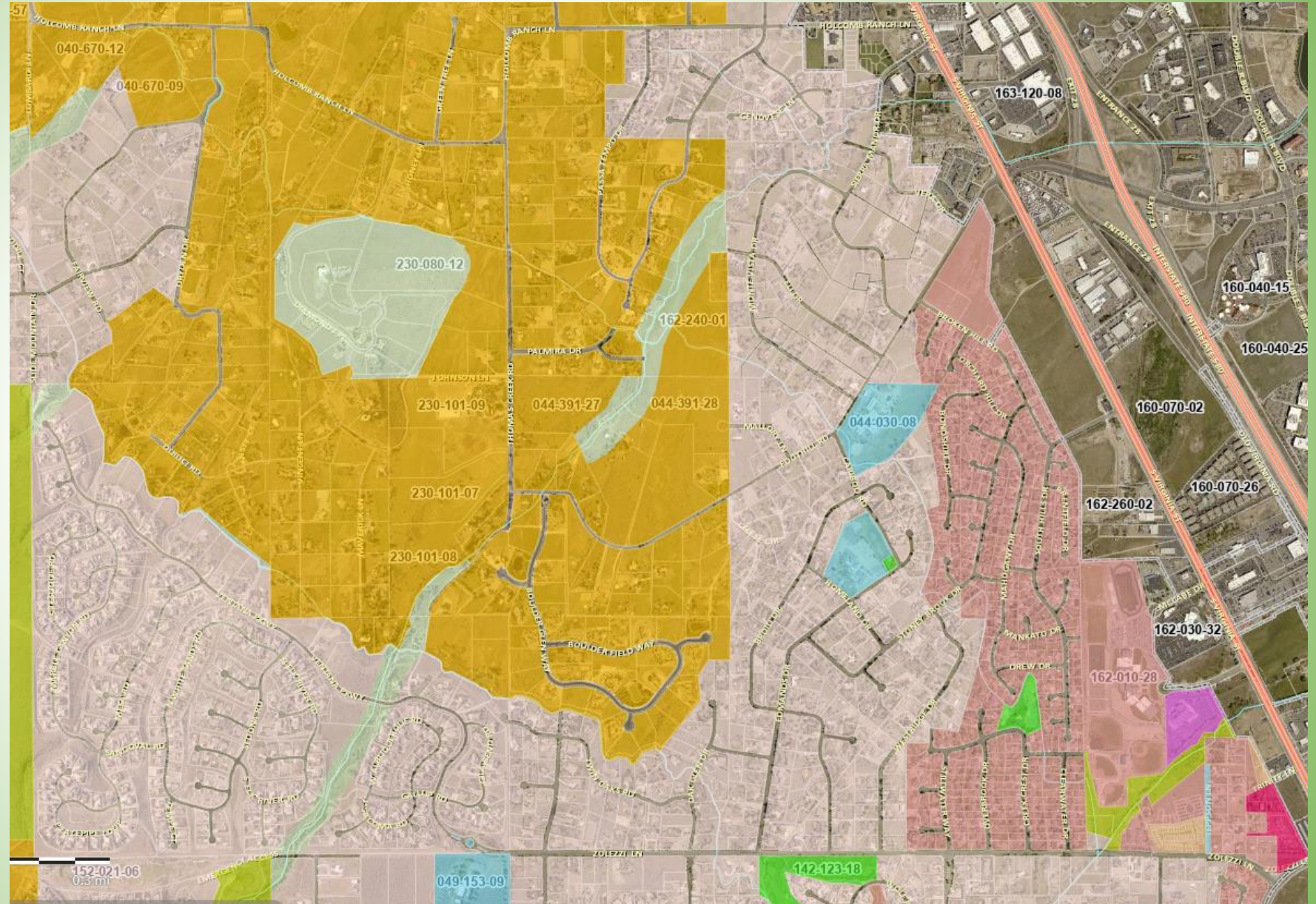
The Applicant agrees with the staff analysis and review and agrees that all the necessary legal findings can be met.

The applicant, project engineer and I are available to answer any questions you may have.

Questions

Extra Slides for Questions, If Necessary

Area Zoning



Traffic

The estimated average daily trips (ADT) from the project is estimated to be: 227 ADT.

AM Peak Hour Trips are estimated to be 18

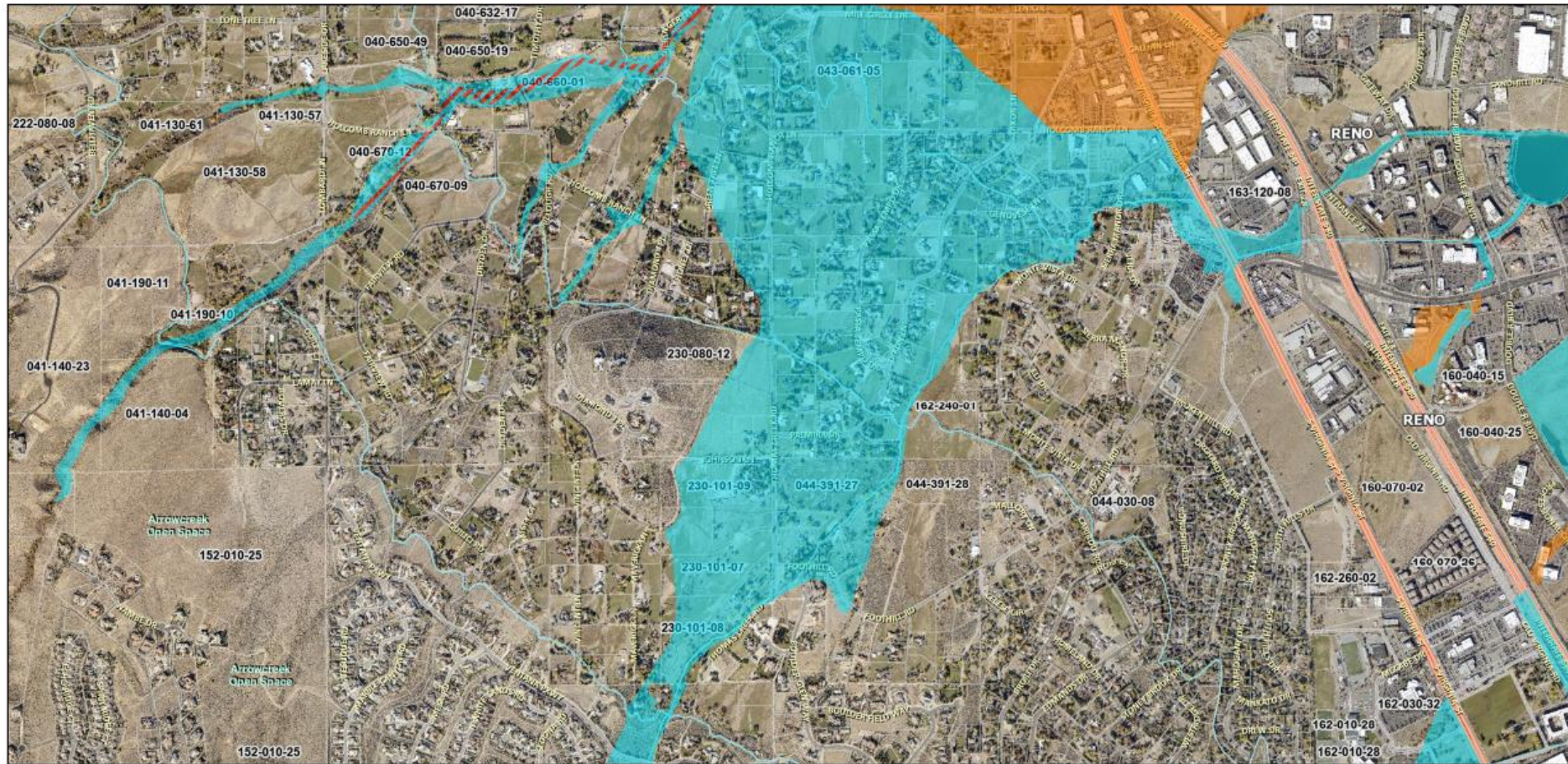
PM Peak Hour Trips are estimated to be 24

Calculations per ITE's TripGen web-based application

The level of traffic does not meet the threshold of necessitating a traffic report, per Washoe County Development Code

Floodplain

Braesview Custom Lot Subdivision Flood Map

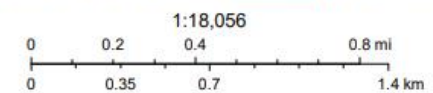


April 1, 2021

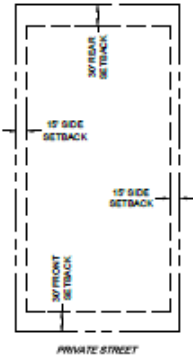
Flood Hazard Zones

- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard
- 0.2% Annual Chance Flood Hazard

- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- APN

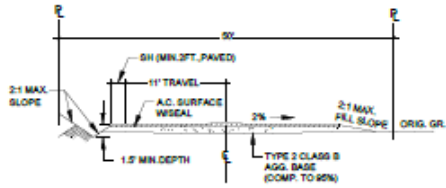


Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Washoe County GIS



**MINIMUM LOT SETBACKS
(TYPICAL)**

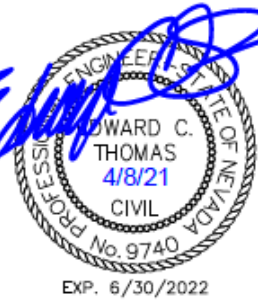
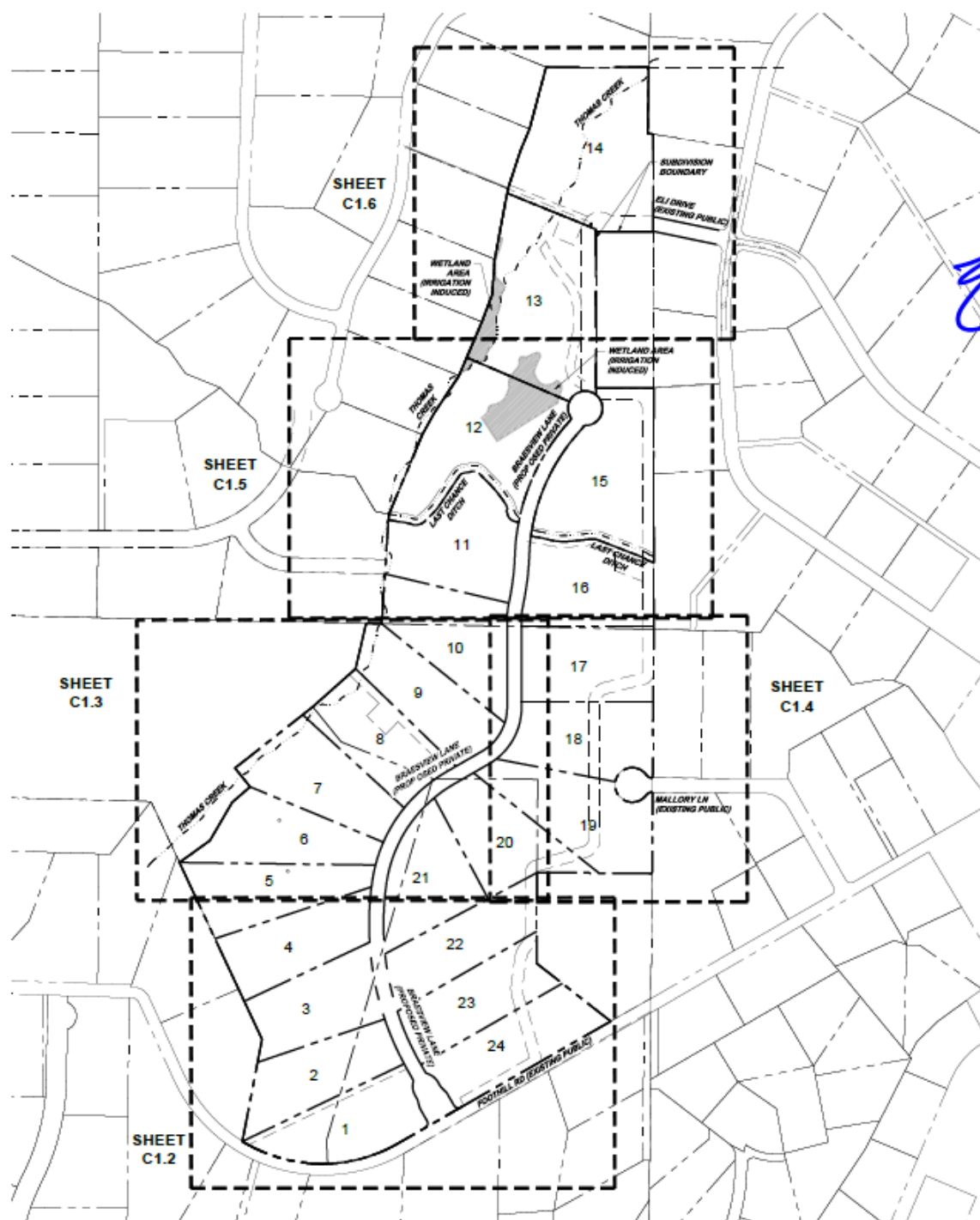
NON-TYPICAL SETBACKS ARE SHOWN ON SITE PLANS



