Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information	**Staff Assigned Case No.:**
Project Name:	CareMeridian - Reno; Thomas Creek
Project Description:	Construct an approx 20,000 square feet single story skilled nursing facility
Project Address:	19940 Thomas Creek Road, Reno, NV
Project Area (acres or square feet):	2.96 Acres
Project Location (with point of reference to major cross streets **AND** area locator):	SE Corner of Thomas Creek and Lake Placid

Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
150-012-04	.95	150-012-06	1.54
150-012-05	.47		

Section(s)/Township/Range:

Indicate any previous Washoe County approvals associated with this application:

Case No.(s). AP14-005

Applicant Information (attach additional sheets if necessary)

Property Owner:	**Professional Consultant:**
Name: CM Thomas Creek Partners, LP	Name: Devenney Group Ltd.
Address: 5910 N Central Expressway	Address: 201 West Indian School Rd
#1000, Dallas, TX Zip: 75206	Phoenix, AZ Zip: 85013
Phone: 480-286-5550 Fax: 602-314-5504	Phone: 602-343-4092 Fax: 602-943-7645
Email: ku@healthcappartners.com	Email: srasmussen@devenneygroup.com
Cell: Other:	Cell: 602-206-6062 Other:
Contact Person: Keith Underwood	Contact Person: Scott Rasmussen
Applicant/Developer:	**Other Persons to be Contacted:**
Name: HealthCap Partners	Name:
Address: 5910 N Central Expressway	Address:
#1000, Dallas, TX Zip: 75206	Zip:
Phone: 214-953-1722 Fax: 214-953-0278	Phone: Fax:
Email: ku@healthcappartners.com	Email:
Cell: 480-286-5550 Other:	Cell: Other:
Contact Person: Keith Underwood	Contact Person:

For Office Use Only

Date Received: Initial:	Planning Area:
County Commission District:	Master Plan Designation(s):
CAB(s):	Regulatory Zoning(s):

Property Owner Affidavit

Applicant Name: CM Thomas Creek Partners, LP

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Chrisman S. Jackson,
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 150-012-04, 150-012-05, 150-012-06

Printed Name Chrisman S. Jackson

Signed

Address 5910 N. Central Expy., Ste. 1000

Dallas, TX 75206

Subscribed and sworn to before me this 18th day of September, 2015.

Notary Public in and for said county and state

My commission expires June 24, 2018

(Notary Stamp)

PHYLLIS TOLAND
Notary Public, State of Texas
My Commission Expires
June 24, 2018

*Owner refers to the following: (Please mark appropriate box.)

- ☐ Owner
- ☒ Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- ☐ Power of Attorney (Provide copy of Power of Attorney.)
- ☐ Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- ☐ Property Agent (Provide copy of record document indicating authority to sign.)
- ☐ Letter from Government Agency with Stewardship

Board of Adjustment Action Order

Administrative Permit Number AP14-005

Decision:	Approved with Conditions
Decision Date:	December 4, 2014
Mailing/Filing Date:	December 10, 2014
Applicant:	HealthCap Partners Attn: Keith Underwood 5910 N. Central Expressway, Ste. 1000 Dallas, TX 75206
Property Owner:	Western Alliance Bancorp Attn: Anne Marie Berg 2700 West Sahara Blvd. Las Vegas, NV 89102
Assigned Planner:	Roger Pelham, MPA, Senior Planner Washoe County Community Services Department Planning and Development Division
Phone:	775.328.3622
E-Mail:	rpelham@washoecounty.us

Project Description: – To construct and operate a 36 room inpatient medical facility (Convalescent Services), as approved in Attachment A, for patients that have been released from a hospital and require skilled nursing care and long term therapy after an injury. Care Meridian in not a nursing home or a traditional convalescent home.

- Applicant: HealthCap Partners
- Property Owner: Western Alliance Bancorp
- Location: 19900, 19936 and 19940 Thomas Creek Road
- Assessor's Parcel Numbers: 150-012-04,150-012-05 and 150-012-06
- Parcel Size: ±2.96 acres
- Master Plan Category: Commercial (C)
- Regulatory Zone: General Commercial (GC)
- Area Plan: Southwest Truckee Meadows
- Citizen Advisory Board: South Truckee Meadows/Washoe Valley
- Development Code: Authorized in Article 808, Administrative Permits
- Commission District: 2 – Commissioner Humke
- Section/Township/Range: Section 25, T18N, R19E, MDM, Washoe County, NV

Notice is hereby given that the Washoe County Board of Adjustment granted approval with conditions of the above referenced case number based on the findings in accordance with Washoe County Development Code Article 808. If no appeals have been filed within 15 days after the date of decision, the approval by the Washoe County Board of Adjustment is final. If filed, an appeal

stays any further action on the permit until final resolution of the appeal. If the end of the appeal period falls on a non-business day, the appeal period shall be extended to include the next business day. An appeal shall be filed in accordance with the Washoe County Development Code Section in Article 808.

The action was based on the following finding in accordance with Washoe County Development Code Section 110.808.25.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

3. Site Suitability. That the site is physically suitable for the Convalescent Services use, and for the intensity of such a development;

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation;

6. SW.2.14. The Community Character as described in the Southwest Truckee Meadows Area Plan character statement can be adequately conserved through mitigation of any identified potential negative impacts.

This Action Order of approval is granted subject to the attached conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within 7 days of receipt of this Order to review the steps necessary to satisfy the Conditions of Approval. A business license, certificate of occupancy or final approval shall not be issued until all of the Conditions of Approval (attached) are satisfied. Additionally, compliance shall be required with all federal, state and local statutes, ordinances and regulations applicable to the approved project.

This Action Order does not authorize grading or building without issuance of the necessary permits from Washoe County Building and Safety.

Washoe County
Planning and Development

William Whitney
Secretary to the Board of Adjustment

WW/RP/df

Attachments: Attachment A
Conditions of Approval

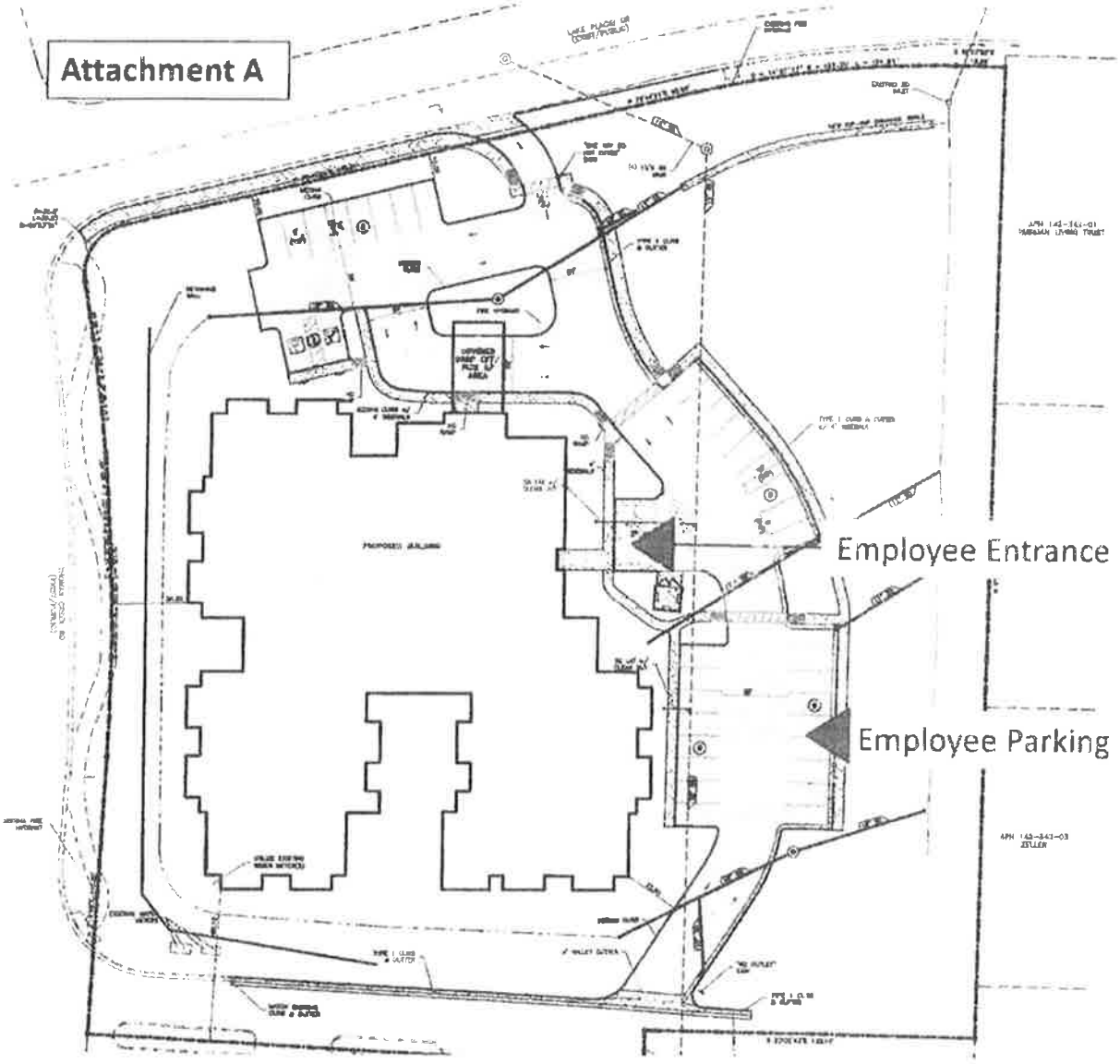
Applicant: Healthcap Partners
Attn: Keith Underwood
5910 N Central Expressway, Ste. 1000
Dallas, TX 75206

Property Owner: Western Alliance Bancorp
Attn: Anne Marie Berg
2700 West Sahara Blvd.
Las Vegas, NV 89102

Others to be contacted:
TEC Engineering Consultants
Attn.: Jason Gilles
9480 Double Diamond Parkway, Suite 299
Reno, NV 89521

Action Order xc: Gregory Salter, Esq., District Attorney's Office; Carol Buonanoma, Assessor's Office (CAAS); Theresa Wilkins, Assessor's Office; John Cella, Sewer, Leo Vesely, Engineering and Capital Projects; Amy Ray, Truckee Meadows Fire Protection District; Regional Transportation Commission, Attn: Debra Goodwin; Truckee Meadows Water Authority, Attn: Pam Parenti, Truckee Meadows Regional Planning Agency; South Truckee Meadows/Washoe Valley Citizen Advisory Board, Chair

Attachment A



Conditions of Approval

Administrative Permit Case Number AP14-005

The project approved under Administrative Permit Case Number AP14-005 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on December 4, 20104. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the Conditions of Approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Development Division.

Compliance with the Conditions of Approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Operational Conditions are subject to review by the Planning and Development Division prior to the renewal of a business license each year. Failure to adhere to the Operational Conditions may result in the Planning and Development Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the Conditions of Approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions". These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the District Health Department must be appealed to the District Board of Health.**
- **The RENO-TAHOE AIRPORT AUTHORITY is directed and governed by its own Board. Therefore, any conditions set by the Reno-Tahoe Airport Authority must be appealed to their Board of Trustees.**
- **The REGIONAL TRANSPORTATION COMMISSION (RTC) is directed and governed by its own board. Therefore, any conditions set by the Regional Transportation Commission must be appealed to that Board.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Development

1. The following conditions are requirements of the Planning and Development Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit.

b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.

c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.

d. Best practice design guidelines shall be implemented to mitigate visual impacts. Architectural articulations shall be used to break-up long blank walls

e. There shall be complete screening of roof mounted HVAC equipment.

f. There shall be complete screening of ground mounted HVAC equipment.

g. The three subject parcels shall be combined into one parcel prior to issuance of any building or grading permit.

h. All exterior lighting fixtures shall be shielded such that light is emitted downward only.

i. Prior to approval of any building permit the applicant shall submit a photometric study showing that there will be no light spill-over at any property line with a residential use.

j. To ensure compatibility with the surrounding residential uses, signage for this project shall be limited to one monument sign. The sign shall not exceed four-and-a-half feet in height and seven feet in width. The sign shall be placed near the northern driveway, adjacent to Lake Placid Drive. Lighting for the sign shall be shielded such that light is emitted downward only. Up-lighting of the sign is prohibited.

k. The location of the monument sign shall be approved by the County Traffic Engineer.

l. Building-mounted signage is prohibited, unless this Administrative Permit is amended.

m. A four-foot-tall berm, wall or fence (having at least 95% opacity) shall be constructed along the east and south sides of the two parking areas on the eastern side of the facility to prevent headlights from shining into adjacent residences.

n. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

o. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning and Development Division for review and approval by the Design Review Committee. Said plan shall address, but not be limited to: type and color of building materials, general architectural design, parking, parking lot circulation and striping, signage, exterior lighting, fencing, trash enclosures, landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth), landscaping location, landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.

p. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by the Planning and Development Division. The letter(s) shall certify that all applicable landscaping provisions of Articles 408, 410 and 412 of the Development Code have been met. Any landscaping plans and the letter shall be wet-stamped.

q. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning and Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.

r. In addition to all existing landscaping, and the landscaping shown on the proposed plans, one additional evergreen tree shall be planted each 20 feet along the eastern

property line, to help create significant screening and buffering. Irrigation shall be provided to all trees.

s. All areas designated to be re-vegetated with native vegetation shall be provided with temporary irrigation for at least three years or until vegetative coverage of 50% has been achieved, whichever is longer.

t. All trees planted shall meet the minimum size requirements of Development Code Article 412, Landscaping.

u. Temporary fencing shall be utilized to protect all existing landscaping during construction activities.

v. Construction activities shall take place during daylight hours only.

w. A solid wall or fence (having at least 95% opacity) shall be constructed along the east property line where the proposed use is adjacent to residences. The wall/fence height shall be at least six feet, but shall not exceed eight feet.

x. The following **Operational Conditions** shall be required for the life of the development:

1. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.

2. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Development Division.

3. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with the Planning and Development Division to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify the Planning and Development Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

4. This Administrative Permit shall remain in effect as long as the business is in operation and maintains a valid business license.

Washoe County Engineering and Capitol Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, 775.325.8032, lvesely@washoecounty.us

a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials

shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

b. A 5' sidewalk shall be installed along Lake Placid Drive from Thomas Creek Road to the project access driveway.

c. Sidewalk access shall be provided from the building to either the Thomas Creek Road or Lake Placid Drive sidewalks.

d. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.

e. The applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition.

f. A grading bond of $2,000/acre of disturbed area shall be provided to the Engineering Division prior to issuance of a grading permit.

g. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be re-vegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District.

h. A drainage report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties

i. Any increase in storm water runoff resulting from the development shall be detained on site to the satisfaction of the County Engineer.

j. The applicant shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.

k. The minimum pavement requirements for on-site paving shall be three inches (3") of asphalt over six inches (6") of granular base to the satisfaction of the County Engineer.

l. All improvements in the County right of way shall be constructed in accordance with County standards.

Washoe County District Health Department

3. The following conditions are requirements of the District Health Department, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the District Health Department must be appealed to the District Board of Health.

Contact Name – Jim Shaffer, 775.785.4599, jshaffer@washoecounty.us

a. Any new private catch basins will require a water quality insert placed within all basins to improve water quality downstream and prevent mosquitoes from colonizing this infrastructure (040.013).

b. The common area landscape with turf will require a minimum 24 inch catchment area from the back face of impervious surfaces. The Low Impact Design (LID) will reduce nuisance water runoff into the infrastructure while minimizing downstream runoff (040.038).

