Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	**Staff Assigned Case No.:**

Project Name: 310PineyAirBnb

Project Description: To make the property of 310 Piney Creek road for short rental purpose. The requested maximum occupancy is 15 occupants.

Project Address: 310 Piney Creek Road, Reno, NV 89511

Project Area (acres or square feet): 0.972 acres

Project Location (with point of reference to major cross streets **AND** area locator):

The project is located at the cross point of Piney Creek Road and Austrian Pine Road.

Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
047-100-28	0.972 acres		

Indicate any previous Washoe County approvals associated with this application:

Case No.(s).

Applicant Information (attach additional sheets if necessary)

Property Owner:	**Professional Consultant:**
Name: Feng Zhu	Name: Feng Zhu
Address: 310 Piney Creek Road, Reno, NV	Address: 310 Piney Creek Road, Reno, NV
Zip: 89511	Zip: 89511
Phone: 408-666-9521 Fax:	Phone: 408-666-9521 Fax:
Email: zhufeng2006@gmail.com	Email: zhufeng2006@gmail.com
Cell: 408-666-9521 Other:	Cell: 408-666-9521 Other:
Contact Person: Feng Zhu	Contact Person: Feng Zhu
Applicant/Developer:	**Other Persons to be Contacted:**
Name: Feng Zhu	Name: Feng Zhu
Address: 310 Piney Creek Road, Reno, NV	Address: 310 Piney Creek Road, Reno, NV
Zip: 89511	Zip: 89511
Phone: 408-666-9521 Fax:	Phone: 408-666-9521 Fax:
Email: zhufeng2006@gmail.com	Email: zhufeng2006@gmail.com
Cell: 408-666-9521 Other:	Cell: 408-666-9521 Other:
Contact Person: Feng Zhu	Contact Person: Feng Zhu

For Office Use Only

Date Received: Initial:	Planning Area:
County Commission District:	Master Plan Designation(s):
CAB(s):	Regulatory Zoning(s):

Administrative Review Permit Application
for a Short Term Rental
Supplemental Information

(All required information may be separately attached)

1. What is the square footage of habitable area of the proposed short term rental (exclude the bathrooms, hallways, garage, etc)?

3800 Sq Ft

2. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?.

6 off-street parking lots on driveway, and 4 parking lots off the street. No improvements required.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

This house only has main dwelling.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

6 off-street parking lots on driveway, and 4 parking lots off the street. No improvements required.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

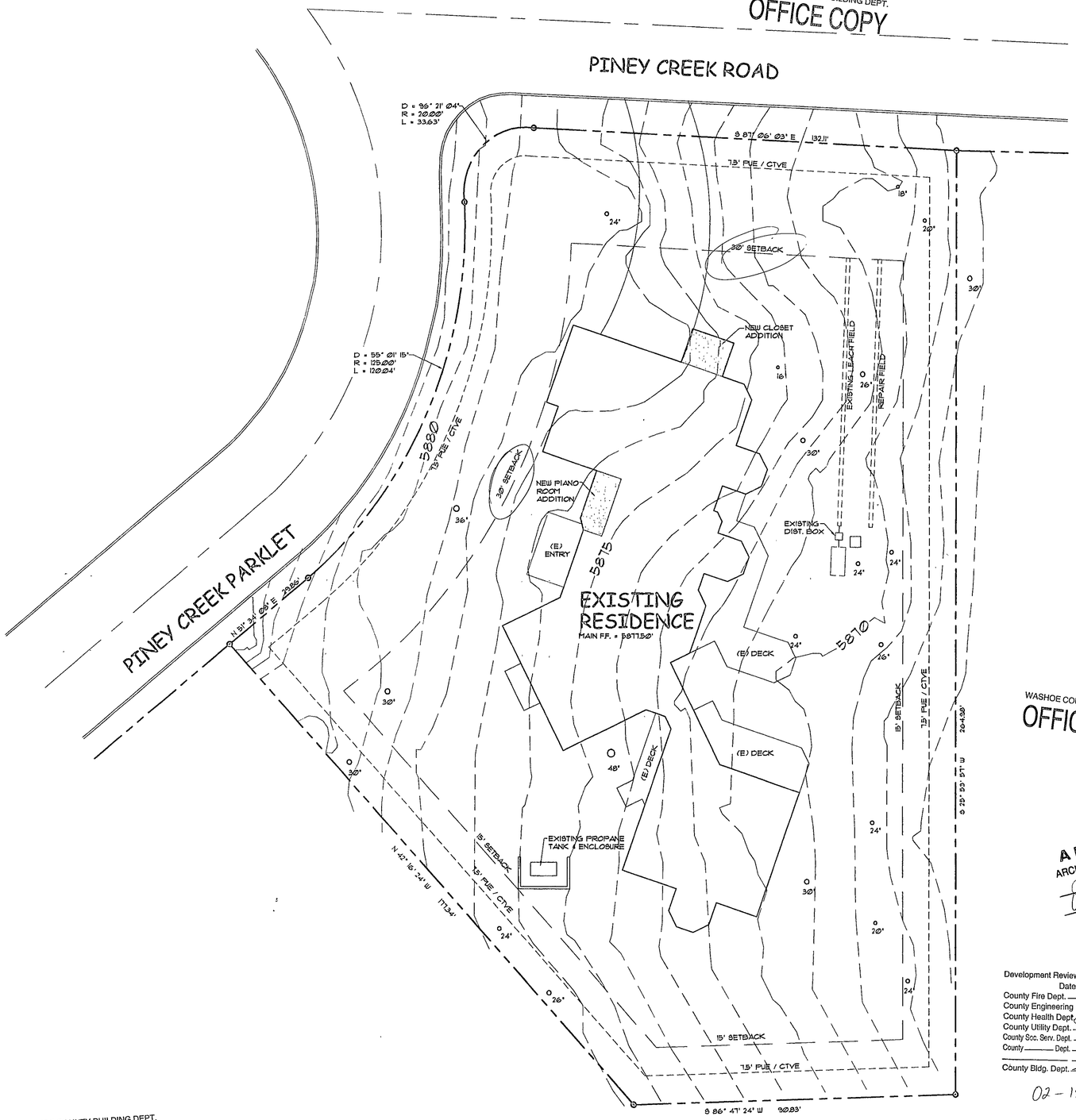
I am not aware of any negative impact to adjacent properties.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

❑ Yes	■ No	If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a short term rental on your property?

❑ Yes	■ No	If yes, please attach a copy.



