

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 5152 Winding Ridge DR			
Project Description: NEW CONSTRUCTION, SINGLE FAMILY HOUSE WITH DETACHED GUEST HOUSE.			
Project Address: 5152 Winding Ridge DR. RENO, NV 89511			
Project Area (acres or square feet): 1.07 ACRES			
Project Location (with point of reference to major cross streets AND area locator): ARROW CREEK Community, WEST OF Highway 580, NORTH OF Highway 431. MAIN ROAD ARROW CREEK PARKWAY			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
152-911-01	1.07		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). N/A			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: PETER RUSIN		Name:	
Address: 213 HOLLY OAK CT		Address:	
RENO, NV Zip: 89521		Zip:	
Phone: 480 205 8621 Fax:		Phone: Fax:	
Email: PRUSINJR@ME.COM		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2,582 SQFT

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

500 SQFT

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

NO, THEY ARE DETACHED

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

3 PARKING SPOTS. SEE SITE PLAN.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

SITE IS ALREADY LEVEL & GRADE. WE HAVE NO NEIGHBORS BEHIND US

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name. ARROW CREEK

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

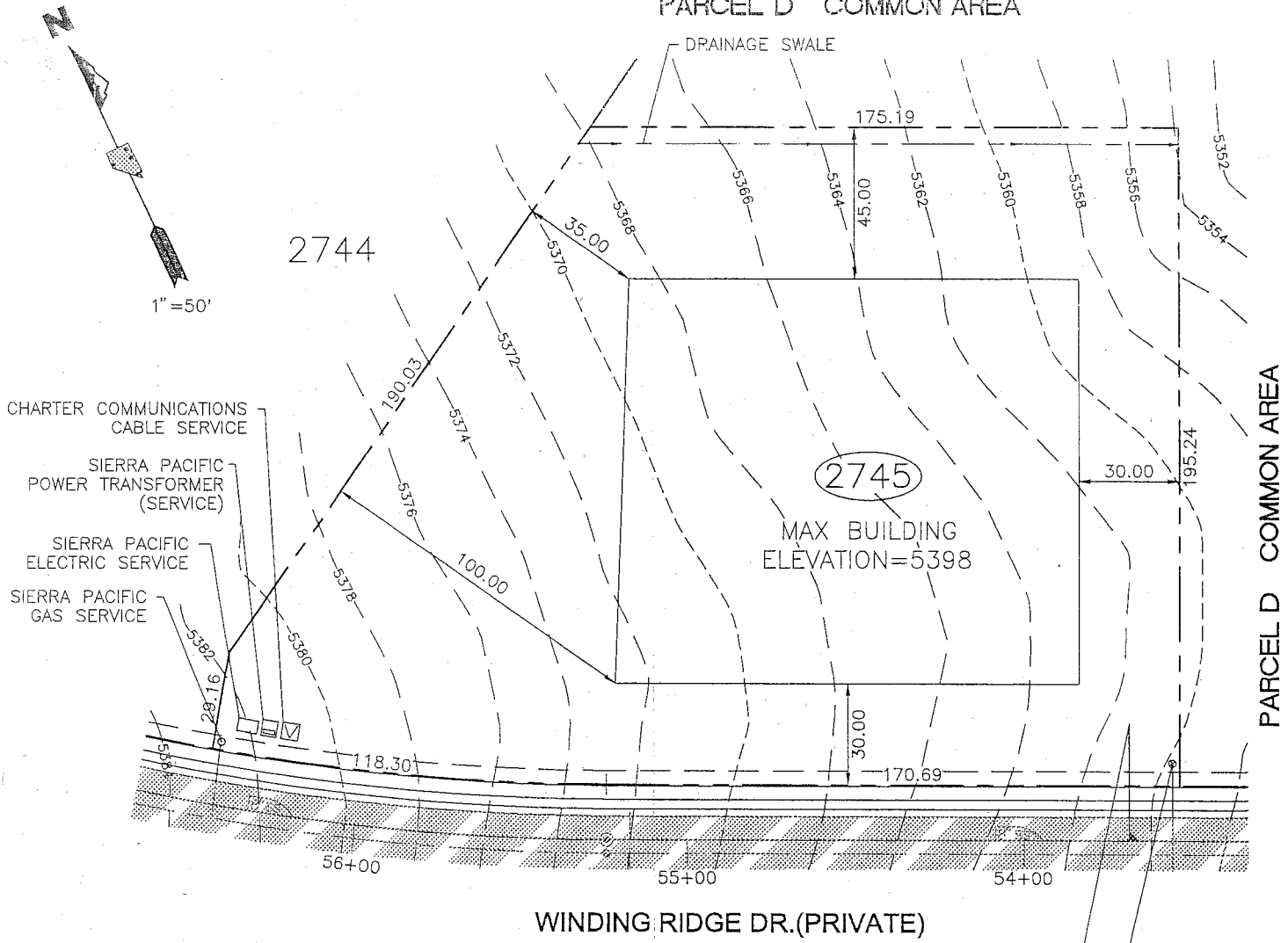
9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	MUNICIPAL - RENO	MUNICIPAL - RENO
Electrical Service	NV ENERGY	NV ENERGY
Solid Waste Disposal Service	WASTE MGT	WASTE MGT
Water Service	TMWA	TMWA