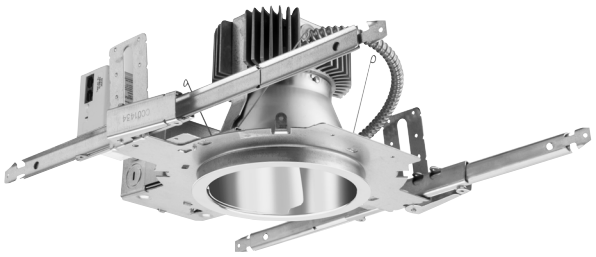
c. A wind sensor control unit will be required for any proposed/existing landscape turf and/or common areas to assist in reducing the nuisance water runoff associated with irrigation (040.038).

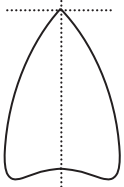
d. Prior to the sign off of the building plans the above detail designs are required on the plans and a scheduled compliance inspection is required for the above condition(s).

*** End of Conditions ***

gotham®

Luminaire Type:
Catalog Number (autopopulated):





Gotham Architectural Downlighting
LED Downlights

6" Evo®
Downlight

Solid-State Lighting

ENERGY STAR

FEATURES

OPTICAL SYSTEM
- Self-flanged semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM
- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

LISTINGS
- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY
- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

EXAMPLE: EVO 35/10 6AR MWD LSS MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Distribution	Finish	Voltage
EVO	**27/** 2700 K **30/** 3000 K **35/** 3500 K **40/** 4000 K	**10** 1000 lumens **15** 1500 lumens **20** 2000 lumens **25** 2500 lumens **30** 3000 lumens **35** 3500 lumens **40** 4000 lumens **45** 4500 lumens	**6AR** Clear **6PR** Pewter **6WTR** Wheat **6GR** Gold **6WR**[1] White **6BR**[1] Black **6WRAMF**[1] White anti-microbial	**VND** Very narrow (0.5 s/mh) **ND** Narrow (0.7 s/mh) **MD** Medium (0.9 s/mh) **MWD** Medium wide (1.0 s/mh) **WD** Wide (1.2 s/mh)	**LSS** Semi-specular **LD** Matte-diffuse **LS** Specular	**MVOLT** **120** **277** **347**[2]

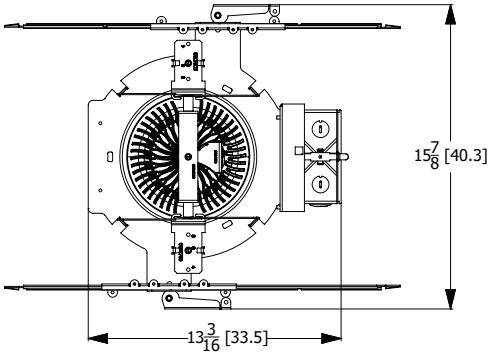
Driver[3]		Options		Options	
EZ1	eldoLED ECOdrive 0-10V dimming driver. Minimum dimming range level 1%	**SF**[6]	Single fuse	**BGTD**[6]	Bodine generator transfer device
EZB	eldoLED SOLOdrive 0-10V dimming driver. Minimum dimming level <1%.	**TRW**[7]	White painted flange	**CRI90**	High CRI (90+)
EDAB	eldoLED SOLOdrive DALI dimming driver. Minimum dimming level <1%.	**TRBL**[8]	Black painted flange	**CP**[6]	Chicago plenum
EDXB	eldoLED POWERdrive DMX with RDM (remote device management). Minimum dimming level <1%. Includes termination resistor.	**EL**[9]	Emergency battery pack with integral test switch	**RRL__**	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature.
EXA1	XPoint Wireless, eldoLED ECOdrive 1% dimming, 0-10V. Refer to XPoint tech sheet.	**ELR**[9]	Emergency battery pack with remote test switch		
EXAB	XPoint Wireless, eldoLED SOLOdrive <1% dimming, 0-10V. Refer to XPoint tech sheet.	**NPS80EZ**	nLight® dimming pack controls 0-10V eldoLED drivers.		
ECOS2[4,5]	Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%	**NPS80EZER**[10]	nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.		
ECOS3[4]	Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%	**WRS**[11]	FIDO wireless monitoring and reporting system		

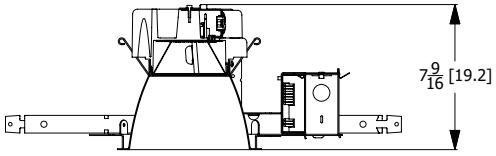
© 2010-2015 Acuity Brands Lighting, Inc. All Rights Reserved. Rev. 05/13/15. Specifications subject to change without notice.

gotham®

DIMENSIONAL DATA

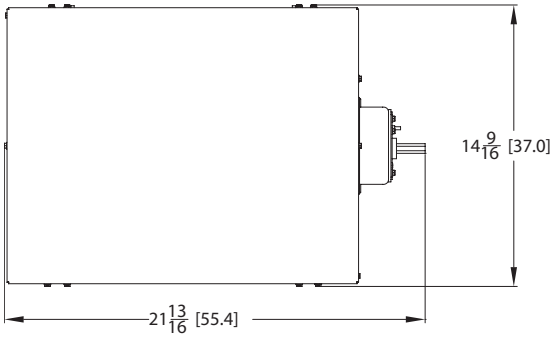
All dimensions are inches (centimeters) unless otherwise noted.

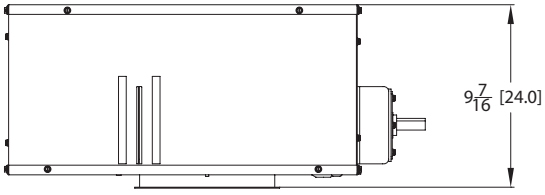




Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

DIMENSIONS FOR CHICAGO PLENUM





ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,058	23.2	88.9
2500	2,612	29.5	88.5
3000	3,077	36.6	84.1
3500	3,591	42.1	85.3
4000	4,046	48.1	84.2
4500	4,555	46.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

SCA6	Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to TECH-190.
CTA4-8 YK	Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds 1" to fixture height.
GVRT	Vandal-resistant trim accessory. Refer to TECH-200.
ISD BC	0-10V wallbox dimmer. Refer to ISD-BC.

NOTES

ORDERING NOTES

1. Not available with finishes.
2. Not available with EL or ELR options.
3. Refer to TECH-240 for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. 120V only.
6. Specify 120V or 277V.
7. Not available with white reflector.
8. Not available with black reflector
9. For dimensional changes, refer to TECH-140. Not available with 347V.
10. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
11. Available only with EL/ELR. Not available with CP. PSSD2 included. Refer to PSSD2.

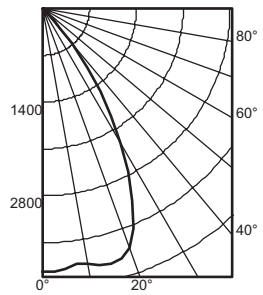
© 2010-2015 Acuity Brands Lighting, Inc. All Rights Reserved. Rev. 05/13/15. Specifications subject to change without notice.

PHOTOMETRY

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance: Single Luminaire 30" Above Floor

EVO 35/40 6AR LS

INPUT WATTS: 48.1, DELIVERED LUMENS: 4046, LM/W=84.1 , 1.03 S/MH, TEST NO. LTL27768



	Ave	Lumens
0	3935	
5	3901	371
15	3944	1106
25	3172	1427
35	1508	926
45	221	203
55	6	10
65	2	2
75	1	1
85	0	0
90	0	

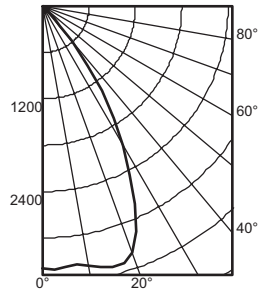
Zone	Lumens	% Lamp
0° - 30°	2904.3	71.8
0° - 40°	3830.0	94.7
0° - 60°	4043.4	99.9
0° - 90°	4046.3	100.0
90° - 180°	0.0	0.0
0° - 180°	4046.3	*100.0
*Efficiency		

pf		80%			20%	70%			50%	
pc		50%	30%	10%	50%	30%	10%	50%	30%	10%
pw										
0		119	119	119	116	116	116	111	111	111
1		111	108	106	109	106	104	105	103	101
2		103	99	96	101	98	95	98	95	93
3		96	91	87	95	90	87	92	88	85
4		90	84	80	89	84	80	87	82	79
5		84	78	74	83	78	74	81	77	73
6		79	73	69	78	73	68	77	72	68
7		74	68	64	73	68	64	72	67	63
8		70	64	60	69	63	60	68	63	59
9		66	60	56	65	60	56	64	59	56
10		62	56	52	62	56	52	61	56	52

Mounting Height	Inital FC Center Beam	50% beam - 54.4° Diameter	50% beam - 54.4° FC	10% beam - 78.1° Diameter	10% beam - 78.1° FC
8.0	130.1	5.7	65.1	8.9	13.0
10.0	70.0	7.7	35.0	12.2	7.0
12.0	43.6	9.8	21.8	15.4	4.4
14.0	29.8	11.8	14.9	18.7	3.0
16.0	21.6	13.9	10.8	21.9	2.2

EVO 35/35 6AR LS

INPUT WATTS: 42.1, DELIVERED LUMENS: 3591, LM/W=85.3, 1.05 S/MH, TEST NO. LTL27767



	Ave	Lumens
0	3400	
5	3390	324
15	3497	981
25	2830	1274
35	1335	820
45	193	177
55	5	9
65	2	2
75	1	1
85	1	1
90	1	

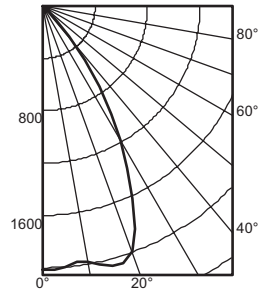
Zone	Lumens	% Lamp
0° - 30°	2579.3	71.8
0° - 40°	3399.8	94.7
0° - 60°	3586.3	99.9
0° - 90°	3590.5	100.0
90° - 180°	0.0	0.0
0° - 180°	3590.5	*100.0
*Efficiency		

pf		80%			20%	70%			50%	
pc		50%	30%	10%	50%	30%	10%	50%	30%	10%
pw										
0		119	119	119	116	116	116	111	111	111
1		111	108	106	109	106	104	105	103	101
2		103	99	96	101	98	95	98	95	93
3		96	91	87	95	90	87	92	88	85
4		90	84	80	89	84	80	87	82	79
5		84	78	74	83	78	74	81	77	73
6		79	73	69	78	72	68	77	72	68
7		74	68	64	73	68	64	72	67	63
8		70	64	60	69	63	59	68	63	59
9		66	60	56	65	60	56	64	59	55
10		62	56	52	62	56	52	61	56	52

Mounting Height	Inital FC Center Beam	50% beam - 55.2° Diameter	50% beam - 55.2° FC	10% beam - 78.2° Diameter	10% beam - 78.2° FC
8.0	112.4	5.7	56.2	8.9	11.2
10.0	60.4	7.8	30.2	12.2	6.0
12.0	37.7	9.9	18.8	15.4	3.8
14.0	25.7	12.0	12.9	18.7	2.6
16.0	18.7	14.1	9.3	21.9	1.9

EVO 35/20 6AR LS

INPUT WATTS: 23.2, DELIVERED LUMENS: 2058, LM/W=88.7, 1.02 S/MH, TEST NO. LTL27777



	Ave	Lumens
0	2018	
5	1997	190
15	2053	576
25	1618	733
35	749	459
45	105	94
55	3	5
65	1	1
75	0	0
85	0	0
90	0	

Zone	Lumens	% Lamp
0° - 30°	1498.5	72.8
0° - 40°	1958.0	95.1
0° - 60°	2056.6	99.9
0° - 90°	2058.3	100.0
90° - 180°	0.0	0.0
0° - 180°	2058.3	*100.0
*Efficiency		

pf		80%			20%	70%			50%	
pc		50%	30%	10%	50%	30%	10%	50%	30%	10%
pw										
0		119	119	119	116	116	116	111	111	111
1		111	108	106	109	107	105	105	103	101
2		103	99	96	102	98	95	98	95	93
3		96	92	88	95	91	87	92	89	86
4		90	85	81	89	84	80	87	83	79
5		84	79	74	83	78	74	82	77	73
6		79	73	69	78	73	69	77	72	68
7		74	68	64	74	68	64	72	67	64
8		70	64	60	69	64	60	68	63	60
9		66	60	56	66	60	56	65	60	56
10		62	57	53	62	56	53	61	56	53

Mounting Height	Inital FC Center Beam	50% beam - 54.2° Diameter	50% beam - 54.2° FC	10% beam - 77.3° Diameter	10% beam - 77.3° FC
8.0	66.7	5.6	33.4	8.8	6.7
10.0	35.9	7.7	17.9	12.0	3.6
12.0	22.4	9.7	11.2	15.2	2.2
14.0	15.3	11.8	7.6	18.4	1.5
16.0	11.1	13.8	5.5	21.6	1.1

LUMEN OUTPUT MULTIPLIER - CRI	
CRI	**FACTOR**
80 CRI	1
90 CRI	0.79

LUMEN OUTPUT MULTIPLIER - CCT	
CRI	**FACTOR**
4000 K	1.035
3500 K	1
3000 K	0.973
2700 K	0.938

LUMEN OUTPUT MULTIPLIER - TRIM FINISH						
FINISH	**CLEAR (AR)**	**PEWTER (PR)**	**WHEAT (WTR)**	**GOLD (GR)**	**WHITE (WR/WRAMF)**	**BLACK (BR)**
Specular (LS)	1.00	0.88	0.83	0.95	N/A	N/A
Semi-specular (LSS)	0.95	0.84	0.79	0.90	N/A	N/A
Matte-diffuse (LD)	0.85	0.73	0.69	0.80	N/A	N/A
Paint	N/A	N/A	N/A	N/A	0.87	0.73

PHOTOMETRY NOTES

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 85 typical.

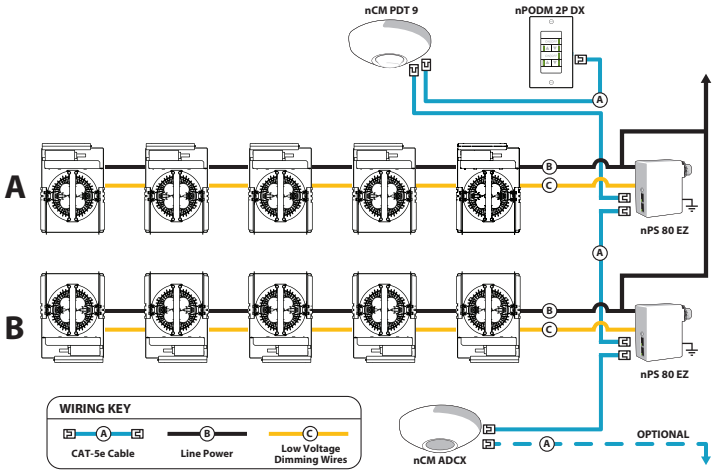
© 2010-2015 Acuity Brands Lighting, Inc. All Rights Reserved. Rev. 05/13/15. Specifications subject to change without notice.

CONTROLS

Choose Wall Controls.
nLIGHT o ers multiple styles of wall controls – each with varying features and user experience.

Push-Button WallPod
Traditional tactile buttons and LED user feedback

Graphic WallPod
Full color touch screen provides a sophisticated look and feel



EXAMPLE
Group Fixture Control*
*Application diagram applies for fixtures with eldoLED drivers only.

nPS 80 EZ Dimming/Control Pack (qty 2 required)
nPODM 2P DX Dual On/Off/Dim Push-Button WallPod
nCM ADCX Daylight Sensor with Automatic Dimming Control
nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.

nLight® Control Accessories:
Order as separate catalog number. Visit www.sensorswitch.com/nLight for complete listing of nLight controls.