PROPOSED SITE PLAN
SCALE: 1/16" = 1' – 0"

Newblom Residence Addition

Development Review	RB	
Date	4/24/02	
County Fire Dept.		Date
County Engineering	Kat	Date 4/12/02
County Health Dept.	See Separate Sheet	Date
County Utility Dept.		Date
County Scc. Serv. Dept.		Date
County ____ Dept.		Date
		Date
County Bldg. Dept.		Date 4-23-02

02-1845

Sheet Index

CONTACT:
INCLINE BUILDERS
ADDRESS: P.O. Box 432 Crystal Bay, NV 89402
PHONE: (775) 580-1012 Fax: (775) 267-0834

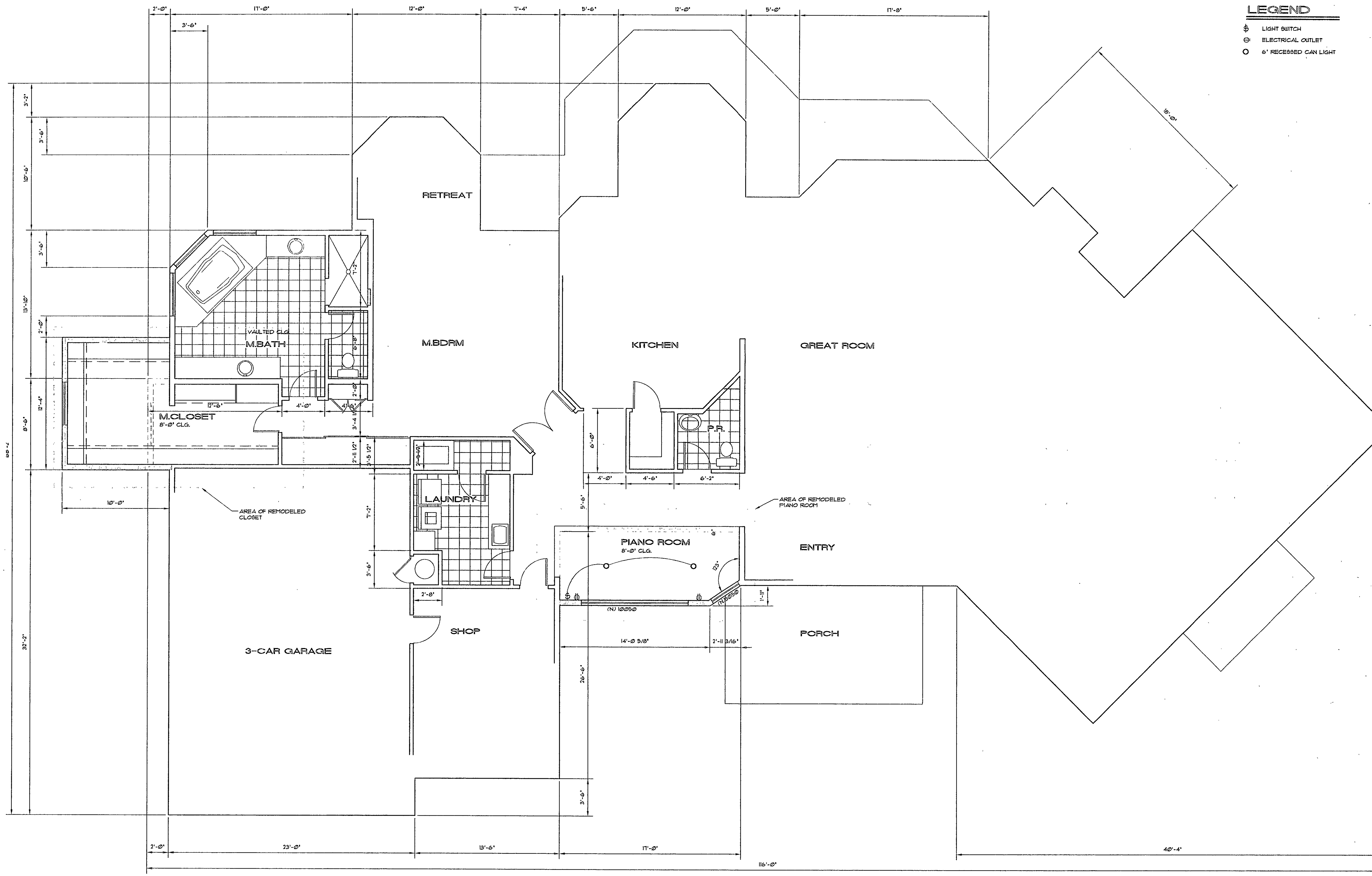
PROPOSED SITE PLAN

PROPOSED REMODEL FOR:
MR. CORY NEWBLOM
310 PINEY CREEK ROAD · GALENA FOREST ESTATES

PROJECT ADDRESS / LEGAL DESCRIPTION / A.P.N.:
310 PINEY CREEK ROAD, GALENA, NV
LOT 15, GALENA FOREST ESTATES, BLOCK C, UNIT 2C
A.P.N. 000-000-00

