

ORIGINAL

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>Suzanna Stephens Garage Conversion</i> <i>Housing for adult daughter with disability</i>			
Project Description: <i>The garage will be converted into a studio apartment with kitchenette and bath.</i>			
Project Address: <i>245 McClellan Dr., Washoe Valley</i>			
Project Area (acres or square feet): <i>484 sq-ft. garage + 10x20' shed</i>			
Project Location (with point of reference to major cross streets AND area locator): <i>In New Washoe City off East Lake Blvd., Washoe Sierra Subdivision</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>050-398-10</i>	<i>1</i>		
Section(s)/Township/Range: <i>Washoe City (Reno-Verdi)</i>			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). <i>4090666</i>			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <i>Susan Stephens</i>		Name: <i>Walter Hirsch</i>	
Address: <i>245 McClellan Dr.</i>		Address: <i>3955 Churchill Dr.</i>	
Washoe Valley, NV Zip: <i>89704</i>		Washoe Valley, NV Zip: <i>89704</i>	
Phone: <i>849-4185</i> Fax: <i>-</i>		Phone: <i>849-9032</i> Fax: <i>-</i>	
Email: <i>s.stephens.ret.un@gmail.com</i>		Email: <i>wh7225@gmail.com</i>	
Cell: <i>409-5065</i> Other: <i>-</i>		Cell: <i>722-5520</i> Other: <i>(770) 458-5093</i>	
Contact Person: <i>Walter Hirsch</i>		Contact Person: <i>Rick Hinshaw</i>	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: <i>Gary Houk (Patriot Plumbing)</i>	
Address:		Address: <i>5835 Riggins Ct.</i>	
Zip:		<i>Reno, NV</i> Zip: <i>89502</i>	
Phone:		Phone: <i>247-6654</i> Fax: <i>-</i>	
Email:		Email: <i>patriotplumbing@sbcglobal.net</i>	
Cell:		Cell: <i>851-2485</i> Other: <i>-</i>	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

ORIGINAL

Property Owner Affidavit

Applicant Name: Susan A. Stephens

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Susan A. Stephens
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050 -398 -10

Printed Name Susan A. Stephens

Signed Susan A. Stephens

Address 245 McClellan Dr.

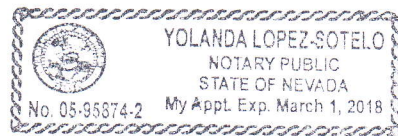
Washoe Valley, NV
89704

Subscribed and sworn to before me this
2 day of may, 2016.

(Notary Stamp)

[Signature] Washoe Nevada
Notary Public in and for said county and state

My commission expires: March 01 2018



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

1,056 sq. ft.

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

484 sq. ft.

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

The proposed dwelling was built as a 2-car garage with a concrete floor. The architecture and paint colors are the same as the house, as is the roof. The doors and windows will be the same height and type.

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

Yes. Patriot Plumbing (Garg Houk) has agreed to do this.

5. What additional roadway, driveway, or access improvements are you planning?

None will be necessary. The house has a long, curved driveway that spans the front of the property. The concrete driveway will fit 4 cars. I only have two.

6. A parking space is required. How are you providing the additional parking?

The 10 x 20' storage shed next to the driveway will be modified to serve as a garage.

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

As soon as possible.

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

The building is already there and has been for several years. I will change the spotlights to tasteful outdoor lamps. No vegetation will be moved, but I planted many trees and bushes last year because this area had been bare. The forestry people advised me on this.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

No.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

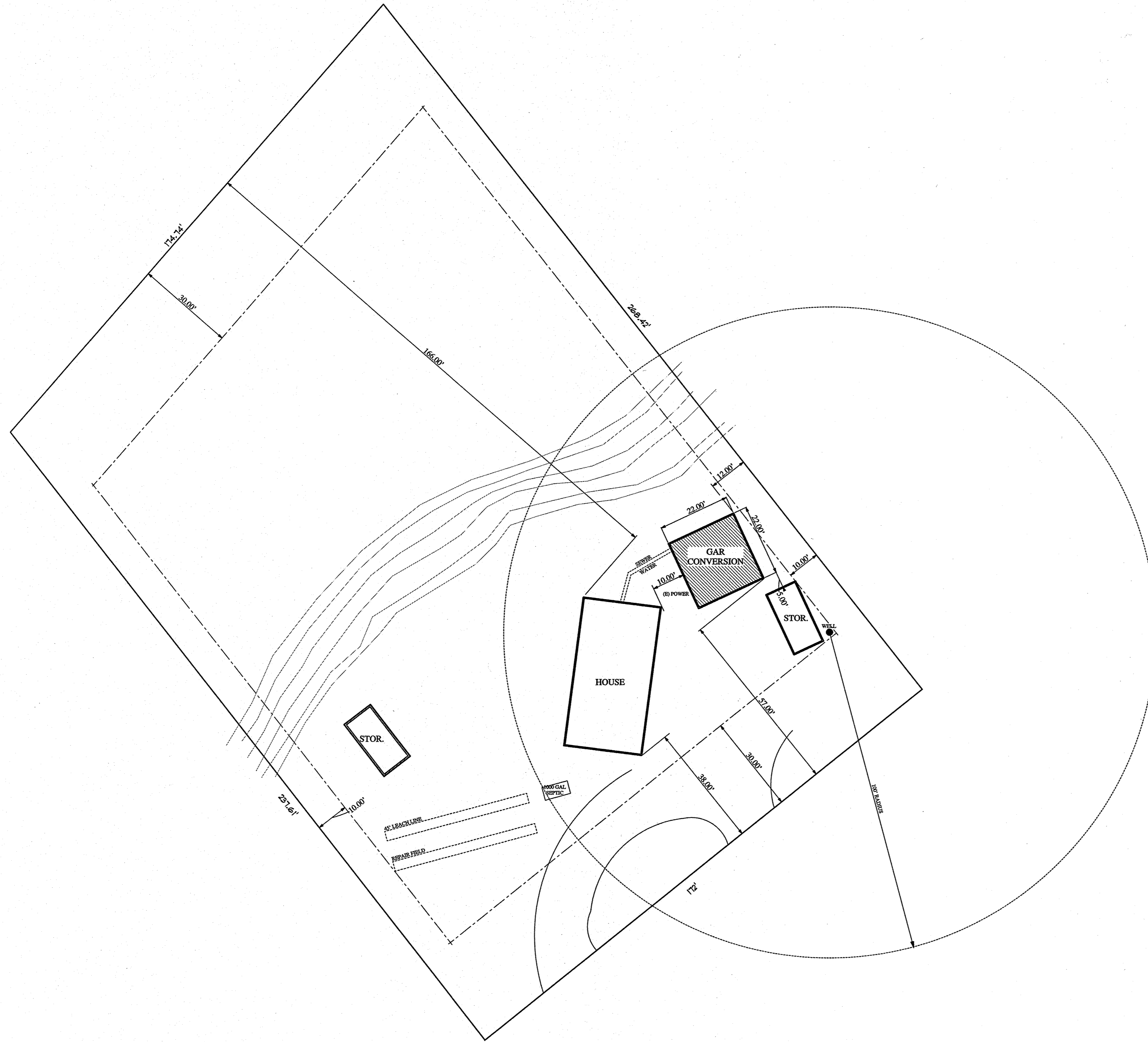
There is no second dwelling at this point.