**50' RURAL STREET SECTION
(TYPICAL)**

LAND USE TABLE

RESIDENTIAL LOTS	24 LOTS
GROSS AREA	75.80 AC
LOT AREA	72.30 AC
STREET RIGHT-OF-WAY AREA	3.55 AC
GROSS DENSITY	0.318 D.U./AC
AVERAGE LOT SIZE	3.01 AC
LARGEST LOT SIZE	5.36 AC
SMALLEST LOT SIZE	2.50 AC



**LUMOS
& ASSOCIATES**

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TEL: 775.827.8111
WWW.LUMOSINC.COM

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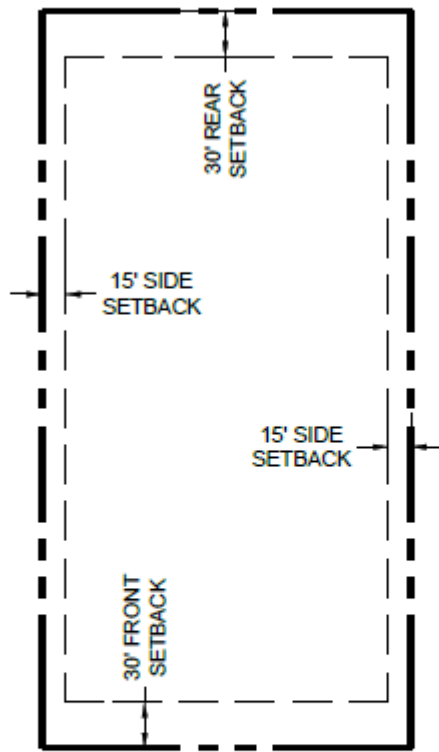
THOMASFOOTHILL, LLC
**BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
KEYMAP & OVERALL SITE PLAN**

REV.	DATE	DESCRIPTION

SCALE: 1"=200'
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

C1.1
DRAWN BY: ECV
DESIGNED BY: BCT
CHECKED BY: XXX
JOB NO.: 10175.001

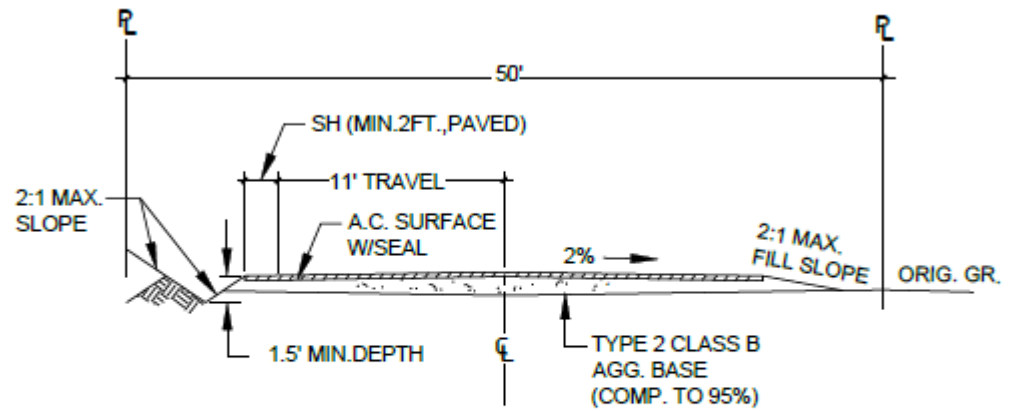




PRIVATE STREET

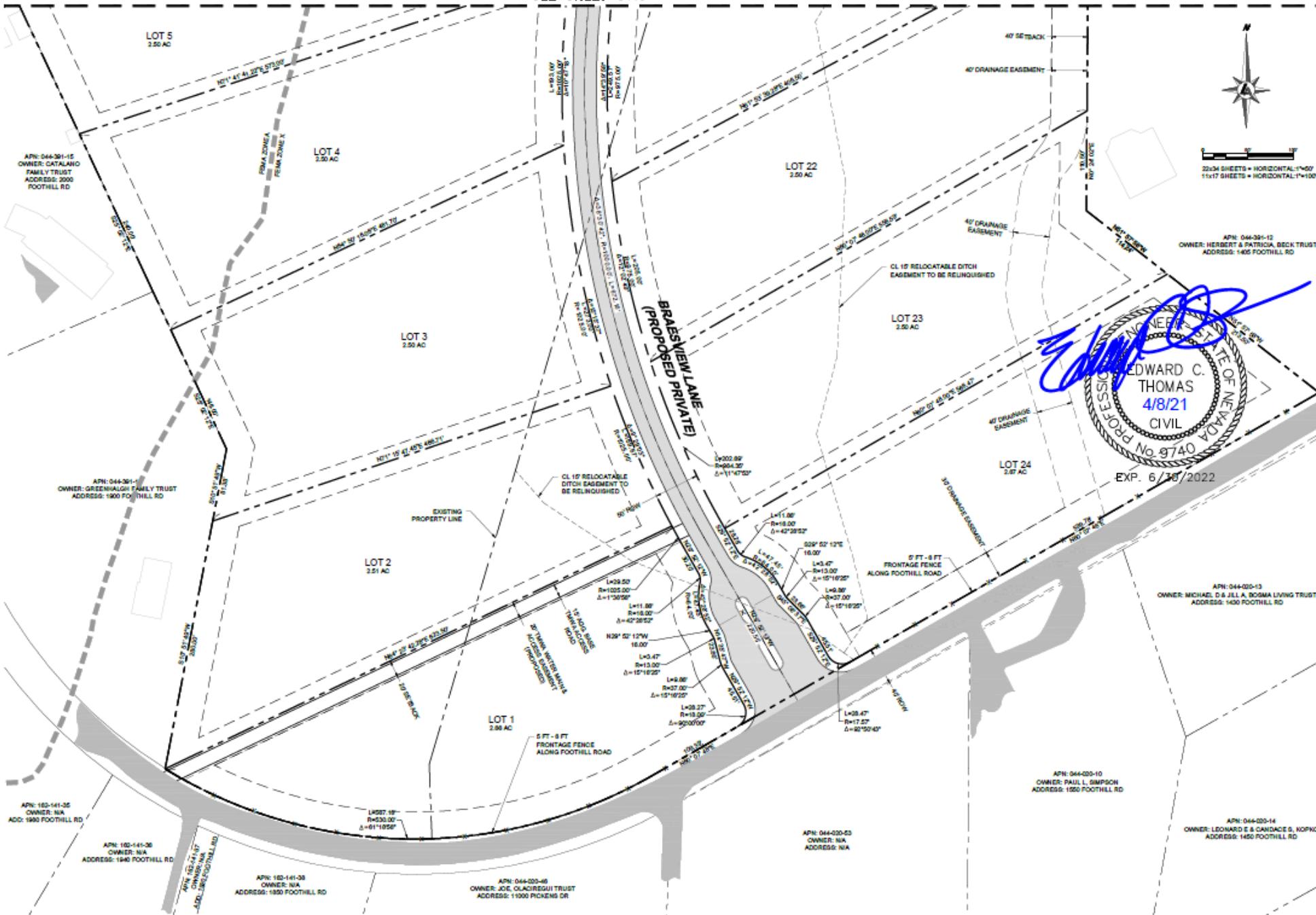
MINIMUM LOT SETBACKS (TYPICAL)

NON-TYPICAL SETBACKS ARE SHOWN ON SITE PLANS



50' RURAL STREET SECTION (TYPICAL)

SEE SHEET C1.3



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APN: 044-001-12
OWNER: HERBERT & PATRICIA, BECK TRUST
ADDRESS: 1405 FOOHILL RD

EDWARD C. THOMAS
4/8/21
CIVIL
No. 9740
Professional Engineer
State of Nevada
EXP. 6/30/2022

THOMAS FOOHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED SITE PLAN
WAHOO COUNTY NEVADA

REV.	DATE	DESCRIPTION

SCALE: 1/8" = 1' ON ORIGINAL DRAWING
0' 100'
IF NOT ONE EACH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
C1.2

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DESIGNED BY: SOT
CHECKED BY: XXX
JOB NO.: 10175.001

PRELIMINARY
FOR TENTATIVE MAP
APRIL 9, 2021

APN: 044-000-13
OWNER: MICHAEL D & JILL A. BOGMA LIVING TRUST
ADDRESS: 1430 FOOHILL RD

APN: 044-000-10
OWNER: PAUL L. SIMPSON
ADDRESS: 1550 FOOHILL RD

APN: 044-000-14
OWNER: LEONARD E & CANDACE S. WOPKO
ADDRESS: 1450 FOOHILL RD

APN: 044-000-03
OWNER: N/A
ADDRESS: N/A

APN: 044-000-08
OWNER: JOE, CLACIREGUI TRUST
ADDRESS: 11000 PICKENS DR

APN: 102-141-38
OWNER: N/A
ADDRESS: 1950 FOOHILL RD

APN: 102-141-38
OWNER: N/A
ADDRESS: 1940 FOOHILL RD

APN: 102-141-26
OWNER: N/A
ADD: 1900 FOOHILL RD

APN: 044-001-14
OWNER: GREENWALGH FAMILY TRUST
ADDRESS: 1900 FOOHILL RD

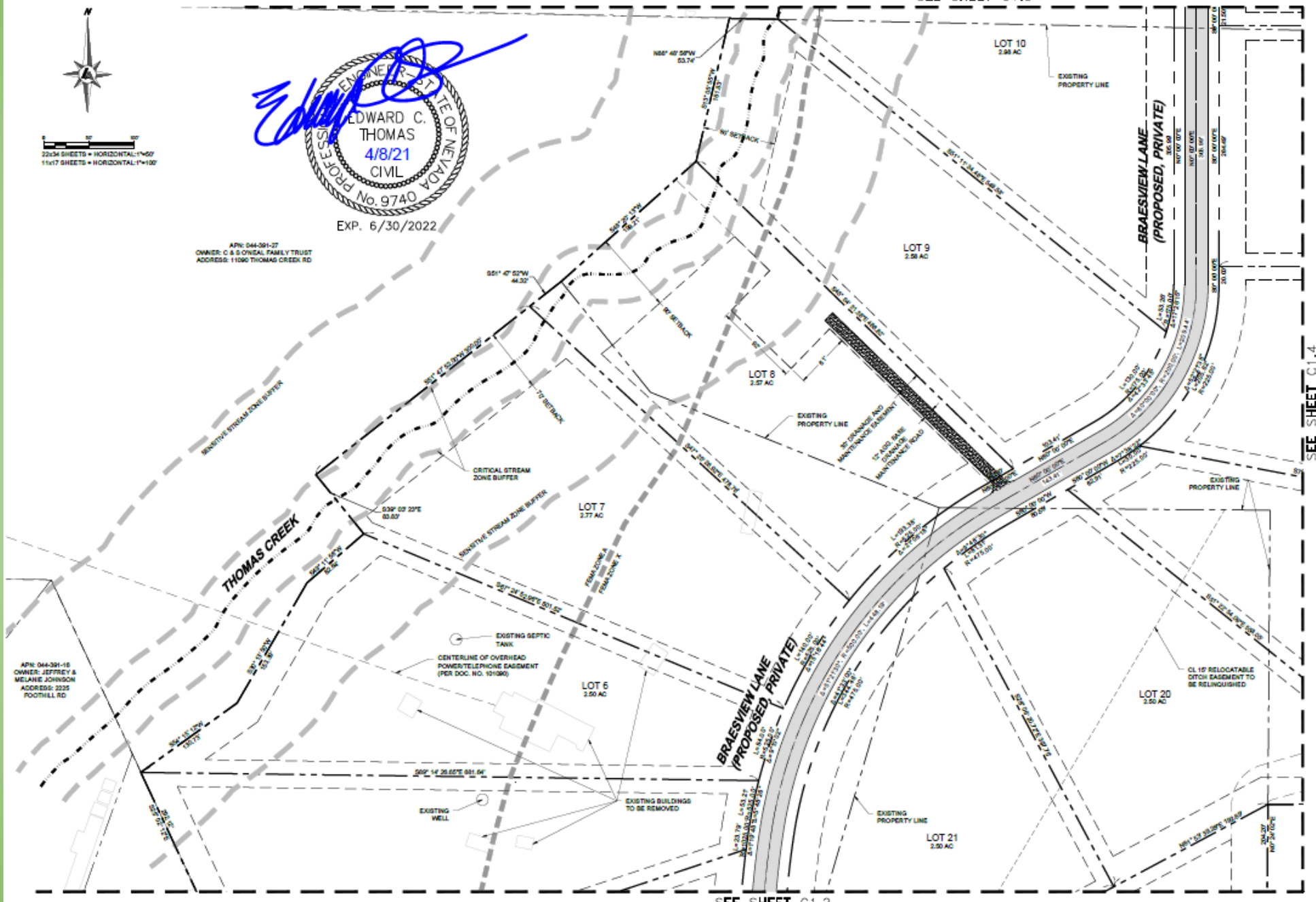
APN: 044-001-15
OWNER: CATALANO FAMILY TRUST
ADDRESS: 2000 FOOHILL RD