REVISIONS

DATE: 01.21.02.
SCALE: AS NOTED
DRAWN: MLW
SHEET: C1.0
OF 6 SHEETS



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONTACT:
INCLINE BUILDERS

PROPOSED FLOORPLAN

PROPOSED REMODEL FOR:
MR. CORY NEWBLOM
310 PINEY CREEK ROAD · GALENA FOREST ESTATES

REVISIONS

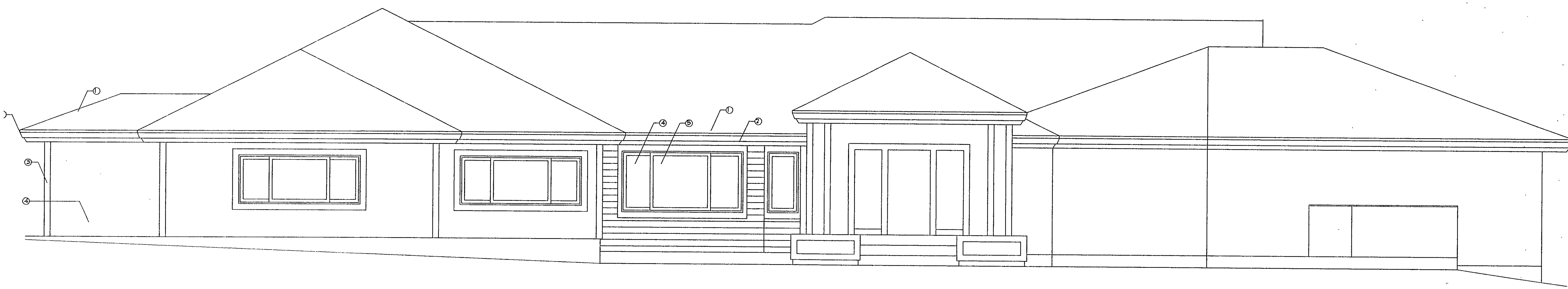
DATE: 01.21.02

SCALE: AS NOTED

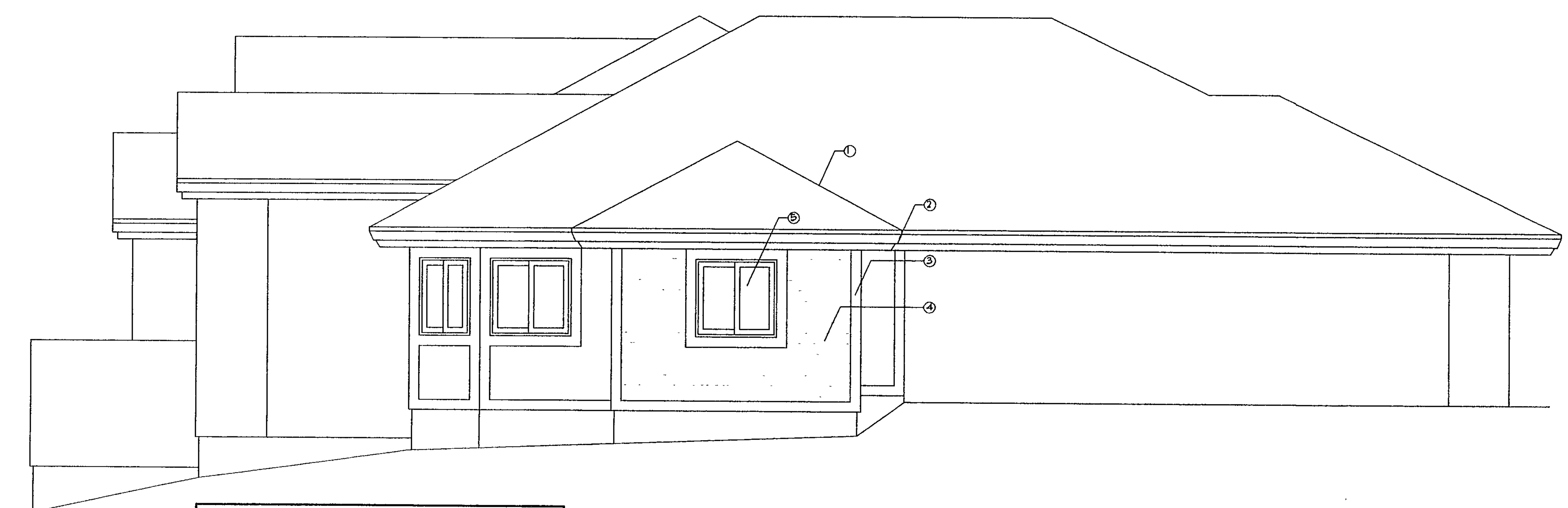
DRAWN: MLW

SHEET: A1.0 OF 6 SHEETS

WASHOE COUNTY APPROVED BLDG. 2 DEPT.



WEST ELEVATION
SCALE: 1/4" = 1' - 0"



NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

LEGEND

1. CLASS 'B' MINIMUM. CONCRETE TILE ROOF I.C.B.O. # 2093
2. 2x CEDAR FACIA. SELECT TIGHT KNOT CEDAR
3. 2x CEDAR TRIM. SELECT TIGHT KNOT CEDAR
4. 1x HORIZONTAL CEDAR SIDING. SELECT TIGHT KNOT CEDAR.
5. DUAL-GLAZED VINYL WINDOWS.

NOTE

1. ALL EXTERIOR STAIRS WILL HAVE ENCLOSED RISERS AND SUPPORTING POST FOR DECKS, COVERED ENTRIES, ETC. MUST BE A MINIMUM OF 6"x6" POST.
2. ALL METAL FLASHINGS SHALL BE PAINTED TO MATCH COLOR OF SURROUNDING FINISHES.

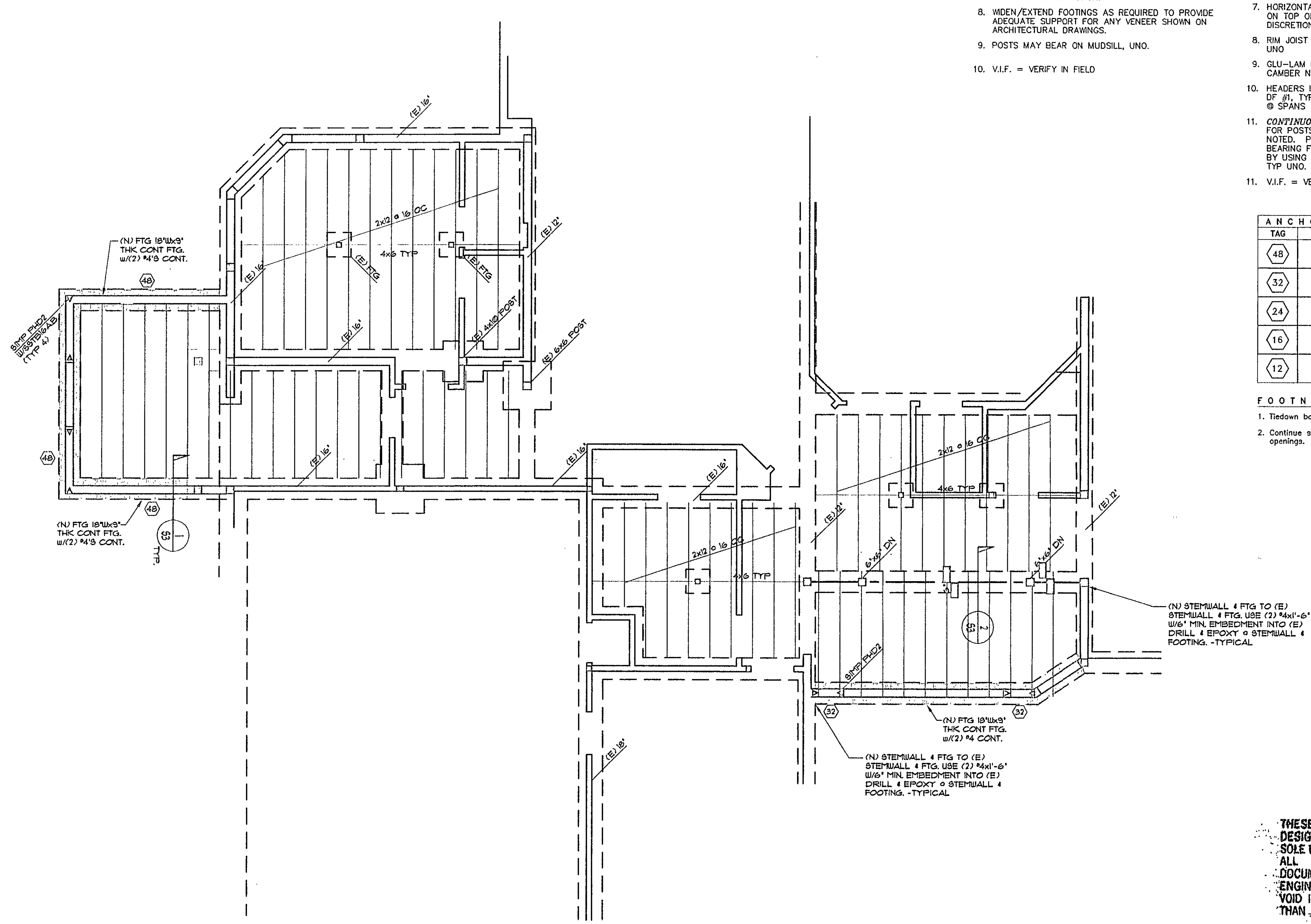
CONTACT:
INCLINE BUILDERS
ADDRESS. P.O. Box 432 Crystal Bay, NV 89402
PHONE: (775) 690-1012 Fax: (775) 267-9634

