

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Community Development staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name (commercial/industrial projects only):			
Project Description: NEW SFR + GARAGE			
Project Address: 4390B DRAKE WAY, WASHOE VALLEY, NV 89704			
Project Area (acres or square feet): 1498 S.F. w/ 1532 S.F. GARAGE			
Project Location (with point of reference to major cross streets AND area locator): CORNER OF JUMBO GRADE + DRAKE WAY, WASHOE VALLEY, NV			
Assessor's Parcel No(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
050-435-11			
Section(s)/Township/Range: NEW WASHOE CITY SUB. #5 (#974)			
Indicate any previous Washoe County approvals associated with this application: Case Nos.			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: NICK GIBSON		Name: DSA	
Address: 4390 DRAKE WAY		Address: 21575 SAZARAC RD.	
WASHOE VALLEY, NV Zip: 89704		RENO, NV Zip: 89524	
Phone: 899-9447 Fax:		Phone: 847-7235 Fax: 847-7265	
Email: NVNUKE@AOL.COM		Email: DSA.ARCHITECTURE@GMAIL.COM	
Cell: 721-6651 Other:		Cell: 544-1376 Other:	
Contact Person: NICK GIBSON		Contact Person: MICHAEL TRIBLE	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

S5
T16
R20

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

3240 S.F.

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

1498 S.F.

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

USE OF SAME ROOFING MATERIALS & SIMILAR SIDING MATERIALS

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

- SECONDARY SEPTIC SYSTEM
- TAPPING INTO MAIN EXISTING WELL

5. What additional roadway, driveway, or access improvements are you planning?

DRIVEWAY TO GARAGE ; DRIVEWAY TO MAIN
ENTRANCE

6. A parking space is required. How are you providing the additional parking?

1532 S.F. NEW GARAGE

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

DECEMBER 21, 2014

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

- NO HID LIGHTING
- SITE HAS ALMOST NO VEGETATION

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

NO

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
------------------------------	--	-------------------------------

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

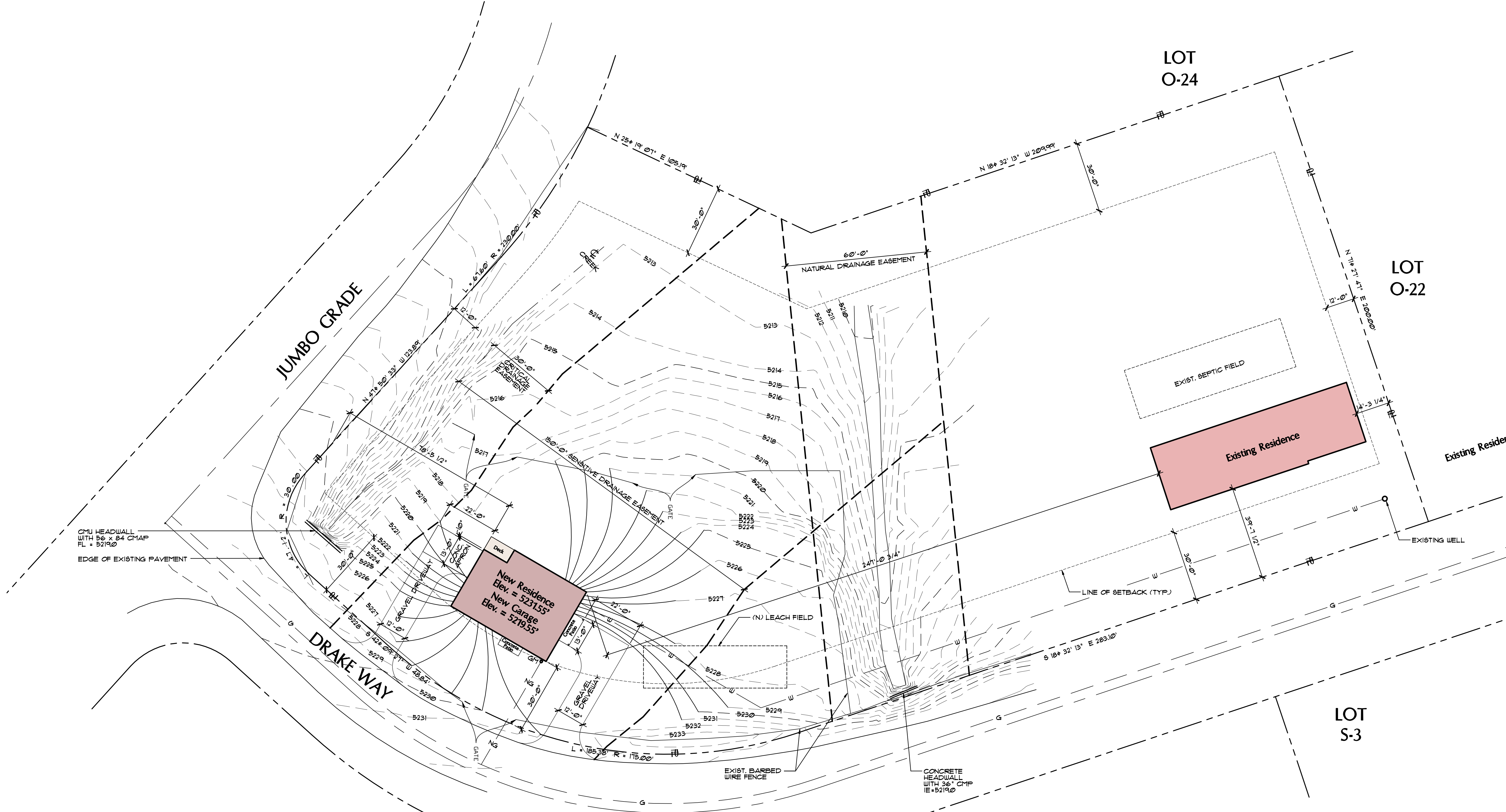
NO OTHER ACCESSORY DWELLING EXISTS ON THE SUBJECT PROPERTY

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

N/A

13. List who the service provider will be for the following utilities:

a. Sewer Service	NEW SEPTIC FIELD
b. Electrical Service	NY ENERGY
c. Solid Waste Disposal Service	NEW SEPTIC FIELD
d. Water Service	PRIVATE WELL



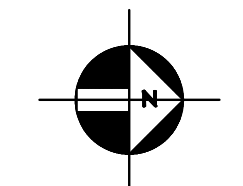
- LEGEND**
- NEW CONTOUR LINE
 - - - EXISTING MAJOR CONTOUR
 - - - EXISTING MINOR CONTOUR
 - G — EXISTING GAS LINE AT STREET
 - NG — NEW GAS LINE TO GAS METER
 - W — NEW WATER LINE

NOTE: NO SLOPE SHALL EXCEED 2:1
 NOTE: SITE IS WITHIN FLOOD ZONE AREA "A"
 NOTE: PROVIDE MIN. 2% POSITIVE DRAINAGE AWAY FROM HOUSE

LOT COVERAGE

LOT AREA IS 90,535 SQUARE FEET

1 ARCHITECTURAL SITE PLAN
 A0.0 SCALE: 1" = 20'-0"



GIBSON RESIDENCE
 For: Nick Gibson
 43908 Drake Way Washoe Valley, Nevada 89704
 Assessor's Parcel Number: 060-435-11
 CONSULTANT

Design Significance Architecture

21575 Sarcara Road • Reno, Nevada 89521
 Voice: 775.847.7315 • Fax: 775.847.7365 • Email: dra.architecture@gmail.com

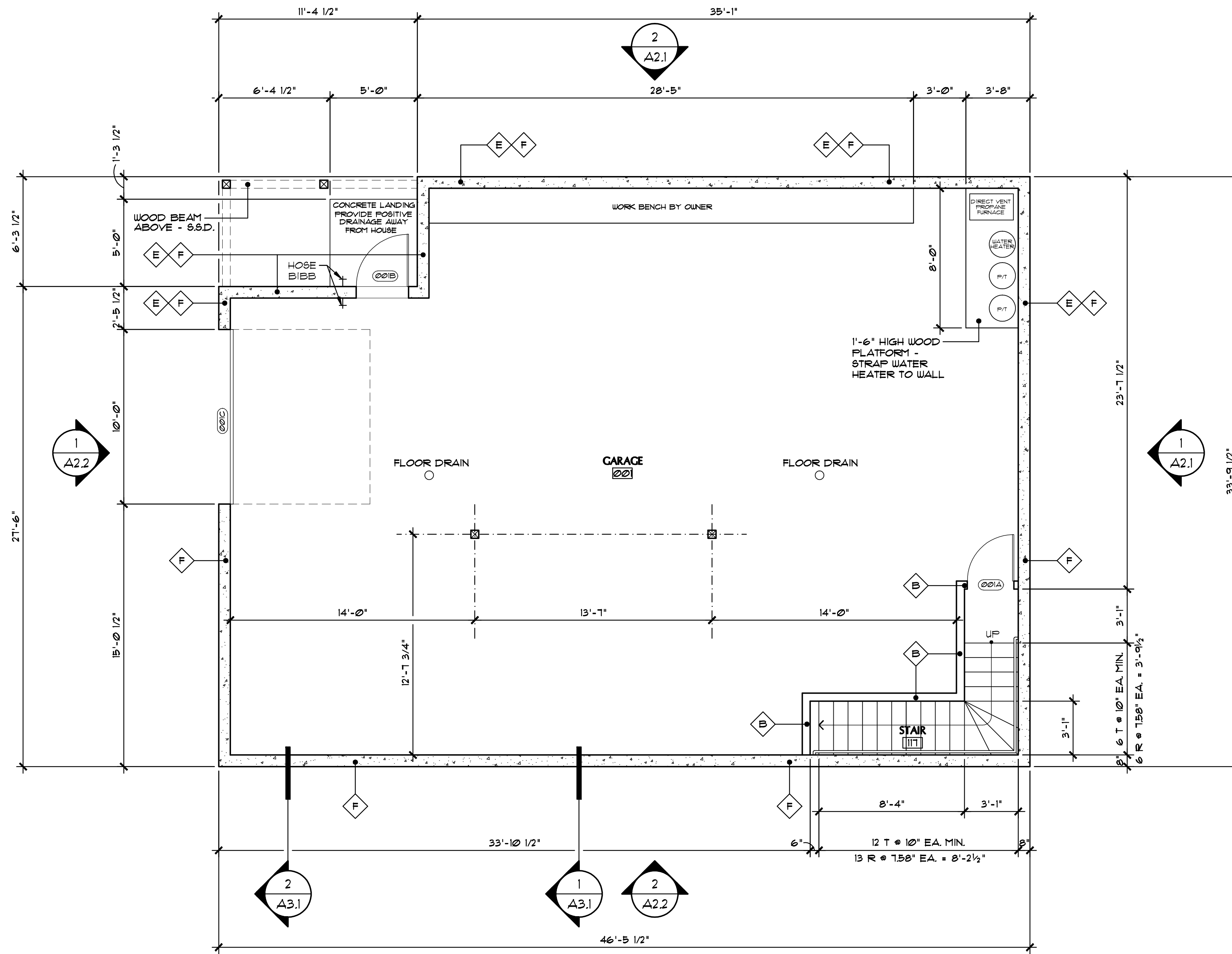
SHEET TITLE

SITE PLAN

REVISIONS	DATE
1	-
2	-
3	-

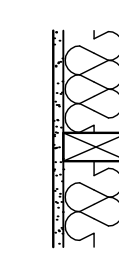
STAMP

DATE: May 23, 2014
 JOB: 1405
 Sheet: **A0.0**



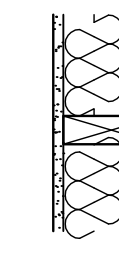
NOTE: SLOPE FLOOR 1/8" / FT. TO DRAINS

INTERIOR WALL TYPES



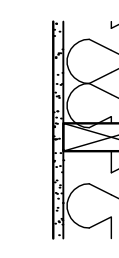
A TYPICAL 2 x 4 INT. SOUND WALL

- 1/2" GUB EA. SIDE OF WALL FRAMING
- 2 x 4 WOOD STUDS @ 16" O.C.
- MIN. 3 1/2" SOUND ATTENUATION INSULATION



B TYPICAL 2 x 6 INT. SOUND WALL

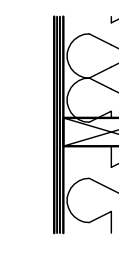
- 1/2" GUB EA. SIDE OF WALL FRAMING
- 2 x 6 WOOD STUDS @ 16" O.C.
- MIN. 3 1/2" SOUND ATTENUATION INSULATION



C TYPICAL 2 x 6 INS. WALL

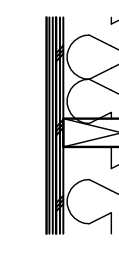
- 1/2" GUB EA. SIDE OF WALL FRAMING
- 2 x 6 WOOD STUDS @ 16" O.C.
- MIN. R-21 FOIL-FACED BATT INSULATION

EXTERIOR WALL TYPES



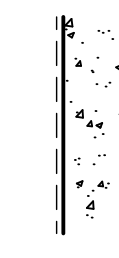
D TYPICAL 2 x 6 EXT. WALL

- 1/2" GUB
- 2 x 6 WOOD STUDS @ 16" O.C.
- MIN. R-21 FOIL-FACED BATT INSULATION
- "TYVEK" PLASTIC BUILDING WRAP, OR EQ.
- T-III FIBER CEMENT SIDING



E TYPICAL 2 x 8 EXT. WALL

- 1/2" GUB
- 2 x 8 WOOD STUDS @ 16" O.C.
- MIN. R-21 FOIL-FACED BATT INSULATION
- 3/4" PLYWOOD SHEATHING
- "TYVEK" PLASTIC BUILDING WRAP, OR EQ.
- T-III FIBER CEMENT SIDING