[Handwritten Signature]

EDWARD C. THOMAS
4/8/21
CIVIL
No. 9740
EXP. 6/30/2022

APN: 044-391-27
OWNER: C & S O'NEAL FAMILY TRUST
ADDRESS: 11090 THOMAS CREEK RD



APN: 044-391-18
OWNER: JEFFREY & MELANIE JOHNSON
ADDRESS: 2225 FOOTHILL RD

SEE SHEET C1.2

SEE SHEET C1.5

SEE SHEET C1.4



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BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED SITE PLAN
WARREN COUNTY NEW YORK

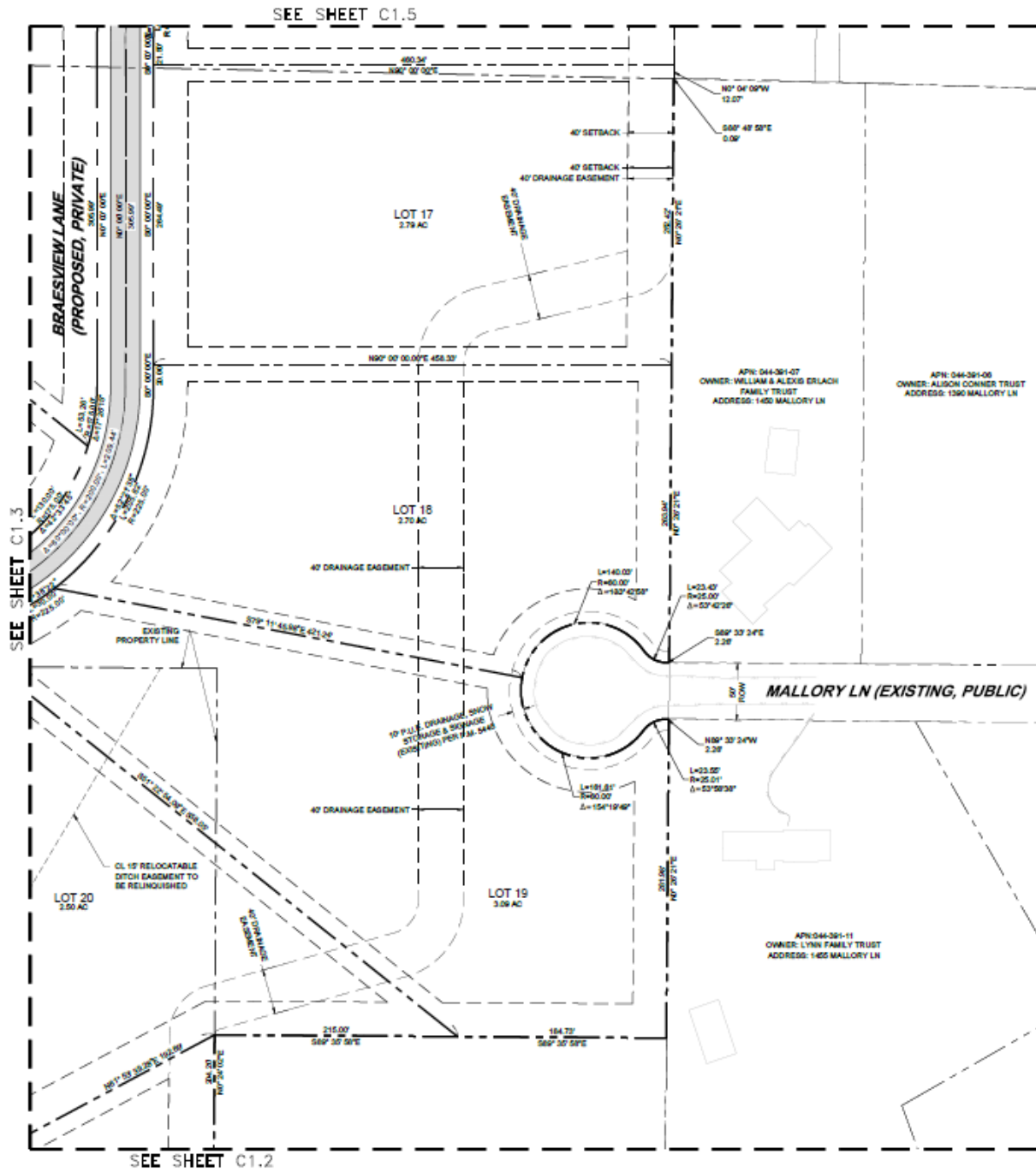
REV.	DATE	DESCRIPTION

PRELIMINARY FOR TENTATIVE MAP
APRIL 9, 2021

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C1.3

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DESIGNED BY: SGT
CHECKED BY: XXX
JOB NO.: 10475.001



EDWARD C. THOMAS
4/8/21
CIVIL
No. 9740
EXP. 6/30/2022

LUMOS & ASSOCIATES
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RENO, NV 89521
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THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED SITE PLAN

WAB/ICE COUNTY NEVADA

REV.	DATE	DESCRIPTION

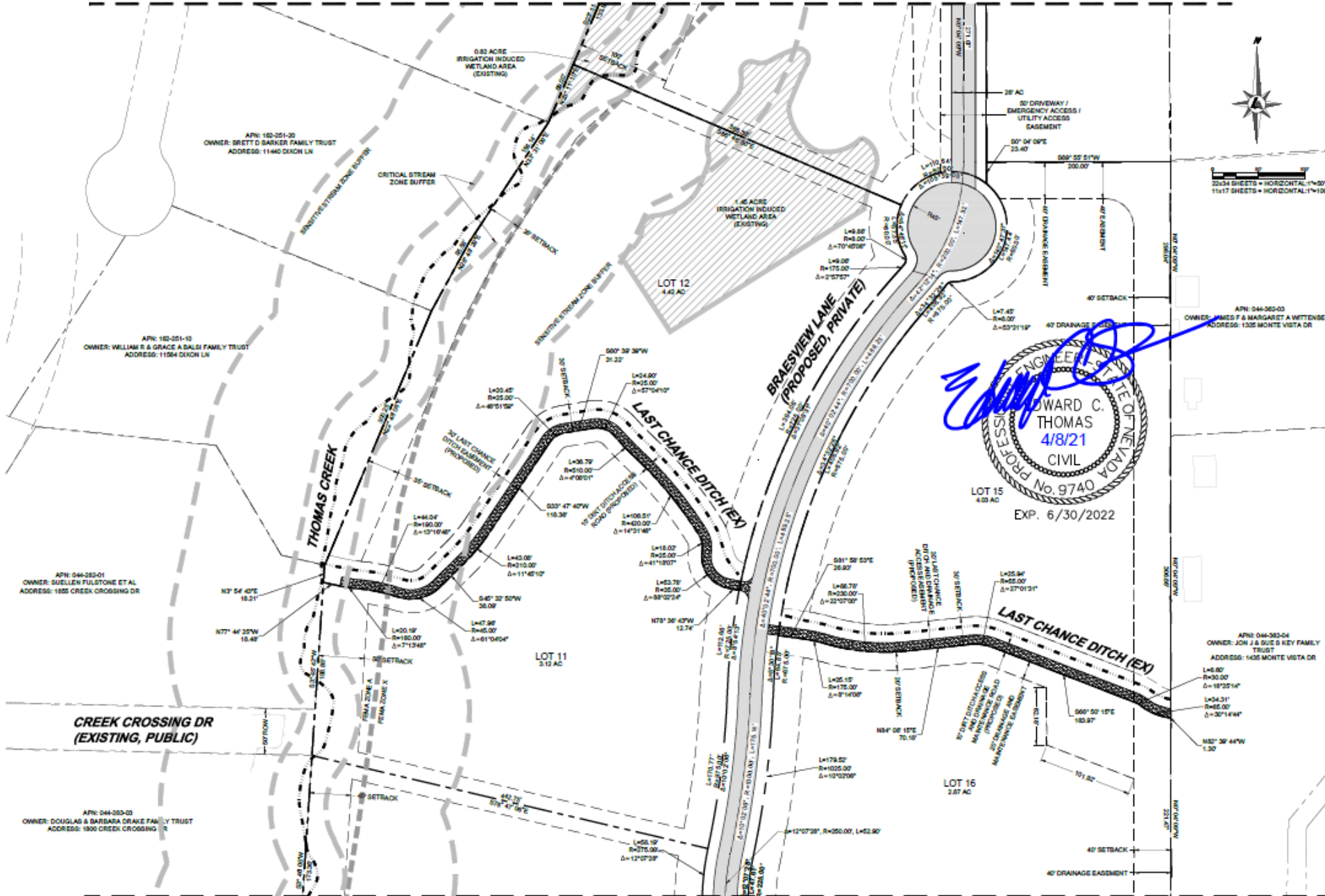
PRELIMINARY FOR TENTATIVE MAP
APRIL 9, 2021

SCALE: 1" = 40'

C1.4

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DESIGNED BY: BCT
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JOB NO.: 10175.001

SEE SHEET C1.6



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 DENVER, CO 80221
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EDWARD C. THOMAS
 4/8/21
 CIVIL
 No. 9740
 EXP. 6/30/2022

THOMASFOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED SITE PLAN
 WASHINGTON COUNTY NEVADA

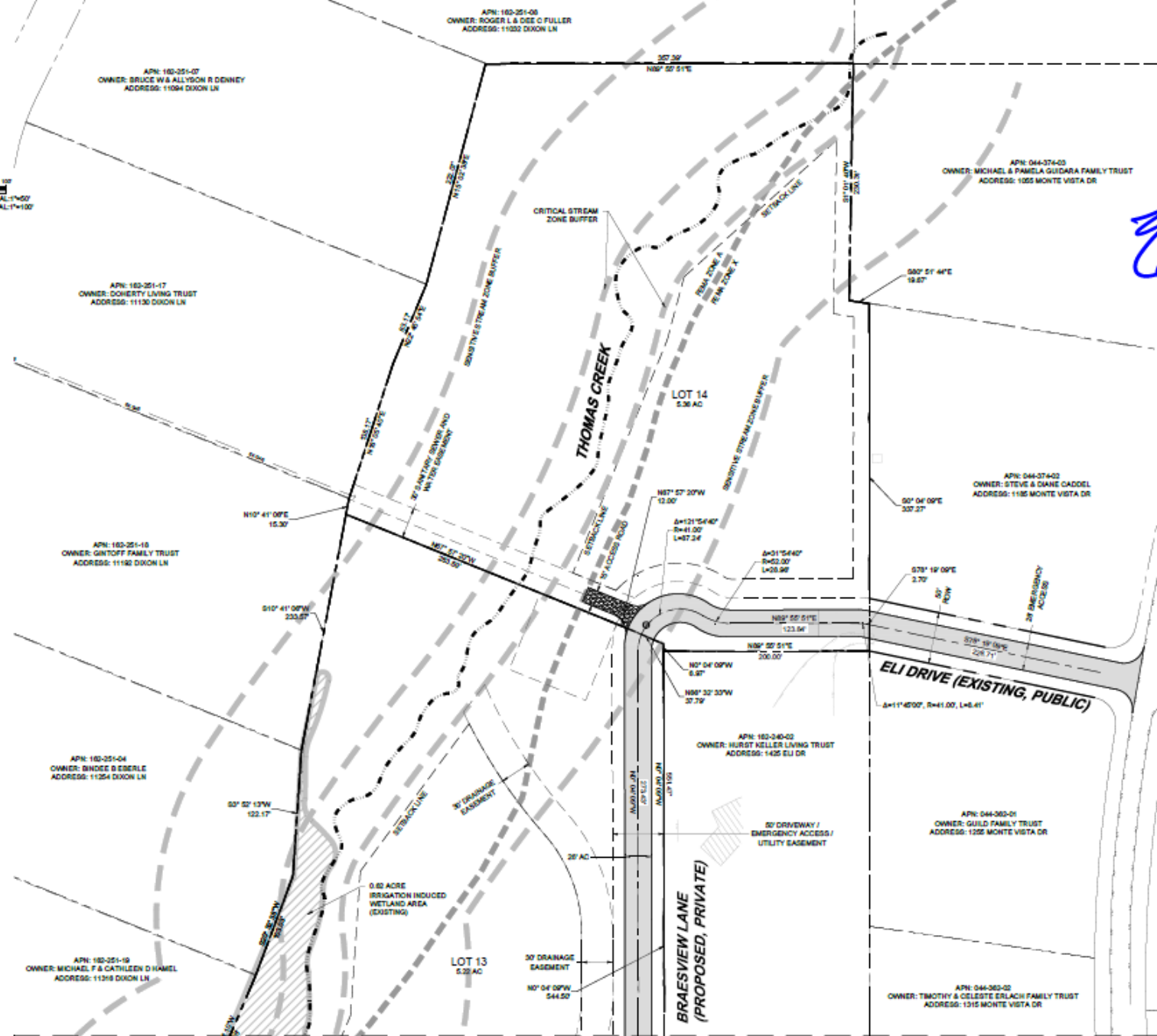
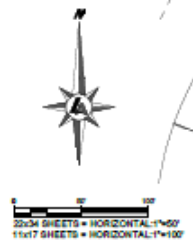
REV.	DATE	DESCRIPTION