PARCEL D COMMON AREA



NOTES:

BUILDING ENVELOPE =16,336 SF
 LOT =46,594 SF

SEWER LIFT STATION AND/OR PRESSURE REDUCING VALVE
 MAY BE REQUIRED BY HOMEOWNER

PROPOSED DRAINAGE ON THE LOT IS TO ONLY DRAIN TO THE STREET
 OR COMMON AREA. AT NO TIME CAN PROPOSED DRAINAGE DRAIN
 TO ADJACENT PARCELS

REFERENCE OFFICIAL PLAT FOR EASEMENTS, AND INFORMATION NOT LISTED
 A 5' PUE IS ALONG EACH PROPERTY LINE, 10' ALONG STREET RIGHT OF WAY

THE INFORMATION ON THIS DRAWING WAS COMPILED FROM THE SUBDIVISION IMPROVEMENT PLANS PREPARED
 BY SUMMIT AND THE UTILITY PLANS FROM CHARTER COMMUNICATIONS, SPPCO., AND SBC. THIS IS NOT INTENDED TO BE AN AS-BUILT
 DRAWING. AS OF THE DATE OF THIS DRAWING NOT ALL CONSTRUCTION WAS COMPLETE. TO THE LIMITED EXTENT
 POSSIBLE, EVERY ATTEMPT HAS BEEN MADE TO FIELD VERIFY THE INFORMATION SHOWN. HOWEVER, THERE ARE NO
 WARRANTIES OR GUARANTEES THAT THE INFORMATION SHOWN IS TOTALLY CORRECT. UTILITY SERVICE SIZES
 AND LOCATIONS SHOULD BE VERIFIED IN THE FIELD OR WITH THE APPROPRIATE UTILITY COMPANY.

IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER OF THE LOT TO GRADE IN ACCORDANCE WITH THE APPROVED COMMUNITY DESIGN STANDARDS,
 BEST MANAGEMENT PRACTICES, AND WASHOE COUNTY REQUIREMENTS.

THE PURCHASER OF THE LOT SHALL BE RESPONSIBLE FOR SUBMITTING A FINAL
 GRADING PLAN TO WASHOE COUNTY BUILDING DEPARTMENT FOR APPROVAL AND PERMITS.

NO FENCES, RETAINING WALLS, OR OBSTRUCTIONS SHALL BE CONSTRUCTED WITHIN DRAINAGE, SEWER, WATER, OR STORM DRAIN EASEMENTS.

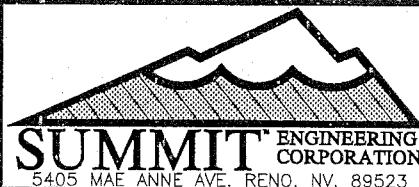
5152 WINDING RIDGE DR.