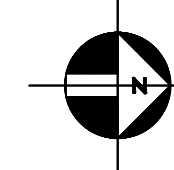
F TYPICAL 8" CONCRETE EXT. WALL

- 8" THICK CONCRETE WALL - S.S.D.
- WATERPROOFING COATING BELOW GRADE

NOTE: SEE DETAIL 1/4/1 FOR TYPICAL BLOCKING AT WOOD STUD WALLS

1 GARAGE LEVEL FLOOR PLAN
A0.1 SCALE: 1/4" = 1'-0"

1498 S. F.



GIBSON RESIDENCE
For: Nick Gibson

43908 Drake Way Washoe Valley, Nevada 89704
Assessors Parcel Number: 060-435-11

CONSULTANT

Design Significance Architecture



21575 Sarcare Road • Reno, Nevada 89521
Voice: 775.847.7215 • Fax: 775.847.7265 • Email: dra.architecture@gmail.com

SHEET TITLE
GARAGE LEVEL FLOOR PLAN

REVISIONS

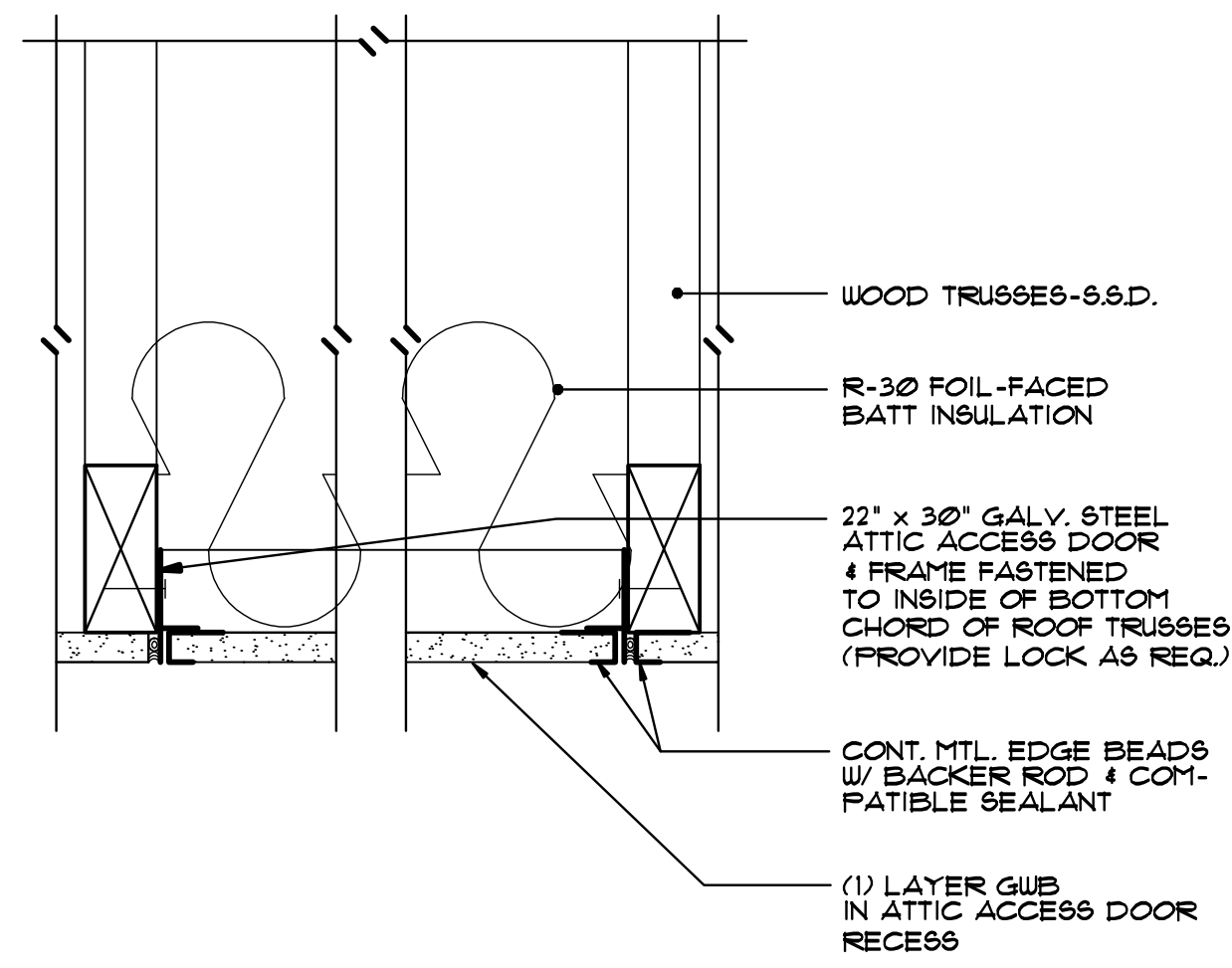
1	
2	
3	

STAMP

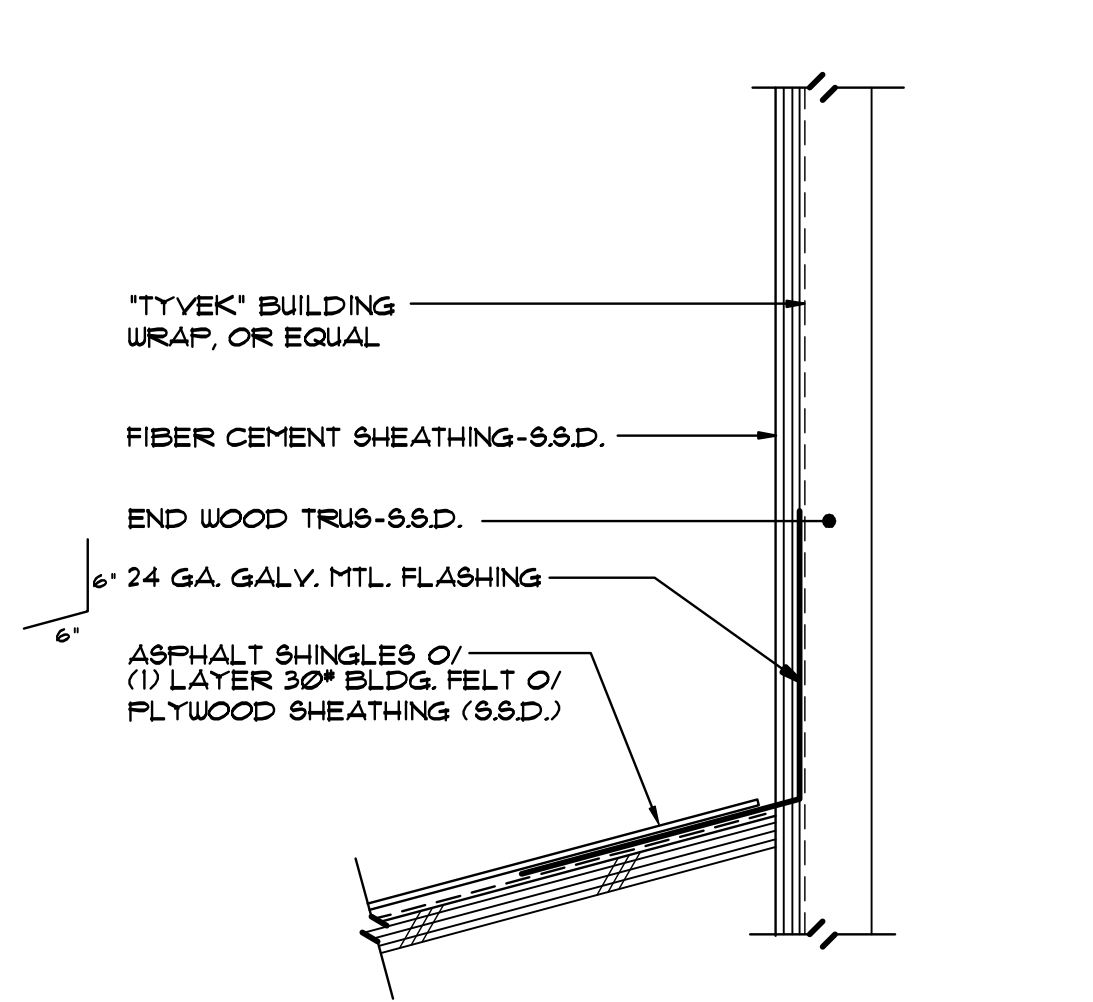
DATE
May 23, 2014
JOB
1405

Sheet:

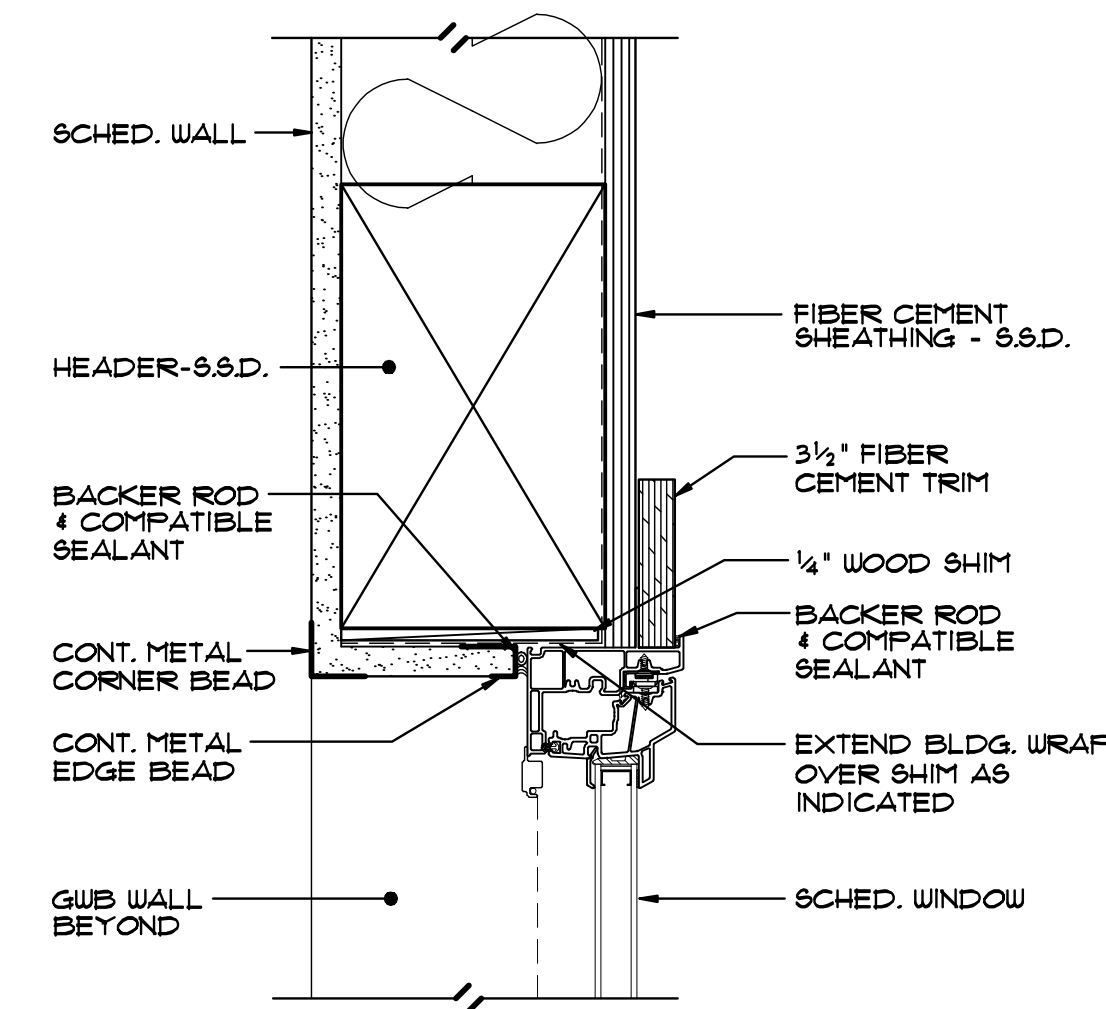
A0.1



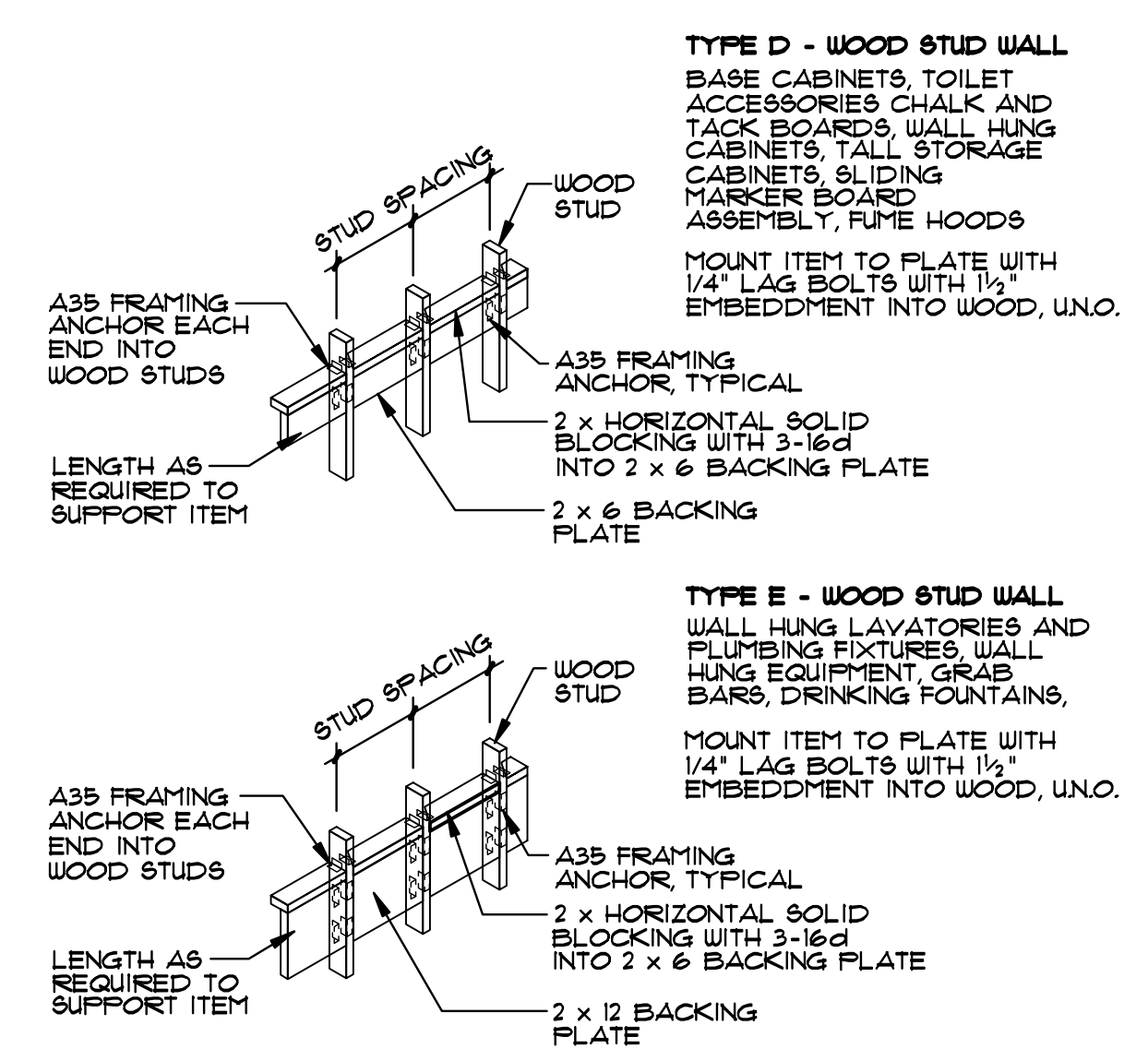
10 ATTIC ACCESS DOOR
 (A7.1) SCALE: 3" = 1'-0" 0948



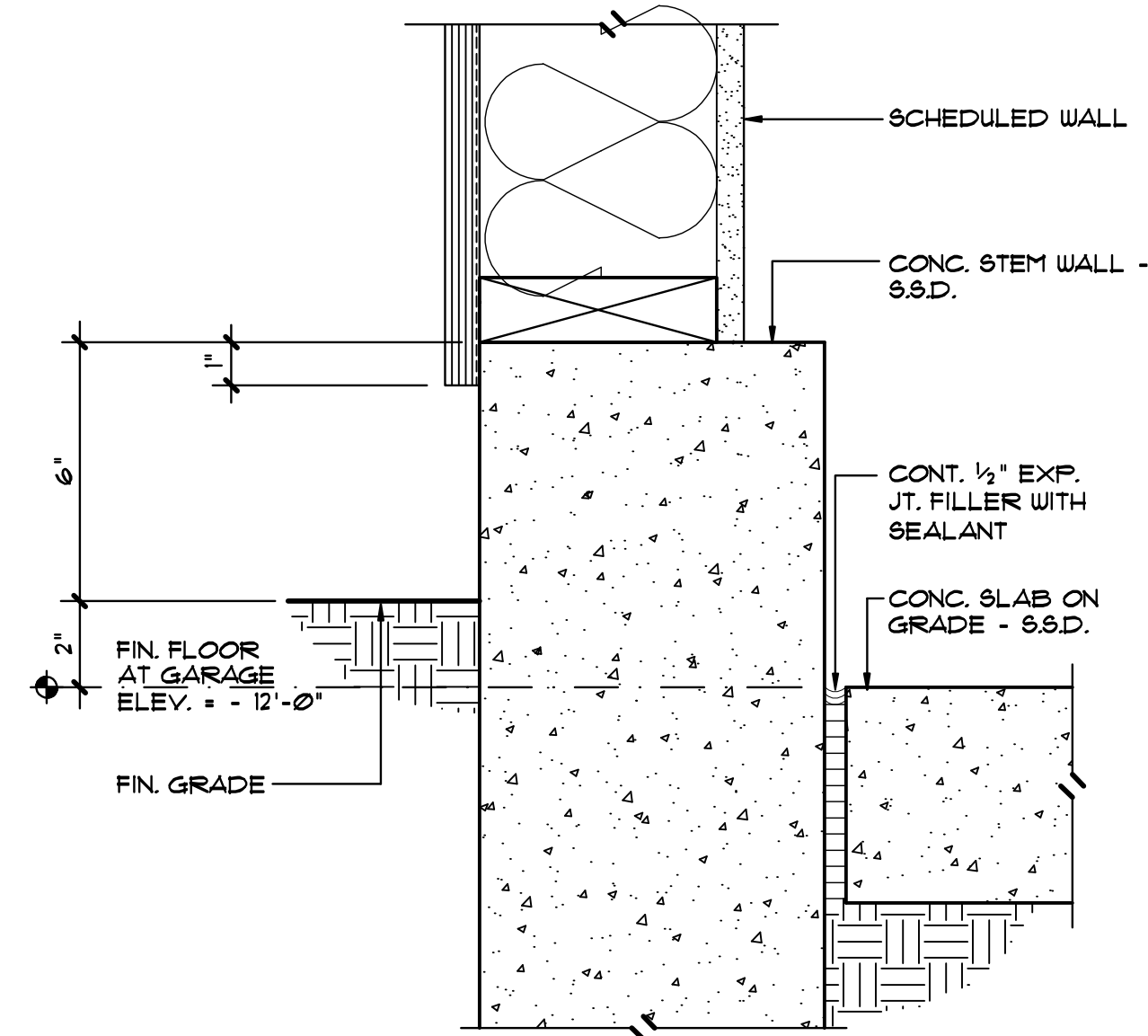
7 FLASHING AT ROOF / WALL
 (A7.1) SCALE: 3" = 1'-0" 1302



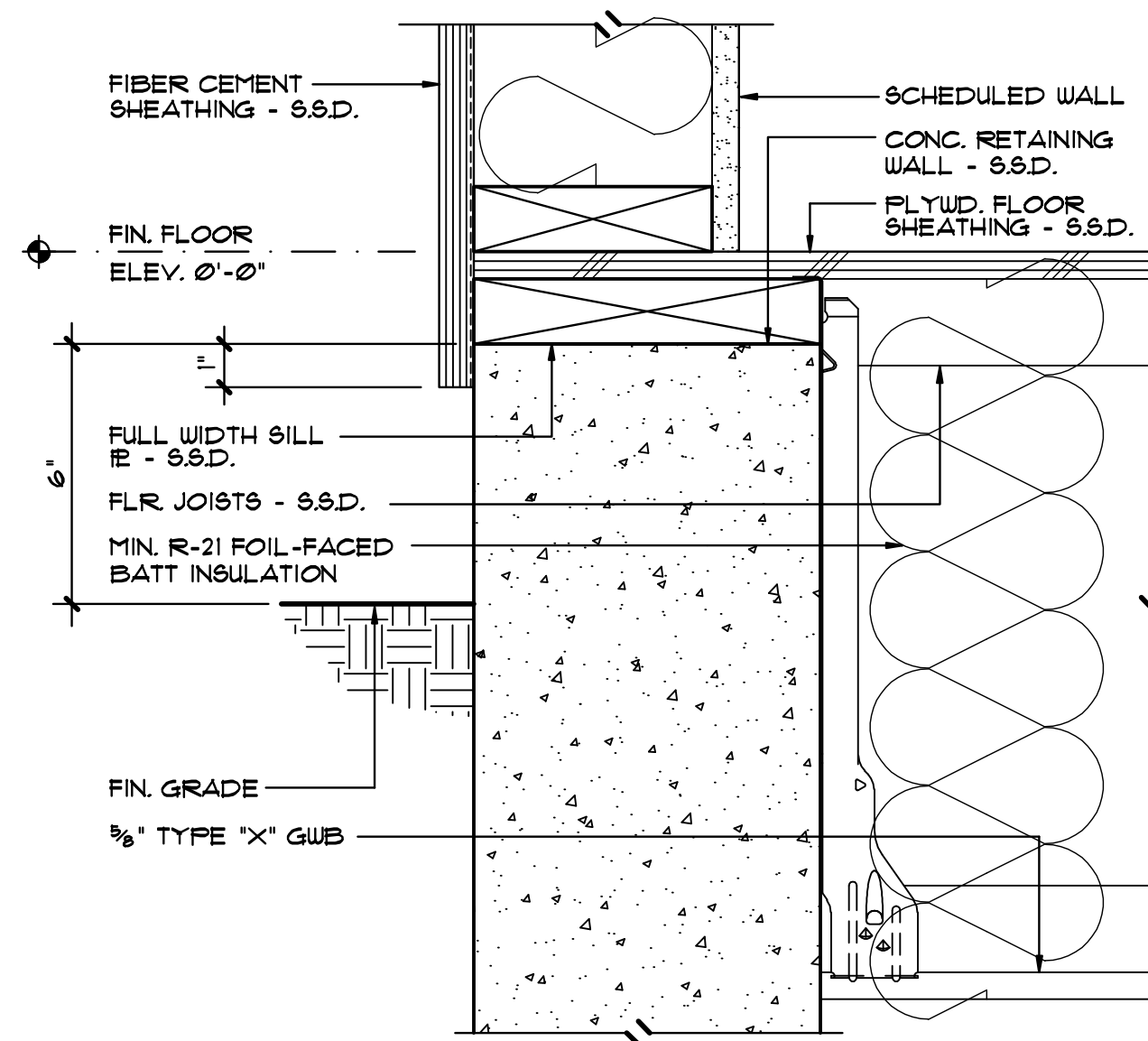
4 HEAD AT VINYL WINDOW (SIDING)
 (A7.1) SCALE: 3" = 1'-0" (JAMB 81M) 1303