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

N/A

13. List who the service provider will be for the following utilities:

a. Sewer Service	N/A
b. Electrical Service	Nevada Energy
c. Solid Waste Disposal Service	Waste Management
d. Water Service	N/A



SITE PLAN

SCALE: 1"=20.0'

- 1 ALL BUILDINGS SHOWN ARE EXISTING. THIS PROJECT CONSISTS OF THE CONVERSION OF THE 2222 GARAGE INTO LIVING SPACE.
- 2 CONTRACTOR SHALL VERIFY ALL SETBACKS IN FIELD PRIOR TO THE START OF CONSTRUCTION (TYP) • ALL SHEETS
- 3 CONTRACTOR SHALL VERIFY ALL EXISTING GRADES & CONDITIONS
- 4 FIELD VERIFY ALL EXISTING LOCATIONS, AND CONNECTIONS
- 5 ALL PRE-FAB PRODUCTS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS (TYP) • ALL SHEETS
- 6 ALL DIMENSIONS FROM PROPERTY LINE TO BUILDING ARE TO OUTSIDE OF STUDS OR OUTSIDE OF STEFWALL (TYP)
- 7 ALL NEW DRAINAGE SHALL HAVE 5% SLOPE AWAY FROM HOUSE OR 5' IN THE FIRST 10' OF MIN. ALSO 5% SHEETFLOW TYPICAL NO SWALES EXCEPT AT FRONT.
- 8 DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITE OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM
- 9 NO PRIVATE WELL WITHIN 100' OR PUBLIC WELL WITHIN 200' OF PROPERTY
- 10 NO PUBLIC SEWER WITHIN 400' OF PROPERTY
- 11 NO WATERCOURSE WITHIN 100' OF PROPERTY
- 12 PROPERTY IS NOT WITHIN 100' OF THE 100 YEAR FLOOD PLAN

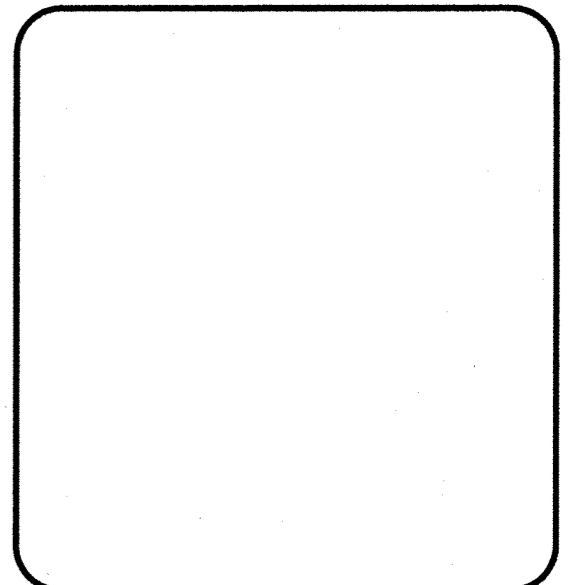
NO.	REVISIONS/ISSUE	DATE

PROJECT INFORMATION

Suzanna Stephens Garage Conversion
 (775) 409-5065
 245 McClellan Drive - Walscoe Valley, NV 89704
 APN: 050-398-10

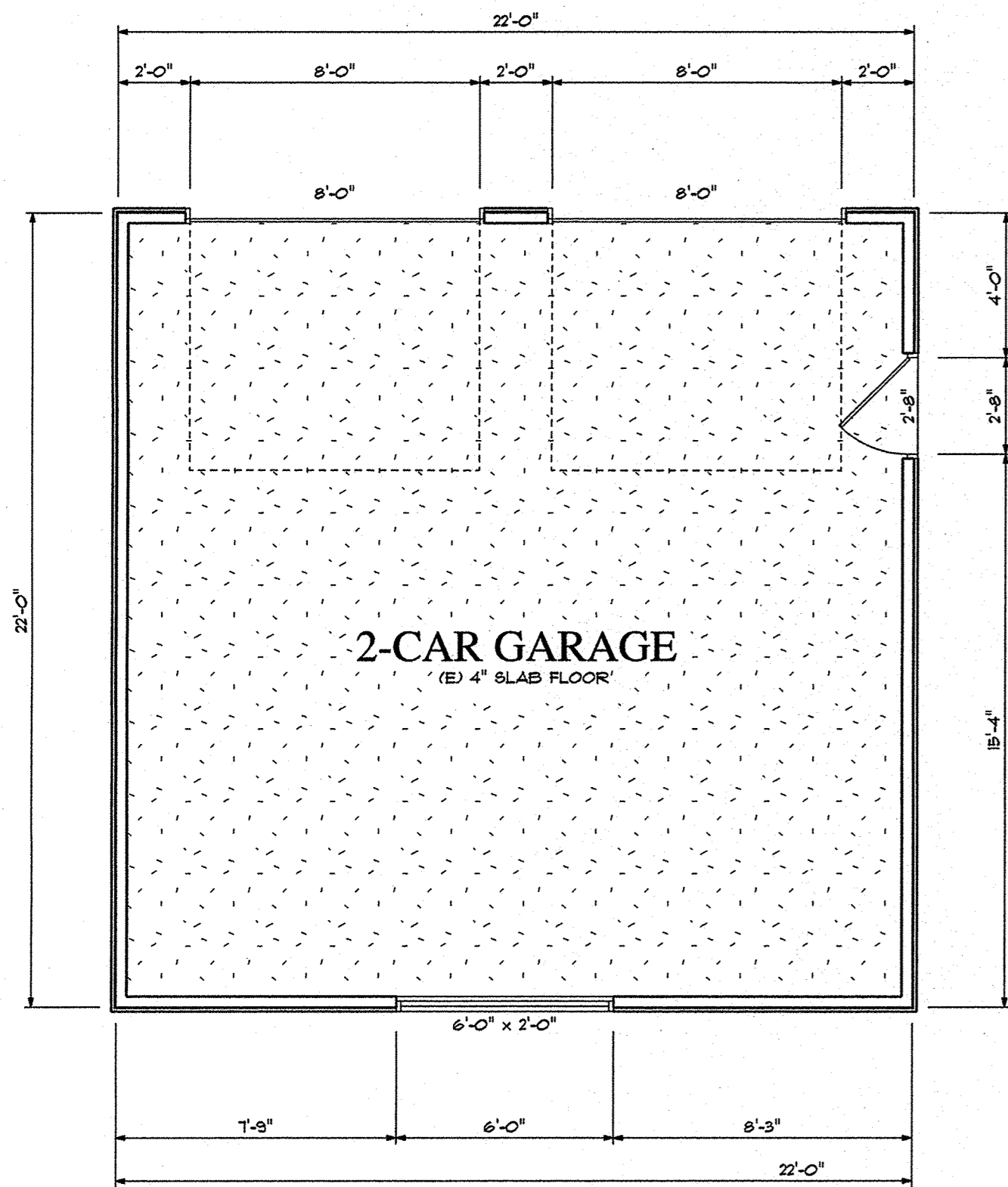
"DESIGNER"
 OWNER/BUILDER-CONTRACTOR
 Per NRS 623.330, 1.00 & (c) - I am responsible for the preparation, information and design shown on these plans.
 Suzanna Stephens: Owner/Builder:
 Owners Signature _____ Date _____