ARROWCREEK UNIT 27
 PLOT PLAN
 LOT 2745

SCALE 1"=50'

APN# 152-911-01

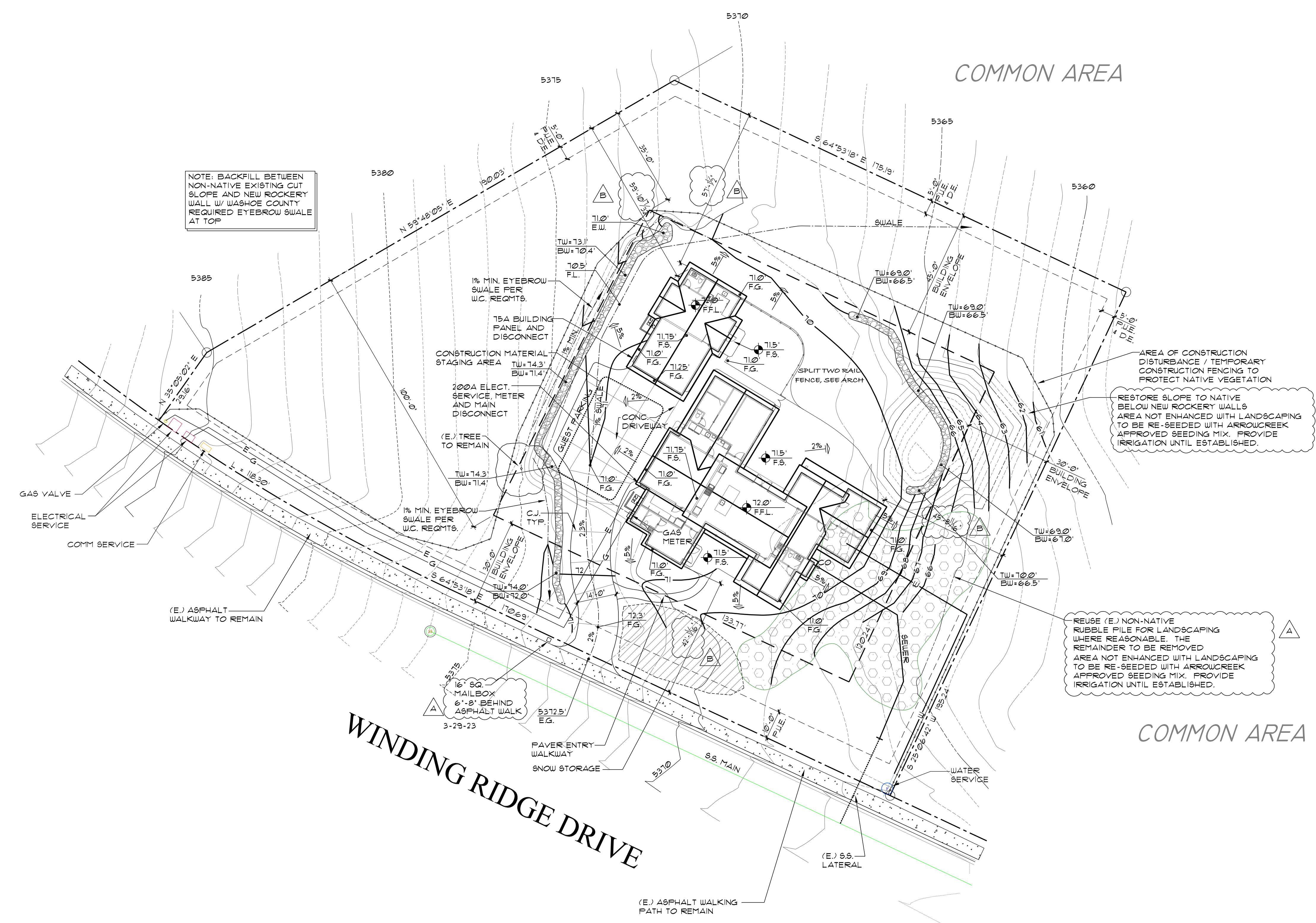
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GENERAL SITE NOTES

- ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS) AND THE 2011 NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.
- CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
- MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOOD PLAIN BOUNDARY OF THE 100-YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
- THIS SITE IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.
- CONCRETE DRIVEWAY TO BE STAINED. COLOR TO MATCH PAVERS. CONCRETE JOINTS TO BE APPROX. 10' ON CENTER AND ALONG CENTERLINE OF DRIVEWAY. PLEASE SEE PLAN FOR PLACEMENT.