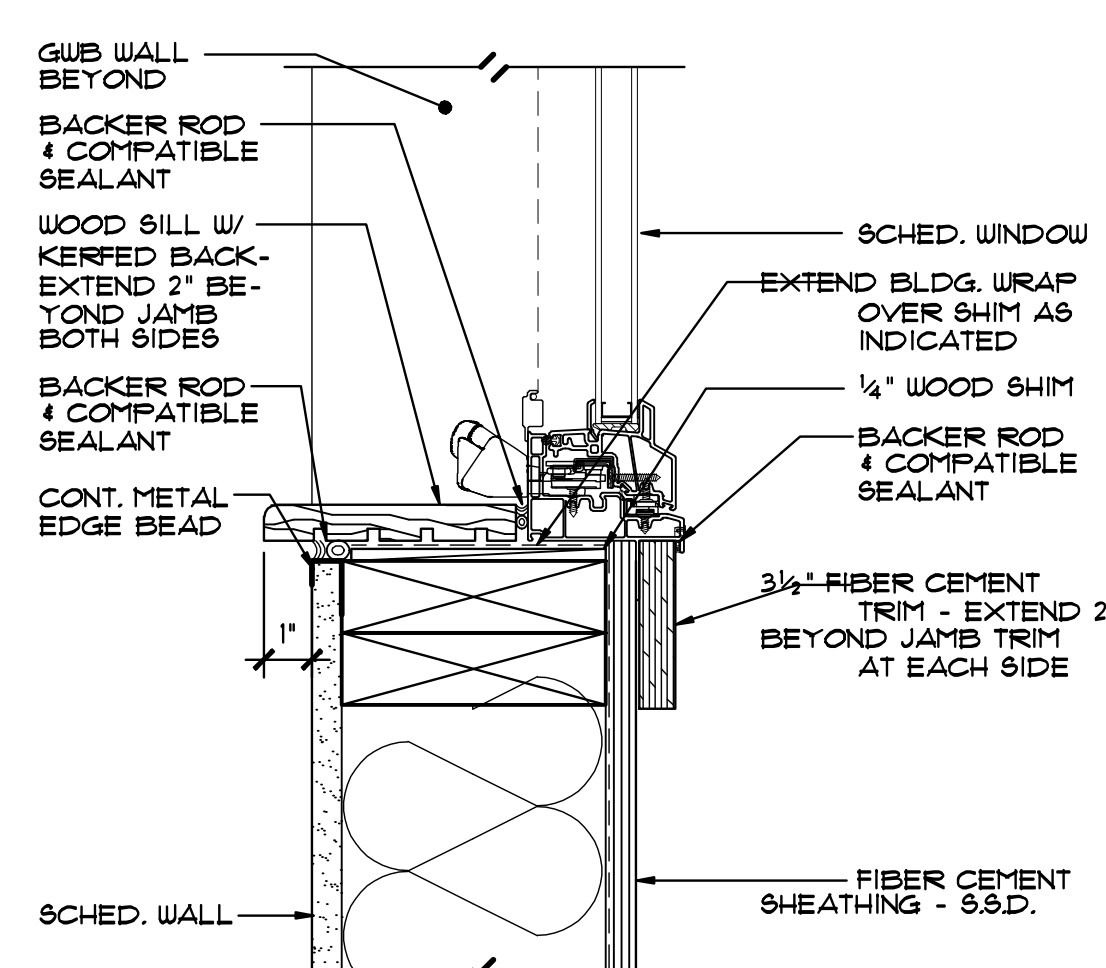
1 TYP. BLOCK'G @ WD. STUD WALLS
 (A7.1) SCALE: NO SCALE 0039



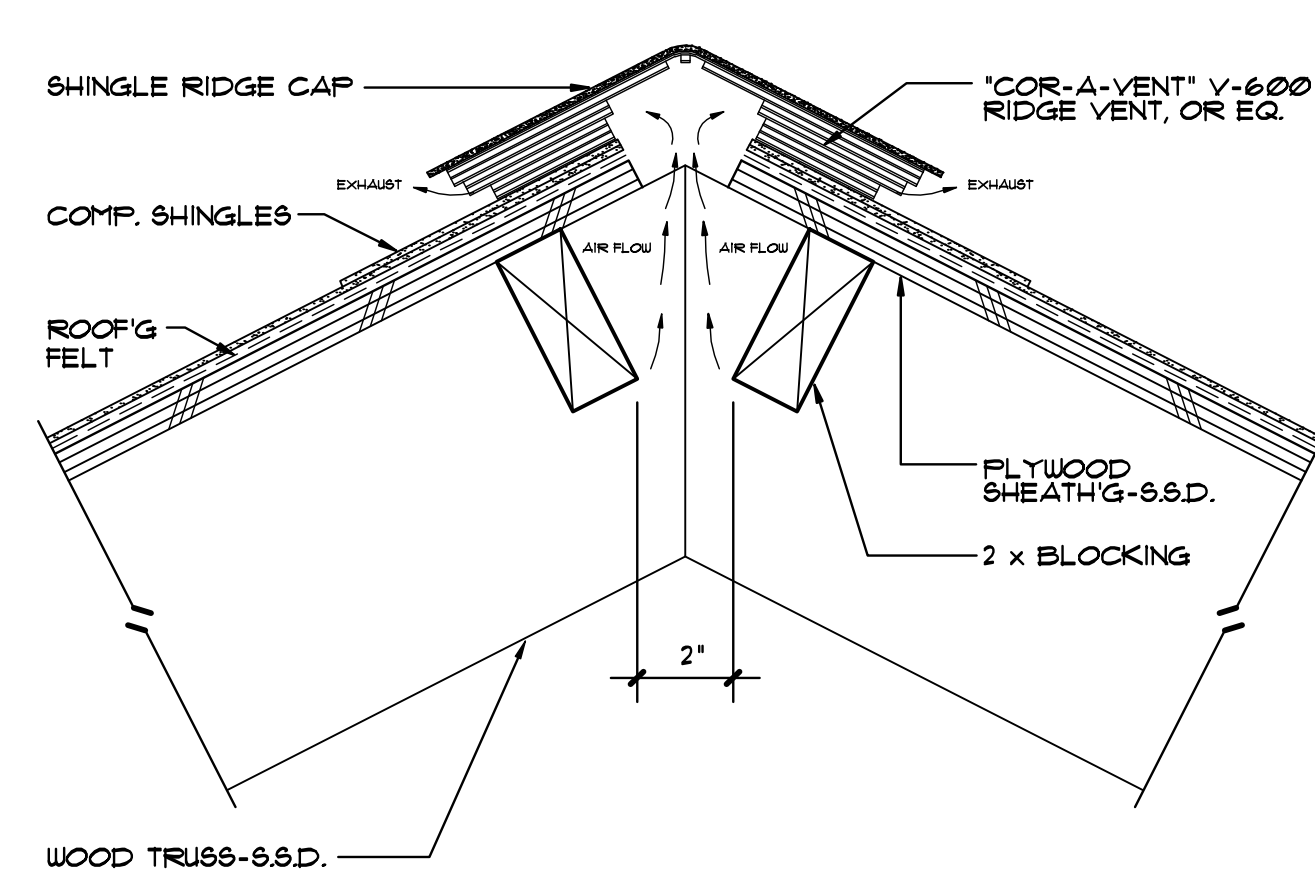
11 SIDING AT CONCRETE SLAB
 (A7.1) SCALE: 3" = 1'-0" 1305



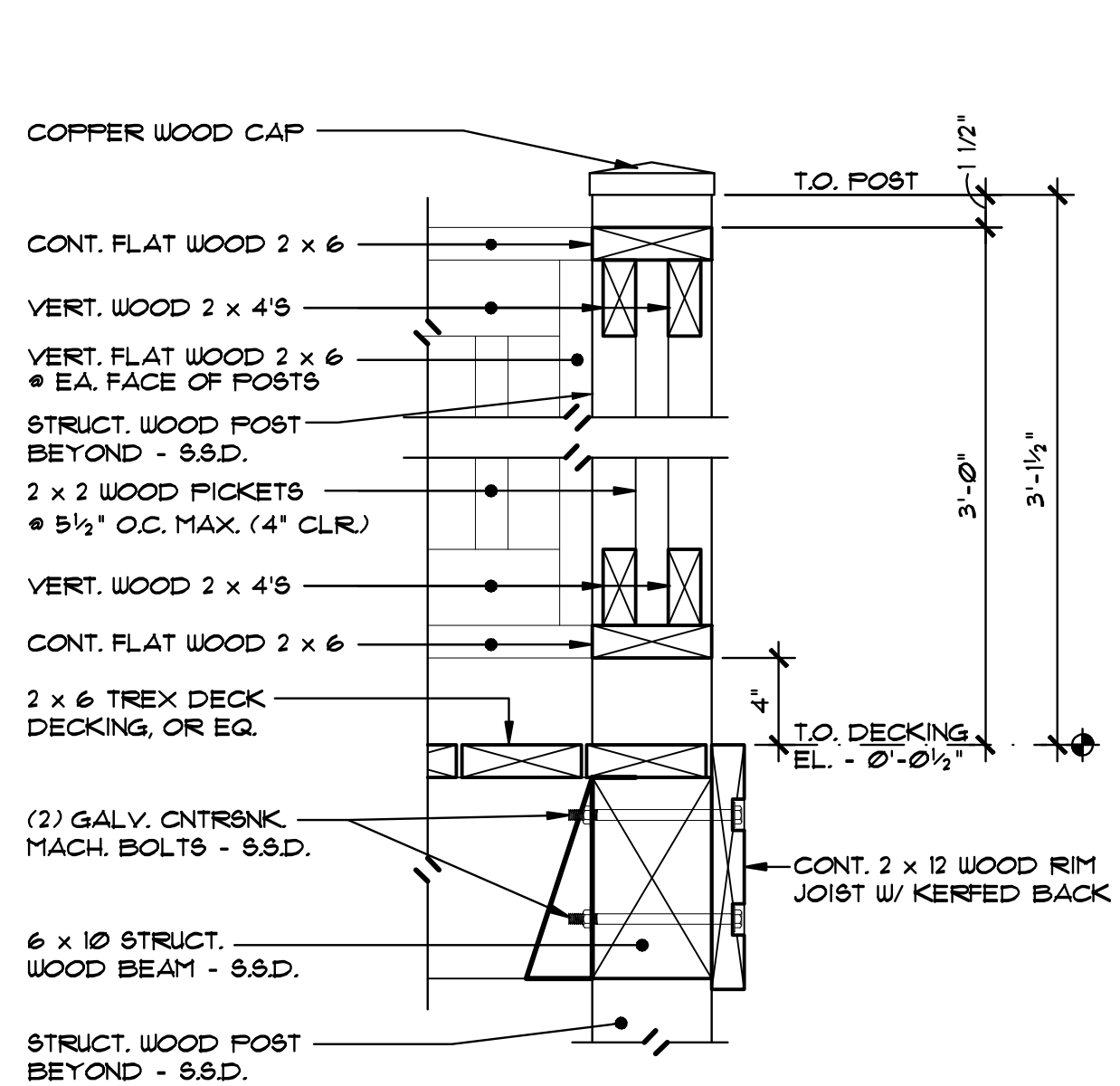
8 SIDING AT FLOOR JOISTS
 (A7.1) SCALE: 3" = 1'-0" 1307



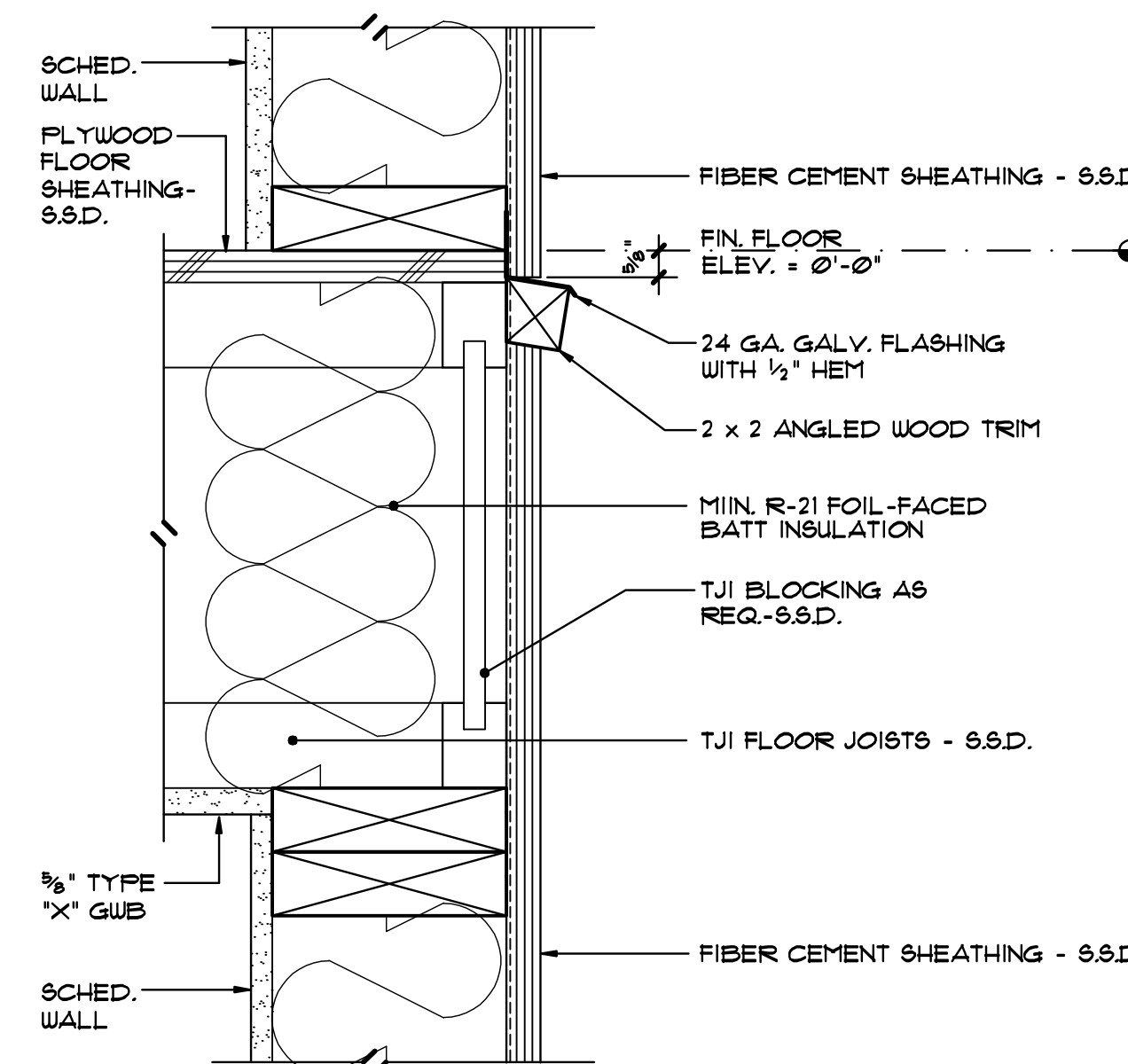
5 SILL AT VINYL WINDOW (SIDING)
 (A7.1) SCALE: 3" = 1'-0" 1304



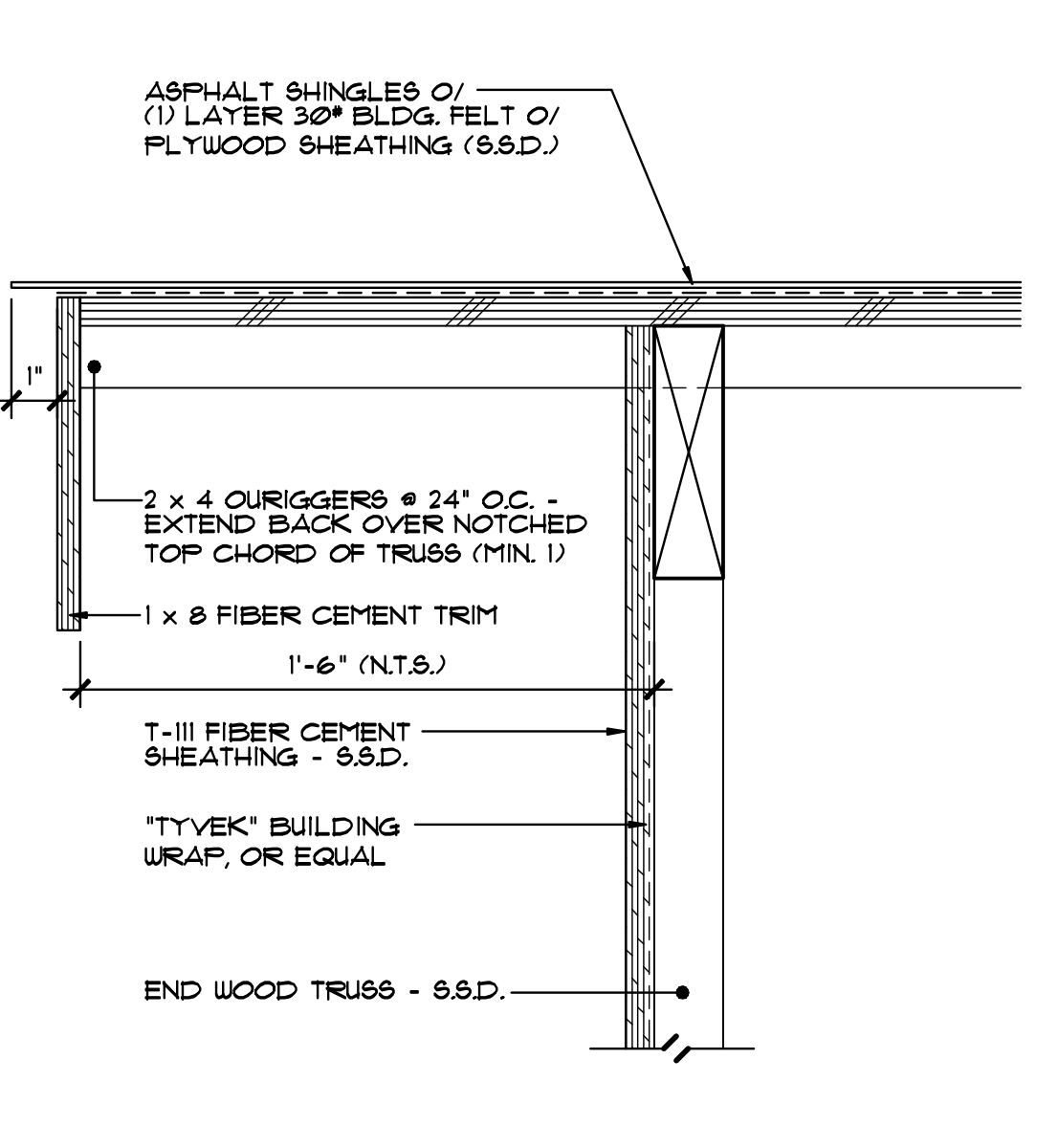
2 RIDGE VENT
 (A7.1) SCALE: 3" = 1'-0" 0602