WallPod stations	Model number
On/Off	nPODM [color]
On/Off & Raise/Lower	nPODM DX [color]
Graphic Touchscreen	nPOD GFX [color]
Photocell controls	**Model number**
Dimming	nCM ADCX

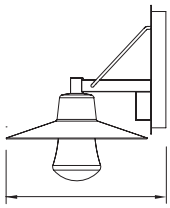
Occupancy sensors	Model number
Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
Cat-5 cables (plenum rated)	**Model number**
10', CAT5 10FT	CAT5 10FT J1
15', CAT5 15FT	CAT5 15FT J1

© 2010-2015 Acuity Brands Lighting, Inc. All Rights Reserved. Rev. 05/13/15. Specifications subject to change without notice.

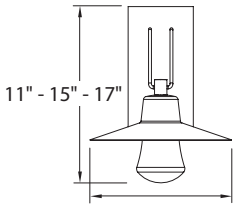
SUSPENSE – model: WS-W19

LED Outdoor

MODERN FORMS
A WAC LIGHTING COMPANY



10" - 12" - 16"



8" - 10" - 14"

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Giving the proverbial nod to tradition, it takes a powerful LED to pull off this look in a dark sky design. This contemporary lantern showcases a mouth blown clear glass element and is equipped with state of the art LEDs for a filament-free design. Couple your passion for living with our passion for lighting.

FEATURES

- CEC Title 24 compliant for WS-W1917
- ETL & cETL listed for wet locations
- Dark sky friendly
- Universal driver (120V, 220V, 277V) for WS-W1917
- Twist lock glass for minimal hardware
- Integral transformer in canopy
- Replaceable LED module
- **70,000 hour potential life**
- **Color Temp: 3000K**
- **CRI: 90**

SPECIFICATIONS

Construction: Aluminum with a thick, mouth blown clear glass element.

Light Source: High output LED.

Dimming: Dims to 10% with an electronic low voltage (ELV) dimmer.

Mounting: Mounts directly to junction box.

Finish: Brushed Aluminum (AL), Bronze (BZ).

ORDER NUMBER

Model	Height		Width	Watt	Voltage	LED Lumens	Delivered Lumens	Finish	
WS-W19	**11**	*11"*	*8"*	*11W*	*120V*	*860*	*590*	**AL**	*Brushed Aluminum*
	15	*15"*	*10"*	*11W*	*120V*	*860*	*625*	**BZ**	*Bronze*
	17	*17"*	*14"*	*11W*	*Universal**	*1050*	*835*		

WS-W19 [ ] – [ ]

Example: **WS-W1915-AL**

REPLACEMENT GLASS

Inner glass	Fixture
RPL-GLA-1911	*WS-W1911*
RPL-GLA-1915	*WS-W1915*
RPL-GLA-1917	*WS-W1917*

Back Plate Dimensions:

Model	Dimension
WS-W1911	8L x 4½W x 1⅜H
WS-W1915	9¼L x 4⅞W x 1⅛H
WS-W1917	11⅛L x 5⅛W x 1⅜H

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. SEP 2015

D-Series Size 2
LED Area Luminaire

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

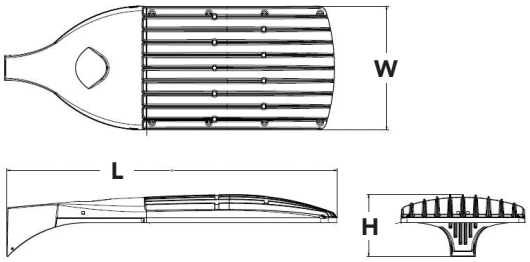
EPA: 2.0 ft² (0.19 m²)

Length: 40" (101.6 cm)

Width: 15" (38.1 cm)

Height: 7-1/4" (18.4 cm)

Weight (max): 36 lbs (16.3 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	**Forward optics** 80C 80 LEDs (four engine) 100C 100 LEDs (four engines) **Rotated optics** [1] 90C 90 LEDs	530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T1S Type I Short T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium T5VS Type V Very Short T5S Type V Short T5M Type V Medium T5W Type V Wide	MVOLT [2] 120 [2] 208 [2] 240 [2] 277 [2] 347 [3] 480 [3]	**Shipped included** SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor [4] RPUMBA Round pole universal mounting adaptor [4] **Shipped separately** KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) [5]

Control options

Shipped installed

PER	NEMA twist-lock receptacle only (no controls) [6]
PER5	Five-wire receptacle only (no controls) [6,7]
PER7	Seven-wire receptacle only (no controls) [6,7]
DMG	0-10V dimming driver (no controls) [8]
DCR	Dimmable and controllable via ROAM® (no controls) [9]
DS	Dual switching [10,11]
PIRH	Motion sensor, 15-30' mounting height [12]
BL30	Bi-level switched dimming, 30% [11,13]
BL50	Bi-level switched dimming, 50% [11,13]
PNMTDD3	Part night, dim till dawn [14]
PNMT5D3	Part night, dim 5 hrs [14]
PNMT6D3	Part night, dim 6 hrs [14]
PNMT7D3	Part night, dim 7 hrs [14]

Other options

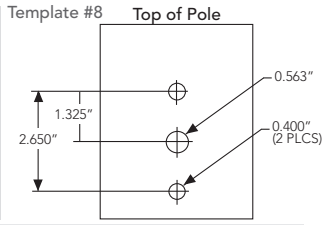
Shipped installed

HS	House-side shield [15]
SF	Single fuse (120, 277, 347V) [2]
DF	Double fuse (208, 240, 480V) [2]
L90	Left rotated optics [16]
R90	Right rotated optics [16]

Finish *(required)*

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DDBTXD	Textured dark bronze
DBLBXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white

Drilling



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C **DM19AS** DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.
**Round pole top must be 3.25" O.D. minimum.*
***For round pole mounting (RPA) only.*

Controls & Shields

Accessories *Ordered and shipped separately.*

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) [17]
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) [17]
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) [17]
SC U	Shorting cap [17]
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 90C U	House-side shield for 90 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) [5]

For more control options, visit DTL and ROAM online.

Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

1. Rotated optics option (L90 or R90) required for 90C.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
3. Not available with BL30, BL50 or PNMT options.
4. Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
5. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
6. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
7. If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
8. DMG option for 347V or 480V requires 1000mA.
9. Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options.
10. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
11. Requires an additional switched circuit.
12. Specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS, PER5 or PER7.
13. Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
14. Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
15. Also available as a separate accessory; see Accessories information.
16. Available with 90 LEDs (90C option) only.
17. Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.

© 2011-2015 Acuity Brands Lighting, Inc. All rights reserved.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80C (80 LEDs)	530 mA	137 W	T1S	14,438	3	0	3	108	15,360	3	0	3	115	15,415	3	0	3	115	10,752	2	0	2	78
			T2S	14,172	3	0	3	106	15,077	3	0	3	113	15,131	3	0	3	113	10,554	2	0	2	77
			T2M	14,196	3	0	3	106	15,102	3	0	3	113	15,156	3	0	3	114	10,571	2	0	2	77
			T3S	14,165	3	0	3	106	15,069	3	0	3	113	15,123	3	0	3	113	10,548	2	0	2	77
			T3M	14,193	3	0	4	106	15,099	3	0	4	113	15,153	3	0	4	114	10,569	2	0	2	77
			T4M	13,736	3	0	4	103	15,067	3	0	4	113	15,121	3	0	4	113	10,547	2	0	2	77
			TFTM	14,424	3	0	4	108	15,345	3	0	4	115	15,400	3	0	4	115	10,741	1	0	2	78
			T5VS	14,980	5	0	1	112	15,936	5	0	1	119	15,993	5	0	1	120	11,155	3	0	0	81
			T5S	14,972	4	0	2	112	15,927	4	0	2	119	15,985	4	0	2	120	11,149	3	0	0	81
			T5M	14,900	5	0	3	112	15,851	5	0	3	119	15,908	5	0	3	119	11,096	3	0	2	81
			T5W	14,713	5	0	3	110	15,652	5	0	3	117	15,709	5	0	3	118	10,957	3	0	2	80
	700 mA	188 W	T1S	17,944	3	0	3	98	19,089	3	0	3	104	19,158	3	0	3	105	13,362	2	0	2	71
			T2S	17,613	3	0	3	96	18,738	3	0	3	102	18,805	3	0	3	103	13,116	2	0	2	70
			T2M	17,643	3	0	3	96	18,769	3	0	3	103	18,836	3	0	3	103	13,138	2	0	2	70
			T3S	17,604	3	0	3	96	18,728	3	0	3	102	18,795	3	0	3	103	13,110	2	0	2	70
			T3M	17,639	3	0	4	96	18,764	3	0	4	103	18,832	3	0	4	103	13,135	2	0	3	70
			T4M	17,071	3	0	4	93	18,725	3	0	4	102	18,792	3	0	4	103	13,108	2	0	2	70
			TFTM	17,926	3	0	4	98	19,071	3	0	4	104	19,139	3	0	4	105	13,349	2	0	2	71
			T5VS	18,617	5	0	1	102	19,805	5	0	1	108	19,876	5	0	1	109	13,864	3	0	1	74
			T5S	18,607	4	0	2	102	19,794	4	0	2	108	19,866	4	0	2	109	13,856	3	0	1	74
			T5M	18,518	5	0	3	101	19,700	5	0	3	108	19,771	5	0	3	108	13,790	3	0	2	73
			T5W	18,286	5	0	3	100	19,453	5	0	3	106	19,523	5	0	3	107	13,617	4	0	2	72
	1000 mA	282 W	T1S	24,339	3	0	3	85	25,892	3	0	3	91	25,985	3	0	3	91	18,125	2	0	2	64
			T2S	23,891	3	0	3	84	25,416	3	0	3	89	25,507	3	0	3	90	17,791	3	0	3	63
			T2M	23,931	3	0	3	84	25,458	3	0	4	89	25,550	3	0	4	90	17,821	3	0	3	63
			T3S	23,879	3	0	3	84	25,403	3	0	3	89	25,494	3	0	3	90	17,782	2	0	2	63
			T3M	23,925	3	0	4	84	25,452	3	0	4	89	25,544	3	0	4	90	17,817	3	0	3	63
			T4M	23,155	3	0	4	81	25,399	3	0	4	89	25,490	3	0	4	90	17,779	2	0	3	63
			TFTM	24,315	3	0	4	85	25,867	3	0	4	91	25,960	3	0	4	91	18,107	2	0	3	64
			T5VS	25,252	5	0	1	89	26,864	5	0	1	94	26,960	5	0	1	95	18,805	3	0	1	67
			T5S	25,238	5	0	2	89	26,849	5	0	2	94	26,946	5	0	2	95	18,794	3	0	1	67
			T5M	25,118	5	0	3	88	26,721	5	0	3	94	26,817	5	0	3	94	18,705	4	0	2	66
			T5W	24,803	5	0	4	87	26,386	5	0	4	93	26,481	5	0	4	93	18,470	4	0	2	65
100C (100 LEDs)	530 mA	175 W	T1S	17,592	3	0	3	103	18,715	3	0	3	110	18,782	3	0	3	110	13,100	2	0	2	75
			T2S	17,268	3	0	3	101	18,370	3	0	3	108	18,436	3	0	3	108	12,859	2	0	2	73
			T2M	17,297	3	0	3	102	18,401	3	0	3	108	18,467	3	0	3	108	12,881	2	0	2	74
			T3S	17,259	3	0	3	101	18,361	3	0	3	108	18,427	3	0	3	108	12,853	2	0	2	73
			T3M	17,293	3	0	4	101	18,397	3	0	4	108	18,463	3	0	4	108	12,878	2	0	3	74
			T4M	16,736	3	0	4	98	18,358	3	0	4	108	18,424	3	0	4	108	12,851	2	0	2	73
			TFTM	17,575	3	0	4	103	18,697	3	0	4	110	18,764	3	0	4	110	13,088	2	0	2	75
			T5VS	18,252	5	0	1	107	19,417	5	0	1	114	19,487	5	0	1	114	13,592	3	0	1	78
			T5S	18,242	4	0	2	107	19,406	4	0	2	114	19,476	4	0	2	114	13,584	3	0	1	78
			T5M	18,155	5	0	3	107	19,314	5	0	3	113	19,383	5	0	3	114	13,520	3	0	2	77
			T5W	17,927	5	0	3	105	19,071	5	0	3	112	19,140	5	0	3	112	13,350	4	0	2	76
	700 mA	232 W	T1S	22,078	3	0	3	97	23,487	3	0	3	103	23,571	3	0	3	104	16,441	2	0	2	71
			T2S	21,671	3	0	3	95	23,055	3	0	3	101	23,137	3	0	3	102	16,138	2	0	2	70
			T2M	21,707	3	0	3	96	23,093	3	0	3	102	23,176	3	0	3	102	16,165	2	0	3	70
			T3S	21,660	3	0	3	95	23,043	3	0	3	101	23,126	3	0	3	102	16,130	2	0	2	70
			T3M	21,702	3	0	4	95	23,088	3	0	4	102	23,171	3	0	4	102	16,161	2	0	3	70
			T4M	21,004	3	0	4	92	23,039	3	0	4	101	23,122	3	0	4	102	16,127	2	0	3	70
			TFTM	22,056	3	0	4	97	23,464	3	0	4	103	23,549	3	0	4	104	16,425	2	0	2	71
			T5VS	22,906	5	0	1	101	24,368	5	0	1	107	24,456	5	0	1	108	17,058	3	0	1	74
			T5S	22,894	4	0	2	101	24,355	4	0	2	107	24,442	4	0	2	108	17,048	3	0	1	73
			T5M	22,784	5	0	3	100	24,239	5	0	3	107	24,326	5	0	3	107	16,967	4	0	2	73
			T5W	22,498	5	0	3	99	23,935	5	0	3	105	24,021	5	0	3	106	16,754	4	0	2	72
	1000 mA	360 W	T1S	28,465	3	0	3	80	31,708	3	0	3	89	32,074	3	0	3	89	22,196	3	0	3	62
			T2S	29,257	3	0	3	82	31,125	3	0	3	88	31,237	3	0	3	87	21,787	3	0	3	61
			T2M	29,306	3	0	3	82	31,177	3	0	3	87	31,289	3	0	3	88	21,824	3	0	3	61
			T3S	29,243	3	0	3	82	31,109	3	0	3	88	31,221	3	0	3	87	21,776	3	0	3	60
			T3M	29,299	3	0	4	82	31,170	3	0	4	87	31,282	3	0	4	88	21,819	3	0	3	61
			T4M	28,356	3	0	4	79	31,104	3	0	4	86	31,216	3	0	4	87	21,773	3	0	3	60
			TFTM	29,777	3	0	4	83	31,678	3	0	4	88	31,792	3	0	4	89	22,175	3	0	3	62
			T5VS	30,924	5	0	1	87	32,898	5	0	1	93	33,017	5	0	1	92	23,029	4	0	1	64
			T5S	30,908	4	0	2	87	32,880	4	0	2	91	32,999	4	0	2	92	23,016	4	0	1	64
			T5M	30,760	5	0	3	86	32,723	5	0	3	92	32,841	5	0	3	92	22,906	4	0	2	64
			T5W	30,374	5	0	3	85	32,313	5	0	3	91	32,429	5	0	3	91	22,619	4	0	2	63

© 2011-2015 Acuity Brands Lighting, Inc. All rights reserved.