SHEET TITLE:
SITE PLAN

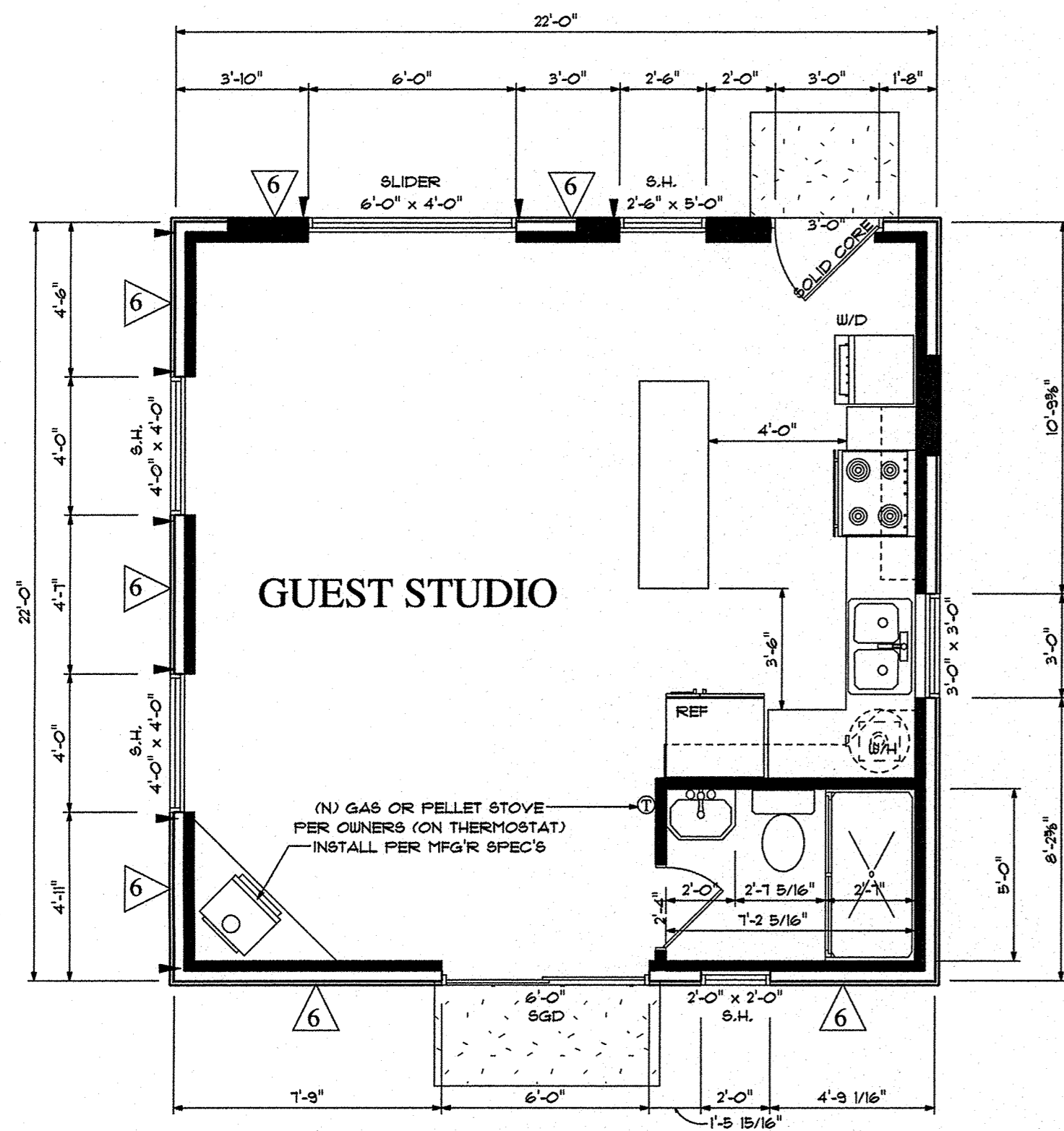


PROJECT NAME: _____ SHEET: **A1**

DATE: April 18, 2016



EXISTING PLAN
SCALE: 1/4"=1'-0"