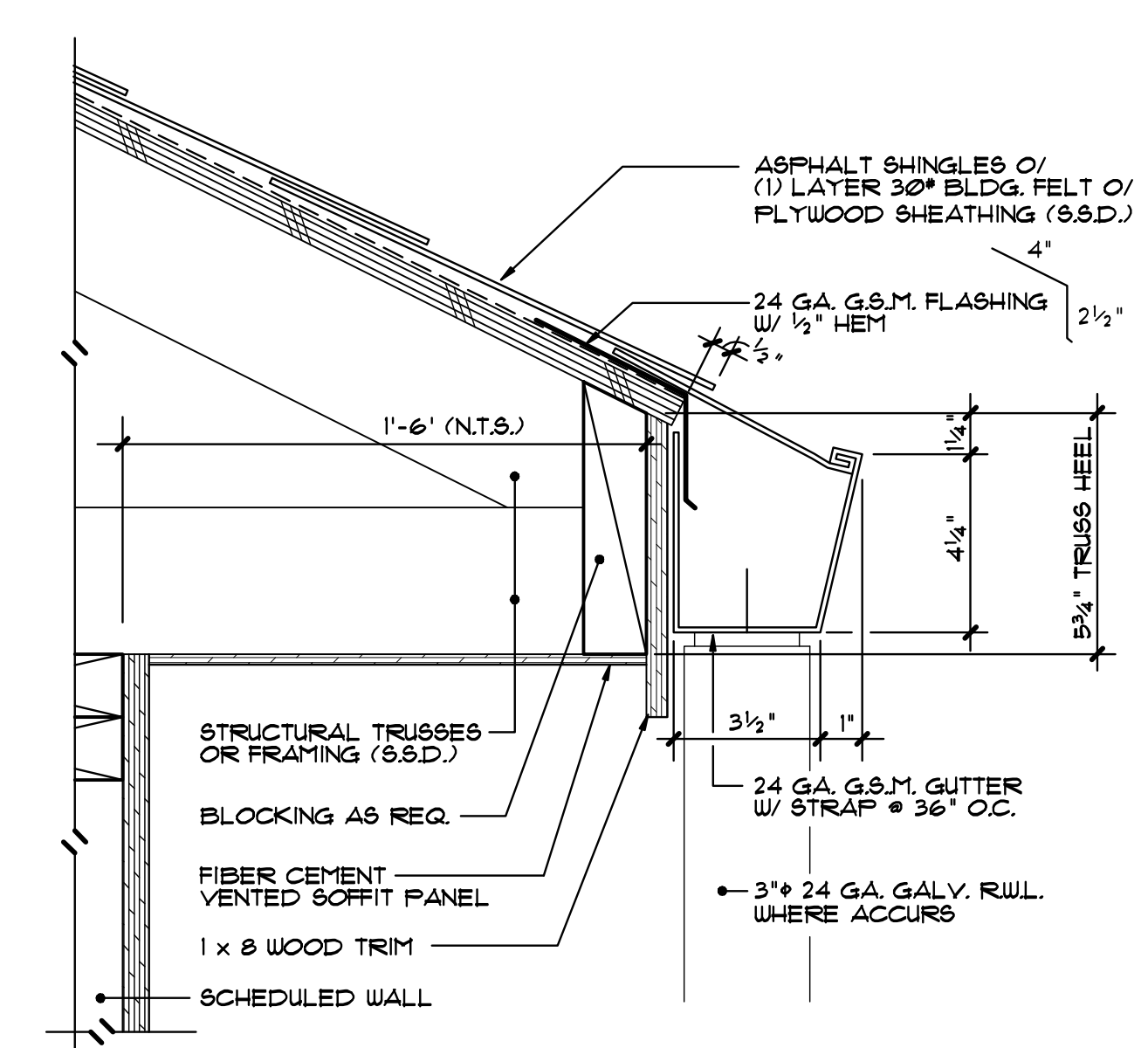
12 GUARDRAIL @ EXTERIOR DECK
 (A7.1) SCALE: 1 1/2" = 1'-0" 1007



9 SIDING AT FIRST LEVEL
 (A7.1) SCALE: 3" = 1'-0" 1306



6 TYPICAL TRIM AT RAKE
 (A7.1) SCALE: 3" = 1'-0" 1300



3 TYPICAL EAVE AND GUTTER
 (A7.1) SCALE: 3" = 1'-0" 1299

GIBSON RESIDENCE
 For: Nick Gibson
 43908 Drake Way Washoe Valley, Nevada 89704
 Assessor's Parcel Number: 060-435-11
 CONSULTANT

Design Significance Architecture
 21575 Sarcara Road • Reno, Nevada 89521
 Voice: 775.847.7215 • Fax: 775.847.7265 • Email: dra.architecture@gmail.com

SHEET TITLE	
DETAILS	
REVISIONS	
1	
2	
3	
STAMP	
DATE	May 23, 2014
JOB	1405
Sheet:	A7.1

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING		NOTES		
				NORTH		EAST		SOUTH		WEST		MATERIAL	FINISH			
				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH					
001	GARAGE		CS	-		MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	CEILING SHALL BE 5/8" TYPE "X" MR-G
101	LIVING ROOM	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
102	BEDROOM	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
103	CLOSET	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
104	MASTER BEDROOM	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
105	BATHROOM	V	R	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB	FE	MR-GUB	FE	-
106	HALL	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
107	CLOSET	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
108	HALL	C	R	GUB	FE	-	-	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
109	CLOSET	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
110	CLOSET	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
111	STORAGE	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
112	BATHROOM	V	R	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB / CT	FE	MR-GUB	FE	MR-GUB	FE	-
113	BEDROOM	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
114	CLOSET	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
115	PANTRY	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
116	DINING ROOM	V	R	GUB	FE	GUB	FE	GUB	FE	-	-	GUB	FE	GUB	FE	-
117	STAIR	WD	WD	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
118	LAUNDRY	V	R	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	MR-GUB	FE	-
119	CLOSET	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
120	KITCHEN	V	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-
121	HALL	C	R	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	GUB	FE	-

ABBREVIATIONS

C	CARPET
CB	CEMENT BACKER BOARD FOR CERAMIC TILE
CS	CONCRETE WITH SEALER
GUB	GYPSON WALL BOARD
MR-GUB	MOISTURE RESISTANT GYPSON WALL BOARD
FE	PAINT, ENAMEL
R	RESILIENT RUBBER
V	VINYL
WD	WOOD

GIBSON RESIDENCE

For: Nick Gibson

43908 Drake Way Washoe Valley, Nevada 89704
Assessor's Parcel Number: 060-435-11

PROFESSIONAL DESIGN, CONSTRUCTION AND INFORMATION COVERED ON THIS SHEET ARE THE PROPERTY OF DESIGN ARCHITECTURE AND SHALL NOT BE LOANED, REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN ARCHITECTURE. THIS AGREEMENT IS MADE A PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT AND SHALL BE ENFORCEABLE THEREUNDER. THE ARCHITECTURE SHALL BE THE PROPERTY OF DESIGN ARCHITECTURE. ANY USE OF PHOTOGRAPHS, DRAWINGS, OR CONSULTANTS, WITHOUT THE WRITTEN PERMISSION OF DESIGN ARCHITECTURE, IS STRICTLY PROHIBITED. DESIGN ARCHITECTURE, 1500 SOUTH MAIN STREET, SUITE 200, LAS VEGAS, NEVADA 89102

CONSULTANT

Design Significance Architecture



21575 Sazacac Road • Reno, Nevada 89521
Voice: 775.847.7225 • Fax: 775.847.7265 • Email: dna.architecture@gmail.com

SHEET TITLE

FINISH SCHEDULE

REVISIONS

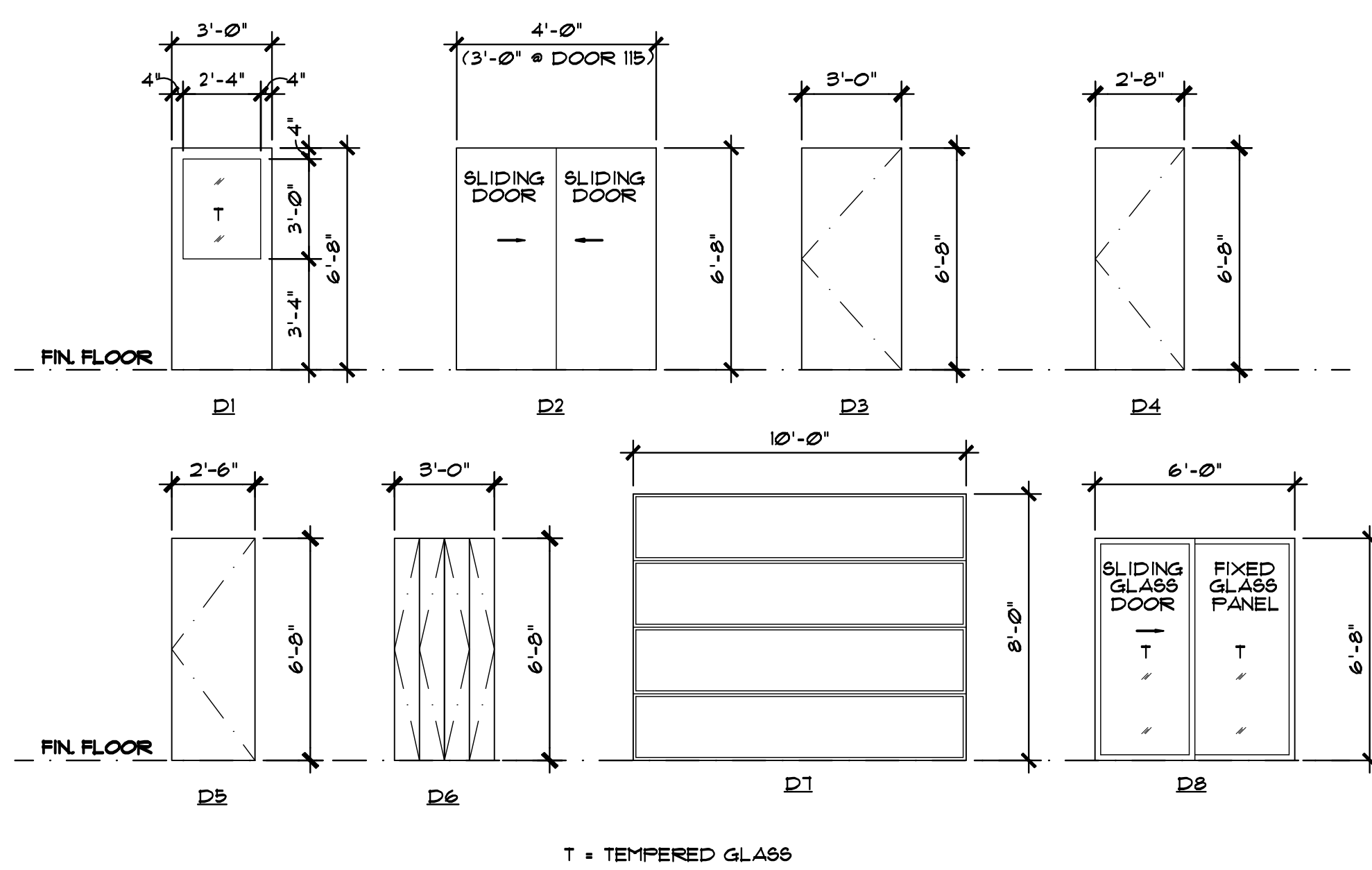
①	-
②	-
③	-

STAMP

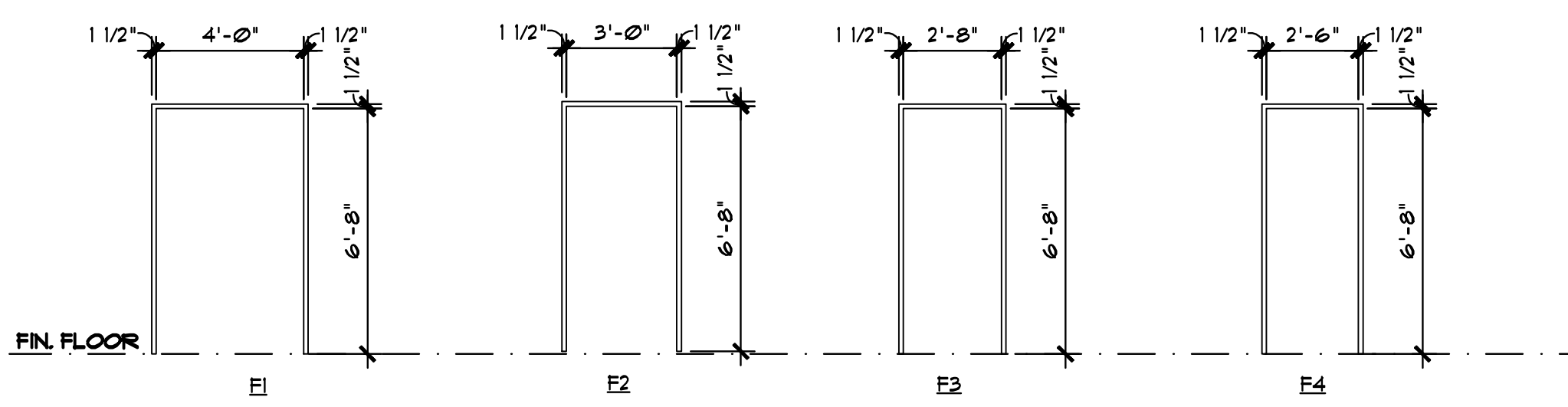
DATE
May 23, 2014
JOB
1405

Sheet:

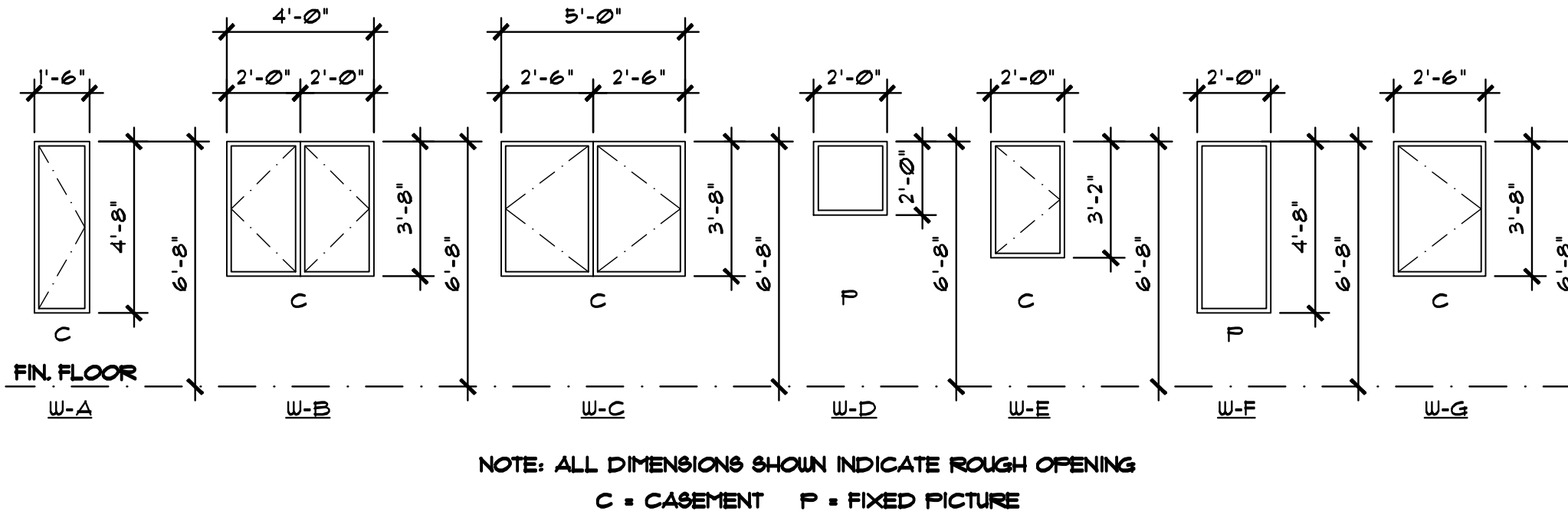
A5.2



3 DOOR ELEVATIONS
A5.1 SCALE: 1/4" = 1'-0"



2 FRAME ELEVATIONS
A5.1 SCALE: 1/4" = 1'-0"



1 WINDOW ELEVATIONS
A5.1 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

ROOM		DOOR					FRAME			DETAILS			FIRE	SIGNAGE	NOTES
ROOM NAME	ROOM NO.	NO.	ELEV.	TYPE	HDW.	FINISH	ELEV.	TYPE	FINISH	HEAD	JAMB	SILL	RATING		
GARAGE	001	001A	D4	SCW	-	FAPE	F3	WD	FAPE	-	-	-	60 MIN	-	-
GARAGE	001	001B	D3	MTL	-	FAPE	F2	WD	FAPE	-	-	-	-	-	-
GARAGE	001	001C	D1	MTL	-	FF	-	MTL	-	-	-	-	-	-	-
LIVING ROOM	101	101	D3	SCW	-	FAPE	F2	WD	FAPE	-	-	-	-	-	-
BEDROOM	102	102	D5	HCW	-	FAPE	F4	WD	FAPE	-	-	-	-	-	-
CLOSET	103	103	D2	HCW	-	FAPE	F1	WD	FAPE	-	-	-	-	-	-
MASTER BEDROOM	104	104A	D5	SCW / GL	-	FAPE / CLR	F2	WD	FAPE	-	-	-	-	-	-
MASTER BEDROOM	104	104B	D5	HCW	-	FAPE	F4	WD	FAPE	-	-	-	-	-	-
BATHROOM	105	105	D5	HCW	-	FAPE	F4	WD	FAPE	-	-	-	-	-	-
HALL	106	-	-	-	-	-	-	-	-	-	-	-	-	-	1
CLOSET	107	107	D2	HCW	-	FAPE	F1	WD	FAPE	-	-	-	-	-	-
HALL	108	-	-	-	-	-	-	-	-	-	-	-	-	-	1
CLOSET	109	109	D2	HCW	-	FAPE	F1	WD	FAPE	-	-	-	-	-	-
CLOSET	110	110	D2	HCW	-	FAPE	F1	WD	FAPE	-	-	-	-	-	-
STORAGE	111	-	-	-	-	-	-	-	-	-	-	-	-	-	1
MASTER BATHROOM	112	112	D5	HCW	-	FAPE	F4	WD	FAPE	-	-	-	-	-	-
BEDROOM	113	113	D5	HCW	-	FAPE	F4	WD	FAPE	-	-	-	-	-	-
CLOSET	114	114	D2	HCW	-	FAPE	F1	WD	FAPE	-	-	-	-	-	-
PANTRY	115	115	D2	HCW	-	FAPE	F2	WD	FAPE	-	-	-	-	-	2
DINING ROOM	116	116	D8	VINYL / GL	-	FF / CLR	-	VINYL	FF	-	-	-	-	-	-
STAIR	117	-	-	-	-	-	-	-	-	-	-	-	-	-	1
LAUNDRY	118	118	D4	HCW	-	FAPE	F3	WD	FAPE	-	-	-	-	-	-
CLOSET	119	119	D6	HCW	-	FAPE	F2	WD	FAPE	-	-	-	-	-	-
KITCHEN	120	-	-	-	-	-	-	-	-	-	-	-	-	-	1
HALL	121	-	-	-	-	-	-	-	-	-	-	-	-	-	1

ABBREVIATIONS

CLR	CLEAR	MTL	METAL
FAPE	FIELD APPLIED PAINT, ENAMEL	SCW	SOLID CORE WOOD
FF	FACTORY FINISH	WD	WOOD
GL	INSULATED DOUBLE GLAZING		
HCW	HOLLOW CORE WOOD		

NOTES

- NO DOOR IN THIS ROOM AND/OR SPACE
- POCKET DOORS AT PANTRY
-
-

WINDOW SCHEDULE

SASH				GLAZING			DETAILS			NOTES
TYPE	SIZE	MATERIAL	FINISH	TYPE	COVER	FINISH	HEAD	JAMB	SILL	
W-A	1'-5 1/2" x 4'-7 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-B	3'-11 1/2" x 3'-7 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-C	4'-11 1/2" x 3'-7 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-D	1'-11 1/2" x 1'-11 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J (SIM)	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-E	1'-11 1/2" x 3'-11 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-F	1'-11 1/2" x 4'-7 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J (SIM)	ALL SIZES SHOWN ARE EXACT WINDOW SIZE
W-G	2'-5 1/2" x 3'-7 1/2"	V	FF	INSUL	BO	CL	4/A1J	4/A1J	5/A1J	ALL SIZES SHOWN ARE EXACT WINDOW SIZE

SASH MATERIAL/FINISH

FF	FACTORY FINISH (ALMOND)
V	"PHILIPS" VINYL FRAMED WINDOWS, OR EQ.