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C1.5

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SEE SHEET C1.4



EDWARD C. THOMAS
 4/8/21
 CIVIL
 No. 9740
 EXP. 6/30/2022

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TENTATIVE MAP
AMENDED SITE PLAN
 WASHINGTON COUNTY NEVADA

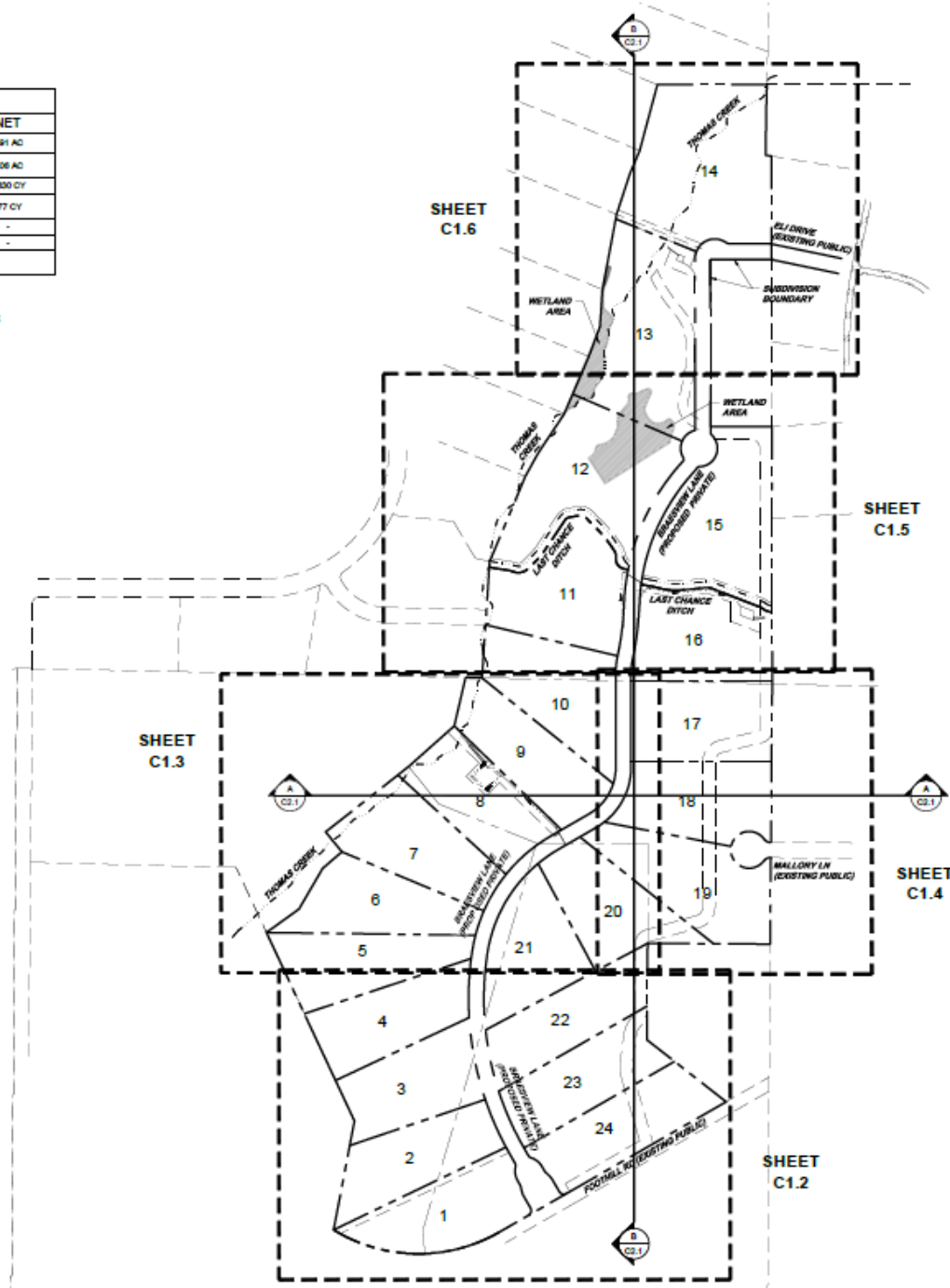
REV.	DATE	DESCRIPTION

PRELIMINARY FOR TENTATIVE MAP
 APRIL 9, 2021
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C1.6
 DRAWN BY: ECV
 DESIGNED BY: ECT
 CHECKED BY: XXX
 JOB NO.: 10175.001

SEE SHEET C1.5

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	8.81 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,188 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	198 CY	834 CY	177 CY
MAXIMUM DEPTH OF CUT	7.78 FT	-	-
MAXIMUM DEPTH OF FILL	-	8.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGLECTIBLE (ALL CATEGORIES)		

- NOTES:
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.



EDWARD C. THOMAS
 4/8/21
 CIVIL
 No. 9740
 STATE OF NEVADA
 PROFESSIONAL ENGINEER
 EXP. 6/30/2022



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 BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 GRADING PLAN - INDEX SHEET
 WAGNER COUNTY, NEVADA

REV.	DATE	DESCRIPTION

PRELIMINARY FOR TENTATIVE MAP
 APRIL 9, 2021
 SCALE: 1" = 40' (ORIGINAL DRAWING)
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY
C2.0
 DRAWN BY: EDV
 DESIGNED BY: SOT
 CHECKED BY: XXX
 JOB NO.: 18175.001

EARTHWORK TABLE

CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	6.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,189 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	186 CY	9.34 CY	177 CY
MAXIMUM DEPTH OF CUT	7.76 FT	-	-
MAXIMUM DEPTH OF FILL	-	6.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGLIGIBLE (ALL CATEGORIES)		

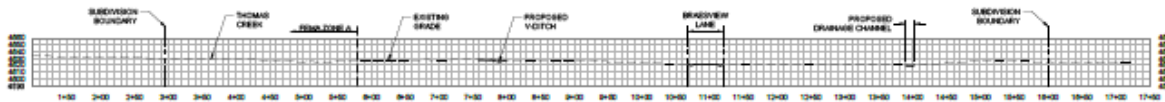
NOTES:

1. ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADS OR LANDSCAPING FEATURES.
2. IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.

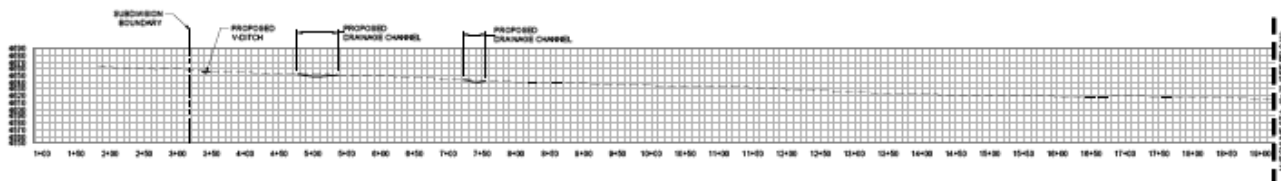


EXP. 6/30/2022

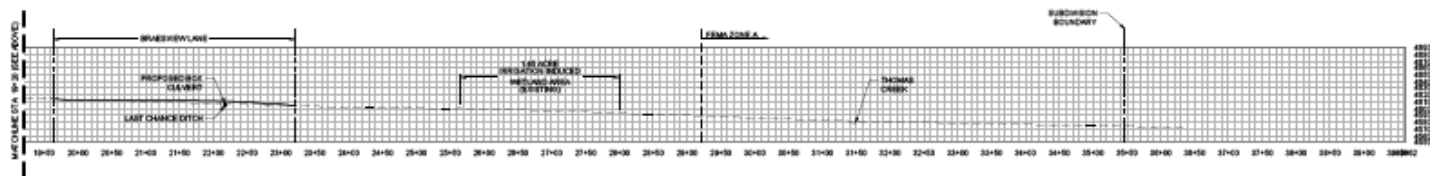
SECTION A - A



SECTION B - B



SECTION B - B



THOMAS FOOTHILL, LLC
 BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 CROSS SECTIONS
 WAGUIE COUNTY NEVADA

REV.	DATE	DESCRIPTION

PRELIMINARY
 FOR TENTATIVE MAP
 APRIL 9, 2021

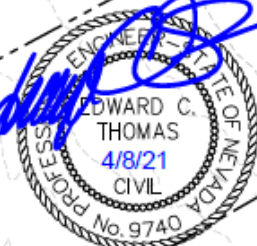
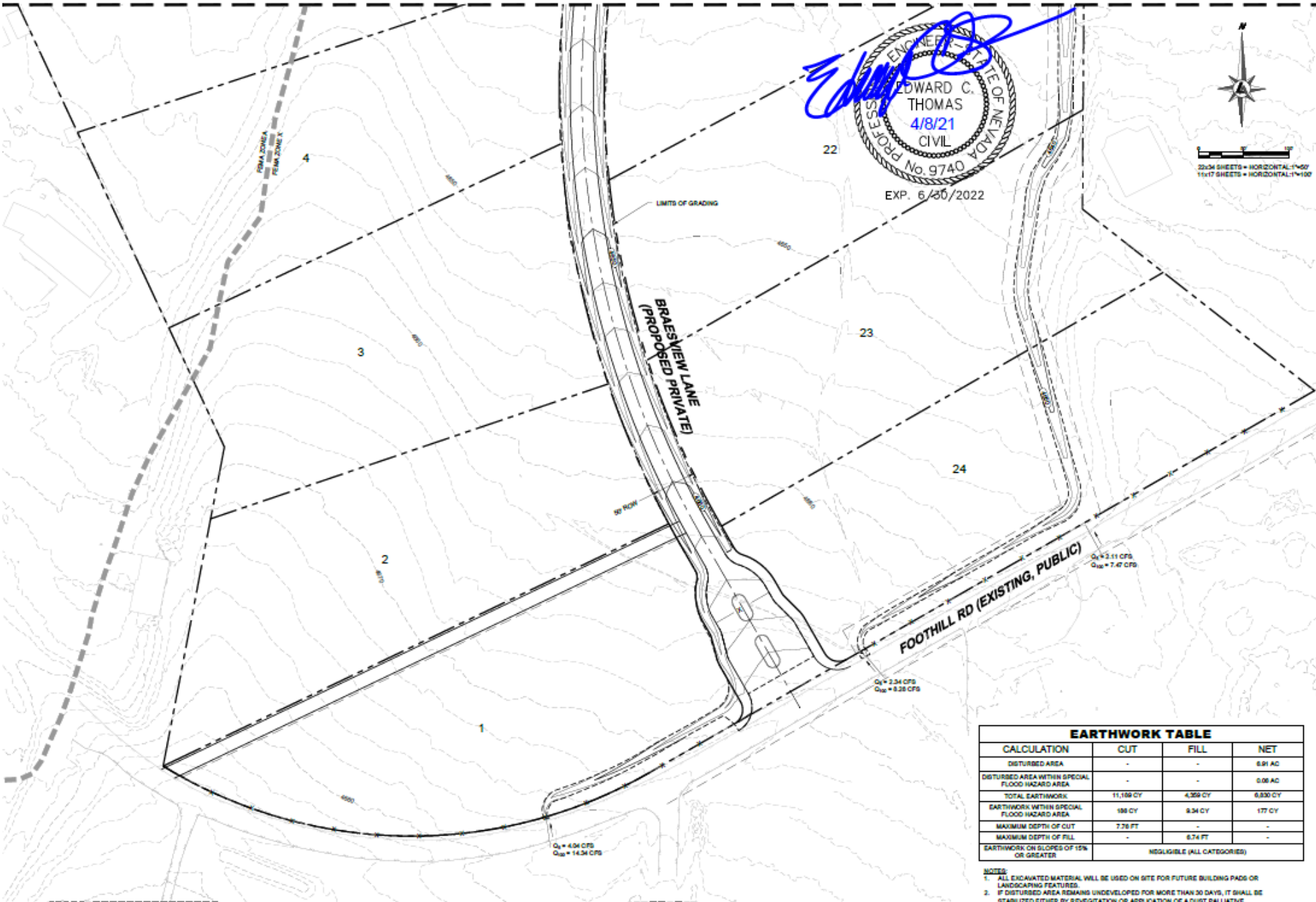
SCALE IS 1" = 20' HORIZ. / 1" = 4' VERT.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