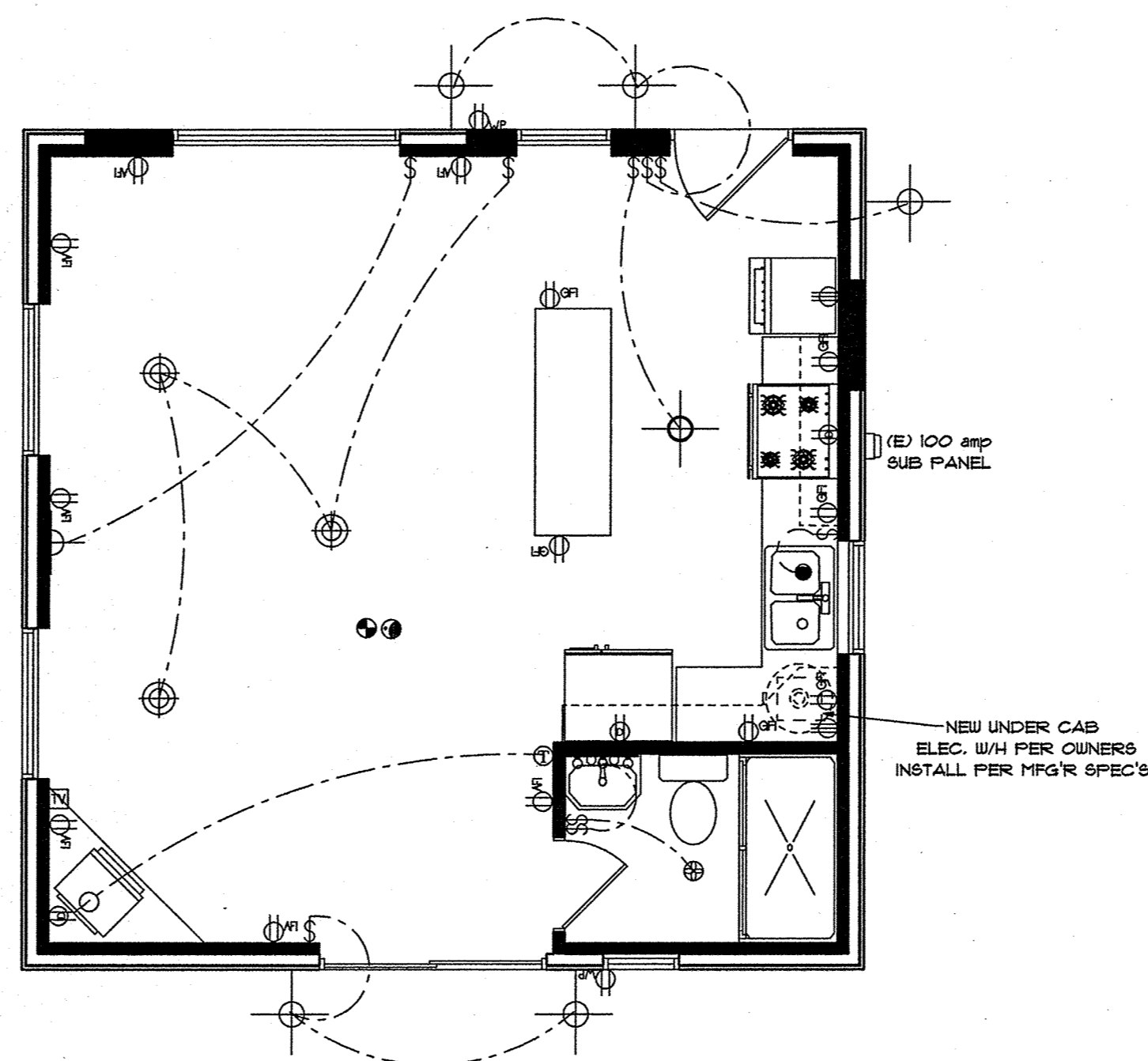
PROPOSED PLAN
SCALE: 1/4"=1'-0"

(N) GAS OR PELLET STOVE PER OWNERS (ON THERMOSTAT) INSTALL PER MFG'R SPEC'S
 (S) 2x4 STUDS TO ATTACH SIMPSON HD12 @ 5/8" ALL-THREAD. DRILL & EPOXY INTO EXISTING STEEL WALL A MIN. OF 10" w/ SIMPSON SET-XP EPOXY INSTALLED PER MFG'R
 PROVIDE (2) 2x4 STUDS AT EACH HOLDOWN SHOWN ON PLANS. KNOT STUDS TOGETHER w/ 16d NAILS @ 12" OC STAGGERED FOR THE FULL HEIGHT OF THE STUDS