Performance Data

L90 and R90 Rotated Optics

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
90C (90 LEDs)	530 mA	150 W	T1S	15,409	3	0	3	103	16,392	3	0	3	109	16,451	3	0	3	110	11,475	3	0	3	76
			T2S	15,373	3	0	3	102	16,354	3	0	3	109	16,413	3	0	3	109	11,448	3	0	3	76
			T2M	15,399	4	0	4	103	16,381	4	0	4	109	16,440	4	0	4	110	11,467	3	0	3	76
			T3S	15,365	4	0	4	102	16,346	4	0	4	109	16,405	4	0	4	109	11,442	3	0	3	76
			T3M	15,395	4	0	4	103	16,378	4	0	4	109	16,437	4	0	4	110	11,464	4	0	4	76
			T4M	15,363	4	0	4	102	16,343	4	0	4	109	16,402	4	0	4	109	11,440	4	0	4	76
			TFTM	15,646	4	0	4	104	16,645	4	0	4	111	16,705	4	0	4	111	11,651	4	0	4	78
			T5VS	16,502	4	0	1	110	17,555	4	0	1	117	17,618	4	0	1	117	12,289	3	0	1	82
			T5S	16,085	4	0	1	107	17,112	4	0	1	114	17,174	4	0	1	114	11,978	3	0	1	80
			T5M	16,519	4	0	2	110	17,573	4	0	2	117	17,636	4	0	2	118	12,301	4	0	2	82
			T5W	16,260	4	0	2	108	17,298	5	0	3	115	17,360	5	0	3	116	12,109	4	0	2	81
	700 mA	206 W	T1S	19,320	4	0	4	94	20,553	4	0	4	100	20,627	4	0	4	100	14,387	3	0	3	70
			T2S	19,275	4	0	4	94	20,506	4	0	4	100	20,579	4	0	4	100	14,354	3	0	3	70
			T2M	19,307	4	0	4	94	20,540	4	0	4	100	20,614	4	0	4	100	14,378	4	0	4	70
			T3S	19,265	4	0	4	94	20,495	4	0	4	99	20,569	4	0	4	100	14,347	4	0	4	70
			T3M	19,303	4	0	4	94	20,535	4	0	4	100	20,609	4	0	4	100	14,374	4	0	4	70
			T4M	19,262	4	0	4	94	20,492	5	0	5	99	20,566	5	0	5	100	14,344	4	0	4	70
			TFTM	19,618	4	0	4	95	20,870	4	0	4	101	20,945	4	0	4	102	14,609	4	0	4	71
			T5VS	20,691	4	0	1	100	22,011	4	0	1	107	22,090	4	0	1	107	15,408	4	0	1	75
			T5S	20,168	4	0	1	98	21,533	4	0	1	105	21,533	4	0	1	105	15,019	4	0	1	73
			T5M	20,712	4	0	2	101	22,034	5	0	3	107	22,113	5	0	3	107	15,424	4	0	2	75
			T5W	20,388	5	0	3	99	21,689	5	0	3	105	21,767	5	0	3	106	15,182	4	0	2	74
	1000 mA	320 W	T1S	25,901	4	0	4	81	27,554	4	0	4	86	27,653	4	0	4	86	19,288	4	0	4	60
			T2S	25,840	4	0	4	81	27,490	4	0	4	86	27,588	4	0	4	86	19,243	4	0	4	60
			T2M	25,883	4	0	4	81	27,536	5	0	5	86	27,635	5	0	5	86	19,275	4	0	4	60
			T3S	25,827	4	0	4	81	27,476	4	0	4	86	27,574	4	0	4	86	19,233	4	0	4	60
			T3M	25,877	5	0	5	81	27,529	5	0	5	86	27,628	5	0	5	86	19,270	4	0	4	60
			T4M	25,823	5	0	5	81	27,471	5	0	5	86	27,570	5	0	5	86	19,230	4	0	4	60
			TFTM	26,299	5	0	5	82	27,978	5	0	5	87	28,079	5	0	5	88	19,585	4	0	4	61
			T5VS	27,738	5	0	1	87	29,508	5	0	1	92	29,614	5	0	1	93	20,656	4	0	1	65
			T5S	27,038	5	0	2	84	28,764	5	0	2	90	28,867	5	0	2	90	20,135	4	0	1	63
			T5M	27,766	5	0	3	87	29,538	5	0	3	92	29,645	5	0	3	93	20,677	4	0	2	65
			T5W	27,332	5	0	4	85	29,076	5	0	4	91	29,181	5	0	4	91	20,354	5	0	3	64

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.02
20°C	68°F	1.01
25°C	**77°F**	**1.00**
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1000			
	1.0	0.95	0.92	0.86
	DSX2 LED 100C 700			
	1.0	0.98	0.97	0.96
	DSX2 LED 100C 1000			
	1.0	0.94	0.90	0.84

Electrical Load

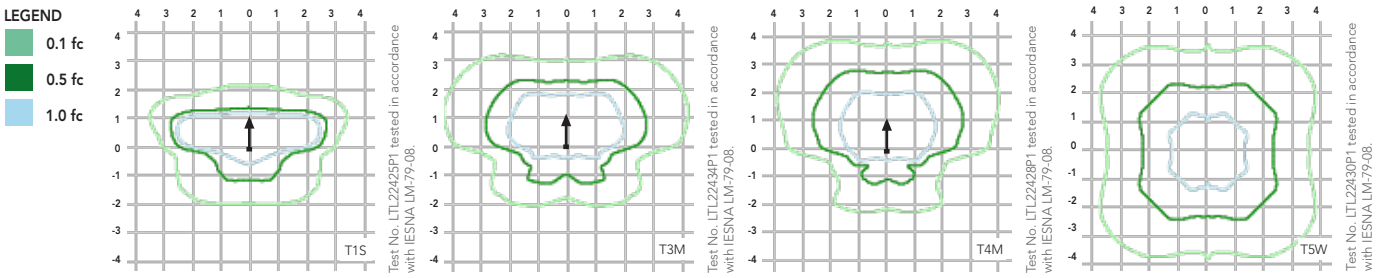
LEDs	Drive Current (mA)	System Watts	Current (A) 120	208	240	277	347	480
80	530	137W	1.15	0.66	0.53	0.51	0.39	0.28
	700	188W	1.58	0.92	0.81	0.73	0.55	0.41
	1000	282W	2.37	1.35	1.18	1.04	0.83	0.61
100	530	175W	1.47	0.86	0.76	0.68	0.51	0.38
	700	232W	1.95	1.13	0.99	0.88	0.67	0.49
	1000	360W	3.03	1.72	1.49	1.3	1.05	0.77

© 2011-2015 Acuity Brands Lighting, Inc. All rights reserved.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 2 homepage.

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft^2) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

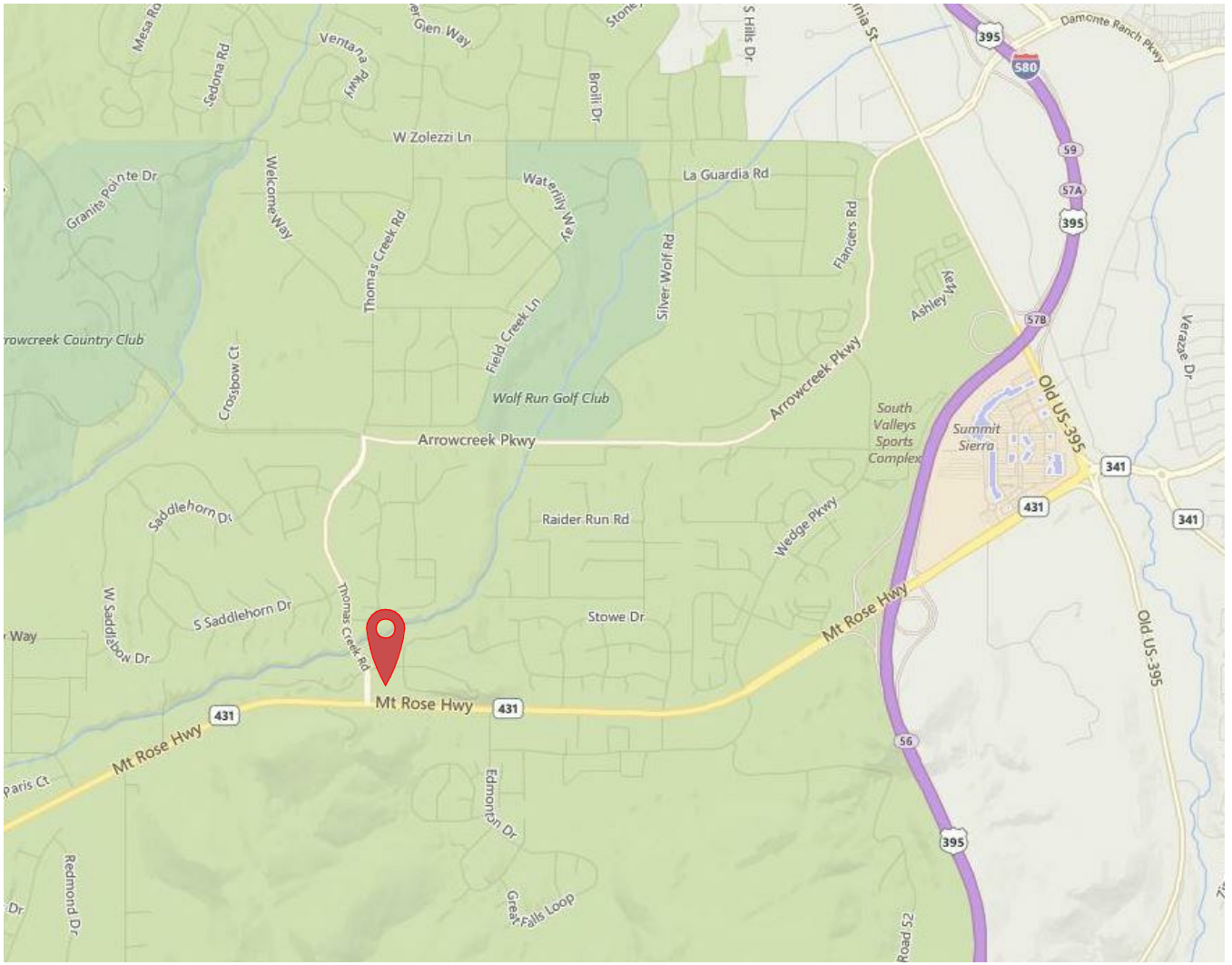
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

© 2011-2015 Acuity Brands Lighting, Inc. All rights reserved.



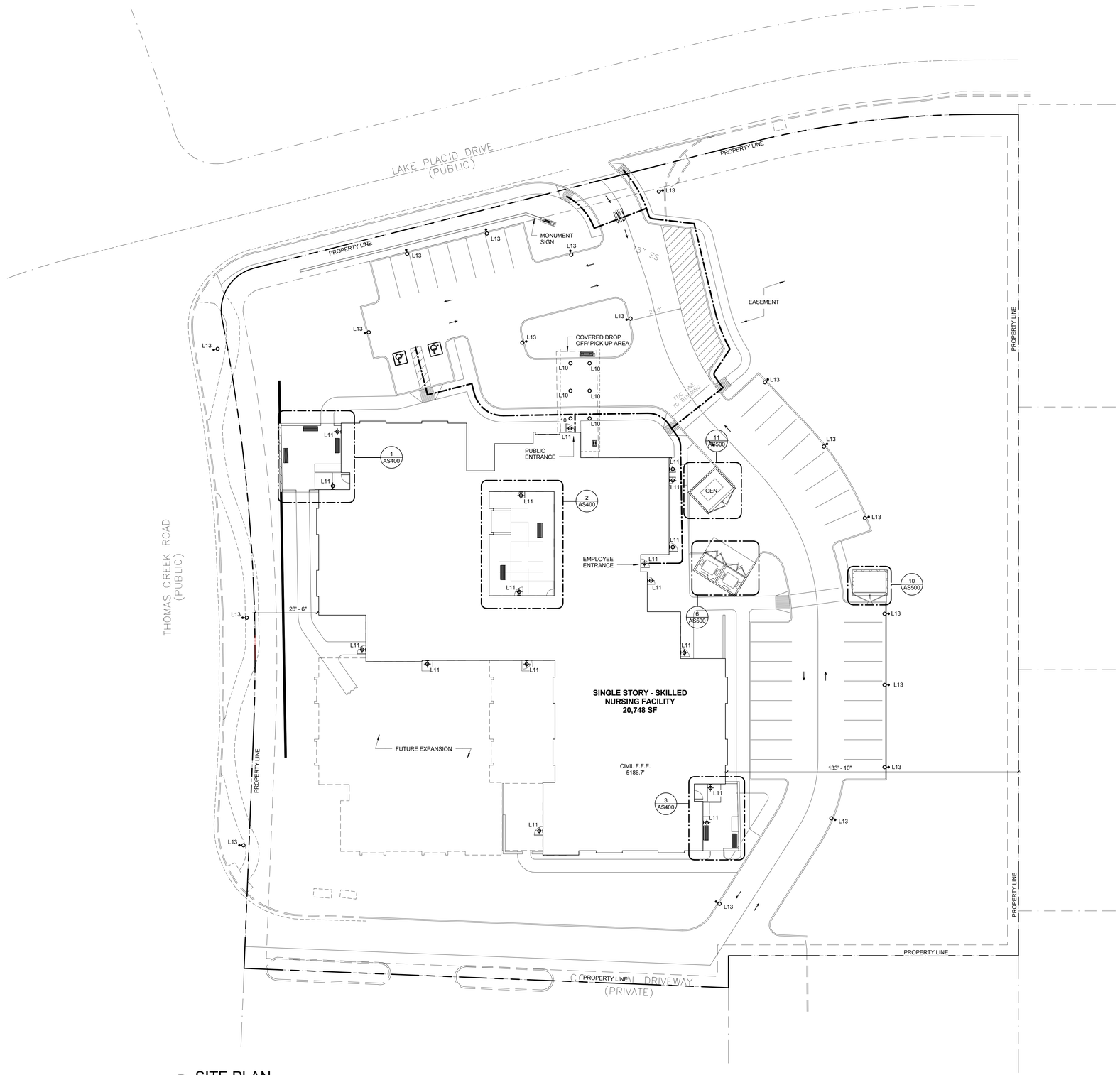
CARE MERIDIAN RENO
WASHOE COUNTY SKILLED LIVING