GLAZING TYPES

CL	CLEAR
INSUL	1" INSULATED DOUBLE-GLAZED

GLAZING COVER

BO	BY OWNER
DD	DARKENING DRAPES
MB	MINI BLINDS

GIBSON RESIDENCE
For: Nick Gibson
4390B Drake Way Washoe Valley, Nevada 89704
Assessor's Parcel Number: 060-435-11

Design Significance Architecture
21575 Sarcare Road • Reno, Nevada 89521
Voice: 775.847.7215 • Fax: 775.847.7265 • Email: dra.architecture@gmail.com

PROFESSIONAL DESIGN, THE DRAWINGS, SPECIFICATIONS, AND INFORMATION CONTAINED ON THIS SHEET ARE THE PROPERTY OF DESIGNER. NO PART OF THIS SHEET IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DESIGNER. DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

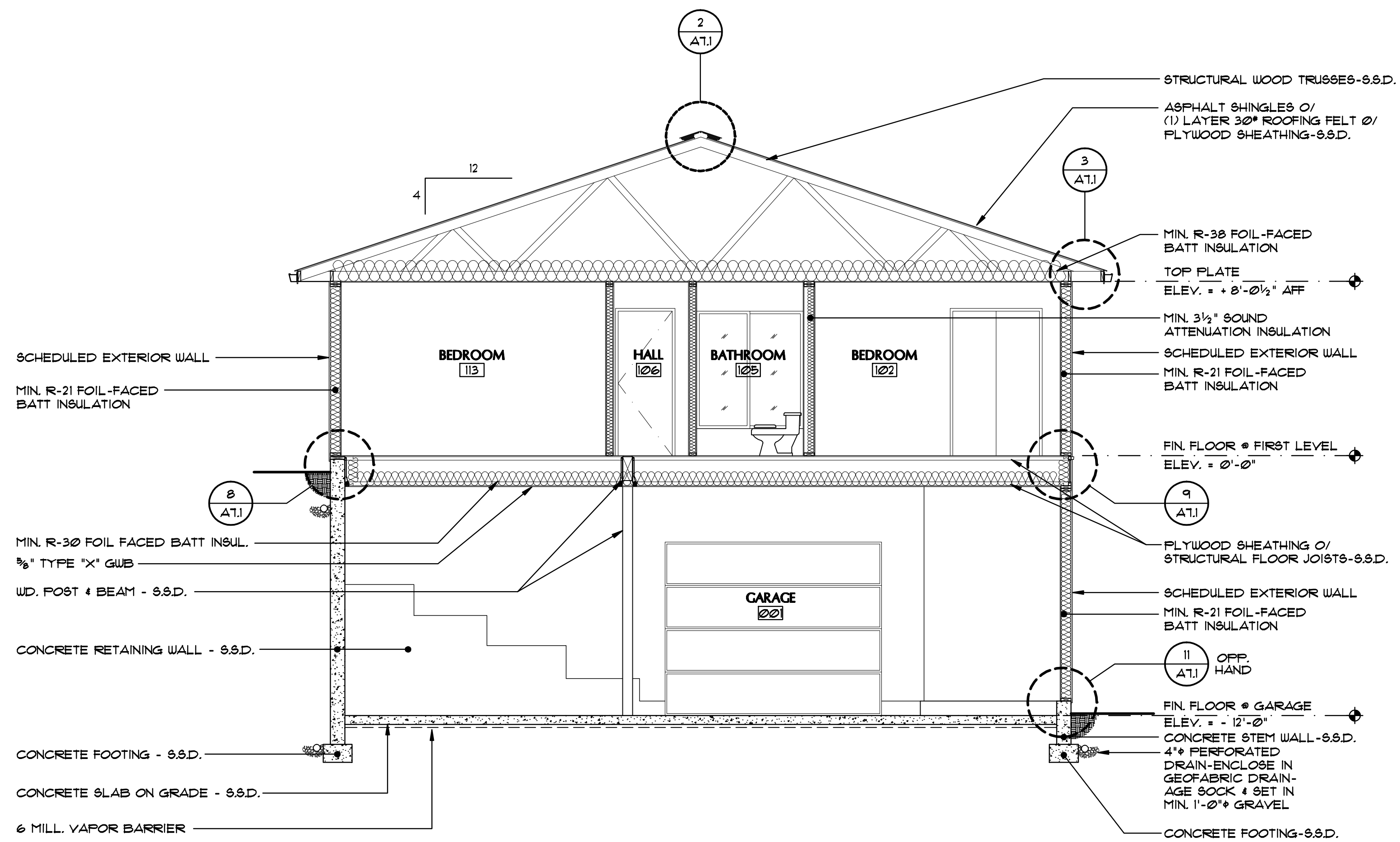
CONSULTANT

SHEET TITLE
DOOR & WINDOW SCHEDULES

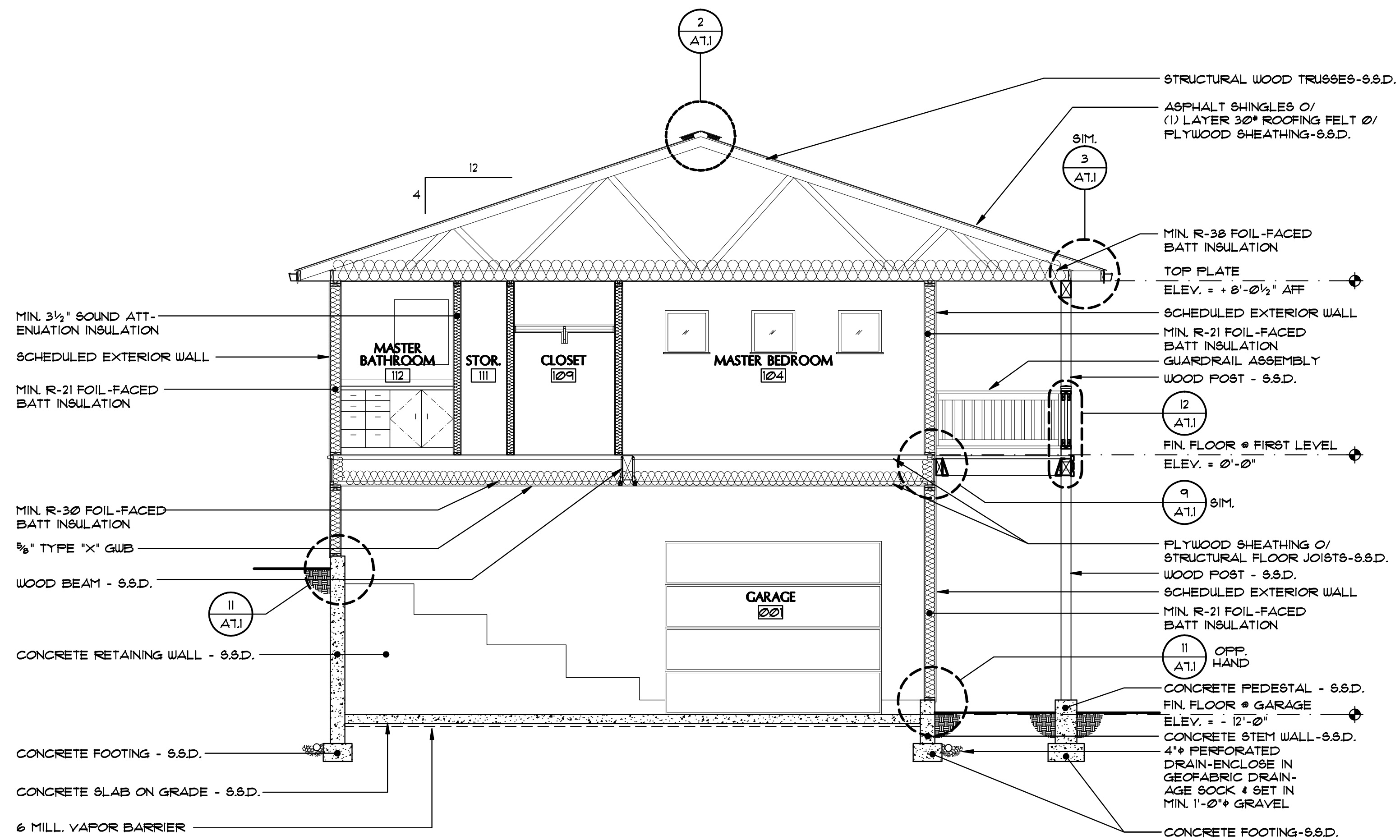
REVISIONS
APRIL 10, 2006

STAMP

DATE: May 23, 2014
JOB: 1405
Sheet: **A5.1**



1 BUILDING SECTION
A3.1 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
A3.1 SCALE: 1/4" = 1'-0"

GIBSON RESIDENCE

For: Nick Gibson

43908 Drake Way Washoe Valley, Nevada 89704

Assessor's Parcel Number: 060-435-11

CONSULTANT

Design Significance Architecture



91375 Sazacac Road • Reno, Nevada 89521
Voice: 775.847.7315 • Fax: 775.847.7265 • Email: dra.architecture@gmail.com

SHEET TITLE

BUILDING SECTIONS

REVISIONS

APRIL 10, 2006

STAMP

DATE

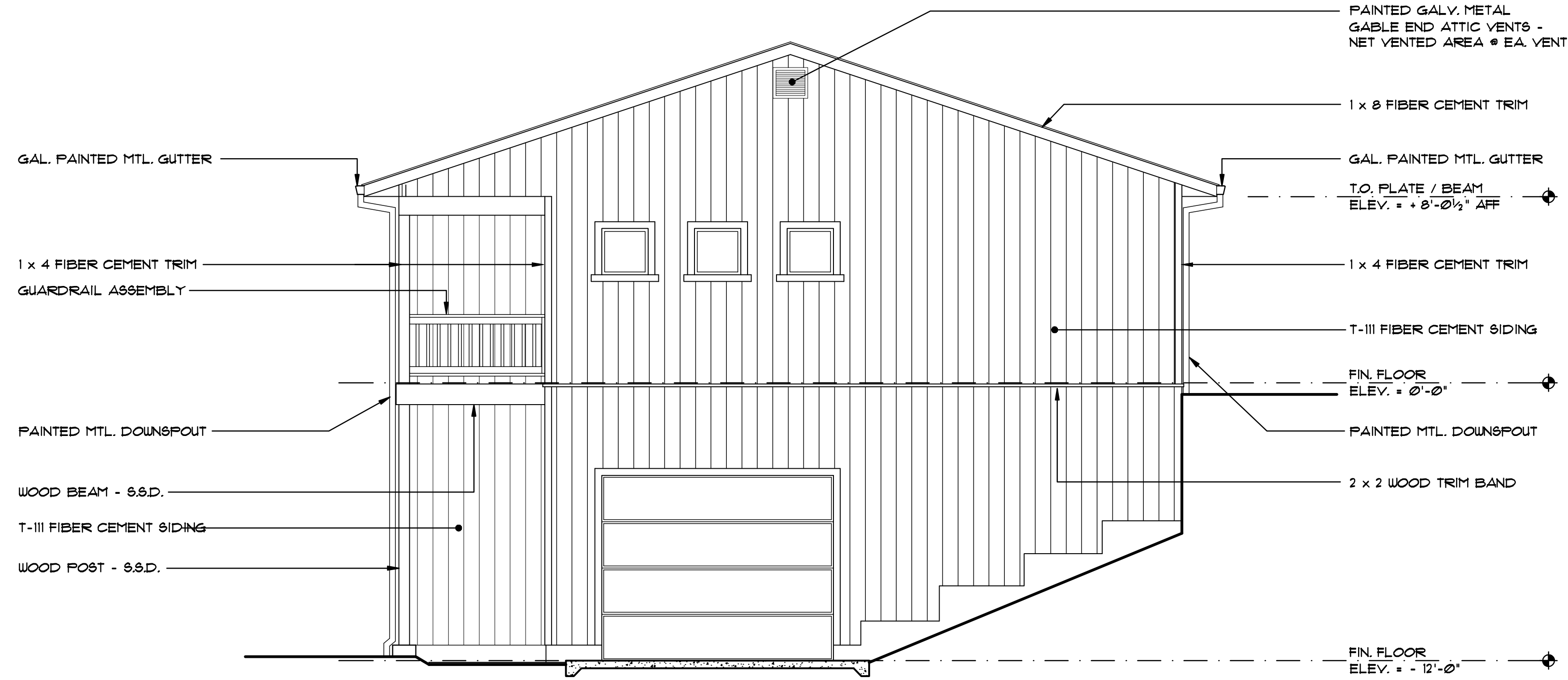
May 23, 2014

JOB

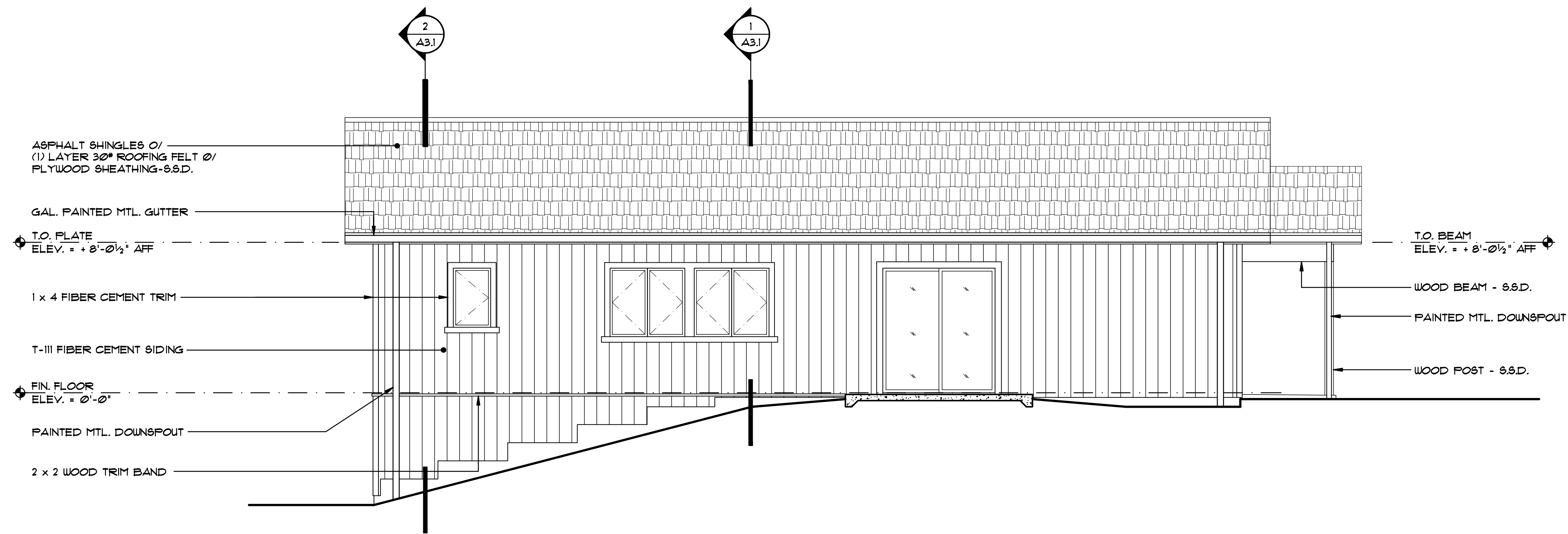
1405

Sheet:

A3.1



1 SOUTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

GIBSON RESIDENCE
For: Nick Gibson

43908 Drake Way Washoe Valley, Nevada 89704
Assessors Parcel Number: 060-435-11

PROFESSIONAL ARCHITECTS, ENGINEERS AND CONTRACTORS ARE ADVISED THAT THIS DOCUMENT IS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE. THE ARCHITECTURE SHALL BE THE PROPERTY OF DESIGN SIGNIFICANCE ARCHITECTURE. ANY USE OF PHOTOGRAPHS, DRAWINGS OR OTHER MATERIALS HEREIN SHALL BE THE PROPERTY OF DESIGN SIGNIFICANCE ARCHITECTURE. COPYRIGHT © 2014 DESIGN SIGNIFICANCE ARCHITECTURE, INC.