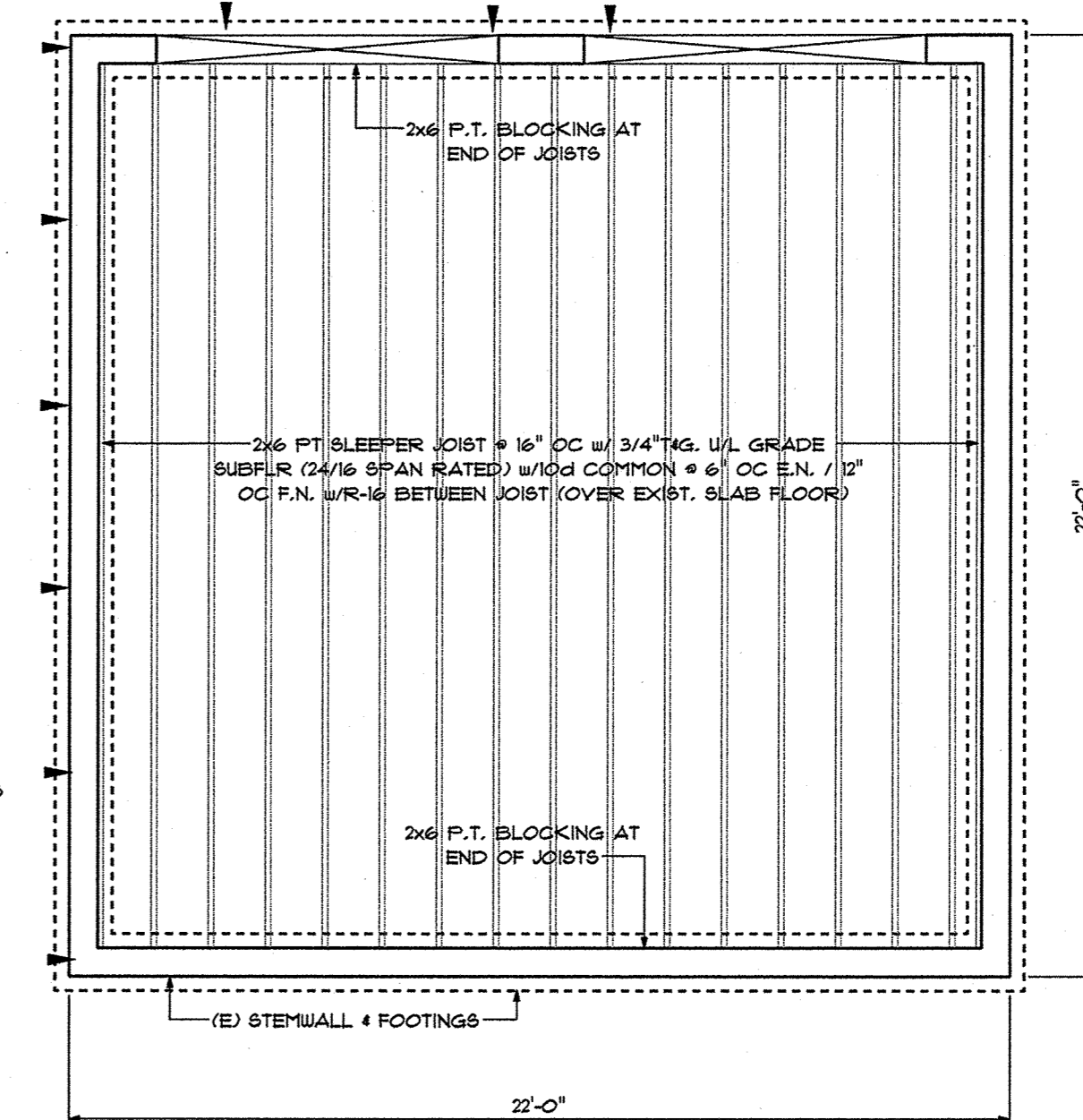
SHEAR CALLOUT, SEE DETAIL 2 ON SHEET A3

TYPICAL ELECTRICAL PLAN NOTES

- 1 RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, FROM A RECEPTACLE OUTLET TYPICAL
- 2 RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20" ABOVE THE COUNTER-TOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OF COUNTER-TOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, APPLIANCE GARAGES, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS.
- 3 GFCI OUTLETS LOCATED IN BATHROOMS SHALL BE ON A DEDICATED 20 AMP CIRCUIT SERVICING THESE RECEPTACLES ONLY
- 4 RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OF COUNTER-TOP IN A BATHROOM BASIN LOCATION. AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL & NOT MORE THAN 6'-6" ABOVE GRADE SHALL BE INSTALLED OUTDOORS AT THE FRONT & BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE.
- 5 LIGHTS OVER SHOWER AND TUBS MUST BE NON CONDUCTIVE GASKETTED, AND RATED FOR WET LOCATIONS
- 6 GROUNDING SHALL COMPLY WITH THE IRC SECTION E3608 REQUIREMENTS.
- 7 ALL ELECTRICAL RECEPTACLES ON THE KITCHEN COUNTER-TOP AS WELL AS ALL BATHROOM, GARAGE EXT (W/ RECEPTACLES SHALL BE G.F.C.I. PROTECTED, AND SHALL COMPLY WITH THE IRC E3902.1 THROUGH E3902.11
- 8 SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING ROOM AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED & D. TO BE PERMANENTLY WIRED w/ BATTERY BACK UP w/ AUDIBLE LOW BATTERY SIGNAL AND BE INTERCONNECTED.
- 9 ALL EXTERIOR RECEPTACLES SHALL BE WEATHER-PROOF AND EQUIPPED WITH "N USE" COVERS REQUIRE HOOD COVERS OF THE "EXTRA-DUTY" TYPE AND BE A G.F.C.I. AS WELL.
- 10 A MINIMUM OF 50% OF THE LAMPS INSTALLED IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS PER THE IECC (404.1)
- 11 RECESSED CAN LIGHTS SHALL BE IC TYPE TYPICAL.
- 12 GFCI IS REQUIRED FOR ALL 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED WITHIN 6ft. OF THE OUTSIDE EDGE OF A DWELLING UNIT 6IN. OR INDOOR NON-DWELLING WET LOCATIONS.
- 13 ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN BEDROOMS OR SLEEPING AREAS SHALL BE PROTECTED BY A LISTED ARC-FULL CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- 14 IN ALL AREAS SPECIFIED IN 210.52, ALL NON-LOCKING TYPE 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES, UNLESS MORE THAN 5.5ft. FROM THE FLOOR, ARE PART OF A LUMINAIRE OR APPLIANCE. A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES LOCATED WITHIN A DEDICATED SPACE FOR EACH APPLIANCE WHICH IS NORMALLY MOVED FROM ONE PLACE TO ANOTHER AND THAT IS CORD-AND-PLUG CONNECTED IN ACCORDANCE WITH 400.1(A)(6) OR (A)(8).
- 15 ALL NON-LOCKING TYPE, 125/100 VOLT, 15 AND 20 AMP RECEPTACLES LOCATED IN GUEST ROOM AND GUEST SUITES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 16 ONLY LUMINAIRES OF THE FOLLOWING TYPE SHALL BE PERMITTED IN A CLOSET: SURFACE-MOUNTED OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCE, SURFACE-MOUNTED OR RECESSED FLUORESCENT LUMINAIRES, SURFACE-MOUNTED FLUORESCENT OR LED LUMINAIRES IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN THE CLOSET STORAGE SPACE.
- 17 A RACEWAY SEAL IS REQUIRED AT UNDERGROUND BRANCH CIRCUIT AND FEEDER RACEWAYS ENTERING A BUILDING
- 18 CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER IRC R315.1
- 19 INSTALL A PROGRAMMABLE THERMOSTAT AS REQUIRED PER THE IRC N103.1.1
- 20 ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, OFFICES, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FULL CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER IRC E3902.12 (INCLUDING EXCEPTION)