EXTERIOR ELEVATIONS

PROPOSED REMODEL FOR:
MR. CORY NEWBLOM
310 PINEY CREEK ROAD - GALENA FOREST ESTATES
PROJECT ADDRESS / LEGAL DESCRIPTION / A.P.N.:
310 PINEY CREEK ROAD, GALENA, NV.
LOT BLOCK SUB: LOT 2, BLOCK C, UNIT 2C

REVISIONS

DATE: 01.21.02
SCALE: AS NOTED
DRAWN: MLW
SHEET: A2.0
OF 6 SHEET



FOUNDATION PLAN

SCALE: 1/4" = 1' - 0"

FOUNDATION PLAN GENERAL NOTES

1. PROVIDE 18" WIDE x 9" THICK CONT CONC FTGS W/ (2) #4 BARS, CONTINUOUS TYP, UNO
2. STEMWALLS SHALL BE 8" WIDE CONCRETE W/ #4 HORIZONTAL DOWELS @ 16" OC W/ MIN (1) DOWEL TOP AND BOTTOM, AND #4 VERTICAL DOWELS @ 24" OC, TYP, UNO.
3. 5/8" DIA x 12" ANCHOR BOLTS @ 48" OC TYP, UNO
4. ALL EXTERIOR FOOTINGS SHALL HAVE MINIMUM 24" FROST PROTECTION, UNO
5. SEE ARCH'L FOR SLAB CONTROL JOINT PATTERN. UNO. PROVIDE CONTROL JOINTS @ 12'-0" OC. (MAX), EACH WAY, UNO.
6. SEE ARCH'L FOR FLOOR DRAIN LOCATIONS IF APP'L.
7. BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
8. WIDEN/EXTEND FOOTINGS AS REQUIRED TO PROVIDE ADEQUATE SUPPORT FOR ANY VENEER SHOWN ON ARCHITECTURAL DRAWINGS.
9. POSTS MAY BEAR ON MUDSILL, UNO.
10. V.I.F. = VERIFY IN FIELD

FLOOR FRAMING PLAN GENERAL NOTES

1. JOISTS SHALL BE 2x12 DF#2 @ 16" OC, TYP UNO
2. FLOOR SHEATHING SHALL BE 3/4" T&G APA RATED 'STURD-I-FLR' (16oc). GLUE & NAIL W/ 8d @ 6" OC EDGES, 10" OC FIELD, UNO
3. EDGE NAIL SHEARWALL SHEATHING TO ALL STUDS WHICH HOLD STRAPS OR TIEDOWNS ABOVE & BELOW, TYPICAL
4. DBL TOP PLATES SHALL BE LAP SPLICED 48" MIN W/ 16d @ 4" OC. USE ST6224 WHERE BOTH PLATES ARE BROKEN.
5. PROVIDE DBL JOISTS BELOW ALL PARALLEL PARTITIONS. BLOCK BELOW PERPENDICULAR PARTITIONS.
6. LVL = LAMINATED VENEER LUMBER (1.8E)
   PSL = PARALLEL STRAND LUMBER (2.0E)
   LSL = LAMINATED STRAND LUMBER (1.3E)
7. HORIZONTAL STRAPS SHOWN MAY BE INSTALLED ON TOP OR FACE OF BEAM, AT BUILDER'S DISCRETION.
8. RIM JOIST SHALL BE (MIN) 2x12 DF#2 OR EQUAL, UNO
9. GLU-LAM BEAMS SHALL BE 24F-V4, TYP UNO. CAMBER NOT REQUIRED.
10. HEADERS IN BEARING WALLS SHALL BE 6x12 DF #1, TYP UNO. PROVIDE (2) 2x6 TRMRS @ SPANS ≥4'-0".
11. *CONTINUOUS PARALLEL TO GRAIN* BEARING FOR POSTS IS REQUIRED ONLY WHERE "CPG" IS NOTED. PROVIDE CONTINUOUS FULL AREA BEARING FOR ALL OTHER POSTS TO FOUNDATION BY USING BUILT-UP JOISTS, BLOCKING, ETC., TYP UNO.
11. V.I.F. = VERIFY IN FIELD

ANCHOR BOLT SCHEDULE

TAG	BOLT SIZE AND SPACING
48	5/8" DIA x 12" J BOLT @ 48" OC
32	5/8" DIA x 12" J BOLT @ 32" OC
24	5/8" DIA x 12" J BOLT @ 24" OC
16	5/8" DIA x 12" J BOLT @ 16" OC
12	5/8" DIA x 12" J BOLT @ 12" OC

FOOTNOTES

1. Tiedown bolts may serve as anchor bolts also.
2. Continue same spacing below windows and other openings.

THESE DOCUMENTS HAVE BEEN DESIGNED EXCLUSIVELY FOR THE SOLE USE OF: *Incline Builders* ALL CERTIFICATION OF THESE DOCUMENTS BY THE ARCHITECT AND ENGINEER SHALL BE CONSIDERED VOID IF CONSTRUCTION IS BY OTHER THAN *Incline Builders*