C2.1

22x34 SHEETS = HORIZ. / VERT. 1"=100'
 11x17 SHEETS = HORIZ. / VERT. 1"=200'

DRAWN BY: ECV
 DESIGNED BY: SGT
 CHECKED BY: XXX
 JOB NO.: 10175.001

SEE SHEET C1.3



LUMOS & ASSOCIATES
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THOMAS FOOTHILL LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED GRADING PLAN
 WASHINGTON COUNTY, NEVADA

REV.	DATE	DESCRIPTION	BY

SCALE: 1"=50' ON ORIGINAL DRAWING
 1"=100'
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

C2.2

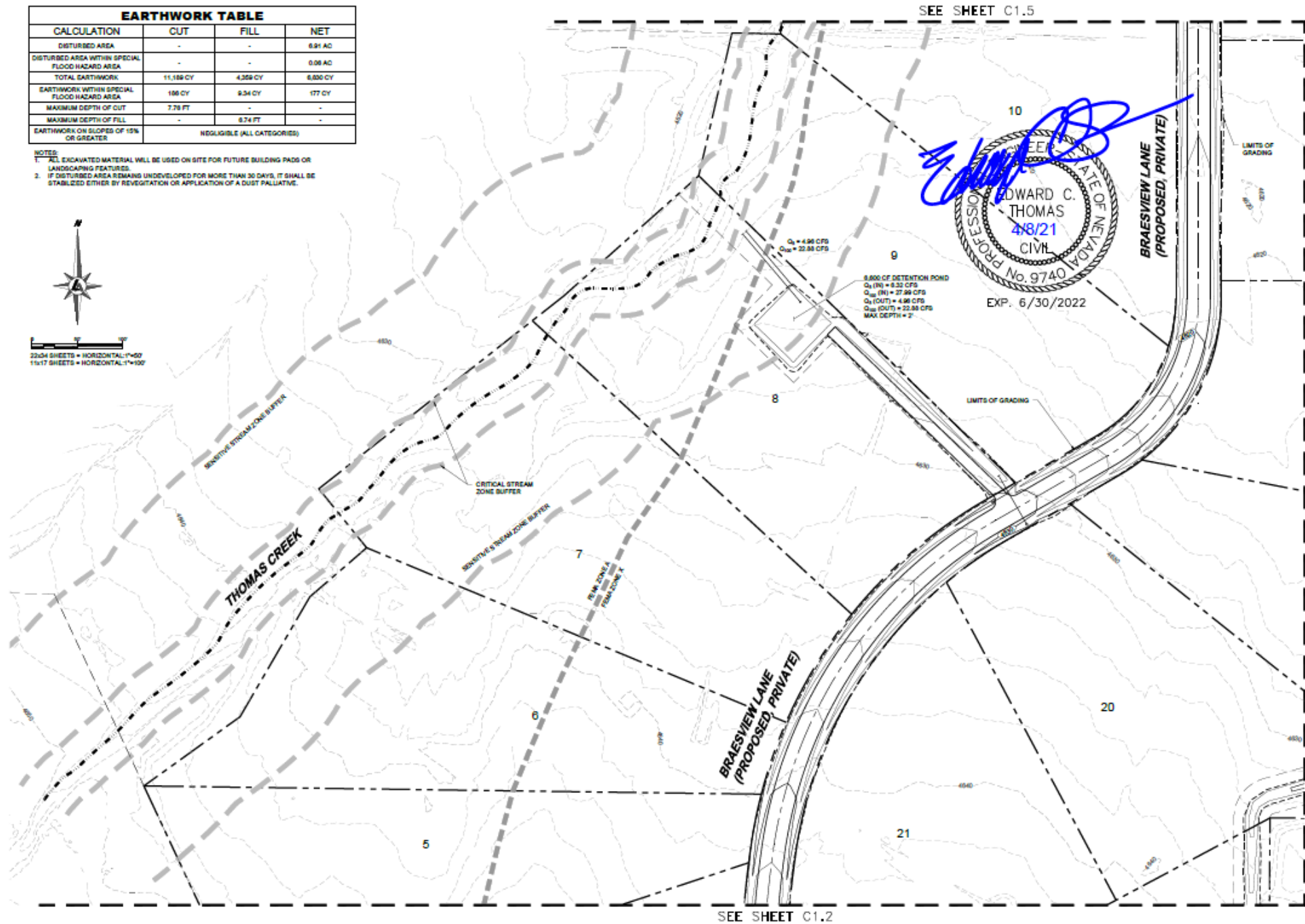
DRAWN BY: DCV
 DESIGNED BY: SGT
 CHECKED BY: JXC
 JOB NO.: 10175.001

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	6.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,169 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	180 CY	934 CY	177 CY
MAXIMUM DEPTH OF CUT	7.76 FT	-	-
MAXIMUM DEPTH OF FILL	-	6.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGLECTIBLE (ALL CATEGORIES)		

- NOTES:**
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	6.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,186 CY	4,259 CY	6,927 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	186 CY	934 CY	177 CY
MAXIMUM DEPTH OF CUT	7.78 FT	-	-
MAXIMUM DEPTH OF FILL	-	9.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGIGIBLE (ALL CATEGORIES)		

- NOTES:
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADDS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.



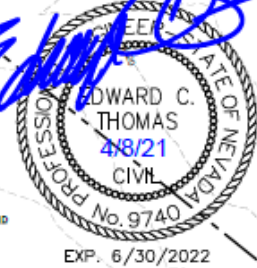
SEE SHEET C1.5

SEE SHEET C1.2



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SEE SHEET C1.4

THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED GRADING PLAN

NEVADA

COUNTY

WAGNER

REV.	DATE	DESCRIPTION

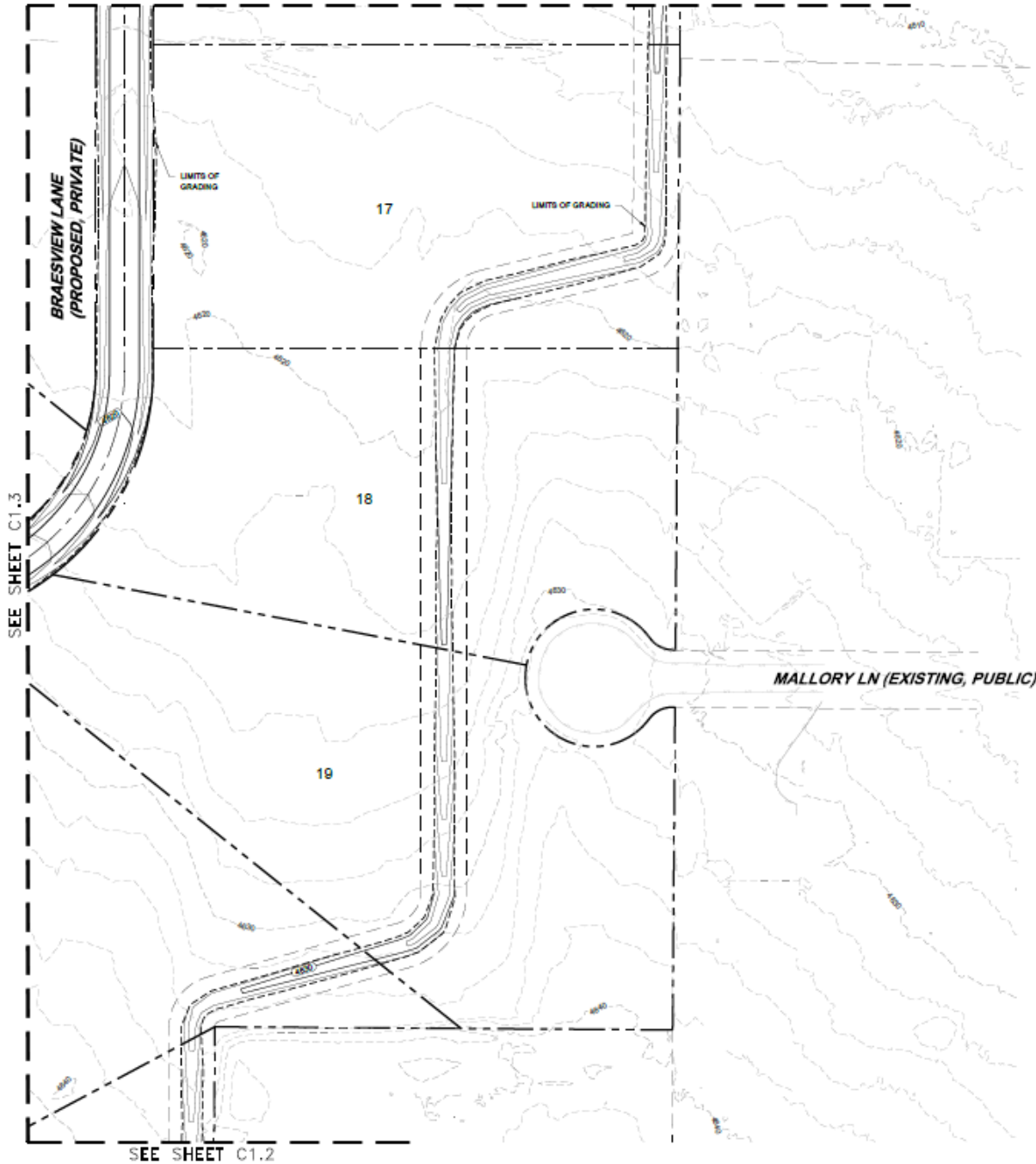
PRELIMINARY
FOR TENTATIVE MAP
APRIL 9, 2021

SCALE IS 1 INCH ON ORIGINAL DRAWING = 60 FT
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

C2.3

DRAWN BY: DCV
DESIGNED BY: BGT
CHECKED BY: XXX
JOB NO.: 1075.001

SEE SHEET C1.5



SEE SHEET C1.2

SEE SHEET C1.3

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	6.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,189 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	186 CY	934 CY	177 CY
MAXIMUM DEPTH OF CUT	7.78 FT	-	-
MAXIMUM DEPTH OF FILL	-	9.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGLECTIBLE (ALL CATEGORIES)		

- NOTES:
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADDS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.