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

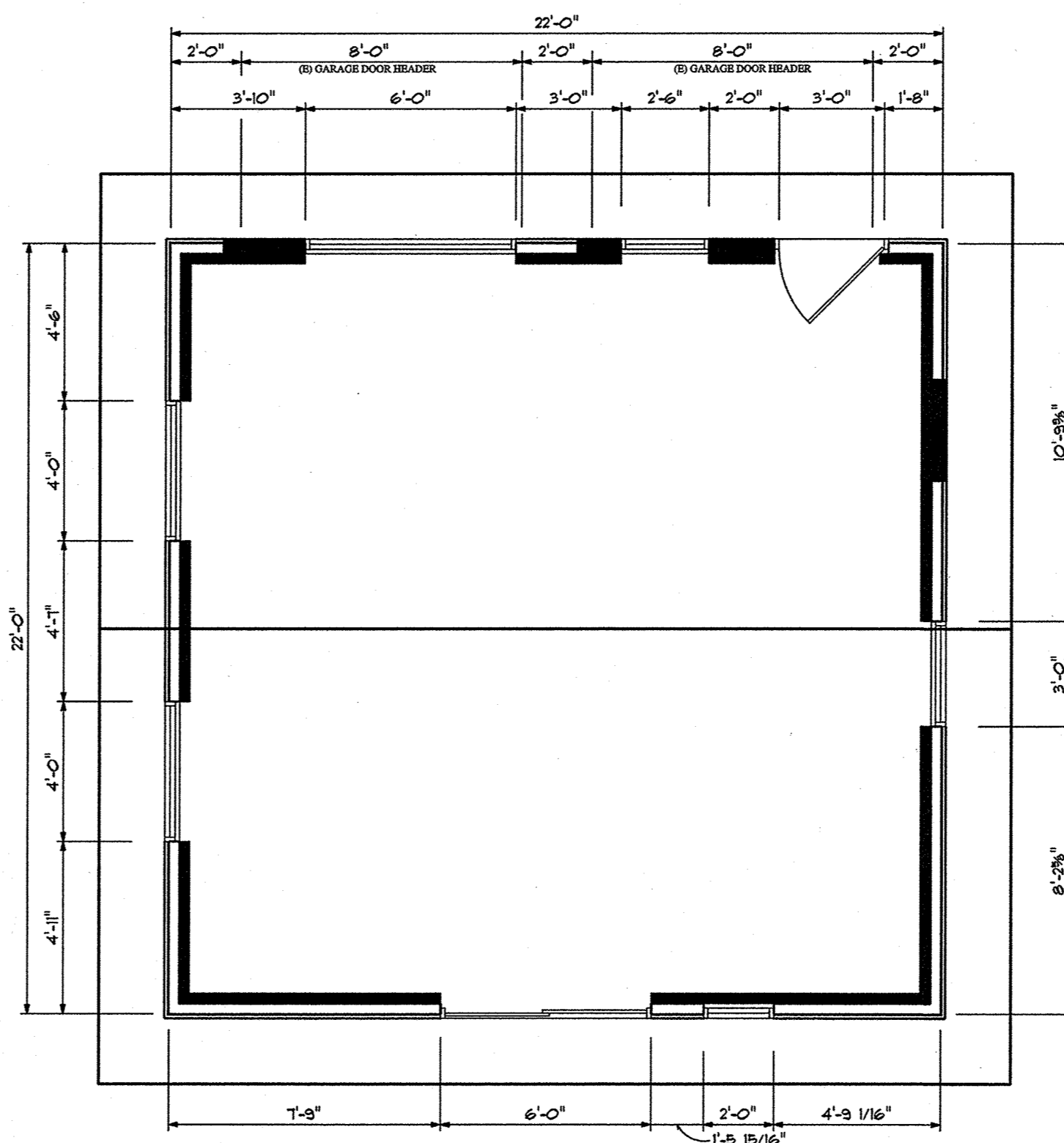


FLOOR FRAMING
SCALE: 1/4"=1'-0"

(S) SIMPSON HD12 LOCATION (SEE PROPOSED PLAN NOTES)
 (N) SEE DETAIL 1 ON SHEET A3 FOR HOLDOWN INSTALLATION

FLOOR PLAN NOTES

- 1 PROVIDE EMERGENCY EGRESS FROM ALL SLEEPING ROOMS: MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., NET CLEAR HEIGHT 24", NET CLEAR WIDTH 20", MAX FINISHED CLEAR OPENING HEIGHT OF 44" ABOVE THE FLOOR. ALSO, EMERGENCY EGRESS FROM SLEEPING ROOMS TO BE DIRECTLY TO THE EXTERIOR CANNOT EXIT THROUGH ENCLOSED/SCREENED PORCH OR PATIO.
- 2 HABITABLE ROOMS SHALL BE PROVIDED w/ NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS w/ AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS
- 3 ALL HABITABLE ROOMS SHALL BE PROVIDED w/ NATURAL VENTILATION THROUGH OPERABLE WINDOWS, DOORS, OR OTHER APPROVED OPENINGS TO OUTSIDE AIR. BATHROOMS, WATER CLOSET COMPARTMENTS & LAUNDRY ROOMS SHALL BE PROVIDED w/ MECHANICAL VENTILATION IF NOT PROVIDED w/ OPERABLE WINDOWS
- 4 SAFETY GLAZING REQ'D IN TUB OR SHOWER ENCLOSURE & WINDOWS IN EXTERIOR WALLS IF BOTTOM EDGE OF GLAZING IS WITHIN 60" OF FIXTURE FLOOR PER SAFETY GLAZING ALSO REQ'D IN WINDOWS WITHIN 24" OF EDGE OF DOOR. SAFETY GLAZING REQ'D IN WINDOWS WHEN SILL IS LESS THAN 18" ABOVE FLOOR (IF MORE THAN 9 SQUARE FEET)
- 5 EVERY DWELLING UNIT & GUEST ROOM SHALL BE PROVIDED w/ HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3' ABOVE THE FLR 24" FROM EXT WALL IN ALL HABITABLE ROOMS
- 6 THE VERT. DISTANCE BETWEEN THE COOKING TOP OF A DOMESTIC RANGE & THE HOOD SHALL NOT BE LESS 24"
- 7 HOOD OVER STOVE/COOKTOP TO BE VENTED TO EXT IN ACCORDANCE w/ I.M.C. OR VENTLESS HOOD INSTALLED AS PER MFG'R.
- 8 ALL APPLIANCES SHALL COMPLY WITH THE IECC - ENERGY EFFICIENCY.
- 9 PROVIDE INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE IN ALL SHOWERS AND TUB/SHOWER COMBOS
- 10 PROVIDE ULTRA LOW WATER USE FIXTURES (1.6 GAL FLUSH TOILETS / 2.5 GPM FAUCETS)
- 11 WATER HEATER RELIEF VALVE DRAINS SHALL EXTEND TO THE EXTERIOR IF EXPANSION TANK IS NEEDED INSTALL PER ICBO PLUMBING CODE
- 12 USE HARDIBACKER OR 1/4" WONDERBOARD AS THE TILE BACKER MATERIAL ATTACHED TO WALL STUDS w/ GALVANIZED OR CORROSION RESISTANT FASTENERS @ 6" TO 8" OC TYPICAL.
- 13 THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. THE FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN THE EXIT DOORS REQ'D BY APPLICABLE CODES. THE LANDING ELEVATION SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL TYPICAL.
- 14 ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. THE FELT OR PAPER SHALL BE APPLIED HORIZONTALLY w/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" WHERE VERTICAL JOINTS OCCUR, FELT OR PAPER SHALL BE LAPPED NOT LESS THAN 6"



ROOF PLAN
SCALE: 1/4"=1'-0"