STRUCTURAL ONLY

PROFESSIONAL ENGINEER STATE OF NEVADA
LOUIS H. WOODS
STRUCTURAL
No 692

SHEARWALL SCHEDULES (SEE DETAILS FOR APPLICATIONS)

1997 U.B.C.

SCHEDULE I — SHEATHING AND NAILING

S/W TYPE	SHEATHING THICKNESS	EDGE NAIL SPACING	STUDS AT ADJOINING PANEL EDGES	SILL PLATE AGAINST CONC OR MASONRY	BTM PLATE ON SUBFLR	CAPACITY
6	3/8"	8d @ 6" OC	2x	2x	2x	260
4	3/8"	8d @ 4" OC	2x	2x	2x	350
3	3/8"	8d @ 3" OC	2x	3x	2x	490
2	3/8"	8d @ 2" OC	3x	3x	2x	640
44	3/8" BOTH SIDES	8d @ 4" OC	2x	3x	2x	760
33	3/8" BOTH SIDES	8d @ 3" OC	2x	3x	2x	980
22	3/8" BOTH SIDES	8d @ 2" OC	3x	3x	3x	1280

FOOTNOTES

1. Use APA Rated sheathing Structural II or better. Use exterior grade where applicable.
2. Nails shall be gun nails or common or galvanized box.
3. Use studs @ 16" oc, UNO
4. Block all panel edges.
5. Field Nailing : 8d @ 12" OC
6. Nail heads are not to penetrate plywood.
7. Provide edge nailing to all studs which hold tiedown hardware.
8. Sth'g joint & sill plate nailing shall be staggered in all cases.
9. No more than (2) rows total of edge nailing allowed at any one stud.
10. Predrill as required to avoid splitting wood members.
11. Substitution of (2) 2x for 3x members is not allowed.
12. Provide 2"x2"x3/16" thick plate washer at all sill plate anchor bolts.

COMMENTARY : *SHEARWALLS AND THE LATERAL FORCE SYSTEM*

Most present day REGIONAL BUILDING ORDINANCES require design of structures for significant SEISMIC and/or WIND LOADS. These loads, as prescribed by the UNIFORM BUILDING CODE, are based upon statistical probabilities of the recurrence of extreme natural events. These loads are referred to as LATERAL FORCES.

Engineered vertical and horizontal RESISTING ELEMENTS, when properly connected to each other, comprise the LATERAL FORCE SYSTEM, which is designed to withstand these specific lateral forces. Connections of resisting elements are referred to as SHEAR TRANSFER CONNECTIONS, since the lateral force in an element is commonly referred to as SHEAR.

One common type of resisting element is the DIAPHRAGM, which consists of a sheathing skin and stiffening members. Sheathed SHEARWALLS are vertical diaphragms, while sheathed floors and roofs (flat or pitched) are referred to as HORIZONTAL DIAPHRAGMS.

References on the STRUCTURAL PLANS, in conjunction with the accompanying SCHEDULES and and DETAILS define the lateral force system requirements. Included are requirements for the horizontal diaphragms, shearwalls, moment-resisting frames, diagonal bracing, drag ties, tiedowns, and any other necessary elements.

In order for the lateral force system to perform as designed, it is imperative that the Builder closely follow all specifications herein. A thorough understanding of, and familiarity with PLANS, DETAILS and SCHEDULES is therefore necessary. The Project Engineer is available to review the lateral force system design with the Builder and to discuss alternate systems and/or components.

SCHEDULE II — SHEAR TRANSFER TO ATTACH FLAT 2x's (e.g. BTM PLATES, LDGRS, ETC.) TO RECEIVING MEMBER

S/W TYPE	16d NAILS	MINIMUM RECEIVING MEMBER
6	(1) ROW @ 6" OC	NAIL INTO MINIMUM (1) 1 1/2" MEMBER
4	(1) ROW @ 4" OC	NAIL INTO MINIMUM (1) 1 1/2" MEMBER
3	(1) ROW @ 4" OC OR (2) ROWS @ 6" OC	NAIL INTO MINIMUM (1) 2 1/4" MEMBER
2	(1) ROW @ 3" OC	NAIL INTO MINIMUM (2) 1 1/2" MEMBERS OR (1) 2 1/4"MEMBER
44	(2) ROWS @ 4" OC	NAIL INTO MINIMUM (2) 1 1/2"MEMBERS OR (1) 3 1/2"" MEMBER
33	(2) ROWS @ 4" OC	NAIL INTO MINIMUM (2) 1 1/2" MEMBERS OR (1) 3 1/2"" MEMBER
22	(2) ROWS @ 3" OC	NAIL INTO MINIMUM (2) 2 1/4" MEMBERS OR (1) 5" MEMBER

FOOTNOTES

1. Predrill as req'd to avoid splitting wood members.

SCHEDULE III — SHEAR TRANSFER VIA CLIPS

S/W TYPE	SIMP CLIPS: L50, A35 OR A35F	MINIMUM ATTACHING MEMBER
6	(1) ROW @ 24" OC	(1) 2x
4	(1) ROW @ 16" OC	(1) 2x
3	(1) ROW @ 12" OC	(1) 2x
2	(1) ROW @ 8" OC	(1) 2x
44	(2) ROWS @ 16" OC	(1) 2x
33	(2) ROWS @ 12" OC	(1) 4x OR (2) 2x's
22	(2) ROWS @ 8" OC	(1) 4x OR (2) 2x's

SCHEDULE IV — SHEAR TRANSFER THRU I-JOISTS BOTTOM FLANGE USING NAILS

S/W TYPE	10d NAILS	MIN WIDTH OF ATTACHING MEMBER
6	(1) ROW @ 6" OC	1 3/4"
4	(1) ROW @ 4" OC	1 3/4"
3	(1) ROW @ 3" OC	2 1/4"
2	(2) ROWS @ 4" OC (TOTAL)	2 1/4"
44	(2) ROWS @ 4" OC (TOTAL)	(2) 1 3/4"
33	(2) ROWS @ 3" OC (TOTAL)	(2) 2 1/4"
22	(2) ROWS @ 3" OC (TOTAL)	(2) 2 1/4"