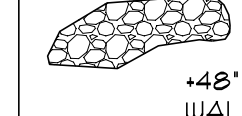


NOTE: BACKFILL BETWEEN NON-NATIVE EXISTING CUT SLOPE AND NEW ROCKERY WALL W/ WASHOE COUNTY REQUIRED EYEBROW SWALE AT TOP

RESTORE SLOPE TO NATIVE BELOW NEW ROCKERY WALLS AREA NOT ENHANCED WITH LANDSCAPING TO BE RE-SEEDDED WITH ARROUCREEK APPROVED SEEDING MIX. PROVIDE IRRIGATION UNTIL ESTABLISHED.

REUSE (E.) NON-NATIVE RUBBLE PILE FOR LANDSCAPING WHERE REASONABLE. THE REMAINDER TO BE REMOVED AREA NOT ENHANCED WITH LANDSCAPING TO BE RE-SEEDDED WITH ARROUCREEK APPROVED SEEDING MIX. PROVIDE IRRIGATION UNTIL ESTABLISHED.

SITE CONTOUR LEGEND


(E.) CONTOURS	5060
(N) CONTOURS	5060
	48" MAX. HEIGHT DRYSTACK ROCKERY WALL W/ 12" WIDE COL. OF DRAIN ROCK AND FRENCH DRAIN TO DAYLIGHT PER 48/8D3

EARTHWORK ANALYSIS

SITE AREA	46,594 SF.
SITE DISTURBANCE	21,500 SF.
PROPOSED CUT	12 YD ³
PROPOSED FILL	40 YD ³
NET EARTHWORK	32 YD ³ CUT / REMOVE

1. THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION IF AVAILABLE AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

HEIGHT / COVERAGE

MAXIMUM ALLOWED BUILDING HT.	5398'0" 
PROPOSED BUILDING HEIGHT	5389'-6"
DRIVEWAY COVERAGE	228'0" SF.
SITE AREA	46,594 SF.
SITE DISTURBANCE	21,500 SF.

BASIS OF BEARING:

THE BASIS OF BEARING FOR THIS SURVEY IS THE SAME AS THOSE SHOWN ON A PARCEL MAP FOR ARROUCREEK SUBDIVISION UNIT 21, TRACT MAP NO. 441, RECORDED APRIL 26, 2005 WASHOE COUNTY NEVADA.

SITE/ GRADING PLAN
SCALE 1" = 10'-0"

ARROUCREEK UNIT #27 - LOT #2745



PLANT SCHEDULE						
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
AME GAB	AMELANCHIER * GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3" DBH	PER PLAN	4	
MAL PRA	MALUS PRAIRIFIRE	PRARIFIRE CRABAPPLE	3" DBH	PER PLAN	3	
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
PIN VAN	PINUS EXELSI 'VANDERWOLF'S PYRAMID'	VANDERWOLF PYRAMID PINE	10W, 8FT	PER PLAN	2	
PIC BAB	PICEA PUNGENS 'BABY BLUE'	BABY BLUE SPRUCE	8FT	PER PLAN	2	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
ROS BAL	ROSA 'SALTOWY'	PAINT THE TOWN ROSE	#5 CONT	36" OC	18	
EUO COM	EUCONYMIUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	#5 CONT	36" OC	5	
FRA PHO	FRAXES PHOTINIA	RED TIP PHOTOINIA	#5 CONT	24" OC	6	
COT COG	COTINUS COGOGYRIA	ROYAL PURPLE SMOKE BUSH	#5 CONT	36" OC	4	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
HEL SEM	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#3 CONT	24" OC	31	
MIS SIN	MISCANTHUS SINENSIS	MAIDEN GRASS	#5 CONT	36" OC	4	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
HEM PAR	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	#1 CONT	18" OC	66	
HEM SOU	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#1 CONT	18" OC	19	
SED AUT	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	#3 CONT	24" OC	26	
SAL PIN	SALVIA 'PINK ENIGMA'	PINK ENIGMA SALVIA	#1 CONT	18" OC	21	
IRI CTD	IRIS 'COUNT THE DAYS'	COUNT THE DAYS IRIS	#1 CONT	18" OC	58	