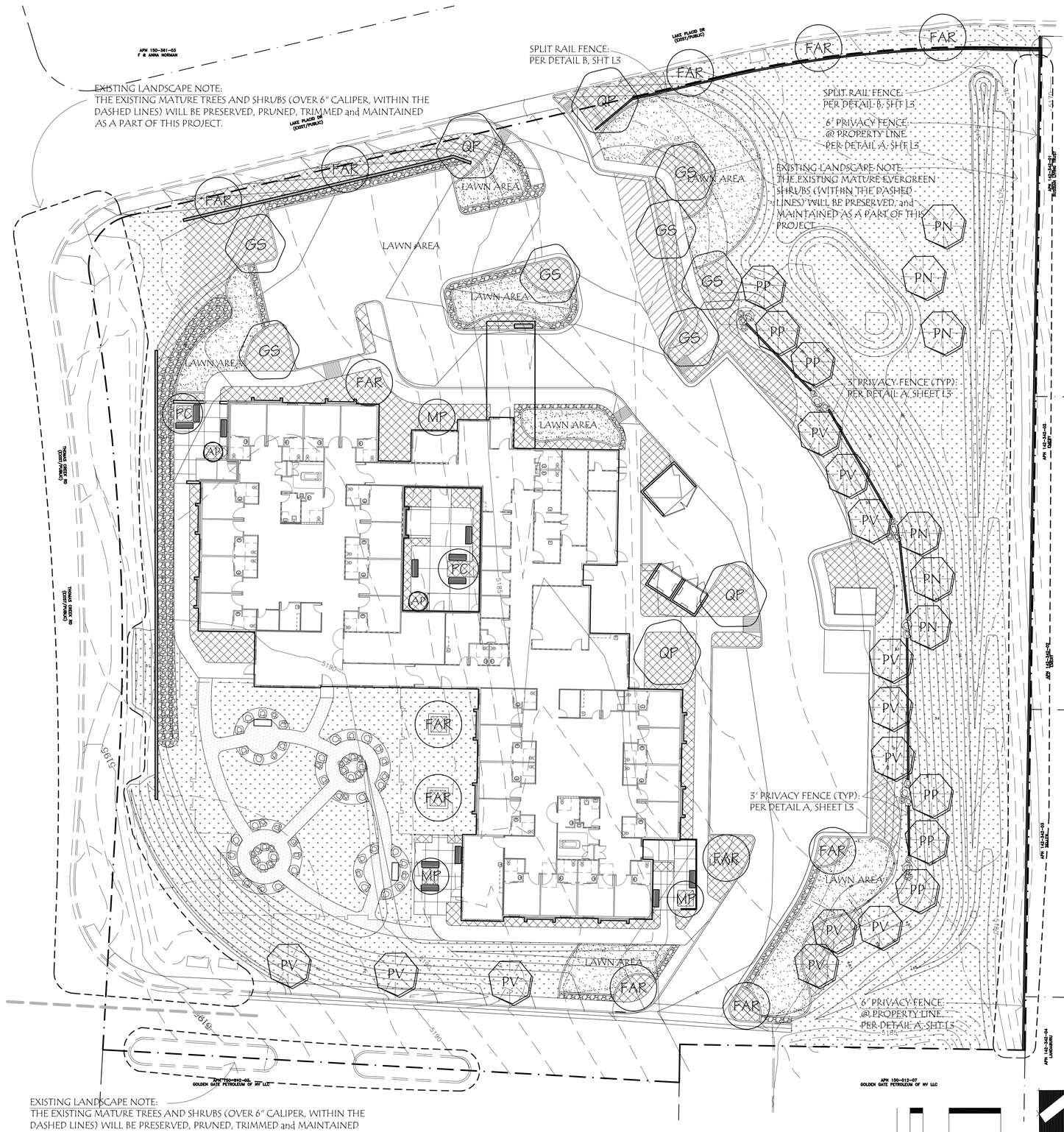
19900 THOMAS CREEK ROAD RENO,
NV 89511

NORTH

Devenney GROUP

C:\Revit Local Files\80501_Healthcap Care Meridian Washoe_Central - 2014_jrose.rvt


LAKE PLACID DRIVE
(PUBLIC)
PROPERTY LINE
MONUMENT SIGN
L13
"S" SS
24.0'
EASEMENT
COVERED DROP OFF/ PICK UP AREA
L10
PUBLIC ENTRANCE
L11
1 AS400
2 AS400
3 AS400
11 AS500
10 AS500
6 AS500
GEN
EMPLOYEE ENTRANCE
SINGLE STORY - SKILLED NURSING FACILITY
20,748 SF
FUTURE EXPANSION
CIVIL F.F.E.
5186.7
28' - 6"
133' - 10"
TFC LINE TO BUILDING
THOMAS CREEK ROAD
(PUBLIC)
PROPERTY LINE
PROPERTY LINE
PROPERTY LINE



PLANT LIST:

Key	Scientific Name	Common Name	Quantity	Size	Spacing/Comments
DECIDUOUS TREES:					
AP	Acer palmatum 'Butterfly'	Dwarf Japanes Maple	2	1" Min. Cal/ per stem	multi-stem
FAR	Fraxinus angustifolia 'Raywood'	Raywood Ash	12	2.5" Min. Cal/ 24" Box	Per plan
GS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	7	2.5" Min. Cal/ 24" Box	Per plan
MP	Malus 'Prariefire'	Prariefire Crabapple	3	1.5" Min. Cal	Per plan
PC	Pyrus calleryana 'Redspire'	Redspire Callery Pear	2	1.5" Min. Cal	Per plan
QP	Quercus palustris	Pin Oak	4	2.5" Min. Cal/ 24" Box	Per plan
EVERGREEN TREES:					
PP	Picea pungens 'Fat Albert'	Colorado Spruce	6	7' Min. Ht.	Per plan
PN	Pinus nigra	Austrian Pine	6	7' Min. Ht.	Per plan
PV	Pinus flexilis 'Vanderwolf'	Vanderwolf's Pyramid	12	5' Min. Ht.	Per plan
SHRUBS					
ag	Acer ginnala 'Flame'	Flame Amur Maple	6	15 Gal.	multi-stem
a	Cornus stolonifera 'Kelseyi'	Dwarf Redtwig Dogwood	10	5 Gal.	Per plan
b	Euonymus alatus 'compacta'	Dwarf Burning Bush	25	5 Gal.	Per plan
cl	Cupressocyparis leylandii	Leyland Cypress	8	5' Min. Ht.	Per plan
jct	Juniperus chinensis 'Torulosa'	Hollywood Juniper	15	5' Min. Ht.	Per plan
c	Photinia fraseri	Redtwig Photina	8	5 Gal.	Per plan
d	Pinus mugo	Mugo Pine	6	5 Gal.	Per plan
e	Syringa vulgaris	Common Lilac	12	5 Gal.	Per plan
GROUNDCOVERS, GRASSES and VINES:					
f	Calamagrostis acutiflora 'Karl Foerster'	K.F. Feather Reed Grass	47	1 Gal.	Per plan
g	Campsis radicans	Red Trumpet Vine	19	1 Gal.	Per plan
h	Cerastium tomentosum	Snow-In-Summer	63	1 Gal.	Per plan
i	Euonymus fortunei 'Colorata'	Purpleleaf Wintercreeper	67	1 Gal.	Per plan
k	Genista lydia	Dwarf Broom	51	1 Gal.	Per plan
l	Helictotrichon sempervirens	Blue Oat Grass	60	1 Gal.	Per plan
m	Miscanthus sinensis 'Morning Light'	Miscanthus Grass	23	1 Gal.	Per plan
PERENNIALS:					
n	Crocosmia x crocosmiiflora	'Lucifer' Crocosmia	26	1 Gal.	Per plan
o	Ecanacia purpurea	Purple Coneflower	30	1 Gal.	Per plan
p	Gaillardia grandiflora	Blanket Flower	36	1 Gal.	Per plan
q	Oenothera berlandieri	Mexican Evening Primrose	42	1 Gal.	Per plan
r	Perovskia atriplicifolia	Russian Sage	60	1 Gal.	Per plan

LANDSCAPE LEGEND:

SOD / LAWN AREA - (5,754 S.F.)
Kentucky Blue Grass/Fine Fescue Blend

ROCK MULCH - (10,480 S.F.) 1.5" - 4" Fractured Rock (Ox Rock O.A.E.) Submit sample for landscape architect approval prior to const. Place @ 4" min. depth, over weed barrier fabric

RIVER ROCK MULCH - (2,078 S.F.) 2"- 6" All Round River Rock
Submit sample for landscape architect approval prior to const.
Place @ 4" min. depth, over weed barrier fabric

5' D.G. PATH - (1,952 S.F.)
Submit sample for landscape architect approval prior to const.
Place @ 3" min. depth, over weed barrier fabric

RE-VEG SEEDING AREAS (approx. 35,385 s.f.)

BOULDER 1 - 3' X 3' X 4' Min. Size - (Quantity 36)

BOULDER 2 - 4' X 4' X 5' Min. Size - (Quantity 25)

BOULDER 3- 5' X 5' X 5' Min. Size - (Quantity 16)

NOTE: Boulders (of appropriate size) found on-site may be used

NOTES:

1. PLANT MATERIAL QUANTITIES SHOWN IN THE PLANT LEGEND ARE APPROXIMATE ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES PER PLAN.
2. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR. THE CONTRACTOR SHALL INSPECT THE SITE REGULARLY TO REVIEW THE CONDITION OF ALL PLANTINGS. IF ANY CHANGES IN THE OVERALL MAINTENANCE PROGRAM ARE REQUIRED TO IMPROVE THE CONDITIONS TO AN ACCEPTABLE STANDARD THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING, OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR THE CONDITION OF THE PLANTINGS AND MUST HONOR THE GUARANTEE.
3. LANDSCAPE WILL MEET THE REQUIREMENTS OF THE WASHOE COUNT LANDSCAPE DEVELOPMENT CODE - CHAPTER 412 DEVELOPMENT & DESIGN STANDARDS.

Avoid cutting underground utility lines. It's costly.
Call before you Dig
1-800-227-2600
UNDERGROUND SERVICE (USA)

REVISIONS	BY

TreeHugger Studio, LLC
landscape architecture
and site planning services
140 West Guffey Drive
Washoe Valley, NV 89704
(775) 530-0665

REGISTERED LANDSCAPE ARCHITECT
RICH SHOCK
101
Expires: _____
STATE OF NEVADA

JOB INFORMATION:
Landscape Improvements for:
CARE MERIDIAN ASSISTED LIVING CENTER
Thomas Creek, Lot #1149

SHEET INFORMATION:
PLANTING/LANDSCAPE PLAN

ISSUE DATE: OCTOBER 2015
SCALE: 1" = 20'-0"
DRAWN BY: R. SHOCK
CHECKED BY:
PROJECT NUMBER: 221-15-002

L.1

C:\Users\Rich Shock\Documents\Work Docs\TreeHugger Studio\Tree Hugger Studio Project Files\221 - Care Meridian\Working Folder - ProCARE MERIDIAN LA Base 10-16-15-dwg.Lt
10/19/2015 09:48 pm Rich Shock

Avoid cutting underground utility lines. It's costly.
Call before you Dig
1-800-227-2600
UNDERGROUND SERVICE (USA)

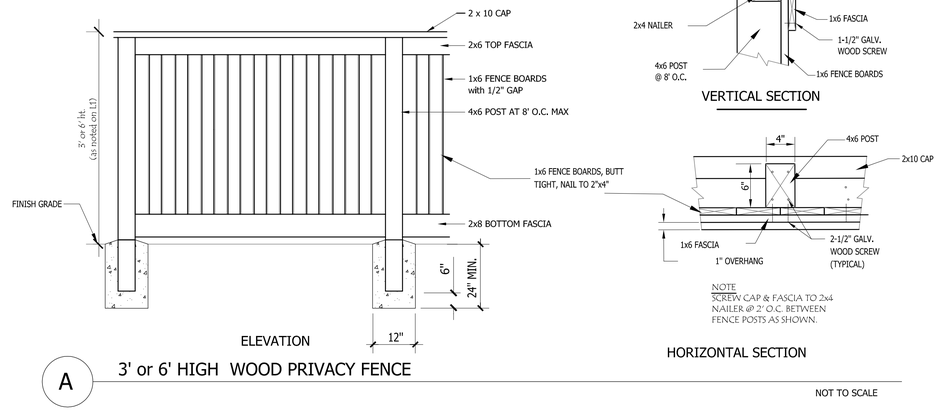
REVISIONS	BY

TreeHugger Studio, LLC
landscape architecture
and site planning services
140 West Guffey Drive
Washoe Valley, NV 89704
(775) 530-0665

REGISTERED LANDSCAPE ARCHITECT
RICH SHOCK
101
Expires: _____
STATE OF NEVADA

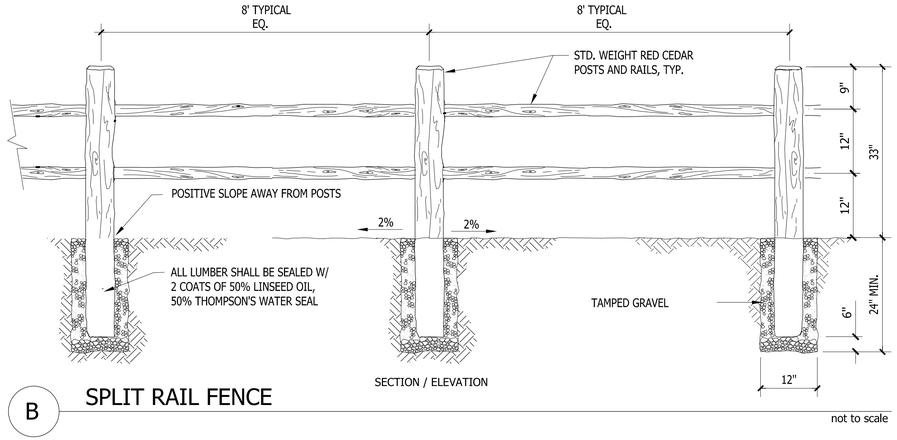
JOB INFORMATION:

Landscape Improvements for:
CARE MERIDIAN ASSISTED LIVING CENTER
Thomas Creek, Lot #1149



A 3' or 6' HIGH WOOD PRIVACY FENCE

NOT TO SCALE



B SPLIT RAIL FENCE

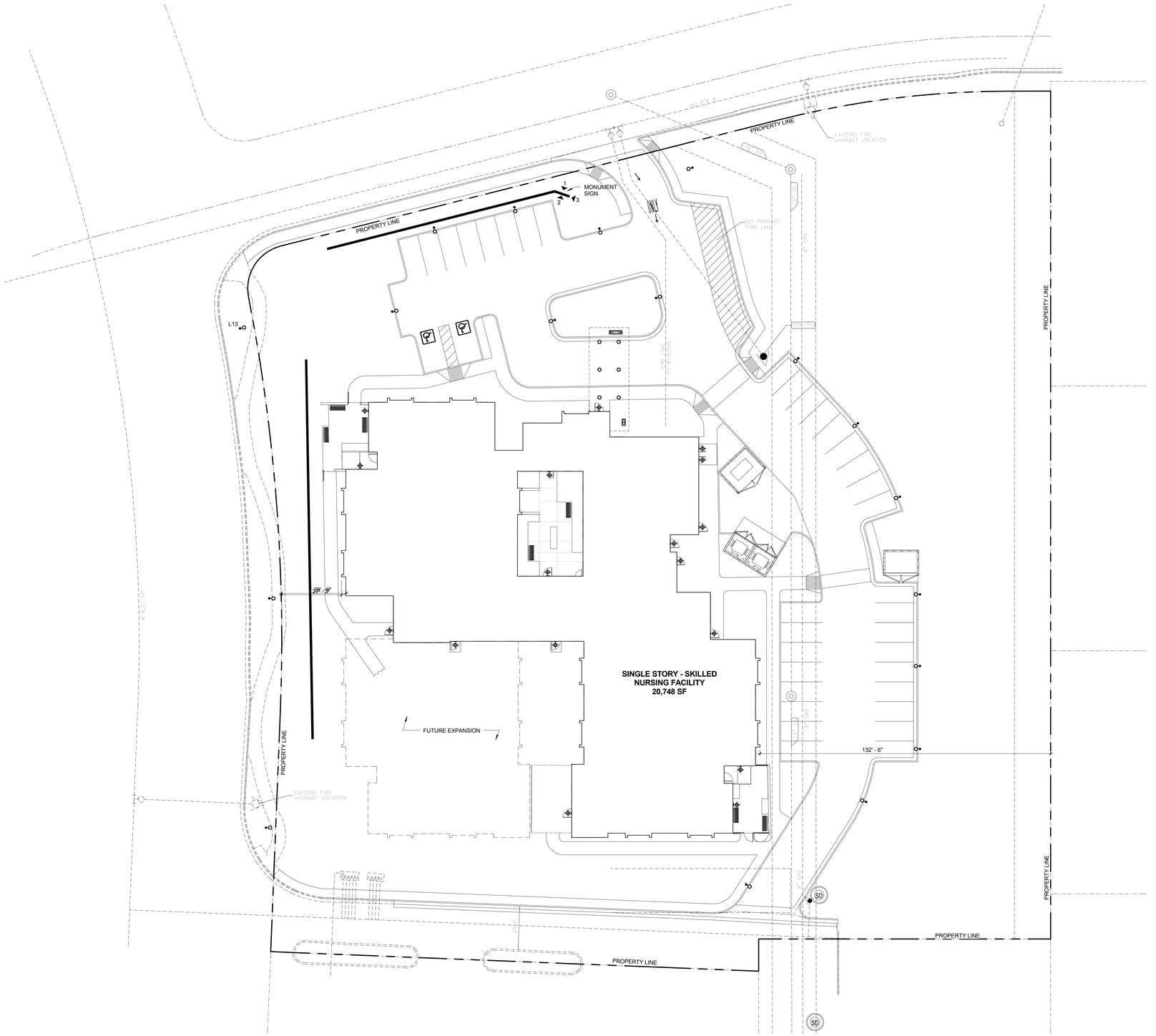
not to scale

SHEET INFORMATION:

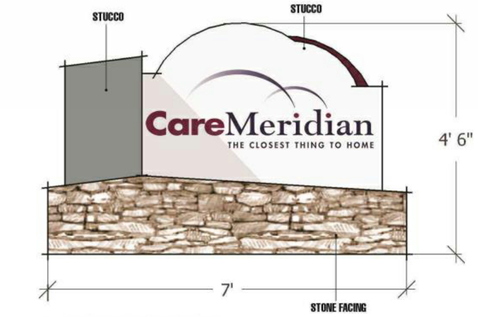
FENCING DETAILS

ISSUE DATE:	OCTOBER 2015
SCALE:	1" = 20'-0"
DRAWN BY:	R. SHOCK
CHECKED BY:	
PROJECT NUMBER:	221-15-002

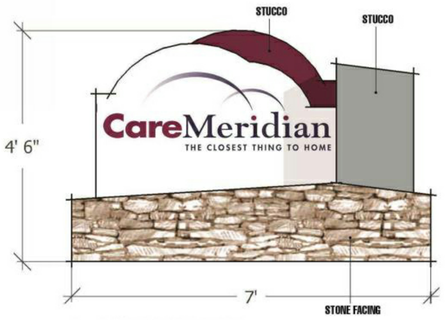
L.3



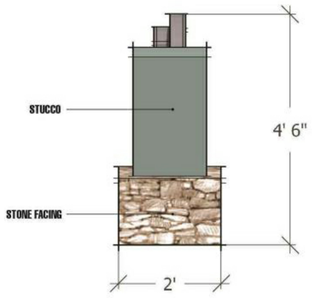
2 SIGNAGE SITE PLAN
1" = 20'-0"



1. FRONT ELEVATION



2. BACK ELEVATION



3. SIDE ELEVATION

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS IN THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP, LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

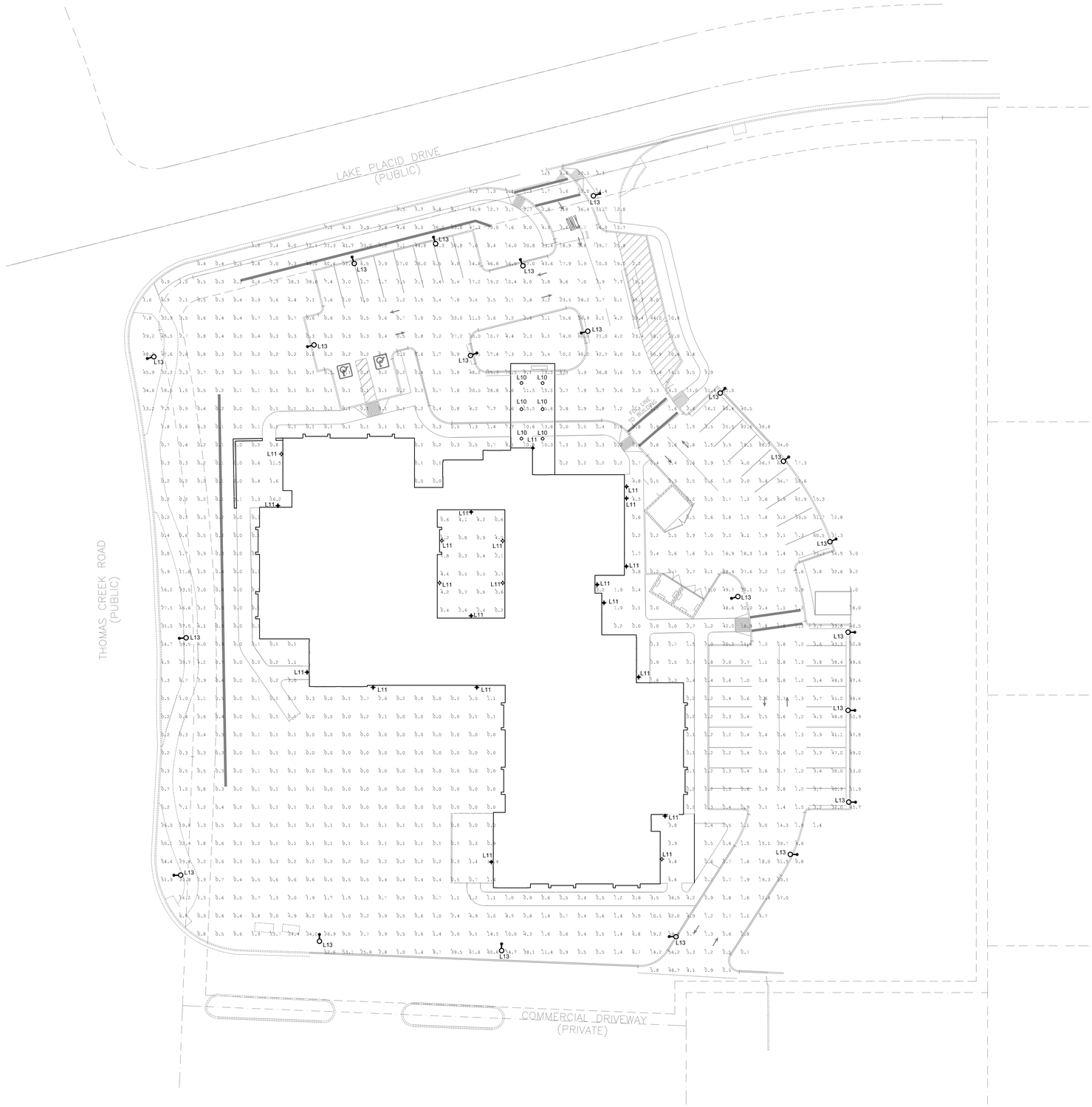
FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	As indicated
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

MONUMENT SIGN
ELEVATIONS

GI102



1 ELECTRICAL SITE PLAN PHOTOMETRICS
1" = 20'-0"

GENERAL NOTES

1. ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES SHALL BE MOUNTED AT 9'-0" AFG.
2. ALL POLE MOUNTED LIGHT FIXTURES SHALL BE MOUNTED AT 12'-0" AFG.
3. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E901 FOR MORE INFORMATION.

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

Affiliated Engineers

AFFILIATED ENGINEERS, INC.
4742 N. 24TH STREET, SUITE 100
PHOENIX, AZ 85016
TEL: 602.429.5800 FAX: 800.783.5424

AEI PROJECT NO. 15371-00

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT OF 1976 AS AMENDED DECEMBER 1990. ALL RIGHTS ARE RESERVED. THE ARCHITECTURAL WORKS PROTECTION ACT OF 1990 PROTECTS ARCHITECTS BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

WASHOE COUNTY SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
LAKE PLACID DRIVE,
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

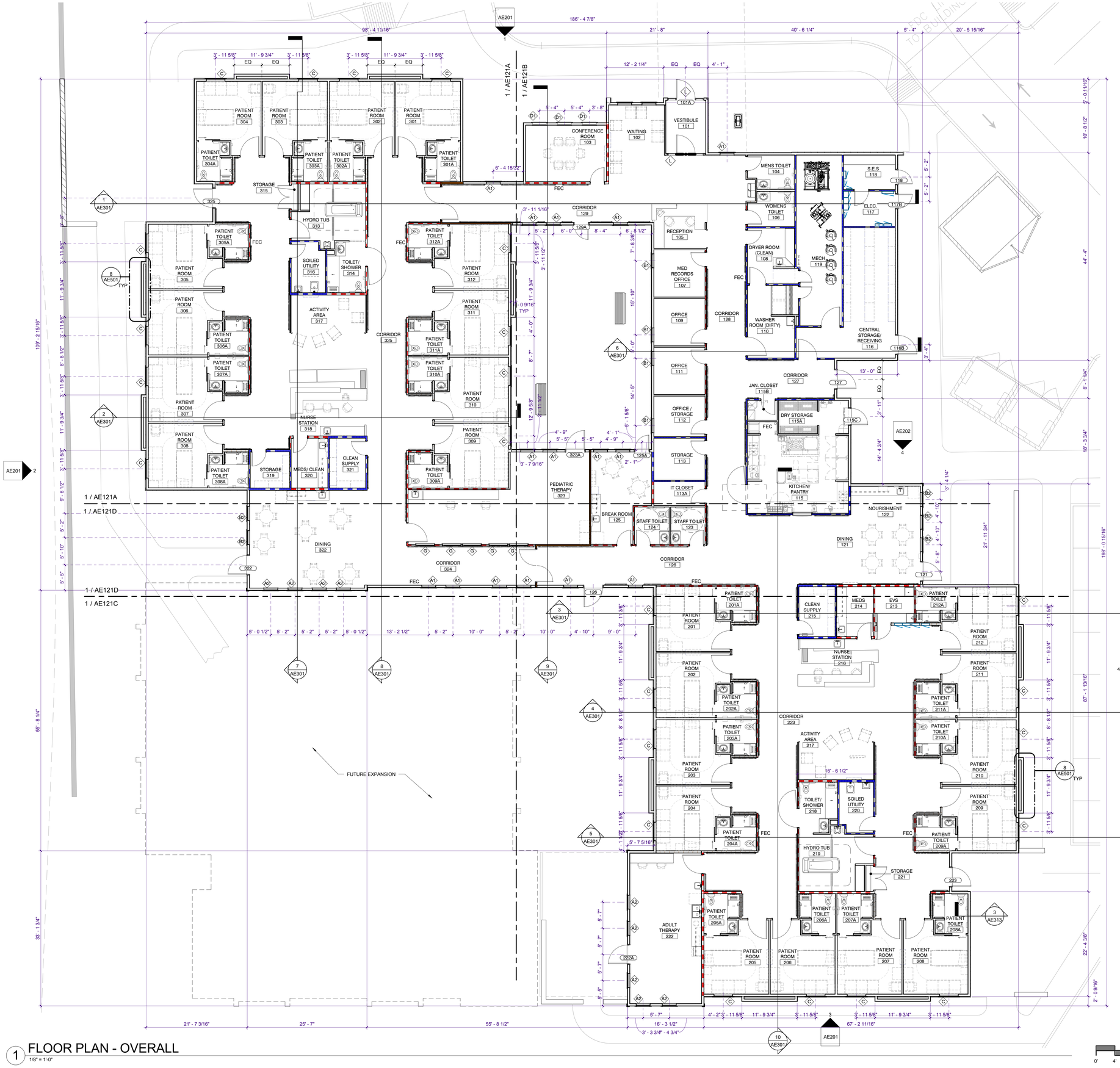
AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	NTS
DRAWN:	SB
REVIEWED:	ZG
JOB NUMBER:	80501

ELECTRICAL
SITE PLAN
PHOTOMETRICS

E101A

File Path: 2/27/2007 7:21:45 PM



1 FLOOR PLAN - OVERALL
1/8" = 1'-0"

GENERAL NOTES:

1. THE WORD "CLEAR" INDICATES CRITICAL DIMENSIONS FOR ADA EQUIPMENT OR FUNCTIONAL CLEARANCES FROM FACE OF FINISH TO FACE OF FINISH.

2. PROVIDE CONTINUOUS IN-WALL BACKING FOR WALL MOUNTED EQUIPMENT, MILLWORK, AND ACCESSORIES.

3. THRESHOLDS AT DOORWAYS AND TRANSITION STRIPS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

4. ALL EXTERIOR WALLS ARE 1 HR LOAD BEARING

5. PROVIDE WALK-OFF MATS AT ALL ENTRY DOORS.

6. ALL MED GAS, ZONE VALVE, ALARM, FIRE ALARM, ELECTRICAL, ETC PANEL LOCATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION

PARTITION LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING 2-HOUR FIRE BARRIER TO REMAIN
- EXISTING 1-HOUR FIRE BARRIER TO REMAIN
- EXISTING 1-HOUR SMOKE BARRIER TO REMAIN
- EXISTING SMOKE PARTITION TO REMAIN
- EXISTING 1-HOUR FIRE PARTITION TO REMAIN
- 2-HOUR FIRE BARRIER
- 1-HOUR FIRE BARRIER
- 1-HOUR SMOKE BARRIER
- SMOKE PARTITION
- 1-HOUR FIRE PARTITION
- NON-RATED INTERIOR PARTITION
- LIMITS OF CONSTRUCTION
- SHADE INDICATES AREA OUTSIDE OF SCOPE
- HATCH INDICATES SIDE OF LEAD LINED GYPSUM BOARD 5/8" TYPE "X" (RADIOLOGY EQUIPMENT SIDE.) REFER TO PHYSICIST'S REPORT IN SPECIFICATION SECTION 124900 FOR WEIGHT AND HEIGHT OF LEAD. VERIFY WITH LEAD CONTRACTOR.

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT OF 1990. THE ARCHITECTURAL WORKS PROTECTION ACT OF 1990 ("ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

WASHOE COUNTY SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	1/8" = 1'-0"
DRAWN:	DC
REVIEWED:	SR
JOB NUMBER:	80501

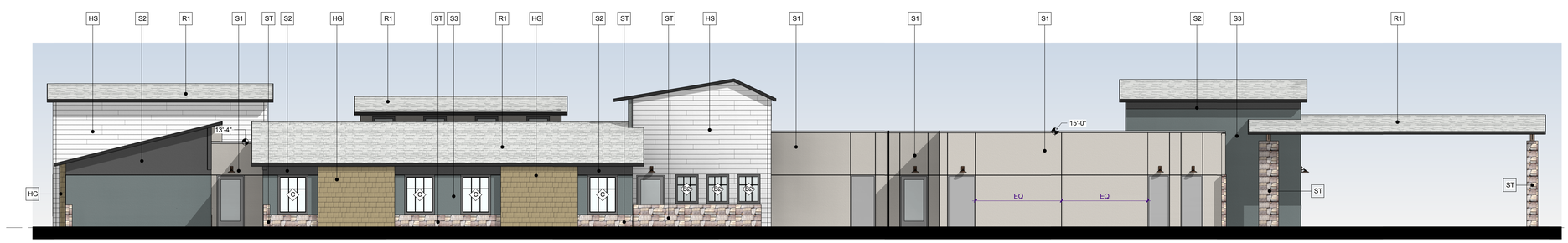
FLOOR PLAN - OVERALL

AE101

1 BUILDING ELEVATION - NORTH
1/8" = 1'-0"

2 BUILDING ELEVATION - WEST
1/8" = 1'-0"

3 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 BUILDING ELEVATION - EAST
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

STUCCO

S1 — MANUFACTURER: STO, STOTHERM CI, OR APPROVED EQUAL.
COLOR: MATCH DUNN EDWARDS DE6213 FINE GRAIN.
TEXTURE: FINE.