- 1 ROOF FRAMING IS EXISTING, NEW HEADERS AS SHOWN
- 2 MIN. (2)2x8, (2)2x10 OR 4x12 D.F.Y.2 HEADERS TYP. (I.N.O.) ALL BEARING WALLS w/ SINGLE 2x4 TRIMMER UNO
- 3 ATTIC ACCESSIBILITY: BUILDINGS WITH A COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 S.F. AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER (THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS).
- 4 THE FRAMED OPENING OF THE ATTIC ACCESS SHALL NOT BE LESS THAN 22"x30" ND SHALL BE LOCATED IN A HALLWAY OR READILY ACCESSIBLE LOCATION WITH A MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC OF 30".
- 5 THE MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE VENTED AREA SPACE.
- 6 VENTS TO BE (1)4 S.I. AND (1)4" NON-COMBUSTIBLE CORROSION-RESISTANT MESH OR AN APPROVED DEVICE AND MUST BE EMBER AND FIRE RESISTANT.
- 7 EAVES ARE TO BE IR MATERIAL, 1 HOUR FRC 2" NOM LUMBER OR TREATED MATERIALS. LOCATE CONTINUOUS, SCREENED EAVE VENTS AS NEAR TO THE FASCIA AS PRACTICAL

NO.	REVISIONS/ISSUE	DATE

PROJECT INFORMATION

Suzanna Stephens Garage Conversion
 (775) 409-5065
 245 McClellan Drive - Wahsco Valley, NV 89704
 APN: 050-398-10

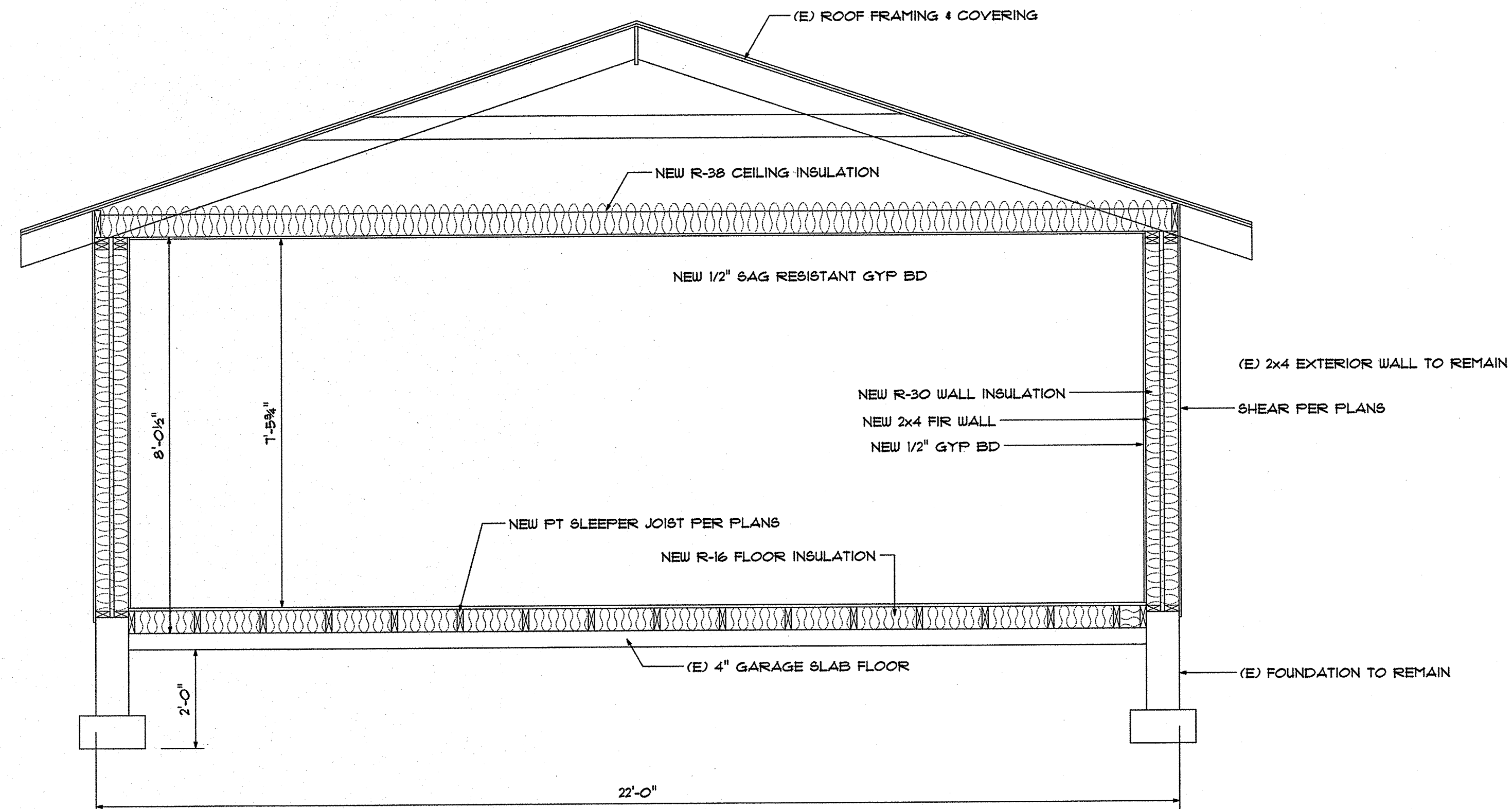
OWNER/BUILDER-CONTRACTOR
 Suzanna Stephens: Owner/Builder:
 Per NS 623.330.1(i) & (j) - I am responsible for the preparation, information and design shown on these plans.

WORKING PLANS

STRUCTURAL DESIGN ONLY

BLAKE E. CLARK
 Exp. 12-31-16
 CIVIL
 4-27-16

PROJECT NAME: _____ SHEET: **A2**
 DATE: April 18, 2016



CROSS SECTION
SCALE: 1/2" = 1'-0"

GENERAL STRUCTURAL NOTES

THE CALCULATIONS AND STRUCTURAL DESIGN ARE BASED ON INFORMATION PROVIDED BY THE CLIENT AND LISTED HEREIN. BLAKE E. CLARK P.E. IS NOT RESPONSIBLE FOR ANY STRUCTURAL CHANGES MADE TO THE PLANS OR SPECIFICATIONS UNLESS CHANGE IS APPROVED IN WRITING. VERIFICATION OF SITE AND SOIL CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.

DESIGN BASED ON LOADS APPROVED BY THE WASHOE COUNTY BUILDING DEPARTMENT.

DESIGN LOADS:
Ground Snow LL = 30 psf (Pg)
Wind = 130 mph (ULTIMATE WIND SPEED); Exposure C
Seismic = D

FRAMING:
ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR-LARCH VISUAL GRADED No.2 OR BETTER. ALL LUMBER SHALL BE SEASONED w/ A MOISTURE CONTENT NOT EXCEEDING 19% AT THE TIME OF INSTALLATION, UNLESS NOTED OTHERWISE, U.N.O.

ALL GLULAM's SHALL BE 24F-V4 DFI/DF OR BETTER, U.N.O.

ALL LVL's SHALL BE 2600 Fb 1.9E OR BETTER, U.N.O.