CONSULTANT

Design Significance Architecture



21375 Sarcara Road • Reno, Nevada 89521
Voice: 775.847.7315 • Fax: 775.847.7365 • Email: dra.architecture@gmail.com

SHEET TITLE

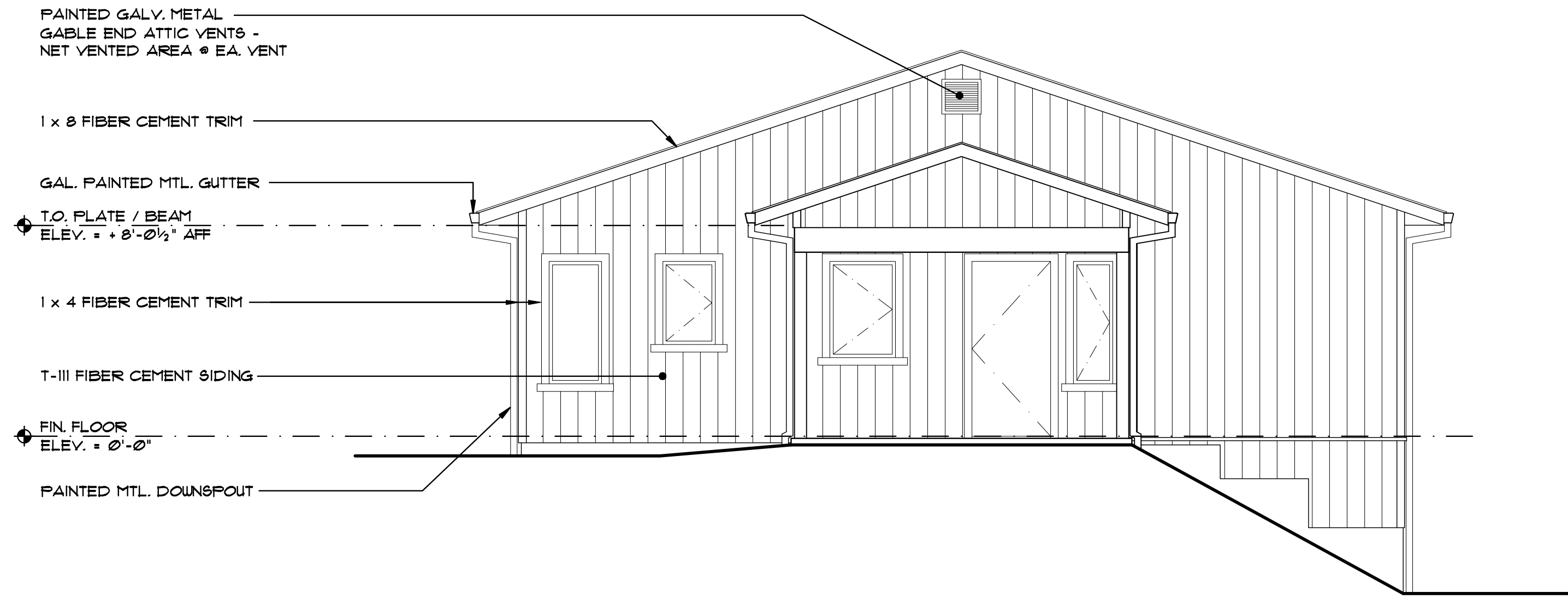
BUILDING ELEVATIONS

REVISIONS	
1	-
2	-
3	-

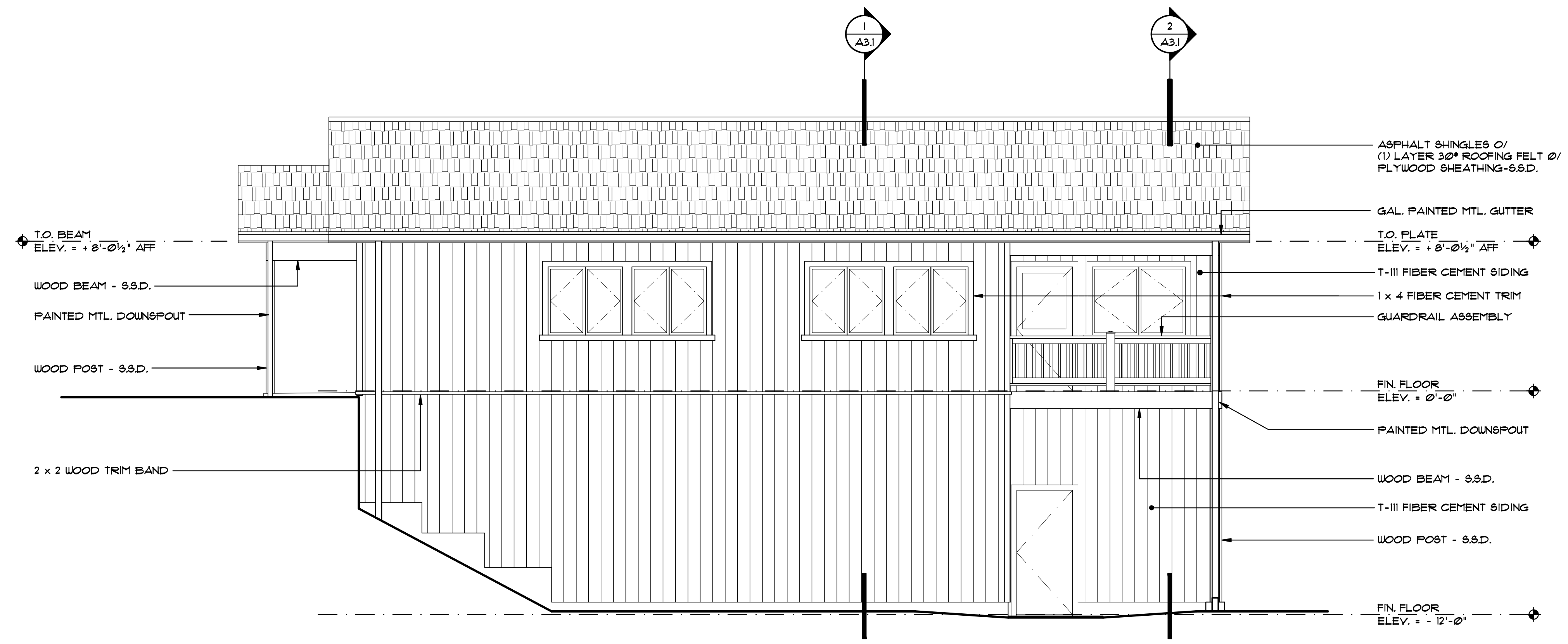
STAMP

DATE
May 23, 2014
JOB
1405

Sheet: **A2.2**



1 NORTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

GIBSON RESIDENCE

For: Nick Gibson

43808 Drake Way Washoe Valley, Nevada 89704
Assessor's Parcel Number: 060-435-11

PROFESSIONAL ARCHITECTS, ENGINEERS AND CONTRACTORS ARE ADVISED THAT THIS DRAWING IS THE PROPERTY OF DESIGN SIGNIFICANCE ARCHITECTURE AND SHALL NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE. THIS DRAWING IS A REPRESENTATION OF THE DESIGN AND SHALL NOT BE USED FOR CONSTRUCTION OF ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE. THE ARCHITECTURE SHALL BE THE PROPERTY OF DESIGN SIGNIFICANCE ARCHITECTURE. ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE IS STRICTLY PROHIBITED. © 2014 DESIGN SIGNIFICANCE ARCHITECTURE, INC.

CONSULTANT

Design Significance Architecture



21375 Saxeacac Road • Reno, Nevada 89521
Voice: 775.847.7315 • Fax: 775.847.7365 • Email: dra.architecture@gmail.com

SHEET TITLE
BUILDING ELEVATIONS

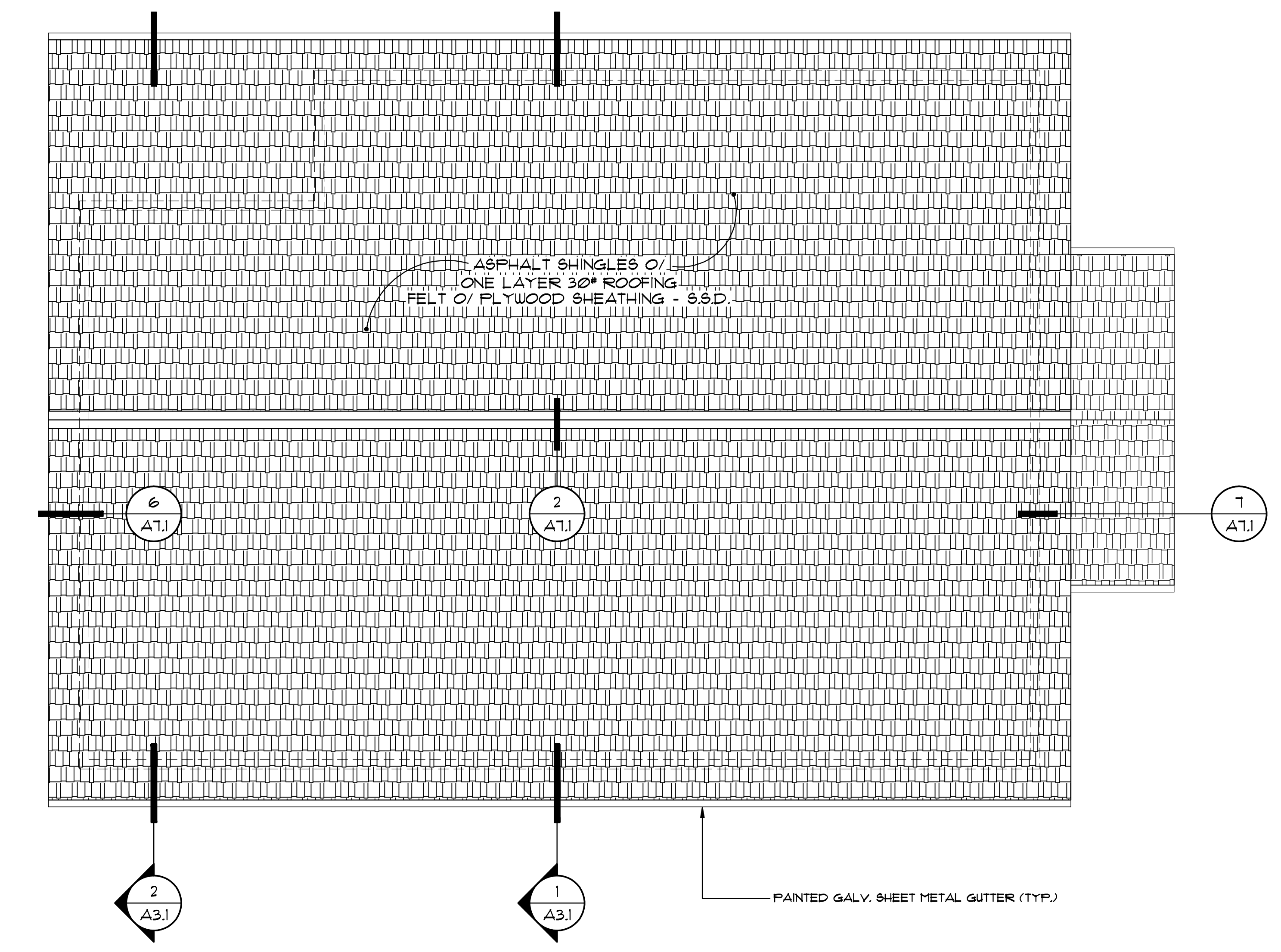
REVISIONS

1	-
2	-
3	-

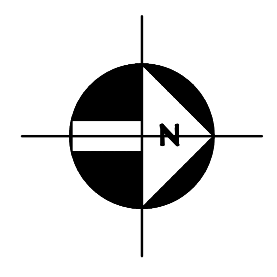
STAMP

DATE
May 23, 2014
JOB
1405

Sheet:
A2.1



1 ROOF PLAN
A1.5
SCALE: 1/4" = 1'-0"



GIBSON RESIDENCE
For: Nick Gibson
43908 Drake Way Washoe Valley, Nevada 89704
Assessors Parcel Number: 060-435-11

CONSULTANT

Design Significance Architecture



91375 Saxeacac Road • Reno, Nevada 89521
Voice: 775.847.7335 • Fax: 775.847.7365 • Email: d.s.a.architecture@gmail.com

SHEET TITLE

ROOF PLAN

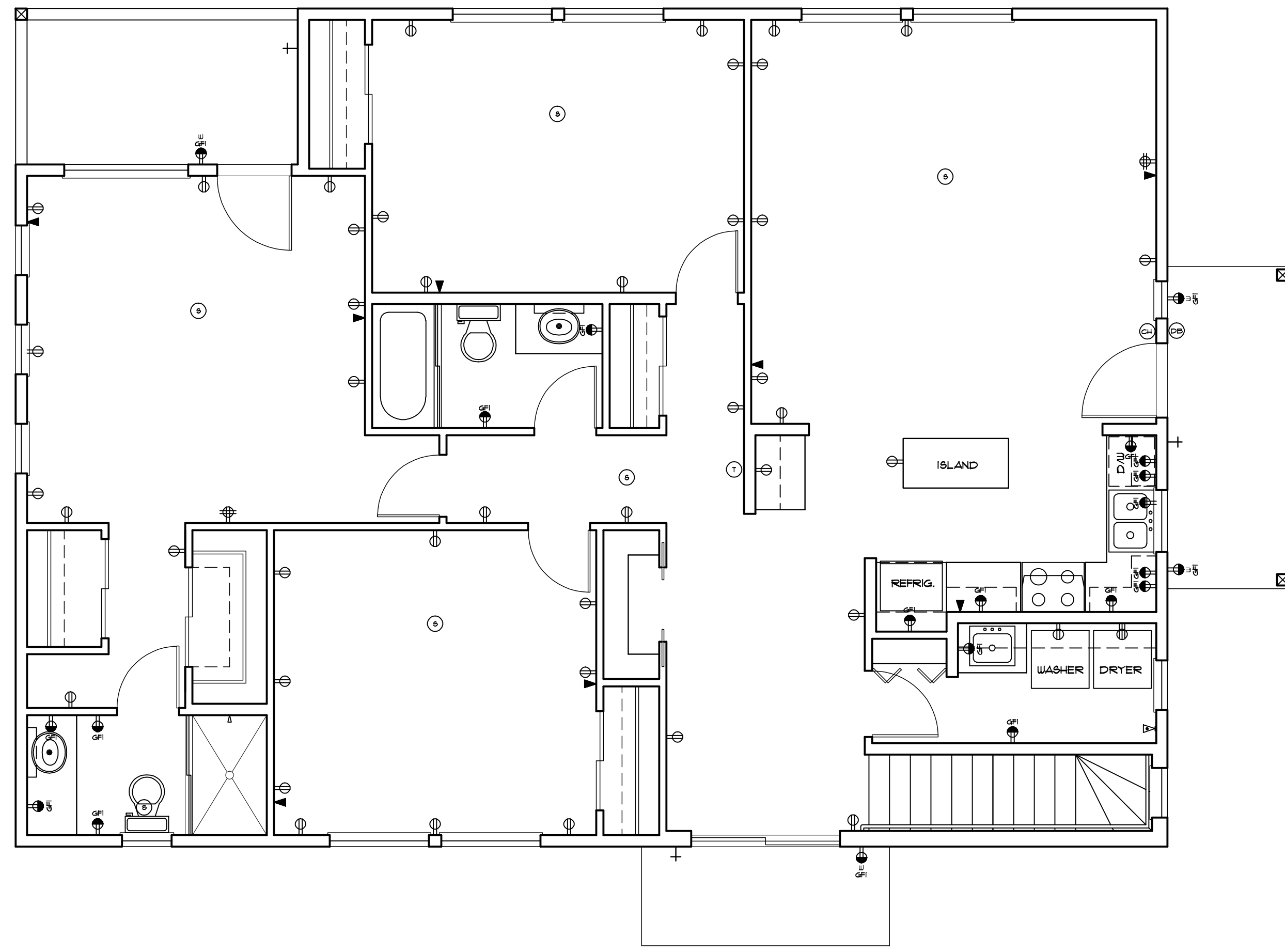
REVISIONS	
1	-
2	-
3	-

STAMP

DATE
May 23, 2014
JOB
1405

Sheet:
A1.5

PROFESSIONAL DESIGN, THE EXERCISE OF PROFESSIONAL SKILLS AND KNOWLEDGE IN THE DESIGN OF BUILDINGS OR STRUCTURES, OR THE PREPARATION OF PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, OR REPORTS FOR SUCH DESIGN OR CONSTRUCTION, OR THE SUPERVISION OF SUCH CONSTRUCTION, OR THE PERFORMANCE OF SUCH SERVICES, SHALL BE LIMITED TO THE PROFESSIONAL REGISTERED ARCHITECTURE, ENGINEERING, OR SURVEYING BOARD OF THE STATE OF NEVADA. THIS DOCUMENT IS NOT VALID WITHOUT THE FULL SIGNATURE AND EXPLICIT CREDENTIALS OF A REGISTERED ARCHITECTURE, ENGINEERING, OR SURVEYING PROFESSIONAL. ANY USE OF THIS DOCUMENT FOR ANY OTHER PROJECT OR IN ANY OTHER MANNER IS STRICTLY PROHIBITED. THE ARCHITECTURE, ENGINEERING, OR SURVEYING PROFESSIONAL ASSOCIATION OF NEVADA, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DOCUMENT.