S2 — MANUFACTURER: STO, STOTHERM CI, OR APPROVED EQUAL.
COLOR: MATCH DUNN EDWARDS DE6378 JET.
TEXTURE: FINE.

S3 — MANUFACTURER: STO, STOTHERM CI, OR APPROVED EQUAL.
COLOR: MATCH DUNN EDWARDS DEC798 TALIESIN BLUE.
TEXTURE: FINE.

SIDING

HS — MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE PLANK LAPSIDING
COLOR: ARCTIC WHITE
FINISH: SMOOTH

HG — MANUFACTURER: JAMES HARDIE
PRODUCT: HARDIE SHINGLE SIDING
COLOR: AUTUMN TAN
FINISH: STAGGERED EDGE PANEL, WOOD GRAIN

ST — MANUFACTURER: ELDORADO STONE
PRODUCT: ANDANTE FIELDLEDGE

WINDOW SYSTEM

W1 — MANUFACTURER: MILGARD OR APPROVED EQUAL
PRODUCT: MONTECITO
COLOR: BRONZE (TRIM)

GLASS

G1 — MANUFACTURER: PPG INDUSTRIES
TYPE: SOLARBAN SOLAR CONTROL LOW E
COLOR: CLEAR
THICKNESS: 1"

MISC. METAL

MT1 — PREFINISHED
COLOR: TO MATCH ADJACENT FINISH

ROOFING

R1 — MANUFACTURER: OWENS CORNING
PRODUCT: TRUE DEFINITION DURATION ROOF SHINGLES
COLOR: SHASTA WHITE

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, AS AMENDED DECEMBER 1990, EFFECTIVE DECEMBER 1, 1990. THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

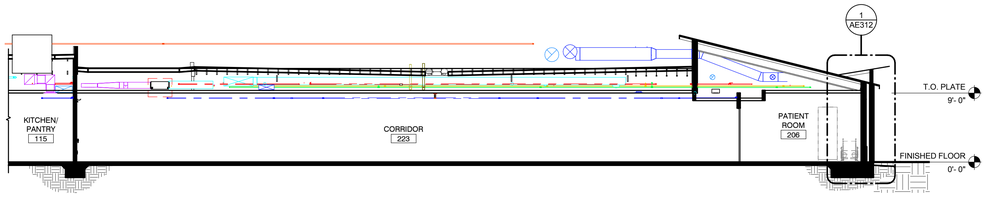
DATE:	10/22/2015
SCALE:	1/8" = 1'-0"
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

EXTERIOR
ELEVATIONS

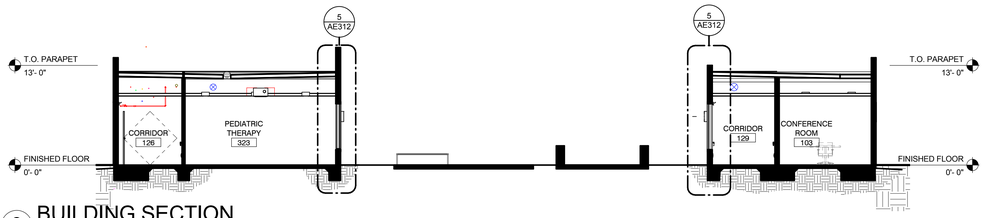
AE201

GENERAL NOTES

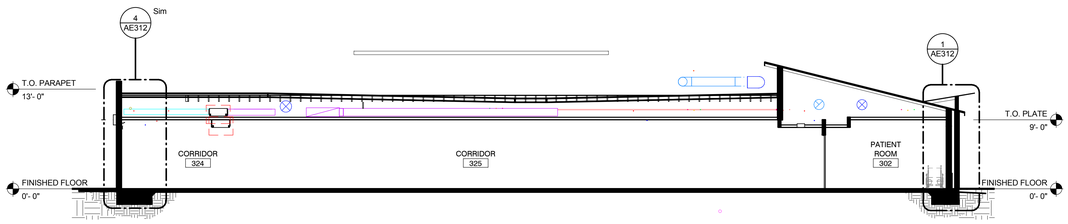
1. FOR RATED ROOF ASSEMBLIES, SEE UL DETAILS ON AC SERIES SHEETS.



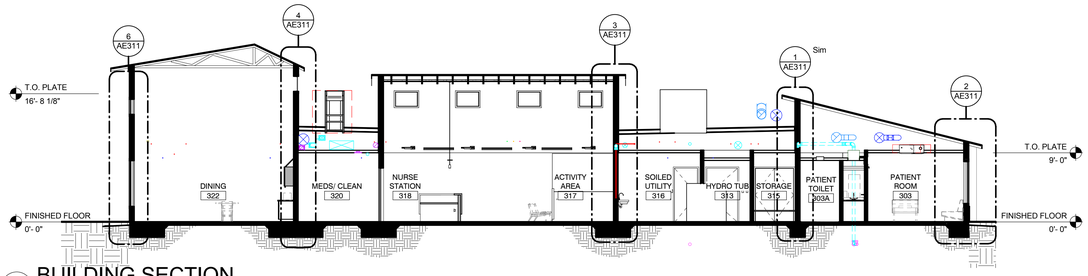
10 BUILDING SECTION
1/8" = 1'-0"



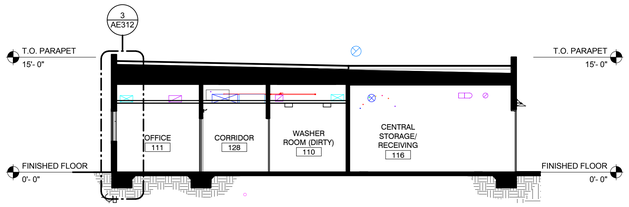
9 BUILDING SECTION
1/8" = 1'-0"



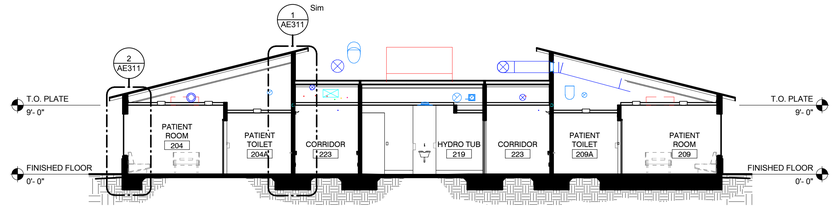
8 BUILDING SECTION
1/8" = 1'-0"



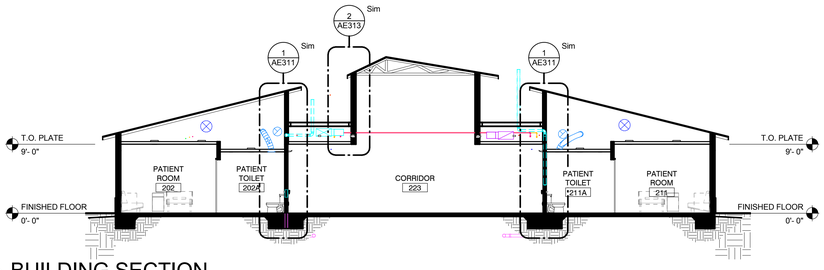
7 BUILDING SECTION
1/8" = 1'-0"



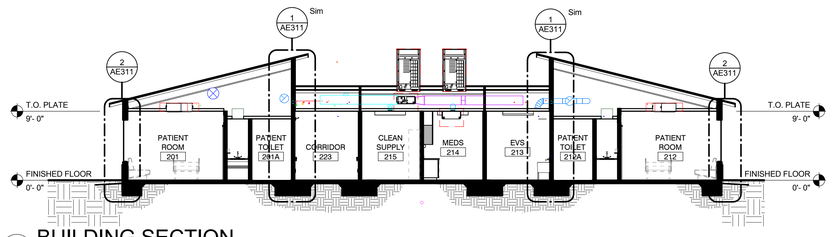
6 BUILDING SECTION
1/8" = 1'-0"



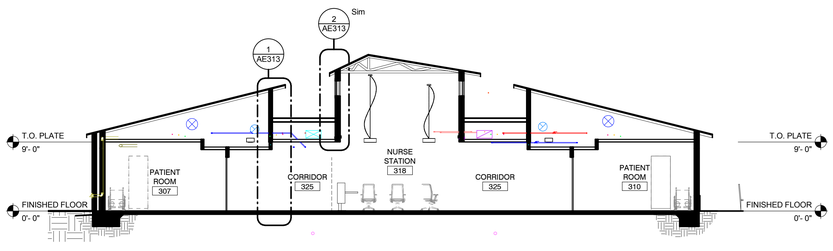
5 BUILDING SECTION
1/8" = 1'-0"



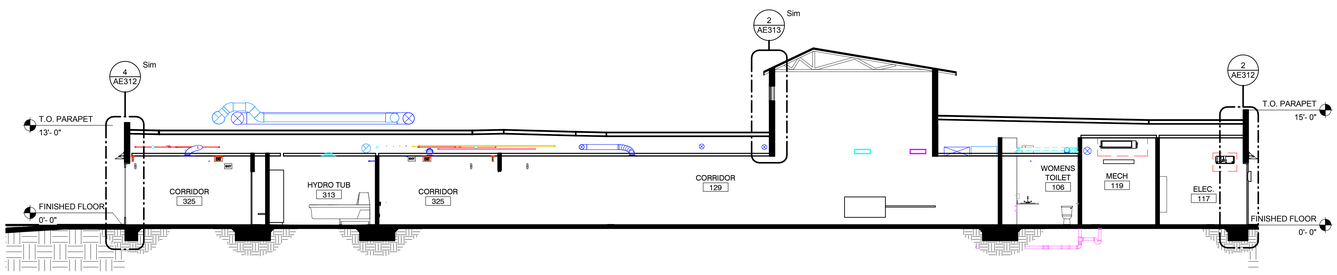
4 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



1 BUILDING SECTION
1/8" = 1'-0"

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT OF 1990. THE ARCHITECTURAL WORK INCLUDES THE BUILDING AND ANY OTHER WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	1/8" = 1'-0"
DRAWN:	DCT
REVIEWED:	SR
JOB NUMBER:	80501

BUILDING SECTIONS

AE301

ST ELDORADO STONE SIDING- ANDANTE FIELDLEDGE

S3 STUCCO (S3) STO DEC798 TALIESIN BLUE

HS HARDIE PLANK LAP SIDING- SMOOTH- ARCTIC WHITE

S2 STUCCO (S2) STO DE6378 JET

R1 OWENS CORNING - TRUE DEFINITION DURATION ROOFING SHINGLES - SHASTA WHITE

HG HARDIE SHINGLE SIDING - STAGGERED EDGE PANEL, WOOD GRAIN - AUTUMN TAN

S1 STUCCO (S1) STO DE6213 FINE GRAIN

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, AS AMENDED DECEMBER 1990, EFFECTIVE DECEMBER 1, 1990 FOR ALL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

MATERIALS SHEET

GI101

APN 150-361-03
F & ANNA NORMAN

LAKE PLACID DR
(EXIST/PUBLIC)

MATCH LOCATION AND ELEVATION OF (e)PCC CURB & GUTTER (FIELD VERIFY) MAINTAIN DRAINAGE

MATCH LOCATION AND ELEVATION OF (e)PCC CURB & GUTTER (FIELD VERIFY) MAINTAIN DRAINAGE

SECTION A–A
REF DETAIL, THIS SHEET

TW=88.75
FG(NORTH)=87.25
FG(SOUTH)=87.31

TW=87.33
FG(NORTH)=85.50
FG(SOUTH)=86.61

TW=90.20
FG(NORTH)=88.64
FG(SOUTH)=88.02

TW=90.93
FG(NORTH)=89.47
FG(SOUTH)=89.00

PROPOSED LOCATION FOR MONUMENT SIGN TO CONFORM TO AP.14-005 1-J

12" SD

COORDINATE COURTYARD AREA WITH ARCHITECT'S DRAWINGS

PROPOSED FF OF BUILDING=5186.7
PROPOSED BUILDING
FG ADJACENT TO BUILDING=5186.2

MATCH LINE
(REF. SHEET C-5)

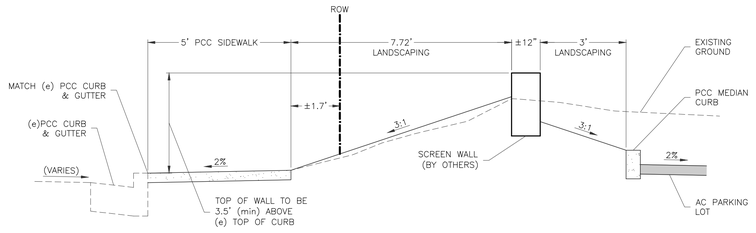
MATCH LINE
(REF. SHEET C-4)

10' 5' 0 10'

NORTH

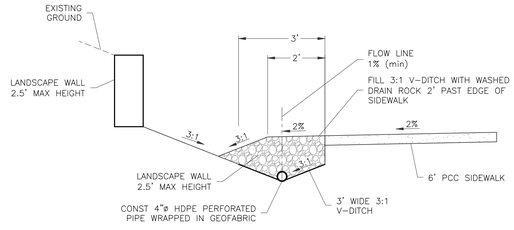
LEGEND

- PROPERTY BOUNDARY
- 12" SD — STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXISTING)
- CATCH BASIN (HOLLOW IF EXISTING)
- MANHOLE (HOLLOW IF EXISTING)
- PROPOSED A.C. PAVEMENT AREA
- PROPOSED CONCRETE AREA
- 85.5 TC — PROPOSED ELEV. @ FRONT FACE TOP OF CURB
- 81.4 FG — PROPOSED ELEVATION @ FINISHED GRADE
- 83.3 GB — PROPOSED ELEVATION @ GRADE BREAK
- 86.0 HP — PROPOSED ELEVATION @ HIGH POINT
- 83.3 BFC — PROPOSED ELEVATION @ BACK FACE OF CURB
- 86.0 FG — PROPOSED FINISH GRADE ELEVATION
- 5175 — EXISTING CONTOUR LINE (BY OTHERS)
- 85 — FINISH GRADE CONTOUR (ADD 5100 FT)
- HANDICAP RAMP



SECTION A–A

N.T.S.



NOTE:

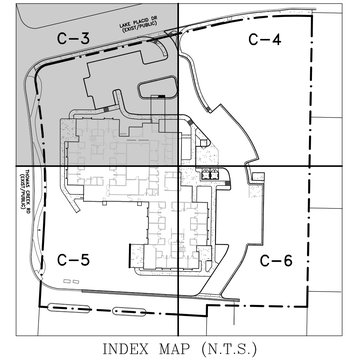
BACKFILL 3:1 V-DITCH WITH WASHED DRAIN ROCK ALONG 6' PCC SIDEWALK AS INDICATED.

SECTION B–B

N.T.S.

NOTES:

1) ADD 5100 TO ALL SPOT ELEVATIONS.



INDEX MAP (N.T.S.)