FOOTNOTES

1. Predrill as req'd to avoid splitting wood members.
2. Stagger (2) row nailing.

SCHEDULE V — HOLDOWN STUDS AND ANCHORAGE REQUIREMENT

SIMPSON HARDWARE	MINIMUM STUD REQM'T	SIMPSON ANCHOR BOLT	ALTERNATIVE TO SIMPSON ANCHOR BOLT : A36 THRD ROD W/ DBL NUT	RETROFIT THREADED ROD W/ EPOXY
LTT20B	(2) 2x	N.A.	5/8" DIA x 10" J BOLT	5/8" DIA x 6" EMBED
HD2A	(2) 2x	SSTB 16	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
PHD2	(2) 2x	SSTB 16	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
HTT16	(2) 2x	SSTB 16	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
HD5A	(2) 2x	SSTB 20	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
PHD5	(2) 2x	SSTB 20	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
HT22	(2) 2x	SSTB 20	5/8" DIA x 12" EMBED	5/8" DIA x 6" EMBED
HD6A	(2) 2x	SSTB 28	7/8" DIA x 12" EMBED	7/8" DIA x 10" EMBED
PHD6	(2) 2x	SSTB 28	7/8" DIA x 12" EMBED	7/8" DIA x 10" EMBED
PHD8	4x	SSTB 28	7/8" DIA x 12" EMBED	7/8" DIA x 10" EMBED
HD8A	4x	SSTB 28	7/8" DIA x 12" EMBED	7/8" DIA x 10" EMBED
HD10A	4x	SSTB 28	7/8" DIA x 12" EMBED	7/8" DIA x 10" EMBED
HD14A	6x	N.A.	1" DIA x 18" EMBED	1" DIA x 12" EMBED
HD20A	6x	N.A.	1 1/4" DIA x 18" EMBED	1 1/4" DIA x 14" EMBED
HD15	6x	N.A.	1 1/4" DIA x 18" EMBED	1 1/4" DIA x 14" EMBED

FOOTNOTES

1. If (2) 2x studs used ; "edge nail" wall sheathing to each 2x. (See footnote 2 also).
2. See plan for additional stud requirements. Shearwall stud requirements for "edge nailing" may govern.
3. (2) 2x studs shall be spiked together w/ (2) 16d @ 12" oc.
4. Install Simpson SSTB anchor bolts per all manufacturers specifications maintaining required edge clearances.
5. Secure all holdown anchors within formwork prior to pour.
6. Use threaded rod where Simpson anchor is too long for available embedment.
7. For epoxy applications, use Simpson "SET" system or equal. Follow all manufacturer spec's.
8. Special inspection required for retrofit with epoxy. Clean hole with compressed air. Set epoxy only under favorable moisture and temperature conditions.
9. RETROFIT ONLY : Drill and epoxy specified thrd. rod w/ Simpson "SET HIGH STRENGTH" epoxy system (or equal). Follow all manufacturers specifications.

WASHOE COUNTY APPROVED BLDG 2

CONTACT:
INCLINE BUILDERS
ADDRESS: P.O. Box 432 Crystal Bay, NV 89402
PHONE: (775) 690-1012 Fax: (775) 267-9664

FOUNDATION PLAN

PROPOSED REMODEL FOR:
MR. CORY NEWBLOM
310 PINEY CREEK ROAD - GALENA FOREST ESTATES
PROJECT ADDRESS / LEGAL DESCRIPTION / A.P.N.:
310 PINEY CREEK ROAD, GALENA, NV.
LOT BLOCK SUB; LOT 2, BLOCK C, UNIT 2C

REVISIONS

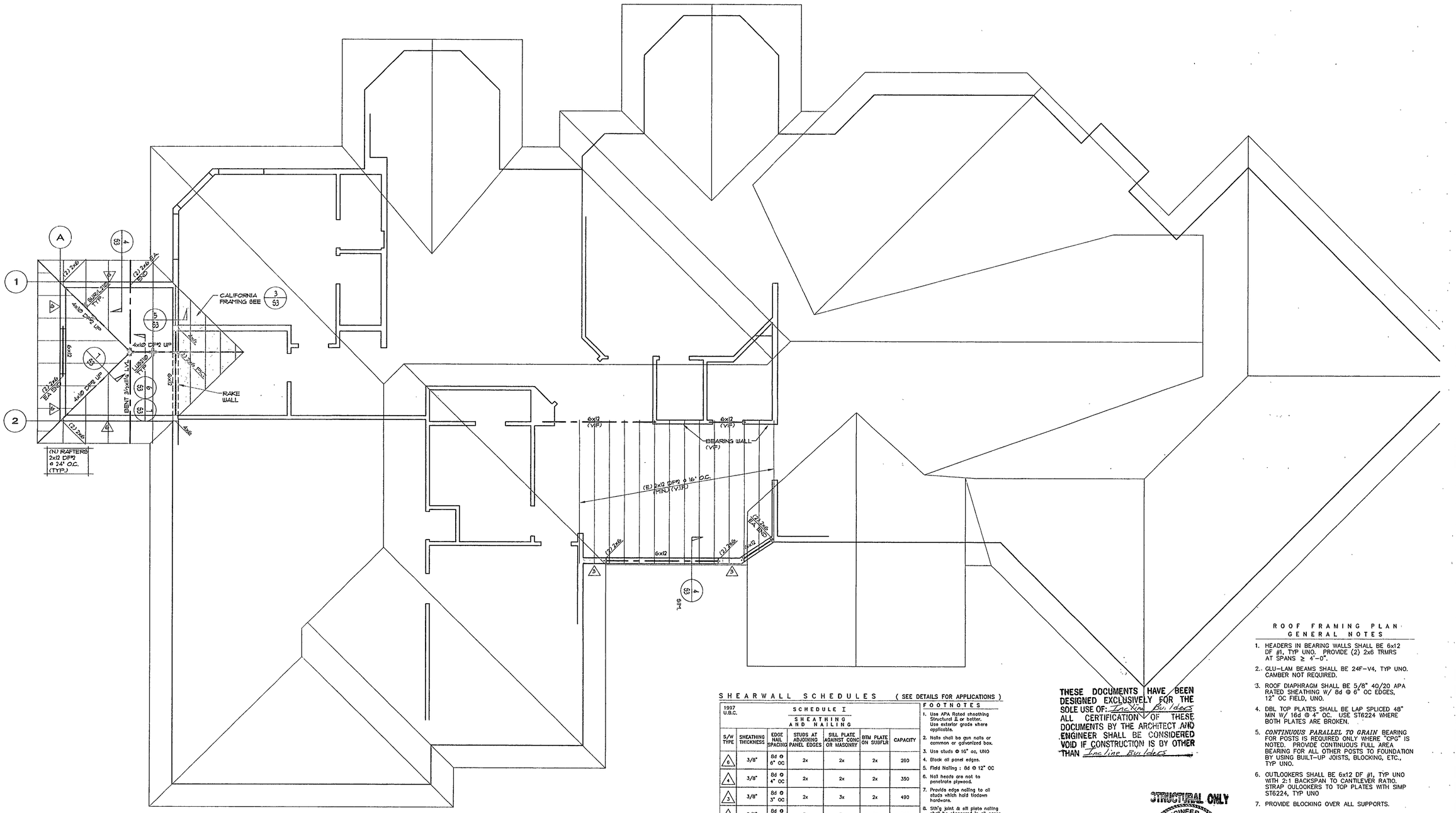
DATE: 01.21.02

SCALE: AS NOTED

DRAWN: MLW

SHEET: S1.0

OF 6 SHEET



ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

SHEARWALL SCHEDULES (SEE DETAILS FOR APPLICATIONS)