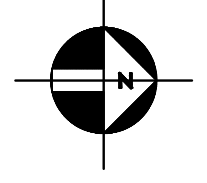


POWER SYMBOLS

- ⊕ EXTERIOR DUPLEX AT WET LOCATION:
20A, 125V, NEMA 5-20, 18" AFF
- ⊖ DUPLEX: 20A, 125V, NEMA 5-20, 18" AFF
- ⊕⊖ DOUBLE DUPLEX: 20A, 125V, NEMA 5-20, 18" AFF
- ⊕⊖⊕ DUPLEX GFCI: 20A, 125V, GFCI, NEMA 5-20 GFR, 18" AFF
- ⊕⊖⊕ SPECIAL RECEPTACLE - AS INDICATED ON PLANS, 18" AFF
- ⊕⊖⊕ DOOR BELL: 48 BOX WITH SINGLE GANG MUD RING,
+48" TO TOP, UCN
- ⊕⊖⊕ DOOR BELL CHIME: 48 BOX WITH SINGLE GANG MUD RING,
-6" BELOW CEILING, UCN
- ⊕ THERMOSTAT: +54" TO TOP, UCN
- ⊕ LOCAL-ONLY SMOKE DETECTOR: 120V, INTEGRAL BATTERY,
ALARM HORN, SURFACE MOUNTED
- ⊕ DUPLEX AT FLOOR: 20A, 125V, NEMA 5-20, MAKE TOP
FLUSH WITH FLOOR SURFACE, USE BRASS COVER PLATE
- ◀ TELEPHONE: 48 BOX WITH SINGLE GANG MUD RING, 18" AFF
- ☒ TELEPHONE: 48 BOX WITH SINGLE GANG MUD RING,
WALL MOUNT +54" AFF
- ◇ SATELLITE CONNECTION: VERIFY TYPE OF CABLE WITH
SATELLITE COMPANY, 18" AFF

NOTE: OUTLETS AT ALL COUNTERTOPS SHOULD BE MOUNTED • +48" AFF
NOTE: OUTLETS AT ALL BEDROOMS SHALL HAVE AFCI PROTECTION

1 FIRST LEVEL POWER PLAN
A1.4 SCALE: 1/4" = 1'-0"



GIBSON RESIDENCE
For: Nick Gibson
43908 Drake Way Washoe Valley, Nevada 89704
Assessor's Parcel Number: 060-435-11

CONSULTANT

Design Significance Architecture



21575 Sarcare Road • Reno, Nevada 89521
Voice: 775.847.7335 • Fax: 775.847.7365 • Email: dja.architecture@gmail.com

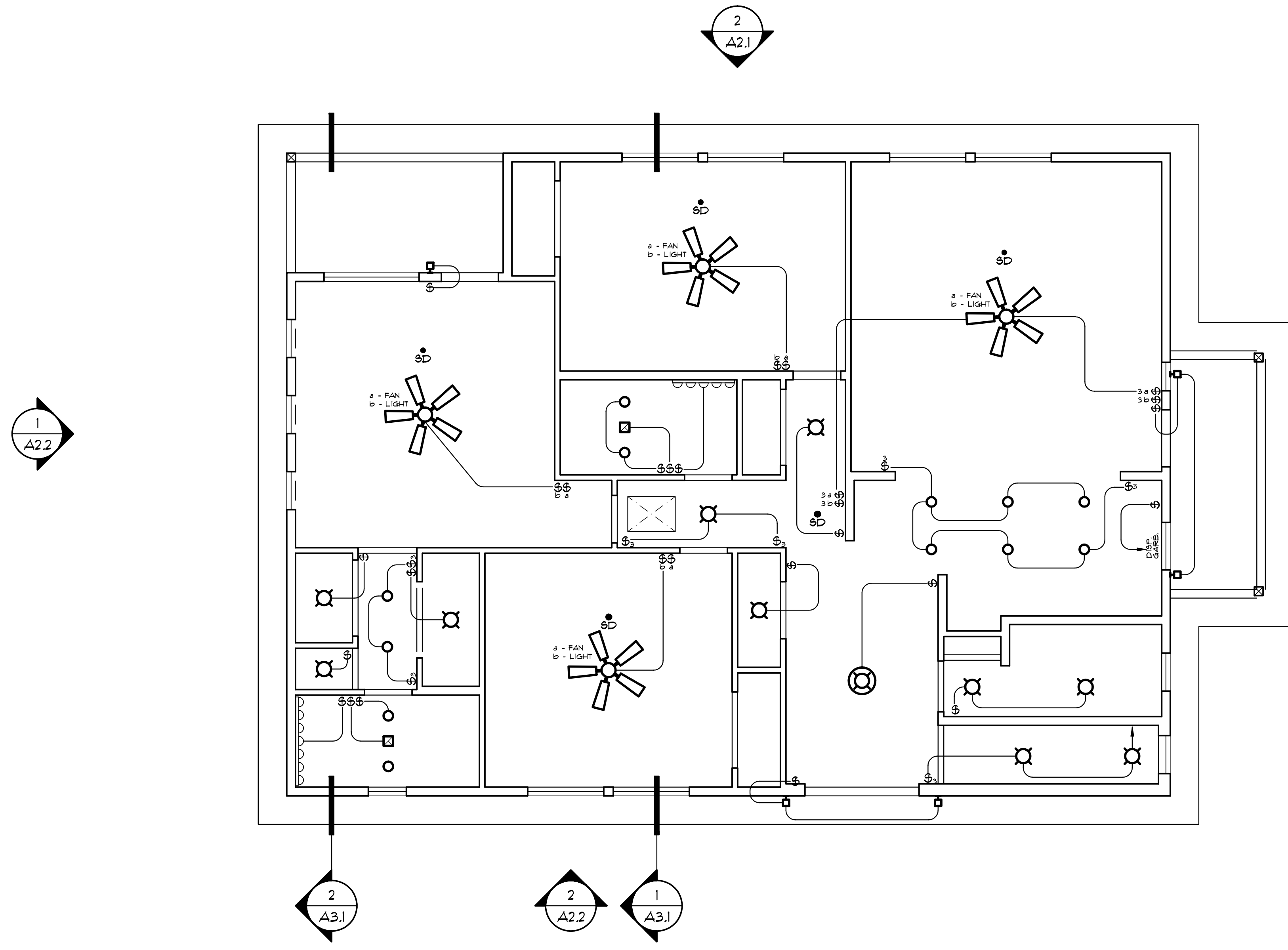
SHEET TITLE
**FIRST LEVEL
POWER PLAN**

REVISIONS	
1	-
2	-
3	-

STAMP

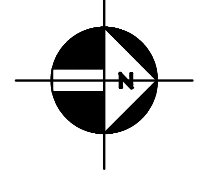
DATE
May 23, 2014
JOB
1405

Sheet:
A1.4



- LIGHTING SYMBOLS**
- ⌘ SINGLE LIGHT SWITCH • 4'-0" TO TOP, AFF
 - ⌘₃ THREE WAY LIGHT SWITCH • 4'-0" TO TOP, AFF
 - ⌘₃ THREE WAY LIGHT SWITCH FOR FAN • 4'-0" TO TOP, AFF
 - ⌘₃ THREE WAY LIGHT SWITCH FOR LIGHT • 4'-0" TO TOP, AFF
 - ☐ RECESSED EXHAUST FAN

1 FIRST LEVEL LIGHTING PLAN
A1.3 SCALE: 1/4" = 1'-0"



GIBSON RESIDENCE
 For: Nick Gibson
 43908 Drake Way Washoe Valley, Nevada 89704
 Assessor's Parcel Number: 050-435-11

PROFESSIONAL DESIGN, THE DRAWINGS, SPECIFICATIONS, AND INFORMATION CONTAINED ON THESE SHEETS ARE THE PROPERTY OF DESIGN SIGNIFICANCE ARCHITECTURE. ANY REUSE OR REPRODUCTION OF THESE SHEETS WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE IS STRICTLY PROHIBITED. ANY REUSE OR REPRODUCTION OF THESE SHEETS WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE IS STRICTLY PROHIBITED. ANY REUSE OR REPRODUCTION OF THESE SHEETS WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE IS STRICTLY PROHIBITED. ANY REUSE OR REPRODUCTION OF THESE SHEETS WITHOUT THE WRITTEN PERMISSION OF DESIGN SIGNIFICANCE ARCHITECTURE IS STRICTLY PROHIBITED.

CONSULTANT

Design Significance Architecture

21375 Sarcare Road • Reno, Nevada 89521
 Voice: 775.847.7315 • Fax: 775.847.7365 • Email: dra.architecture@gmail.com

SHEET TITLE
FIRST LEVEL LIGHTING PLAN

REVISIONS	
1	-
2	-
3	-

STAMP

DATE
 May 23, 2014
 JOB
 1405

Sheet:
A1.3



REVISIONS	
△	-
△	-
△	-

STAMP

DATE
 May 23, 2014
 JOB
 1405

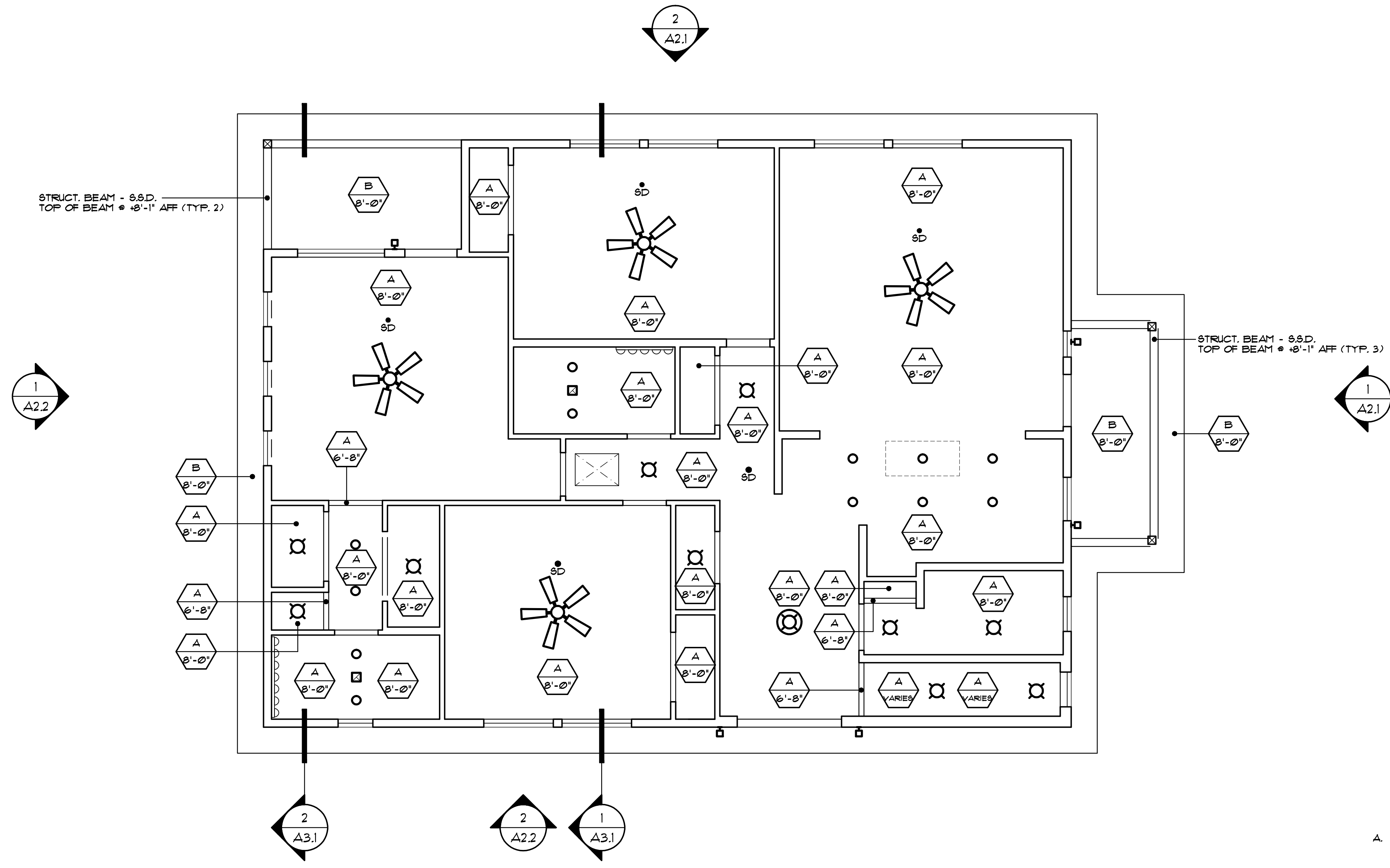
Sheet:
A1.2

SYMBOLS

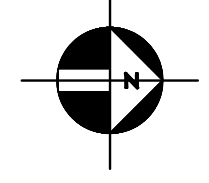
- SD ELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP
- INCANDESCENT RECESSED LIGHT FIXTURE
- ◉ INCANDESCENT RECESSED WATER RESISTANT FIXTURE
- INCANDESCENT RECESSED WATER RESISTANT HEAT LAMP
- FLUORESCENT SURFACE MOUNTED LIGHT FIXTURE
- ⊗ FLUORESCENT PENDANT MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED BAR WITH FLUORESCENT LIGHTS - CENTER OVER VANITY COUNTERTOP BELOW
- WALL MOUNTED FLUORESCENT LIGHT- MOUNT TOP @ 1'-4" ABOVE FIN. FLOOR
- ⊠ RECESSED EXHAUST FAN
- ⊙ SURFACE MOUNTED FAN (TYP. U.O.N.) WITH FLUORESCENT LIGHT KIT
- ⊠ 23½" x 30" ATTIC ACCESS HATCH - SEE DETAIL 10/A1.1 - CENTER AT CEILING AREA
- △ INDICATES CEILING TYPE
- 8'-0" INDICATES CEILING HEIGHT

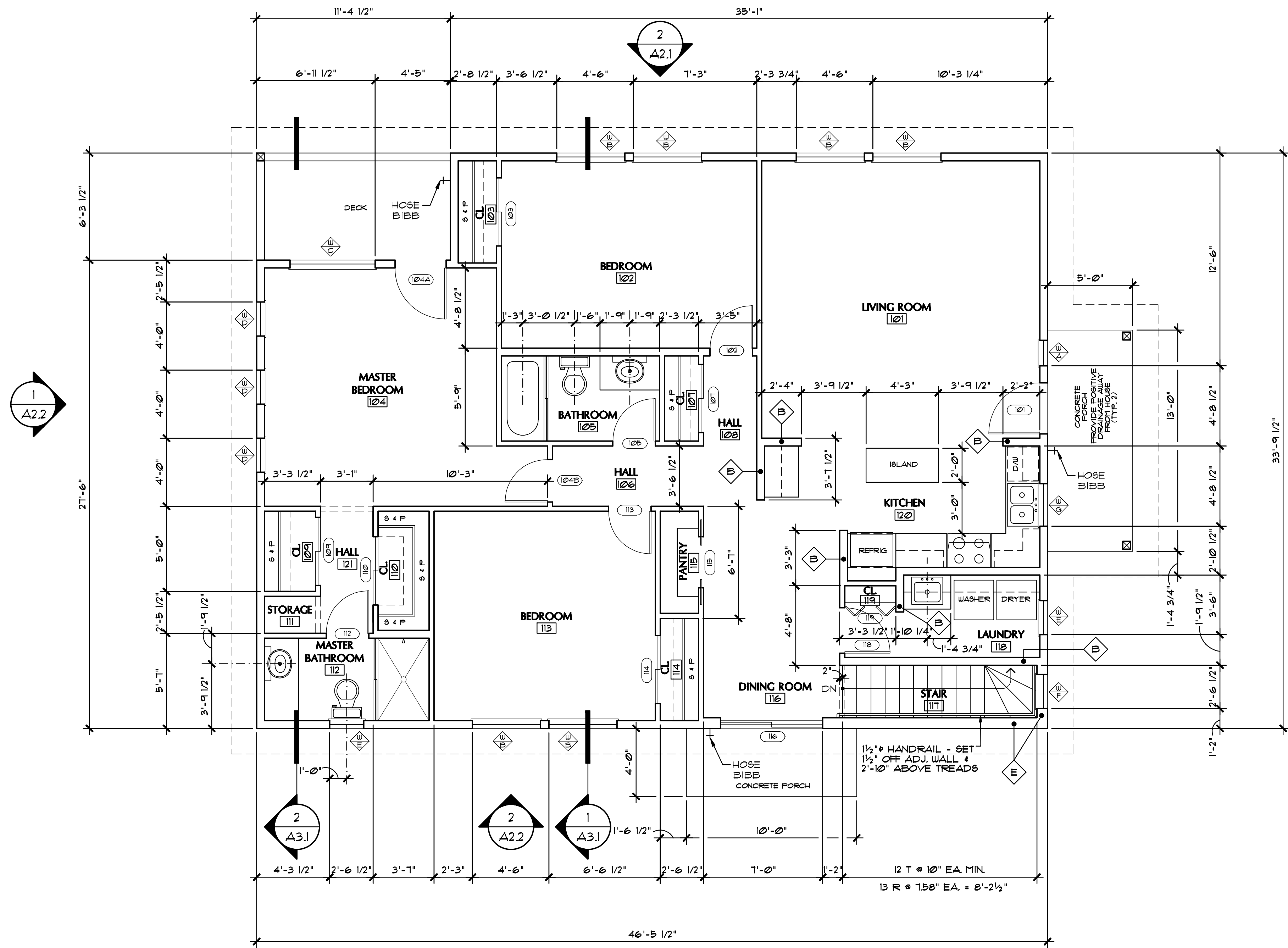
CEILING LEGEND

- A. GIBB ON WOOD STUD FRAMING-2 x 6 WOOD STUDS AT 16" O.C. OR GIBB ON BOTTOM CHORD OF WOOD TRUSSES
- B. PAINTED FIBER CEMENT VENTED SOFFIT BOARD ON BOTTOM CHORD OF TRUSSES



1 FIRST LEVEL REFLECTED CEILING PLAN
 A1.2 SCALE: 1/4" = 1'-0"

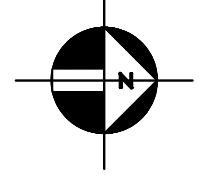




NOTE: ALL DIMENSIONS AT PLUMBING FIXTURES ARE FROM FACE OF FINISH
 NOTE: GLASS DOORS AND/OR PANELS AT SHOWERS MUST BE TEMPERED GLASS

1 FIRST LEVEL FLOOR PLAN
 A1.1 SCALE: 1/4" = 1'-0"

1498 S. F.



INTERIOR WALL TYPES

- A** TYPICAL 2 x 4 INT. SOUND WALL
 - 1/2" GUB EA. SIDE OF WALL FRAMING
 - 2 x 4 WOOD STUDS @ 16" O.C.
 - MIN. 3 1/2" SOUND ATTENUATION INSULATION
- B** TYPICAL 2 x 6 INT. SOUND WALL
 - 1/2" GUB EA. SIDE OF WALL FRAMING
 - 2 x 6 WOOD STUDS @ 16" O.C.
 - MIN. 3 1/2" SOUND ATTENUATION INSULATION
- C** TYPICAL 2 x 6 INS. WALL
 - 1/2" GUB EA. SIDE OF WALL FRAMING
 - 2 x 6 WOOD STUDS @ 16" O.C.
 - MIN. R-19 FOIL-FACED BATT INSULATION

EXTERIOR WALL TYPES

- D** TYPICAL 2 x 6 EXT. WALL
 - 1/2" GUB
 - 2 x 6 WOOD STUDS @ 16" O.C.
 - MIN. R-21 FOIL-FACED BATT INSULATION
 - "TYVEK" PLASTIC BUILDING WRAP, OR EQ.
 - T-III FIBER CEMENT SIDING
- E** TYPICAL 2 x 8 EXT. WALL
 - 1/2" GUB
 - 2 x 6 WOOD STUDS @ 16" O.C.
 - MIN. R-21 FOIL-FACED BATT INSULATION
 - 3/4" PLYWOOD SHEATHING
 - "TYVEK" PLASTIC BUILDING WRAP, OR EQ.
 - T-III FIBER CEMENT SIDING