EXP. 6/30/2022



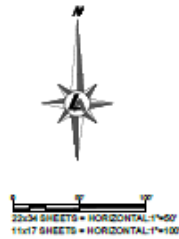
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THOMASFOOTHELL, LLC
 BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 AMENDED GRADING PLAN
 WAUSAHO COUNTY NEVADA

REV.	DATE	DESCRIPTION

PRELIMINARY
 FOR TENTATIVE MAP
 APRIL 9, 2021

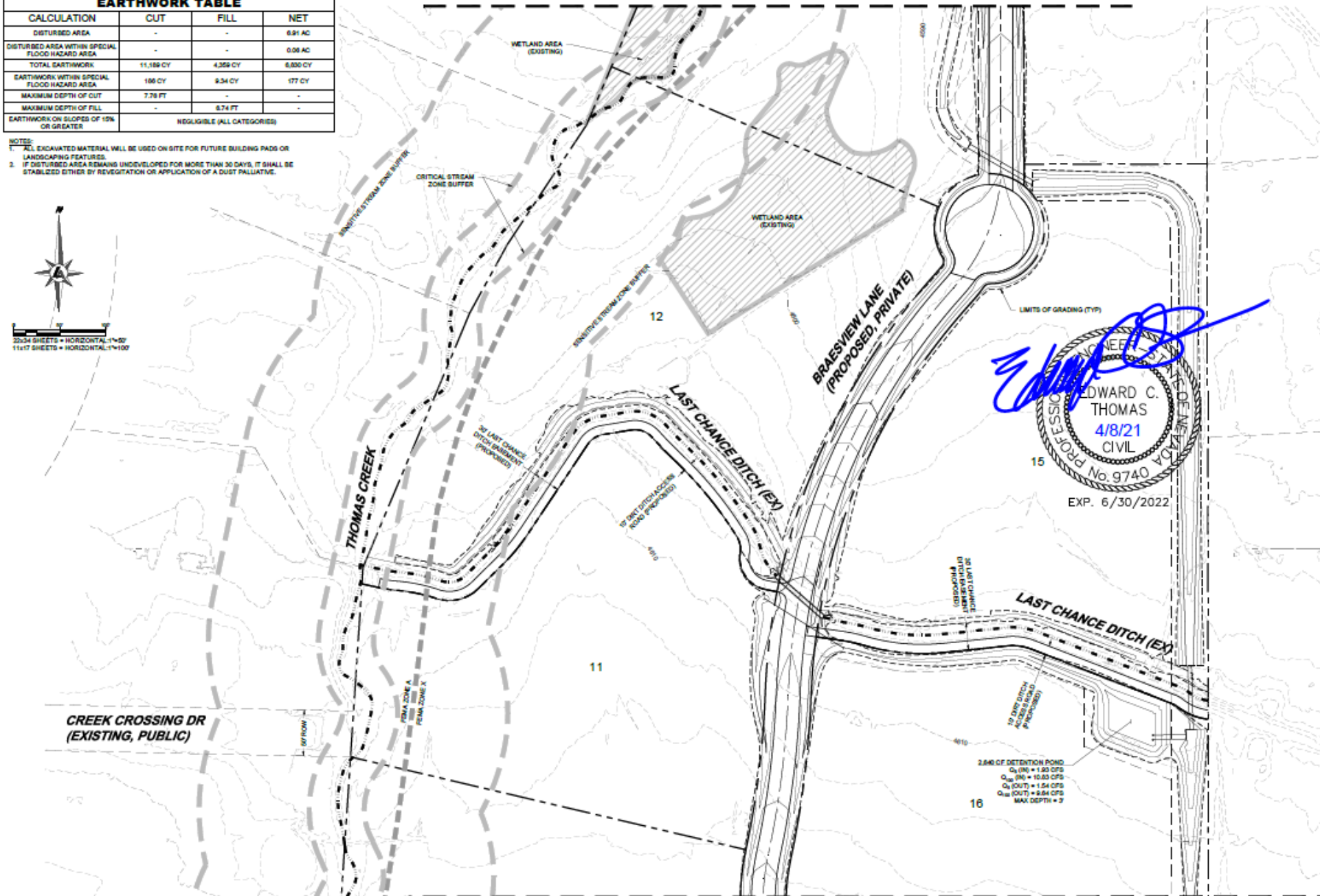


SCALE: 1 INCH ON ORIGINAL DRAWING = 400 FEET
 IF NOT SHOWN BACK ON THIS SHEET, ALL USE SCALES ACCORDINGLY

C2.4
 DRAWN BY: DCV
 DESIGNED BY: GCT
 CHECKED BY: JXX
 JOB NO.: 10175.001

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	0.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,189 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	186 CY	9,34 CY	177 CY
MAXIMUM DEPTH OF CUT	7.78 FT	-	-
MAXIMUM DEPTH OF FILL	-	8.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGLECTIBLE (ALL CATEGORIES)		

- NOTES:
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.



SEE SHEET C1.6

SEE SHEET C1.4



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[Signature]
 EDWARD C. THOMAS
 4/8/21
 CIVIL
 No. 9740
 EXP. 6/30/2022

THOMASFOOTHILL, LLC
 BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 AMENDED GRADING PLAN

REV.	DATE	DESCRIPTION

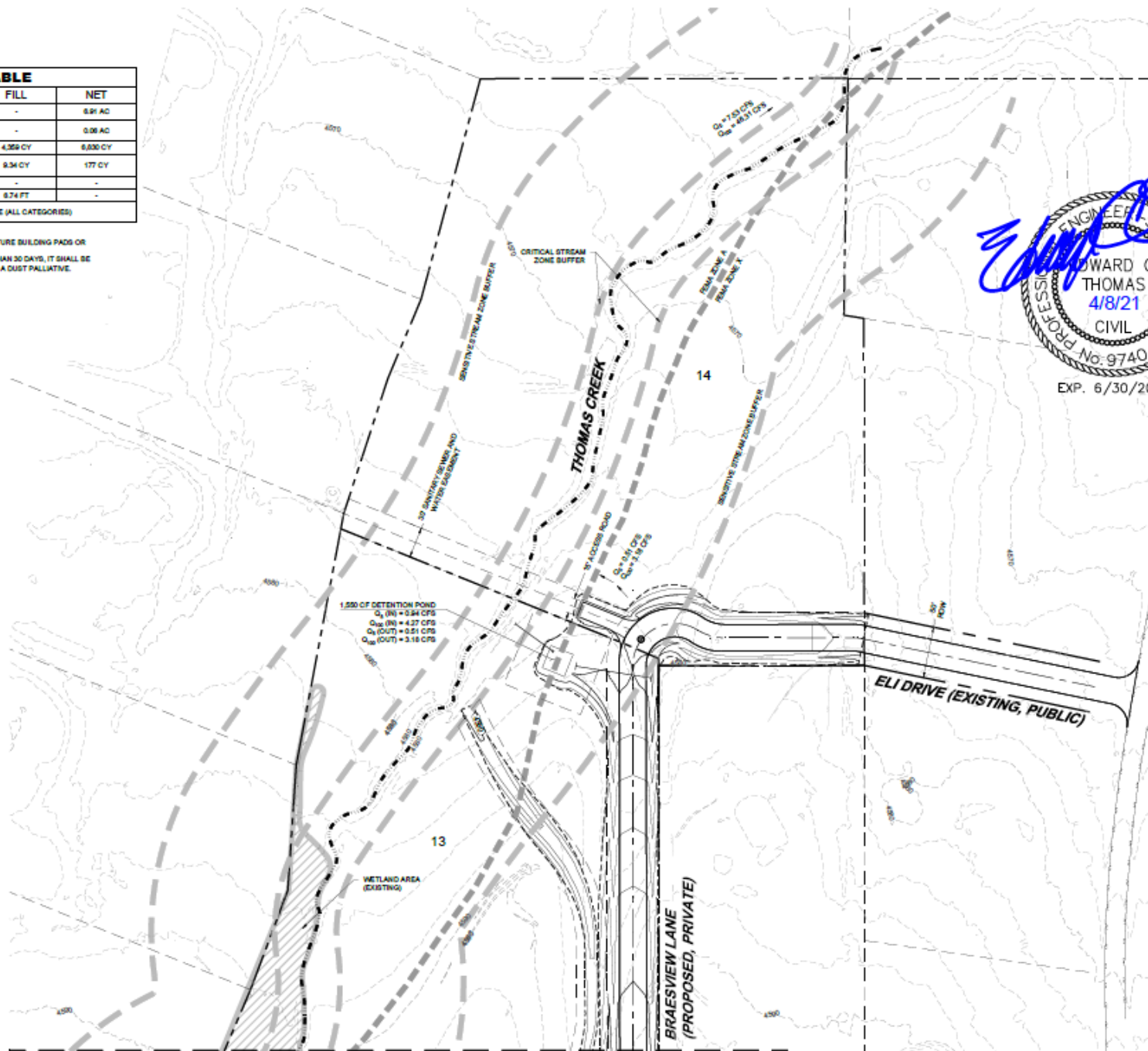
PRELIMINARY FOR TENTATIVE MAP
 APRIL 8, 2021

C2.5

DRAWN BY: ECV
 DESIGNED BY: ECV
 CHECKED BY: JOK
 JOB NO.: 10175.001

EARTHWORK TABLE			
CALCULATION	CUT	FILL	NET
DISTURBED AREA	-	-	8.91 AC
DISTURBED AREA WITHIN SPECIAL FLOOD HAZARD AREA	-	-	0.06 AC
TOTAL EARTHWORK	11,188 CY	4,359 CY	6,830 CY
EARTHWORK WITHIN SPECIAL FLOOD HAZARD AREA	198 CY	834 CY	177 CY
MAXIMUM DEPTH OF CUT	7.78 FT	-	-
MAXIMUM DEPTH OF FILL	-	8.74 FT	-
EARTHWORK ON SLOPES OF 15% OR GREATER	NEGIGIBLE (ALL CATEGORIES)		

- NOTES:
- ALL EXCAVATED MATERIAL WILL BE USED ON SITE FOR FUTURE BUILDING PADS OR LANDSCAPING FEATURES.
 - IF DISTURBED AREA REMAINS UNDEVELOPED FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED EITHER BY REVEGETATION OR APPLICATION OF A DUST PALLIATIVE.



[Signature]

EDWARD C. THOMAS
4/8/21
CIVIL

EXP. 6/30/2022

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THOMASFOOTHILL, LLC

**BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED GRADING PLAN**

WAUSAU COUNTY NEVADA

REV.	DATE	DESCRIPTION

**PRELIMINARY
FOR TENTATIVE MAP**

APRIL 9, 2021

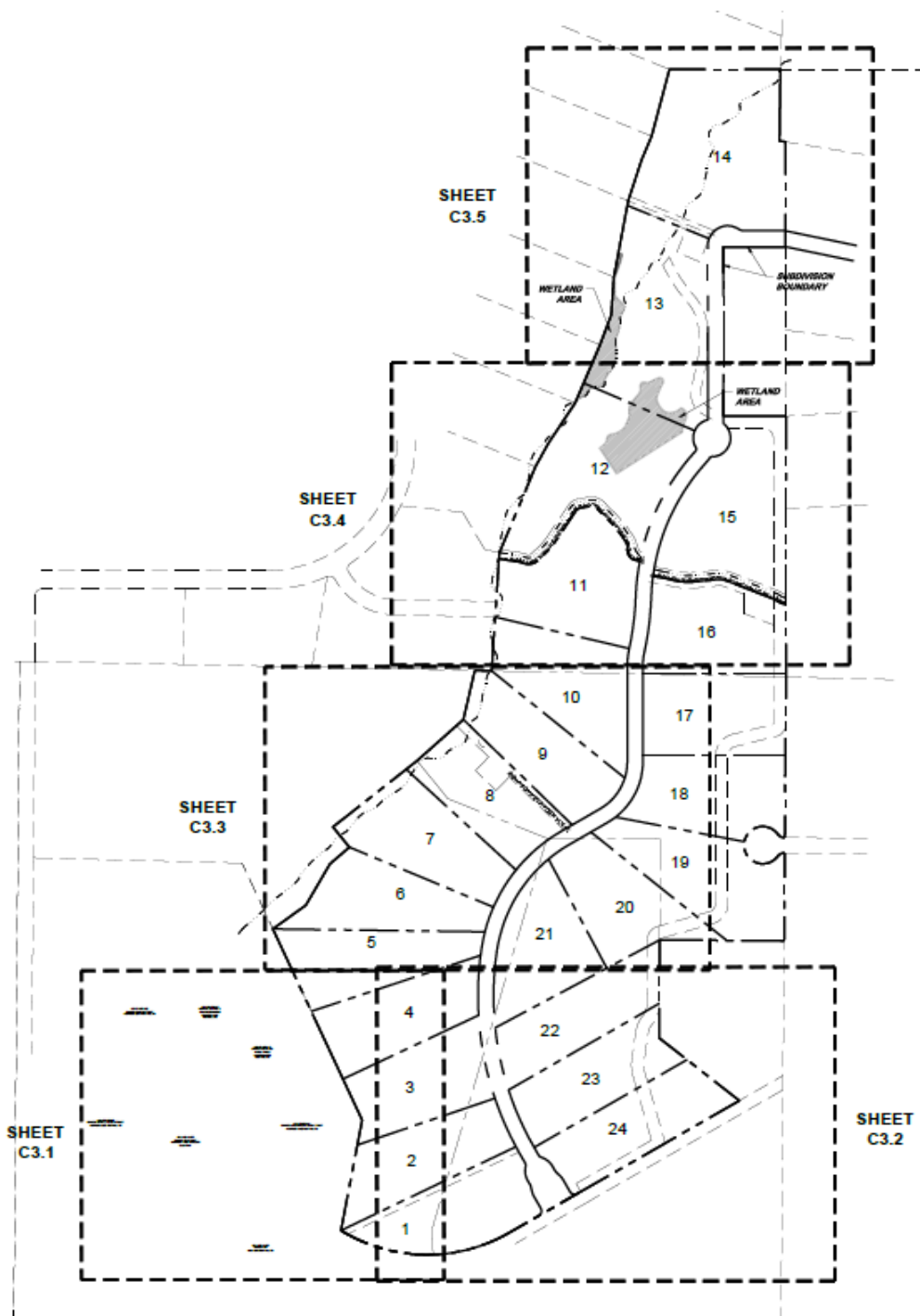
SCALE: 1" = 40'