1997 U.B.C.	SCHEDULE I						
	SHEATHING AND NAILING						
S/W TYPE	SHEATHING THICKNESS	EDGE NAIL SPACING	STUDS AT ADJOINING PANEL EDGES	SILL PLATE AGAINST CONC OR MASONRY	BTM PLATE ON SUBFLR	CAPACITY
6	3/8"	8d @ 6" OC	2x	2x	2x	280
4	3/8"	8d @ 4" OC	2x	2x	2x	350
3	3/8"	8d @ 3" OC	2x	3x	2x	490
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22	3/8" BOTH SIDES	8d @ 2" OC	3x	3x	3x	1280

FOOTNOTES

1. Use APA Rated sheathing Structural II or better. Use exterior grade where applicable.
2. Nails shall be gun nails or common or galvanized box.
3. Use studs @ 16" oc, UNO
4. Block all panel edges.
5. Field Nailing : 8d @ 12" OC
6. Nail heads are not to penetrate plywood.
7. Provide edge nailing to all studs which hold tiedown hardware.
8. Sill'g joint & sill plate nailing shall be staggered in all cases.
9. No more than (2) rows total of edge nailing allowed at any one stud.
10. Predrill as required to avoid splitting wood members.
11. Substitution of (2) 2x for 3x members is not allowed.
12. Provide 2"x2"x3/16" thick plate washer at all sill plate anchor bolts.

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STRUCTURAL ONLY

PROFESSIONAL ENGINEER STATE OF NEVADA
LOUIS H. WOODS
STRUCTURAL
No. 6921

ROOF FRAMING PLAN GENERAL NOTES

1. HEADERS IN BEARING WALLS SHALL BE 6x12 DF #1, TYP UNO. PROVIDE (2) 2x6 TRIMRS AT SPANS ≥ 4'-0".
2. GLU-LAM BEAMS SHALL BE 24F-V4, TYP UNO. CAMBER NOT REQUIRED.
3. ROOF DIAPHRAGM SHALL BE 5/8" 40/20 APA RATED SHEATHING W/ 8d @ 6" OC EDGES, 12" OC FIELD, UNO.
4. DBL TOP PLATES SHALL BE LAP SPLICED 48" MIN W/ 16d @ 4" OC. USE ST6224 WHERE BOTH PLATES ARE BROKEN.
5. *CONTINUOUS PARALLEL TO GRAIN* BEARING FOR POSTS IS REQUIRED ONLY WHERE "CPG" IS NOTED. PROVIDE CONTINUOUS FULL AREA BEARING FOR ALL OTHER POSTS TO FOUNDATION BY USING BUILT-UP JOISTS, BLOCKING, ETC., TYP UNO.
6. OUTLOOKERS SHALL BE 6x12 DF #1, TYP UNO WITH 2:1 BACKSPAN TO CANTILEVER RATIO. STRAP OULOOKERS TO TOP PLATES WITH SIMP ST6224, TYP UNO
7. PROVIDE BLOCKING OVER ALL SUPPORTS.
8. ALL BASIC ROOF GEOMETRY SHOWN ON THIS SHEET HAS BEEN PROVIDED BY THE ARCHITECT.
9. PROVIDE SIMP H2.5 OR EQUAL AT ALL TRUSS AND RAFTER ENDS, UNO
10. PROVIDE "EDGE NAILING" OF HORIZ. SHEATHING TO ALL MEMBERS DESIGNATED "DRAG TIE".
11. V.I.F. = VERIFY IN FIELD

WASHOE COUNTY APPROVED BLDG. DEPT.

CONTACT:
INCLINE BUILDERS
ADDRESS: P.O. Box 432 Crystal Bay, NV 89402
PHONE: (775) 831-1012 Fax (775) 267-5934

PROPOSED REMODEL FOR:
MR. CORY NEWBLOW

PROJECT ADDRESS / LEGAL DESCRIPTION / A.P.N.:
310 PINEY CREEK ROAD - GALENA FOREST ESTATES
310 PINEY CREEK ROAD, GALENA, NV.
LOT BLOCK SUB: LOT 2, BLOCK C, UNIT 2C