ALL PLYWOOD OR OSB SHEATHING SHALL BE APA RATED 24/16 SPAN-RATING U.N.O.

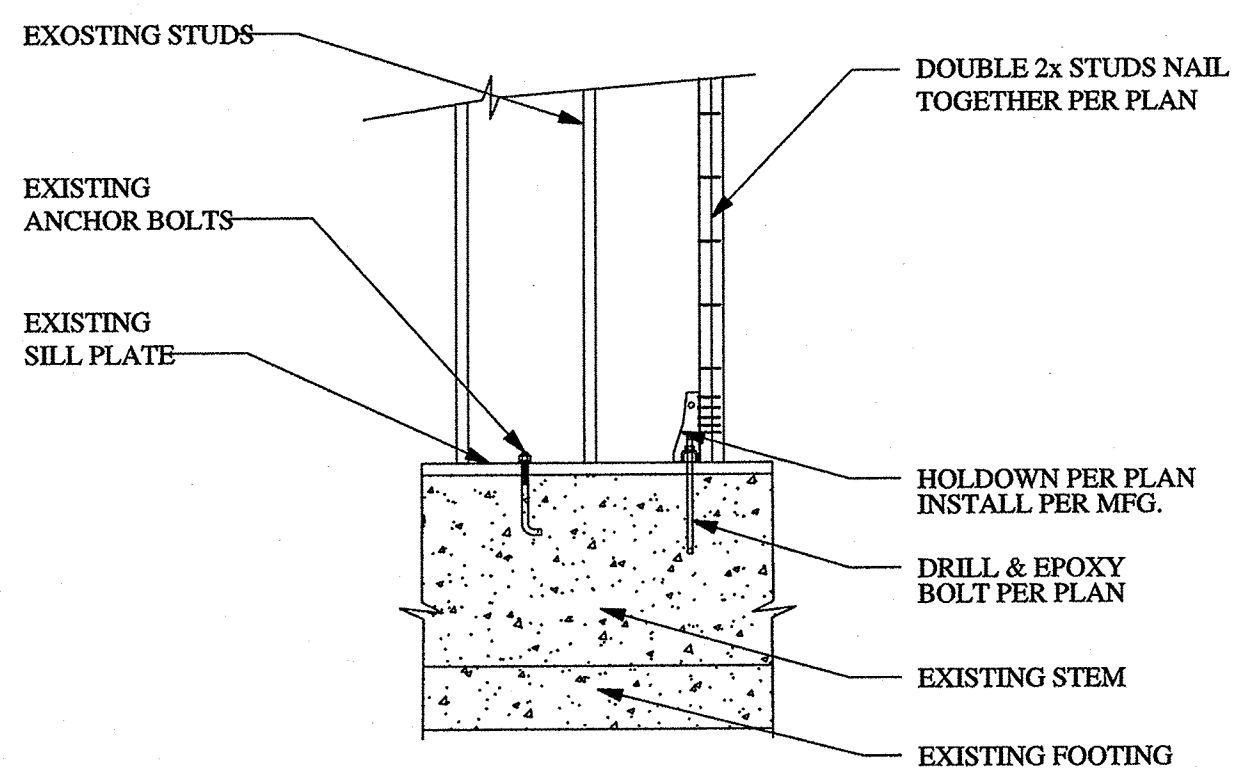
PROVIDE SINGLE TRIMMER UNDER BEAMS FOR SPANS < 6'-0" AND DOUBLE TRIMMER FOR BEAMS w/ SPANS > 6'-0", U.N.O.

WOOD FRAMING SHALL BE IN ACCORDANCE WITH THE 2012 IRC, CHAPTERS 5 & 6.

PROVIDE SIMPSON OR EQUAL CONNECTORS WHERE SHOWN ON DRAWINGS. INSTALL IN STRICT ACCORDANCE w/ MANUFACTURE RECOMMENDATIONS.

ALL HARDWARE SHALL BE INSTALLED AN IN PLACE PRIOR TO ANY COUNTY INSPECTIONS.

ALL NAILING SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE 2012 IBC UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.



HOLDOWN DETAIL
SCALE: 1/2" = 1'-0"

SHEAR SCHEDULE

MARK	MATERIAL THICKNESS	MATERIAL DESCRIPTION	NAIL SIZE(S)	O.C. NAIL SPACING
1,2,3,4	3/8"	APA RATED SHEATHING	8d	6" FIELD
1,2,3,4	3/8"	APA RATED SHEATHING	8d	4" FIELD
1,2,3,4	3/8"	APA RATED SHEATHING	8d	3" FIELD
2,3,4	5/8"	APA RATED SHEATHING	10d	3" FIELD
1,2,3,4	3/8"	APA RATED SHEATHING	8d	2" FIELD
2,3,4	5/8"	APA RATED SHEATHING	10d	2" FIELD

- 3/8", 7/16", OR 1/2" APA RATED SHEATHING MAY BE USED WHERE SHEATHING IS APPLIED DIRECTLY TO FRAMING, PROVIDED STUDS ARE SPACED A MAXIMUM OF 16" O.C. OR PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS.
- FOR SHEAR WALLS 2-3, PROVIDE SINGLE 3" NOMINAL FRAMING MEMBERS AT ALL ADJOINING PANEL EDGES RECEIVING EDGE NAILING. NAILS SHALL BE STAGGERED.
- WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6 INCHES ON CENTER EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FOLLOW DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL 3 INCH NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- SHIMLAP EDGES SHALL BE DOUBLE NAILED; ONE NAIL SHALL BE PLACED IN THE UNDERLAP AND A SECOND NAIL IN THE OVERLAP AT THE NAIL SPACING SPECIFIED.
- COMMON OR GALVANIZED BOX NAILS.
- GALVANIZED NAILS SHALL BE USED WHERE NAILS ARE IN CONTACT WITH PRESSURE TREATED WOOD.

NO.	REVISIONS/ISSUE	DATE

PROJECT INFORMATION

Suzanna Stephens Garage Conversion
(775) 409-5065
245 McClellan Drive - Washoe Valley, NV 89704
APN: 050-398-10

DESIGNER
OWNER/BUILDER-CONTRACTOR
Per AWS 623.39 1(a) & (e) - I am responsible for the preparation, information and design shown on these plans.

OWNER'S SIGNATURE
Suzanna Stephens: Owner/Builder: _____ Date: _____

DETAIL SHEET

STRUCTURAL DESIGN ONLY

BLAKE E. CLARK
Exp. 12-31-16
CIVIL
4-27-16

PROJECT NAME SHEET

DATE April 18, 2016 **A3**