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

C2.6

DRAWN BY: ECV
DESIGNED BY: BCT
CHECKED BY: JXX
JOB NO.: 10175.001

SEE SHEET C1.5



EDWARD C. THOMAS
 4/8/21
 CIVIL
 No. 9740
 STATE OF NEVADA
 PROFESSIONAL ENGINEER
 EXP. 6/30/2022

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 RENO, NV 89521
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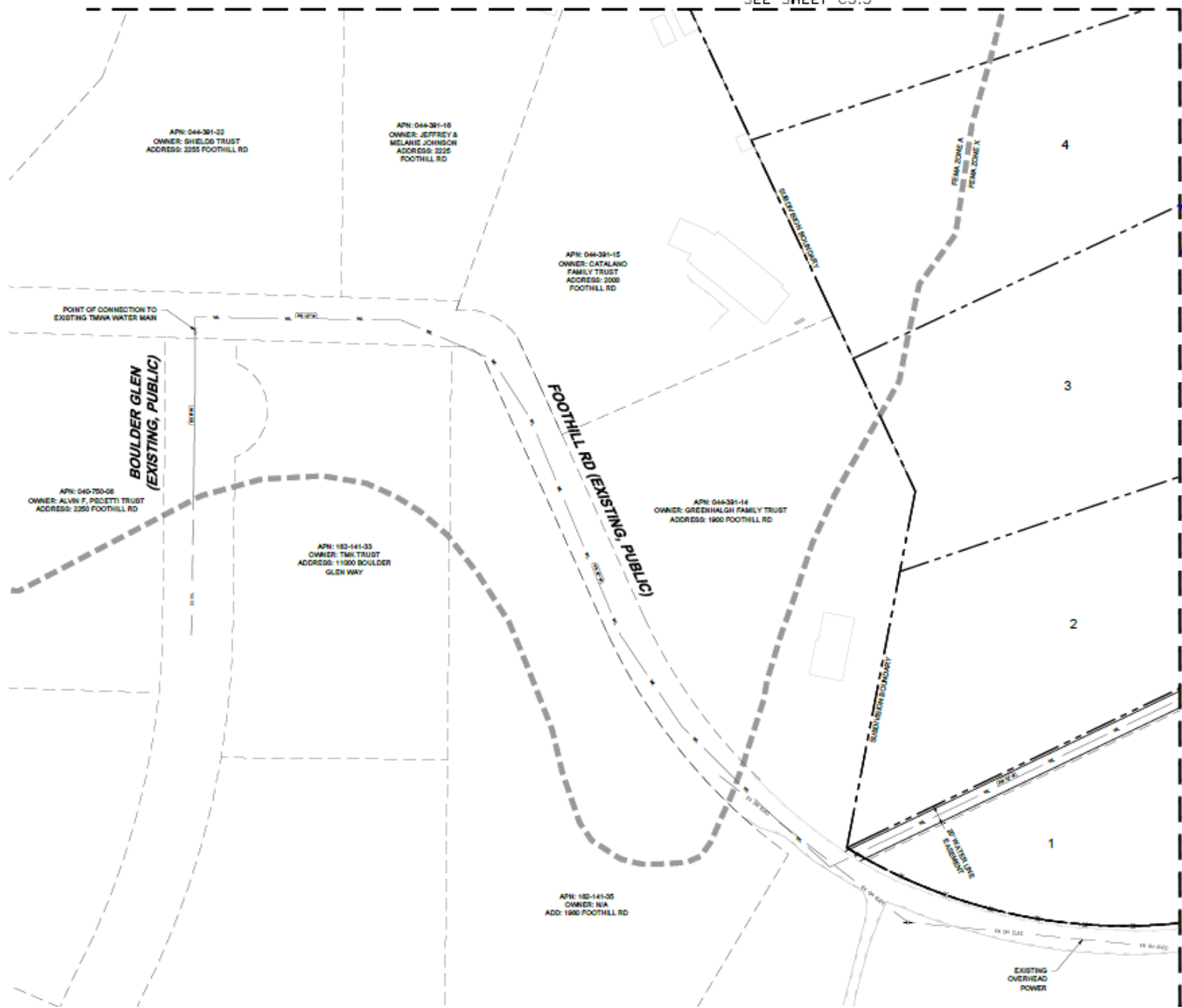
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THOMASFOOTHELL, LLC
 BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 UTILITY PLAN - INDEX SHEET
 WAHOO COUNTY NEVADA

REV.	DATE	DESCRIPTION

PRELIMINARY FOR TENTATIVE MAP
 APRIL 9, 2021
C3.0
 DRAWN BY: ECV
 DESIGNED BY: RCT
 CHECKED BY: KKK
 JOB NO.: 10175.001





EDWARD C. THOMAS
4/8/21
CIVIL
No. 9740
EXP. 6/30/2022

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TEL: 775.857.8111
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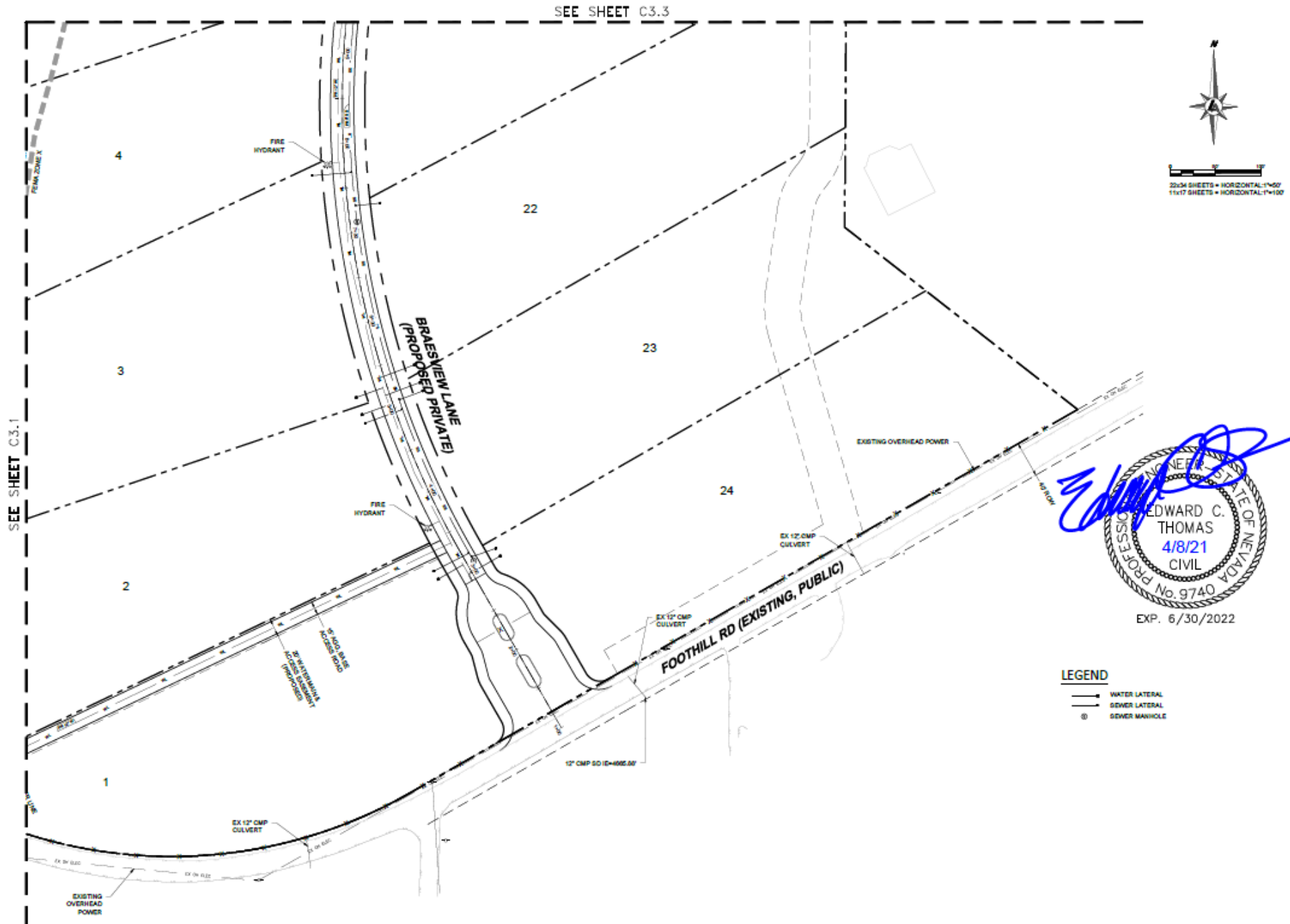
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THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED UTILITY PLAN - OFFSITE WATER
COUNTY: NEVADA

REV.	DATE	DESCRIPTION

SCALE: 1" = 40'
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

C3.1
DRAWN BY: ECV
DESIGNED BY: BCT
CHECKED BY: XXX
JOB NO.: 10175.001



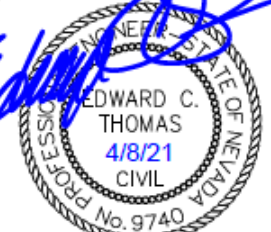
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 DENVER, CO 80231
 TEL: 719.627.8111
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THOMAS FOOCHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
 TENTATIVE MAP
 AMENDED UTILITY PLAN