REVISIONS

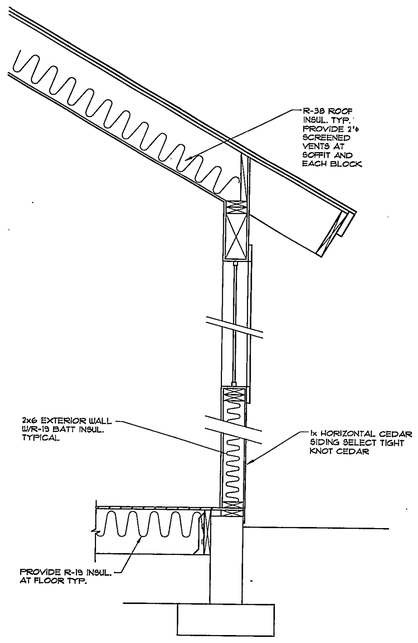
DATE: 01.21.02

SCALE: AS NOTED

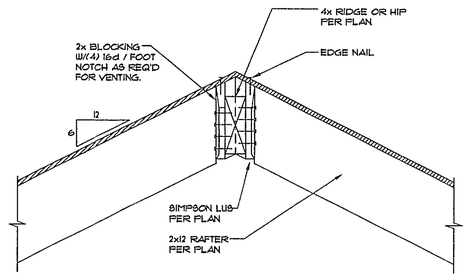
DRAWN: MLW

SHEET: S2.0

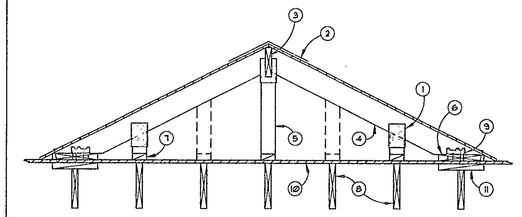
OF 6 SHEET

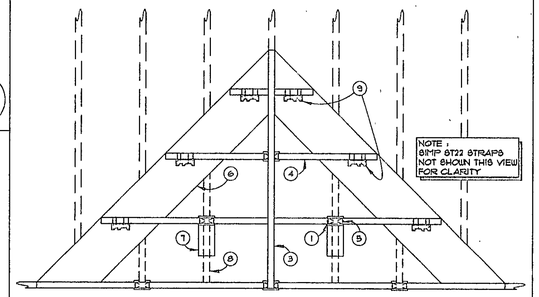


1 TYPICAL WALL SECTION
No Scale



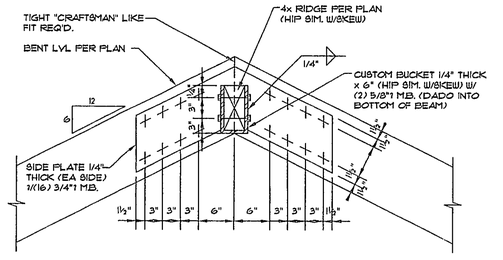
DTL - RAFTERS TO RIDGE & HIP
NO SCALE
7



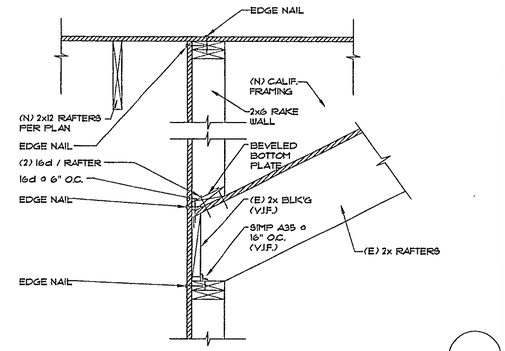


1- PLYWD. GUSSET "OR" SIMP H2S
2- SIMP ST22 @ 16" OC
3- 2x RIDGE BD.
4- 2x6 RAFTERS @ 16" OC
5- 2x4 CRIPPLES @ 32" OC, STAGGERED
6- 2x12 12 W/ (4) 16d EA. RAFTER BELOW AND (4) 16d @ 6" OC INTO BLOCKING
7- 2x4 KICKER TYP @ CRIPPLES
8- RAFTERS BELOW @ 16" OC
9- SIMP A34, EA. RAFTER
10- CONTINUE MAIN ROOF SHEATHING BELOW "FALSE" FRAMING
11- 2x12 FLAT BLOCKING AT VALLEY

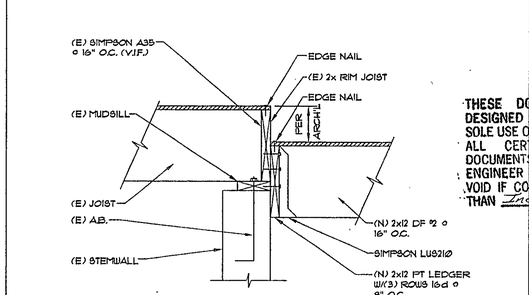
DTL - FALSE FRAMING
NO SCALE
3
STD002



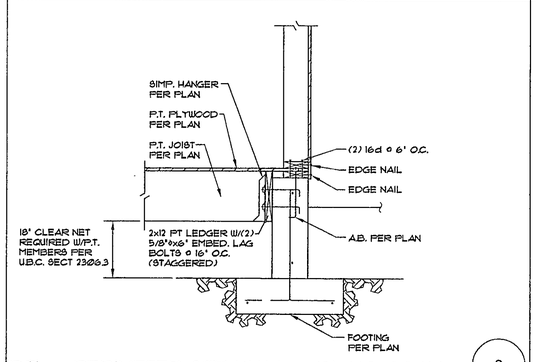
DTL - BENT LVL CONNECTION
NO SCALE
6



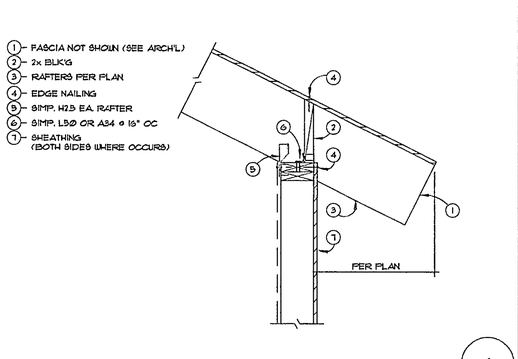
DTL - RAKE WALL ABOVE (E) ROOF
NO SCALE
5
STCRF020



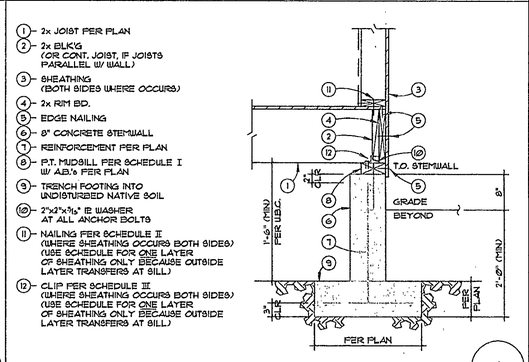
DTL - FLOOR STEP @ PIANO ROOM
NO SCALE
2
STD021



DTL - PERIMETER STEMWALL @ PIANO ROOM
NO SCALE
8
STD021



DTL - SHEAR TRANSFER @ EAVE (2x's)
NO SCALE
4
STCRF020



DTL - PERIMETER STEMWALL (2x's)
NO SCALE
1
STD021

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ALL CERTIFICATION OF THESE DOCUMENTS BY THE ARCHITECT AND ENGINEER SHALL BE CONSIDERED VOID IF CONSTRUCTION IS BY OTHER THAN Incline Builders

STRUCTURAL ONLY
PROFESSIONAL ENGINEER - STATE OF NEVADA
LOUIS H. WOODS
STRUCTURAL
No. 6927

WASHOE COUNTY APPROVED BLDG 2 DEPT

PROPOSED REMODEL FOR:
MR. CORY NEWBLOM
310 PINEY CREEK ROAD - GALENA FOREST ESTATES
PROJECT ADDRESS / LEGAL DESCRIPTION / A.P.N.:
310 PINEY CREEK ROAD, GALENA, NV
LOT 9, BLOCK SUB. LOT 2, BLOCK C, UNIT 4C

REVISIONS

DATE: 01.21.02
SCALE: AS NOTED
DRAWN: MLW
SHEET: S3.0
OF 5 SHEET

CONTACT:
INCLINE BUILDERS
PHONE:

STRUCTURAL DETAILS

MLS Tax Suite™
Powered by CRS Data

Map for Parcel Address: 310 Piney Creek Rd Reno, NV 89511-5740 **Parcel ID:** 047-100-28