Figure 8
ArrowCreek Landscape Calculation Worksheet:

TOTAL LOT AREA	46954	S.F.
BUILDING FOOTPRINT (INCLUDING GARAGE)	3889	S.F.
HARD SURFACE AREAS	3866	S.F.
IRRIGATED LANDSCAPE AREA (20,000 S.F. MAXIMUM ALLOWANCE INCLUDING LAWN AREAS)	8082	S.F.
LAWN SHOWN (3500 S.F. MAXIMUM ALLOWED)	2183	S.F.
NON-IRRIGATED NATIVE AREAS (MINIMUM 40 % REQUIRED)	31137	S.F.
(66.3 % OF NET LOT AREA)		

NOTE: LAWN SQUARE FOOTAGE IN OVERALL IRRIGATED LANDSCAPE QUANTITY.

OWNER/ARCHITECT TO INCLUDE THIS CHART ON THE LANDSCAPE PLAN FOR DESIGN REVIEW SUBMITTAL.

PLEASE INCLUDE LANDSCAPE CALCULATIONS ON THE ACTUAL LANDSCAPE PLAN.

THE FOLLOWING SECTION CONTAINS RECOMMENDATIONS FOR CUSTOM HOMES ADJACENT TO OPEN SPACE.

IRRIGATION NOTES:

- The design and construction of a fully automatic zoned irrigation system shall be included as part of this project's scope of work. All pumps, RPZ (back flow preventers), controllers, timers, lines, drains, valves, spray heads, plumbing connections and other necessary equipment or accessories shall be included in the system.
- The irrigation system shall be designed and constructed to meet all city, county, state and federal codes.
- The Irrigation System shall be guaranteed for a period of two (2) years from the date of Final Acceptance.
- Construction specifications and drawings have not been provided by the Landscape Architect for the Irrigation System for this project. All design, specification, fabrication, installation and/or construction of the Irrigation System are the sole responsibility of the Landscape Contractor & Irrigation Contractor. The preceding list of guidelines on this Bid Form provided for the design of the Irrigation System shall be deemed as guidelines only for bidding purposes and shall not be considered construction specifications. The Owner, Landscape Contractor & Irrigation Contractor agree that the Landscape Architect has no liability for the design and construction of the Irrigation System for this project.



No.	Description	Date
A	Revision A - DRC Comments	3/29/23
B	Revision B - DRC Comments	4/28/23
C	Revision C - DRC Comments	6/2/23

RUSIN FAMILY
5152 WINDING RIDGE DR
LANDSCAPE PLAN

Project Number	20211001
Date	010/01/2021
Designed By	JPG
L100	
Scale	

Roof
Color: SLATE GREY
Material: Metal
Style: Standing Seam

Exterior Siding
Color: SILKEY WHITE
Material: TrueExterior
Style: Board and Batten

Patio Pavers
Color: Verona
Material: Basalite Paver
Style: Artisan Smooth



Wood Post
Color: Valley
Material: wood
Style: wood stain

Exterior Siding
Color: SAWGRASS
Material: TrueExterior
Style: Nickel Gap Ship Lap



Black Bean

Window Frame - Milgard
Color: Black BEAN
Material: Vinyl
Style: Cottage

Roof
Color: SLATE
Material: GAF: 40 YEAR –
Fiberglass Shingle

Exterior Siding
Color: Brown, Tan, Carmel
Material: Stone
Style: Camelback