WARBIE COUNTY NEVADA



EXP. 6/30/2022

- LEGEND**
- WATER LATERAL
 - SEWER LATERAL
 - SEWER MANHOLE

REV.	DATE	DESCRIPTION

SCALE: AS SHOWN ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY

C3.2

DRAWN BY: DCV
 DESIGNED BY: SGT
 CHECKED BY: XXX
 JOB NO.: 10175.001

SEE SHEET C3.1

SEE SHEET C3.3

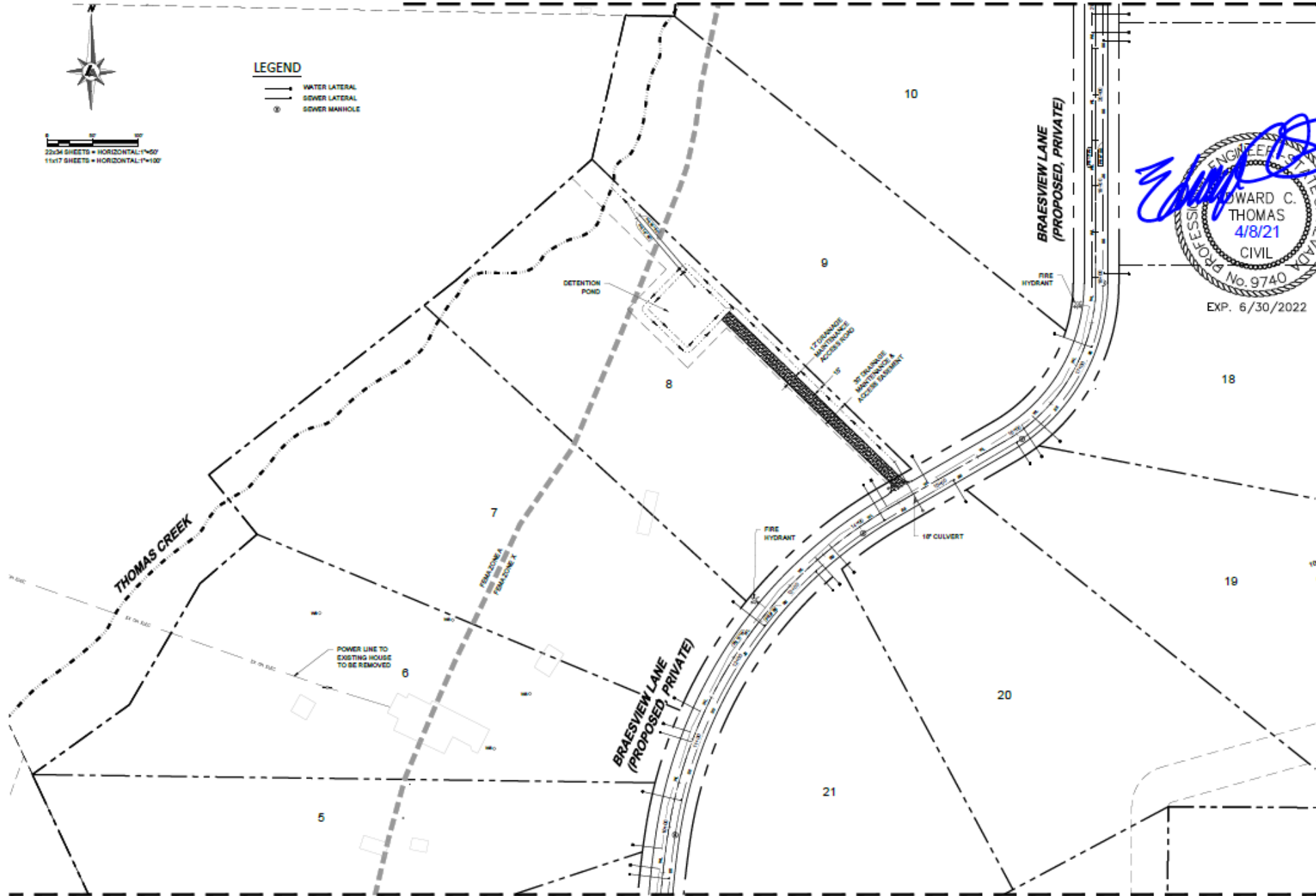
SEE SHEET C3.4



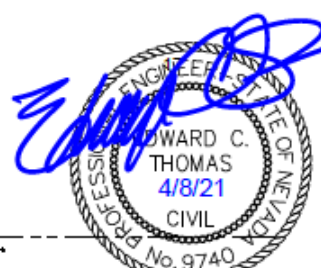
LEGEND

- WATER LATERAL
- SEWER LATERAL
- ⊙ SEWER MANHOLE

22x34 SHEETS = HORIZONTAL-1"=50'
 11x17 SHEETS = HORIZONTAL-1"=100'



SEE SHEET C3.2



EXP. 6/30/2022



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THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED UTILITY PLAN

NEVADA
 COUNTY
 WAHOO

REV.	DATE	DESCRIPTION

PRELIMINARY
 FOR TENTATIVE MAP
 APRIL 8, 2021


SCALE: 1" = 50'
 0' 1" 2"
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

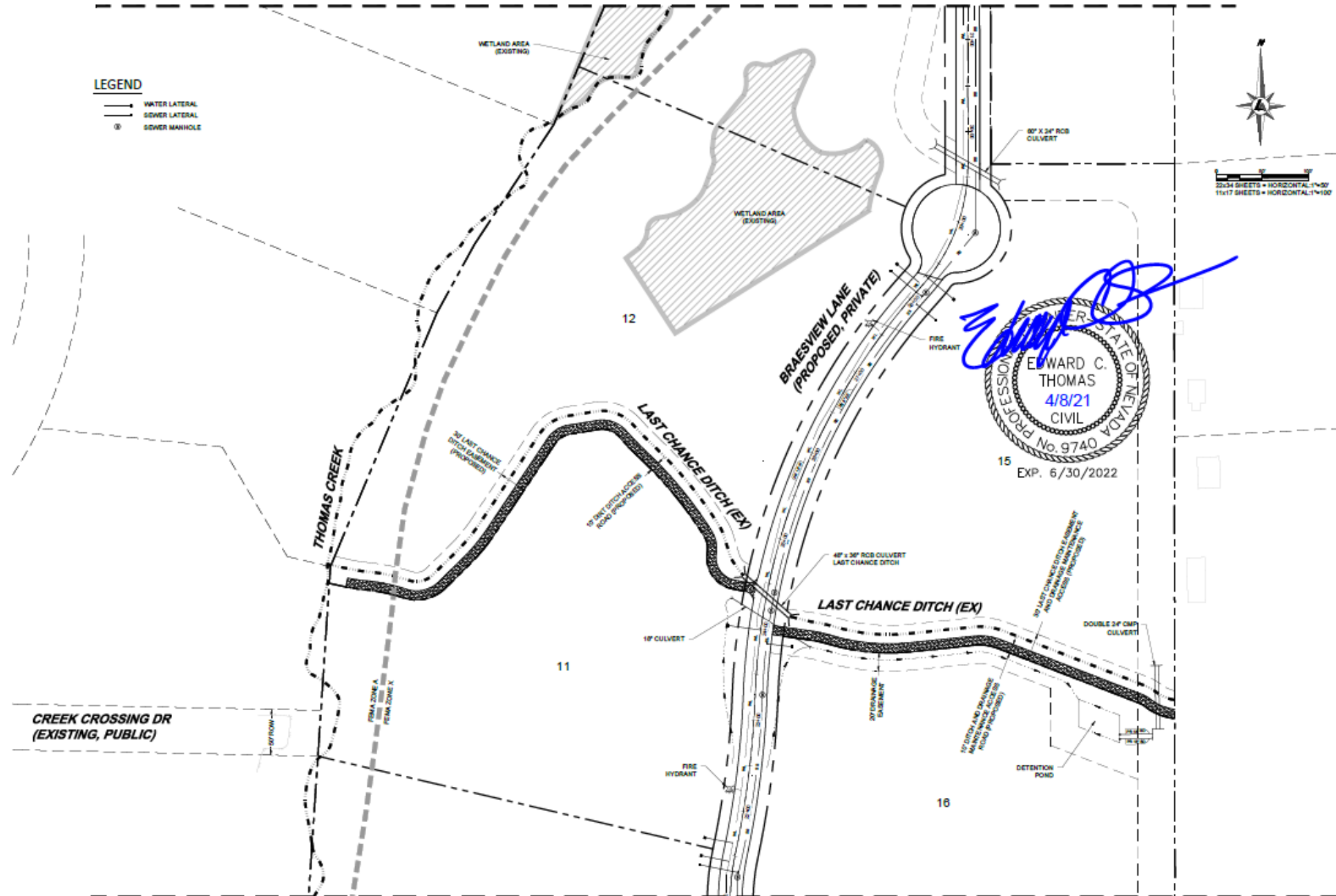
C3.3

DRAWN BY: DCV
 DESIGNED BY: SGT
 CHECKED BY: XXX
 JOB NO.: 10175.001

SEE SHEET C3.5

LEGEND

-  WATER LATERAL
-  SEWER LATERAL
-  SEWER MANHOLE



SEE SHEET C3.3



20x34 SHEETS = HORIZONTAL: 1"=50'
11x17 SHEETS = HORIZONTAL: 1"=100'

[Signature]

EDWARD C. THOMAS
4/8/21
CIVIL
No. 9740
EXP. 6/30/2022

LUMOS

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THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED UTILITY PLAN
WAHOO COUNTY NEVADA

REV.	DATE	DESCRIPTION	BY

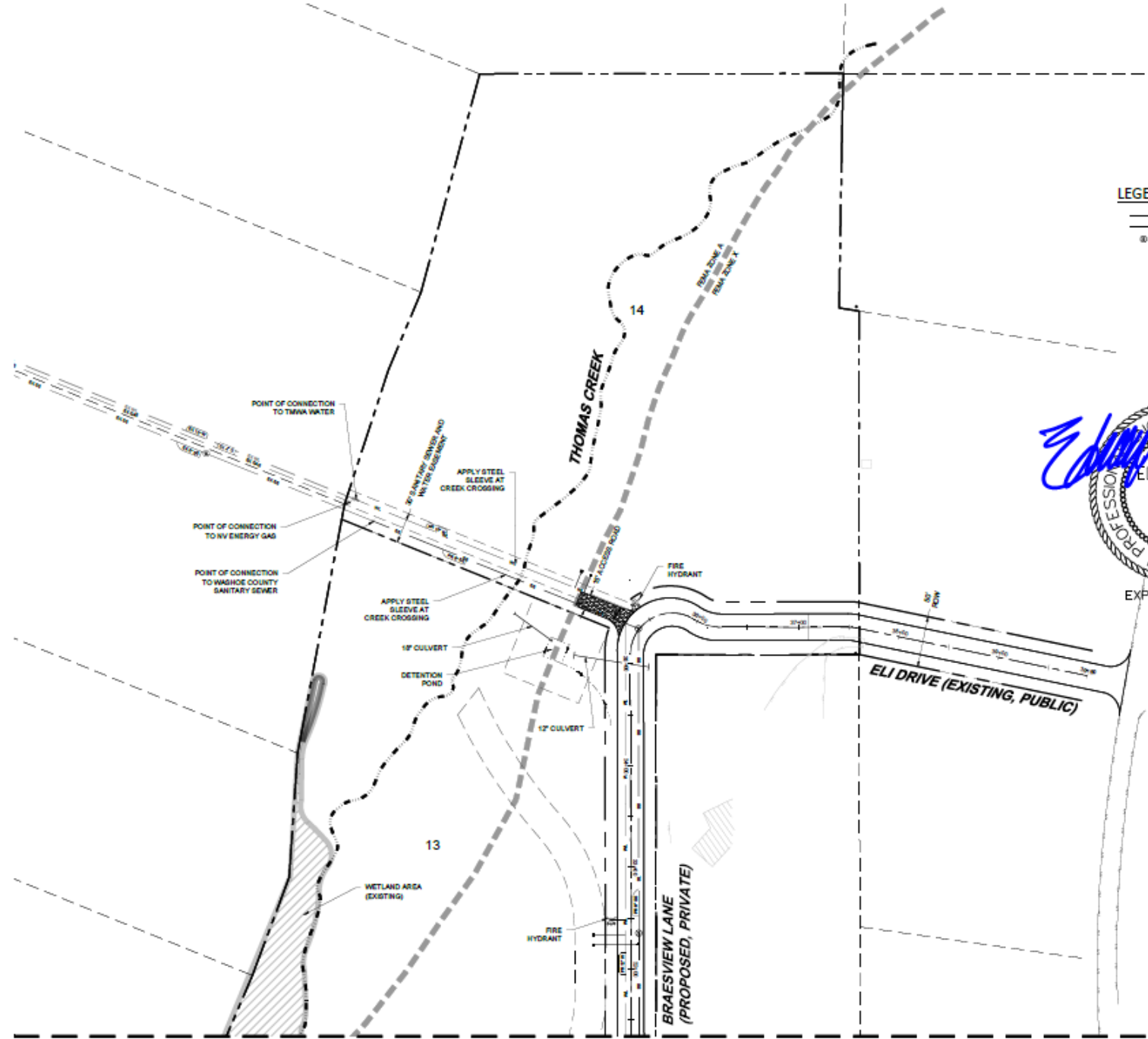
SCALE 1 INCH ON ORIGINAL DRAWING
0 100
IF NOT ONE INCH ON THIS SHEET, RESCALE ACCORDINGLY

C3.4

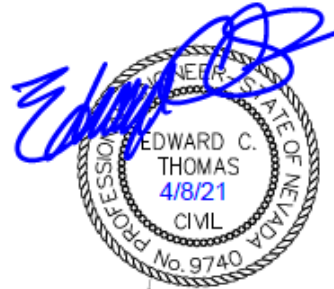
DRAWN BY: DCV
DESIGNED BY: SGT
CHECKED BY: JXX
JOB NO.: 10175.001



2004 SHEETS = HORIZONTAL 1"=50'
15x17 SHEETS = HORIZONTAL 1"=100'



LEGEND
 — WATER LATERAL
 — SEWER LATERAL
 ⊕ SEWER MANHOLE



EXP. 6/30/2022

SEE SHEET C3.4



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THOMAS FOOTHILL, LLC
BRAESVIEW CUSTOM LOT SUBDIVISION
TENTATIVE MAP
AMENDED UTILITY PLAN
 NEVADA
 COUNTY
 WASHOE

REV.	DATE	DESCRIPTION

SCALE 1/8" = 1' ON ORIGINAL DRAWING
 0 100
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

C3.5

DRAWN BY: ECV
 DESIGNED BY: SOT
 CHECKED BY: XXX
 JOB NO.: 10175.001