REUSE OF DOCUMENTS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC 1 INCORPORATED AND IS NOT TO BE USED, IN THE WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC 1 INCORPORATED

REVISIONS

NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER-STATE OF NEVADA
JACOB R. HILDEBRAND
Exp: 6/30/17
CIVIL
No. 15733

CIVIL ENGINEERING CONSULTANTS
9480 DOUBLE DIAMOND PKWY. STE 200
RENO, NEVADA 89521
PH (775) 352-7600 • FAX (775) 352-7929

TEC

CIVIL IMPROVEMENT PLANS FOR
THOMAS CREEK HEALTH CAP PARTNERS
GRADING PLAN
WASHOE COUNTY NEVADA

JOB No.	HEALTHCAP.02
DATE:	10/20/15
VERT. SCALE:	NA
HORIZ. SCALE:	1"=10'
DRAWN BY:	JRH
CHECKED BY:	JRS
APPROVED BY:	JAG

SHEET C-3
OF
10 SHEETS

LAKE PLACID DR
(EXIST/PUBLIC)

MATCH LINE
(REF. SHEET C-3)

(e)RIM=±73.88

APN 142-342-01
RUSSIAN LIVING TRUST

APN 142-342-02
EMERY

Q100=±5.5 cfs
d100=0.84-ft
V100= 3.9 fts
Q(cap)=56.2 cfs
S=±1.2%

GRADE BREAK RADIUS=±35'

PROPOSED FF OF BUILDING=5186.7
PROPOSED BUILDING
FG ADJACENT TO BUILDING=5186.2

MATCH LINE
(REF. SHEET C-6)

LEGEND

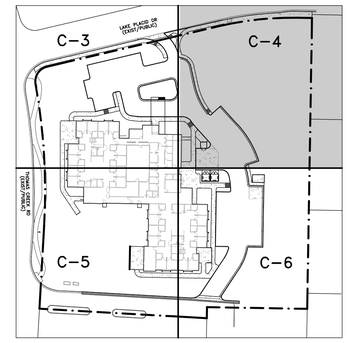
- PROPERTY BOUNDARY
- 12" SD — STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXISTING)
- CATCH BASIN (HOLLOW IF EXISTING)
- MANHOLE (HOLLOW IF EXISTING)
- PROPOSED A.C. PAVEMENT AREA
- PROPOSED CONCRETE AREA
- 85.5 TC — PROPOSED ELEV. @ FRONT FACE TOP OF CURB
- 81.4 FG — PROPOSED ELEVATION @ FINISHED GRADE
- 83.3 GB — PROPOSED ELEVATION @ GRADE BREAK
- 86.0 HP — PROPOSED ELEVATION @ HIGH POINT
- 83.3 BFC — PROPOSED ELEVATION @ BACK FACE OF CURB
- 86.0 FG — PROPOSED FINISH GRADE ELEVATION
- 5175 — EXISTING CONTOUR LINE (BY OTHERS)
- 85 — FINISH GRADE CONTOUR (ADD 5100 FT)
- HANDICAP RAMP

10' 5' 0 10'

NORTH

NOTES:

1) ADD 5100 TO ALL SPOT ELEVATIONS.



INDEX MAP (N.T.S.)

REUSE OF DOCUMENTS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC 1 INCORPORATED AND IS NOT TO BE USED, IN THE WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC 1 INCORPORATED

REVISIONS

NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER-STATE OF NEVADA
JACOB R. HILDEBRAND
Exp: 6/30/17
CIVIL
No. 15733

CIVIL ENGINEERING CONSULTANTS
9480 DOUBLE DIAMOND PKWY. STE 200
RENO, NEVADA 89521
PH (775) 352-7800 - FAX (775) 352-7929

CIVIL IMPROVEMENT PLANS FOR
THOMAS CREEK HEALTH CAP PARTNERS

GRADING PLAN

WASHOE COUNTY NEVADA

JOB No.	HEALTHCAP.02
DATE:	10/20/15
VERT. SCALE:	NA
HORIZ. SCALE:	1"=10'
DRAWN BY:	JRH
CHECKED BY:	JRS
APPROVED BY:	JAG

SHEET C-4
OF
10 SHEETS

MATCH LINE
(REF. SHEET C-3)

MATCH LINE
(REF. SHEET C-6)

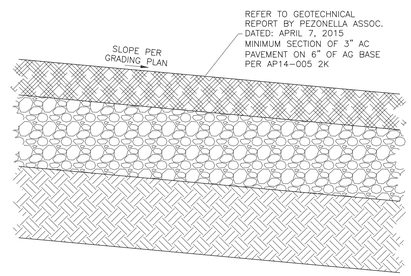
10' 5' 0 10'

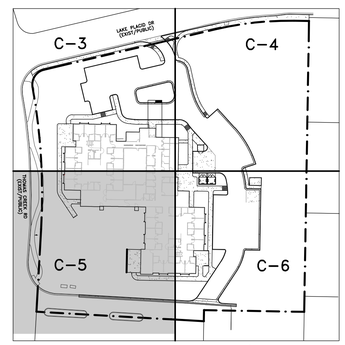
NORTH

LEGEND

- PROPERTY BOUNDARY
- 12" SD — STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXISTING)
- CATCH BASIN (HOLLOW IF EXISTING)
- MANHOLE (HOLLOW IF EXISTING)
- PROPOSED A.C. PAVEMENT AREA
- PROPOSED CONCRETE AREA
- 85.5 TC — PROPOSED ELEV. @ FRONT FACE TOP OF CURB
- 81.4 FG — PROPOSED ELEVATION @ FINISHED GRADE
- 83.3 GB — PROPOSED ELEVATION @ GRADE BREAK
- 86.0 HP — PROPOSED ELEVATION @ HIGH POINT
- 83.3 BFC — PROPOSED ELEVATION @ BACK FACE OF CURB
- 86.0 FG — PROPOSED FINISH GRADE ELEVATION
- 5175 — EXISTING CONTOUR LINE (BY OTHERS)
- 85 — FINISH GRADE CONTOUR (ADD 5100 FT)
- HANDICAP RAMP

PAVEMENT SECTION





INDEX MAP (N.T.S.)

NOTES:

1) ADD 5100 TO ALL SPOT ELEVATIONS.

REUSE OF DOCUMENTS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC 1 INCORPORATED AND IS NOT TO BE USED, IN THE WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC 1 INCORPORATED

REVISIONS		
NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER-STATE OF NEVADA
JACOB R. HILDEBRAND
Exp: 6/30/17
CIVIL
No. 15733

CIVIL ENGINEERING CONSULTANTS
9480 DOUBLE DIAMOND PKWY. STE 200
RENO, NEVADA 89521
PH (775) 352-7600 - FAX (775) 352-7929

TEC

CIVIL IMPROVEMENT PLANS FOR
THOMAS CREEK HEALTH CAP PARTNERS
GRADING PLAN
WASHOE COUNTY NEVADA

JOB No.	HEALTHCAP.02
DATE:	10/20/15
VERT. SCALE:	NA
HORIZ. SCALE:	1"=10'
DRAWN BY:	JRH
CHECKED BY:	JRS
APPROVED BY:	JAG

SHEET C-5
OF
10 SHEETS

MATCH LINE
(REF. SHEET C-4)

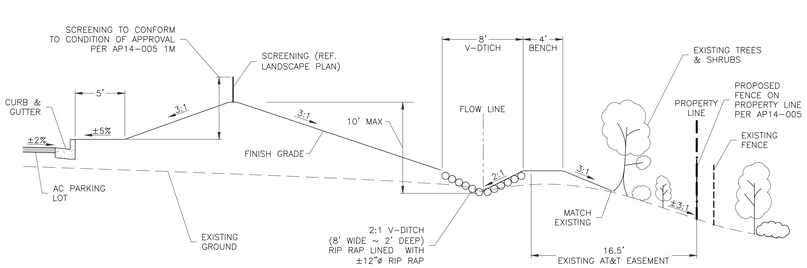
MATCH LINE
(REF. SHEET C-5)

10' 5' 0 10'

LEGEND

- PROPERTY BOUNDARY
- 12" SD — STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXISTING)
- CATCH BASIN (HOLLOW IF EXISTING)
- MANHOLE (HOLLOW IF EXISTING)
- PROPOSED A.C. PAVEMENT AREA
- PROPOSED CONCRETE AREA
- 85.5 TC — PROPOSED ELEV. @ FRONT FACE TOP OF CURB
- 81.4 FG — PROPOSED ELEVATION @ FINISHED GRADE
- 83.3 GB — PROPOSED ELEVATION @ GRADE BREAK
- 86.0 HP — PROPOSED ELEVATION @ HIGH POINT
- 83.3 BFC — PROPOSED ELEVATION @ BACK FACE OF CURB
- 86.0 FG — PROPOSED FINISH GRADE ELEVATION
- 5175 — EXISTING CONTOUR LINE (BY OTHERS)
- 85 — FINISH GRADE CONTOUR (ADD 5100 FT)
- HANDICAP RAMP

NORTH

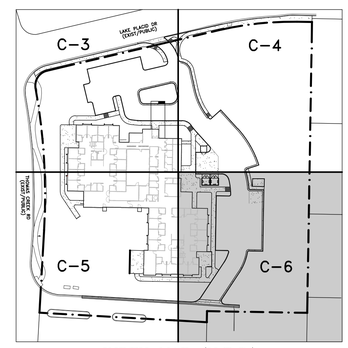


SECTION C-C

N.T.S.

NOTES:

1) ADD 5100 TO ALL SPOT ELEVATIONS.



INDEX MAP (N.T.S.)

REUSE OF DOCUMENTS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TEC 1 INCORPORATED AND IS NOT TO BE USED, IN THE WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TEC 1 INCORPORATED

REVISIONS		
NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER-STATE OF NEVADA
JACOB R. HILDEBRAND
Exp: 6/30/17
CIVIL
No. 15733

CIVIL ENGINEERING CONSULTANTS
9480 DOUBLE DIAMOND PKWY. STE 200
RENO, NEVADA 89521
PH (775) 352-7600 • FAX (775) 352-7929

TEC

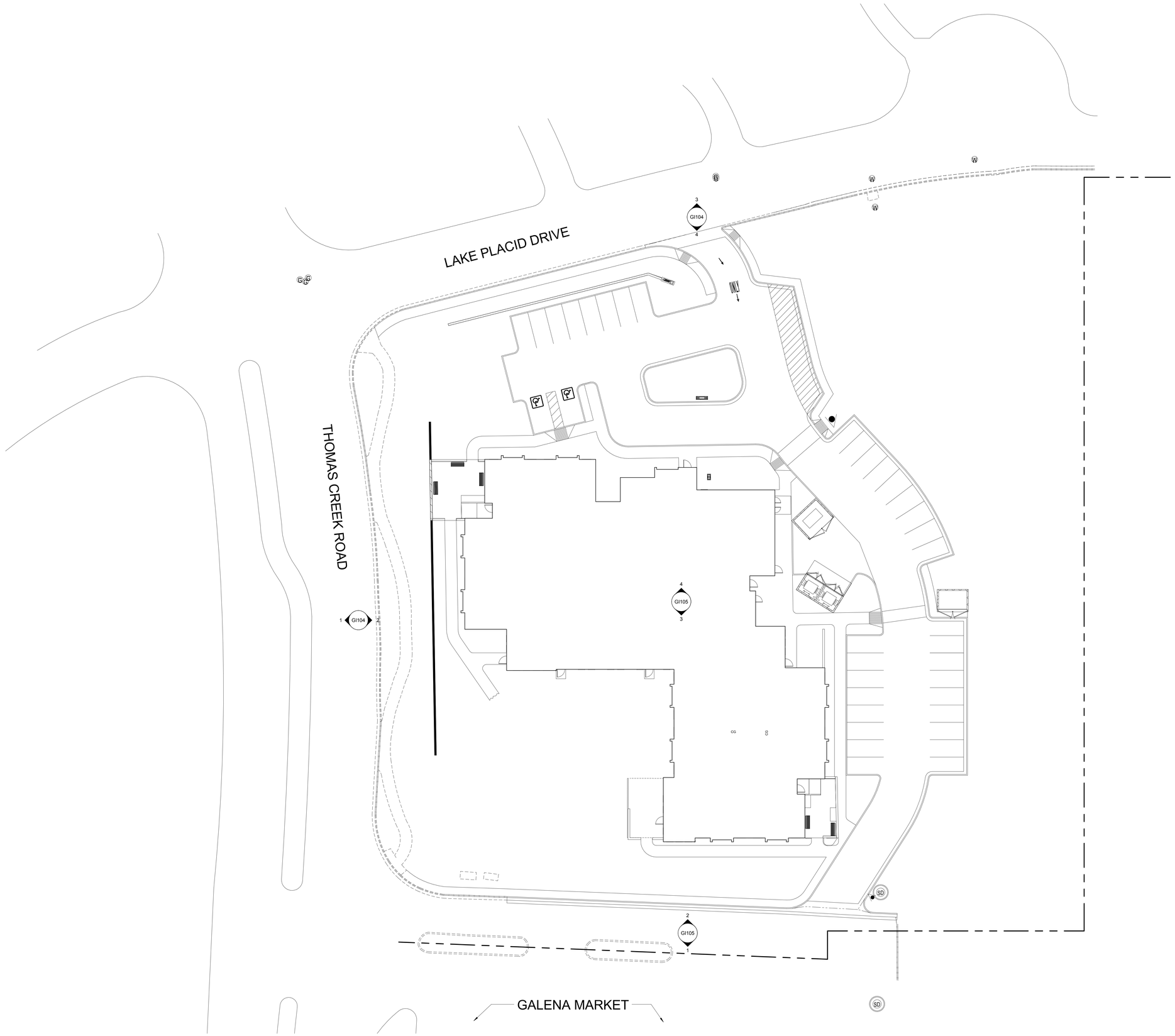
CIVIL IMPROVEMENT PLANS FOR
THOMAS CREEK HEALTH CAP PARTNERS

GRADING PLAN

WASHOE COUNTY NEVADA

JOB No.	HEALTHCAP.02
DATE:	10/20/15
VERT. SCALE:	NA
HORIZ. SCALE:	1"=10'
DRAWN BY:	JRH
CHECKED BY:	JRS
APPROVED BY:	JAG

SHEET C-6
OF
10 SHEETS



SITE PHOTOS - KEY PLAN

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS IN THE DESIGN. UNAUTHORIZED PROTECTION. UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP, LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	1" = 20'-0"
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

SITE PHOTOS - KEY PLAN

GI103

1 **WEST PROPERTY LINE LOOKING WEST**

2 **WEST PROPERTY LINE LOOKING EAST**

3 **NORTH PROPERTY LINE LOOKING NORTH**

4 **NORTH PROPERTY LINE LOOKING SOUTH**

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS IN THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP, LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

SITE PHOTOS

GI104

1 SOUTH PROPERTY LINE LOOKING SOUTH

2 SOUTH PROPERTY LINE LOOKING NORTH

3 CENTER OF PROPERTY LOOKING SOUTH

4 CENTER OF PROPERTY LOOKING NORTH

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS IN THE DESIGN. IN ADDITION TO SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP, LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

SITE PHOTOS

GI105

DG ARCHITECTURE

DG Architecture

201 W. Indian School Road
Phoenix, Arizona 85013

T: 602.943.8950
F: 602.943.7645

www.devenneygroup.com

Consultant:

PRELIMINARY
NOT FOR
CONSTRUCTION

IF THESE PLANS DO NOT BEAR THE SEAL OF A REGISTRANT, THEY ARE TO BE CONSIDERED "PRELIMINARY" AND ARE NOT TO BE USED FOR CONSTRUCTION OR RECORDING. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS IN THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO DEVENNEY GROUP, LTD.

WASHOE
COUNTY
SKILLED LIVING

CARE MERIDIAN RENO

19900 THOMAS CREEK ROAD
RENO, NV 89511

AUTHORITY HAVING JURISDICTION:

AUTHORITY HAVING JURISDICTION'S PROJECT NO:

FACILITY NUMBER:

AGENCY APPROVALS:

DATE:	10/22/2015
SCALE:	
DRAWN:	Author
REVIEWED:	Checker
JOB NUMBER:	80501

SURROUNDING
AREA PHOTOS

GI106