NOTE: ALL INTERIOR PARTITIONS ARE TYPE 'A' UNLESS OTHERWISE NOTED
 NOTE: ALL EXTERIOR WALLS ARE TYPE 'D' UNLESS OTHERWISE NOTED
 NOTE: ALL INTERIOR GUBS AT BATHROOMS SHALL BE MOISTURE RESISTANT
 NOTE: SEE STRUCTURAL DRAWINGS FOR LOCATION OF ALL SHEAR WALLS
 NOTE: ALL INTERIOR PLUMBING WALLS ARE TYPE 'B' UNLESS OTHERWISE NOTED
 NOTE: SEE DETAIL 1471 FOR TYPICAL BLOCKING AT WOOD STUD WALLS

GIBSON RESIDENCE
 For: Nick Gibson
 43908 Drake Way Washoe Valley, Nevada 89704
 Assessor's Parcel Number: 060-435-11
 CONSULTANT

Design Significance Architecture

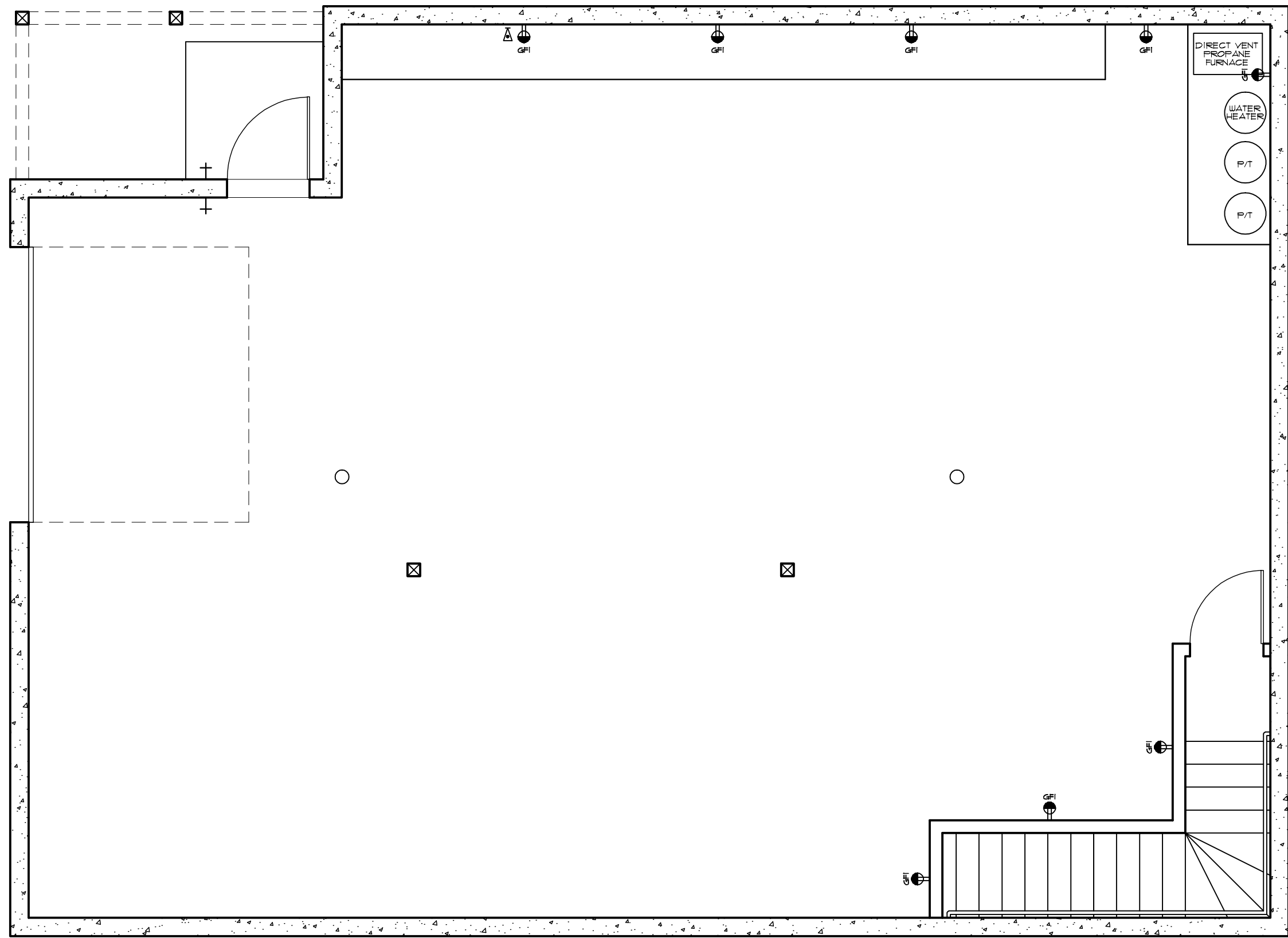
21375 Sarcare Road • Reno, Nevada 89521
 Voice: 775.847.7315 • Fax: 775.847.7365 • Email: dra.architecture@gmail.com

SHEET TITLE
FIRST LEVEL FLOOR PLAN

REVISIONS	
1	-
2	-
3	-

STAMP

DATE: May 23, 2014
 JOB: 1405
 Sheet: **A1.1**



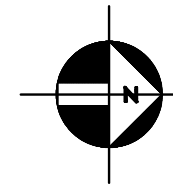
POWER SYMBOLS

- ⊕ EXTERIOR DUPLEX AT UET LOCATION:
20A, 125V, NEMA 5-20, +18" AFF
- ⊖ DUPLEX: 20A, 125V, NEMA 5-20, +18" AFF
- ⊕⊖ DOUBLE DUPLEX: 20A, 125V, NEMA 5-20, +18" AFF
- ⊕⊖⊕ DUPLEX GFCI: 20A, 125V, GFCI, NEMA 5-20 GFR, +18" AFF
- ⊖⊕ SPECIAL RECEPTACLE - AS INDICATED ON PLANS, +18" AFF
- ⊖⊕ DOOR BELL: 48 BOX WITH SINGLE GANG MUD RING,
+48" TO TOP, UON
- ⊖⊕ DOOR BELL CHIME: 48 BOX WITH SINGLE GANG MUD RING,
-6" BELOW CEILING, UON
- ⊖⊕ THERMOSTAT: +54" TO TOP, UON
- ⊖⊕ LOCAL-ONLY SMOKE DETECTOR: 120V, INTEGRAL BATTERY,
ALARM HORN, SURFACE MOUNTED
- ⊖⊕ DUPLEX AT FLOOR: 20A, 125V, NEMA 5-20, MAKE TOP
FLUSH WITH FLOOR SURFACE, USE BRASS COVER PLATE
- ◀ TELEPHONE: 48 BOX WITH SINGLE GANG MUD RING, +18" AFF
- ◀ TELEPHONE: 48 BOX WITH SINGLE GANG MUD RING,
WALL MOUNT +54" AFF
- ◇ SATELLITE CONNECTION: VERIFY TYPE OF CABLE WITH
SATELLITE COMPANY, +18" AFF

NOTE: OUTLETS AT ALL COUNTERTOPS SHOULD BE MOUNTED +48" AFF

NOTE: OUTLETS AT ALL BEDROOMS SHALL HAVE AFCI PROTECTION

1 GARAGE LEVEL POWER PLAN
A0.4 SCALE: 1/4" = 1'-0"



GIBSON RESIDENCE
For: Nick Gibson
43808 Drake Way, Washoe Valley, Nevada 89704
Assessor's Parcel Number: 080-438-11

CONSULTANT

Design Significance Architecture



21575 Sazaree Road • Reno, Nevada 89521
Voice: 775.847.7255 • Fax: 775.847.7265 • Email: dna.architecture@gmail.com

SHEET TITLE
**GARAGE LEVEL
POWER PLAN**

REVISIONS

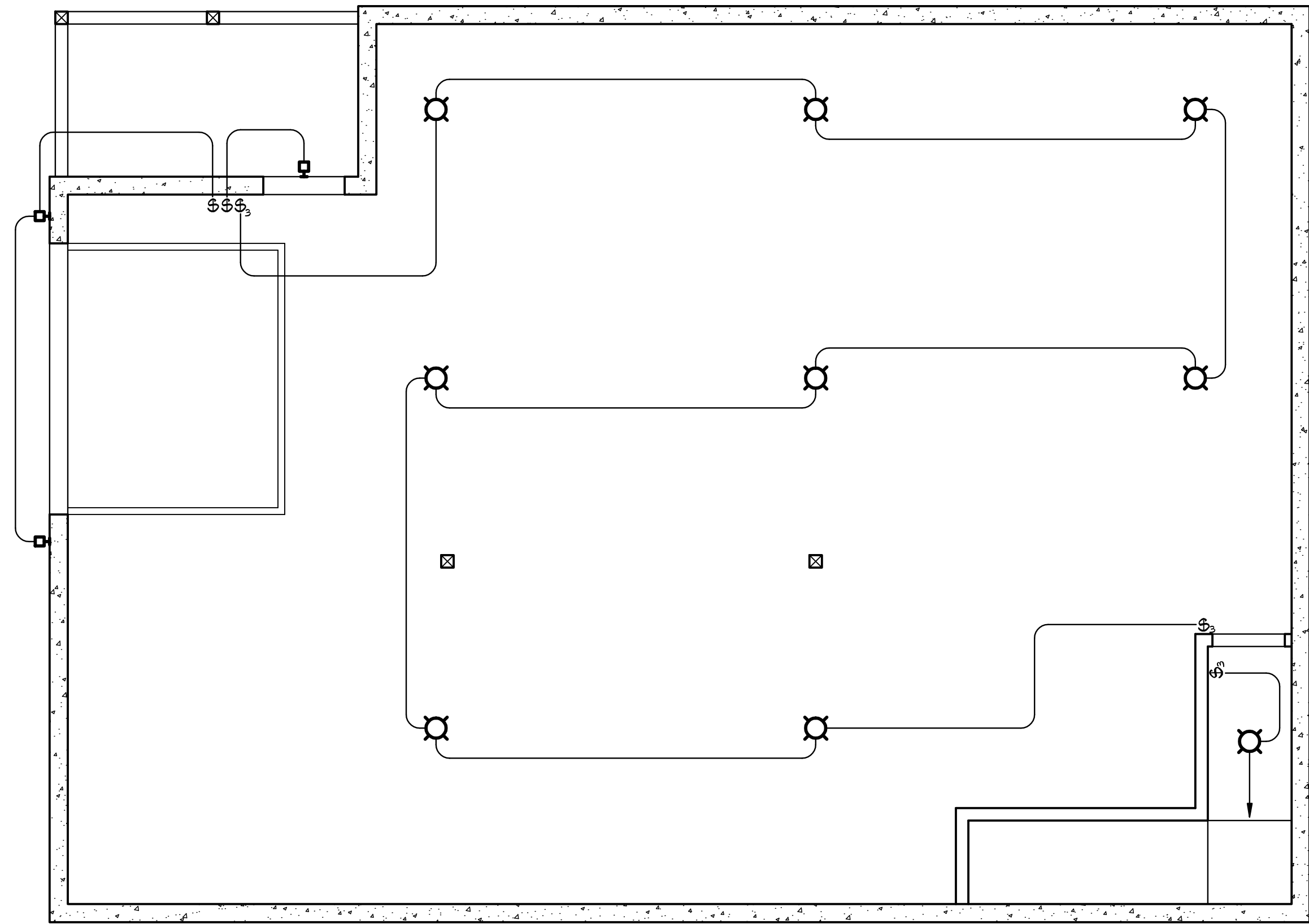
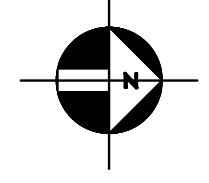
NO.	DESCRIPTION

STAMP

DATE
May 23, 2014
JOB
1405

Sheet:
A0.4

1 GARAGE LEVEL LIGHTING PLAN
A0.3 SCALE: 1/4" = 1'-0"



LIGHTING SYMBOLS

- Ⓢ SINGLE LIGHT SWITCH • 4'-0" TO TOP, AFF
- Ⓢ₃ THREE WAY LIGHT SWITCH • 4'-0" TO TOP, AFF
- Ⓢ₃ THREE WAY LIGHT SWITCH FOR FAN • 4'-0" TO TOP, AFF
- Ⓢ₂ THREE WAY LIGHT SWITCH FOR LIGHT • 4'-0" TO TOP, AFF
- ☒ RECESSED EXHAUST FAN

GIBSON RESIDENCE
For: Nick Gibson
 4308 Drake Way, Washoe Valley, Nevada 89704
 Assessor's Parcel Number: 060-435-11

CONSULTANT

Design Significance Architecture



21575 Sazaree Road • Reno, Nevada 89521
 Voice: 775.847.7235 • Fax: 775.847.7265 • Email: dna.architecture@gmail.com

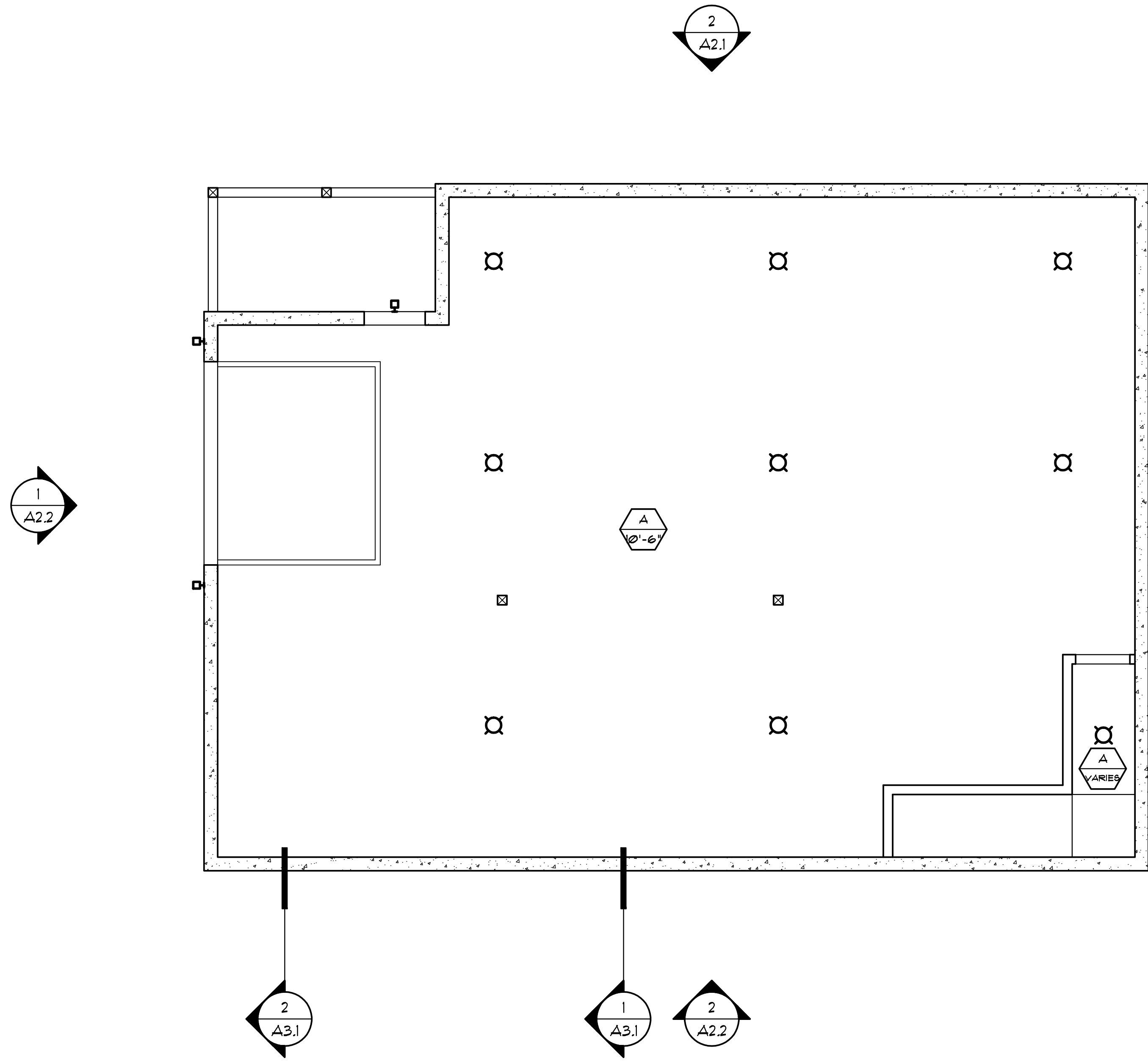
SHEET TITLE
GARAGE LEVEL LIGHTING PLAN

REVISIONS

▲	_____
▲	_____
▲	_____

STAMP

DATE
 May 23, 2014
 JOB
 1405
 Sheet:
A0.3



SYMBOLS

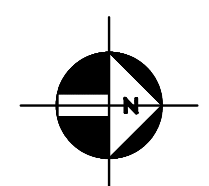
- SD ELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP
- INCANDESCENT RECESSED LIGHT FIXTURE
- ⊗ INCANDESCENT RECESSED WATER RESISTANT FIXTURE
- INCANDESCENT RECESSED WATER RESISTANT HEAT LAMP
- ⊘ FLUORESCENT SURFACE MOUNTED LIGHT FIXTURE
- ⊙ FLUORESCENT PENDANT MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED BAR WITH FLUORESCENT LIGHTS - CENTER OVER VANITY COUNTERTOP BELOW
- WALL MOUNTED FLUORESCENT LIGHT - MOUNT TOP • • 1'-4" ABOVE FIN. FLOOR
- ⊞ RECESSED EXHAUST FAN
- ⊞ SURFACE MOUNTED FAN (TYP. U.O.N.) WITH FLUORESCENT LIGHT KIT
- ⊞ 23 1/2" x 30" ATTIC ACCESS HATCH - SEE DETAIL 10/A1.1 - CENTER AT CEILING AREA

- ⬡ A — INDICATES CEILING TYPE
- ⬡ 8'-0" — INDICATES CEILING HEIGHT

CEILING LEGEND

- A. GWB ON WOOD STUD FRAMING-2 x 6 WOOD STUDS AT 16" O.C. OR GWB ON BOTTOM CHORD OF WOOD TRUSS
- B. PAINTED FIBER CEMENT VENTED SOFFIT BOARD ON BOTTOM CHORD OF TRUSS

1 GARAGE LEVEL REFLECTED CEILING PLAN
A0.2 SCALE: 1/4" = 1'-0"



GIBSON RESIDENCE
 For: Nick Gibson
 43008 Drake Way, Washoe Valley, Nevada 89704
 Assessor Parcel Number: 080-435-11

CONSULTANT

Design Significance Architecture

21575 Sazaree Road • Reno, Nevada 89521
 Voice: 775.847.7255 • Fax: 775.847.7265 • Email: dna.architecture@gmail.com

SHEET TITLE
GARAGE LEVEL REFLECTED CEILING PLAN

REVISIONS	
△	_____
△	_____
△	_____

STAMP

DATE: May 23, 2014
 JOB: 1405
 Sheet: **A0.2**

