

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: West Abandonment			
Project Description: Request for reduction of easement from 33' to 20' on North property line and for reduction of easement from 33' to 20' on South property line			
Project Address: 15415 Fawn Lane Reno, Nv 89511			
Project Area (acres or square feet): 1.177 acres			
Project Location (with point of reference to major cross streets AND area locator): Fawn Lane off of Mt. Rose Hwy			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
150-221-06	1.177		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Dustin West		Name:	
Address: 15415 Fawn Lane		Address:	
Reno	Zip: 89511		Zip:
Phone: 775-677-4462	Fax:	Phone:	Fax:
Email: djwest449@hotmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Dustin West		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as Owner		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Dustin West

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Dustin West
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 150-221-06

Printed Name Dustin West

Signed [Signature]

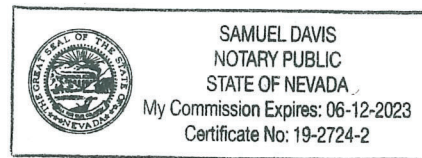
Address 15415 Fawn Lane

Reno, NV. 89511

Subscribed and sworn to before me this
31st day of March, 2022.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state
My commission expires: 06-12-2023



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Abandonment Application
Supplemental Information**
(All required information may be separately attached)

1. What and where is the abandonment that is being requested?

Reduction of easement from 33' to 20' on North and South property lines

2. On which map or document (please include with application) is the easement or right-of-way first referenced?

Parcel Map 1210 dated 1981

3. What is the proposed use for the vacated area?

See Attached

4. What replacement easements are proposed for any to be abandoned?

5. What factors exist or will be employed to prevent the proposed abandonment from resulting in significant damage or discrimination to other property in the vicinity?

6. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the abandonment request? (If so, please attach a copy.)

* Yes	* No X
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IMPORTANT

NOTICE REGARDING ABANDONMENTS:

To the extent that Washoe County does not own the easements in question, it cannot abandon them. Therefore, an abandonment request is in effect a “quitclaim” by the County of whatever interest it might have in the easements in favor of the owners who applied for the abandonment. For example, if the abandonment is approved by Washoe County and recorded, it will likely affect the allowable building envelope on the property, to the benefit of the applicant. However, even if the abandonment is approved, it should not be construed as an assertion by the County of ownership over the easements in question. To the extent other property owners nearby or other entities might have any ownership interests in these easements, an approved abandonment by the County does not affect those interests and the property owners associated with this abandonment are responsible for utilizing whatever legal mechanisms are necessary to address those interests on their own.

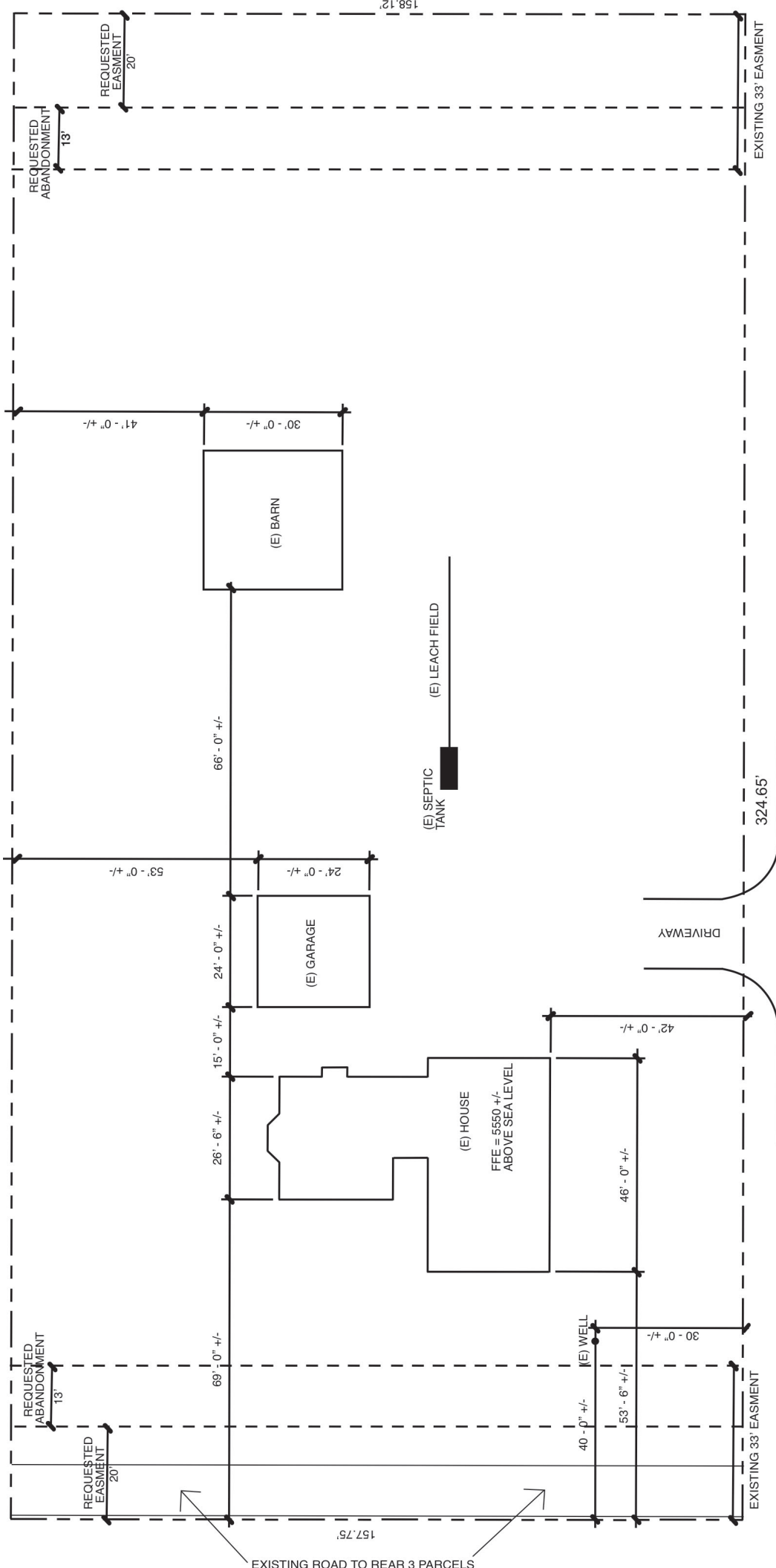
Proposed use for the vacated areas

Requesting reduction of easement by 13 feet down to 20 feet which would meet with the existing tree line on the south side of the property. This would allow for landscaping and fencing to be installed within the abandoned area.

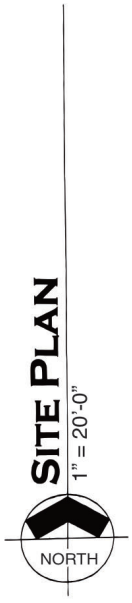
Requesting reduction of easement by 13 feet down to 20 feet on the north side of property to allow for material to support the elevation drop. This would allow for material to support elevation drop as well as for landscaping and fencing within the abandoned area. Please see attached photo.

Elevation Drop On North Side Of Property

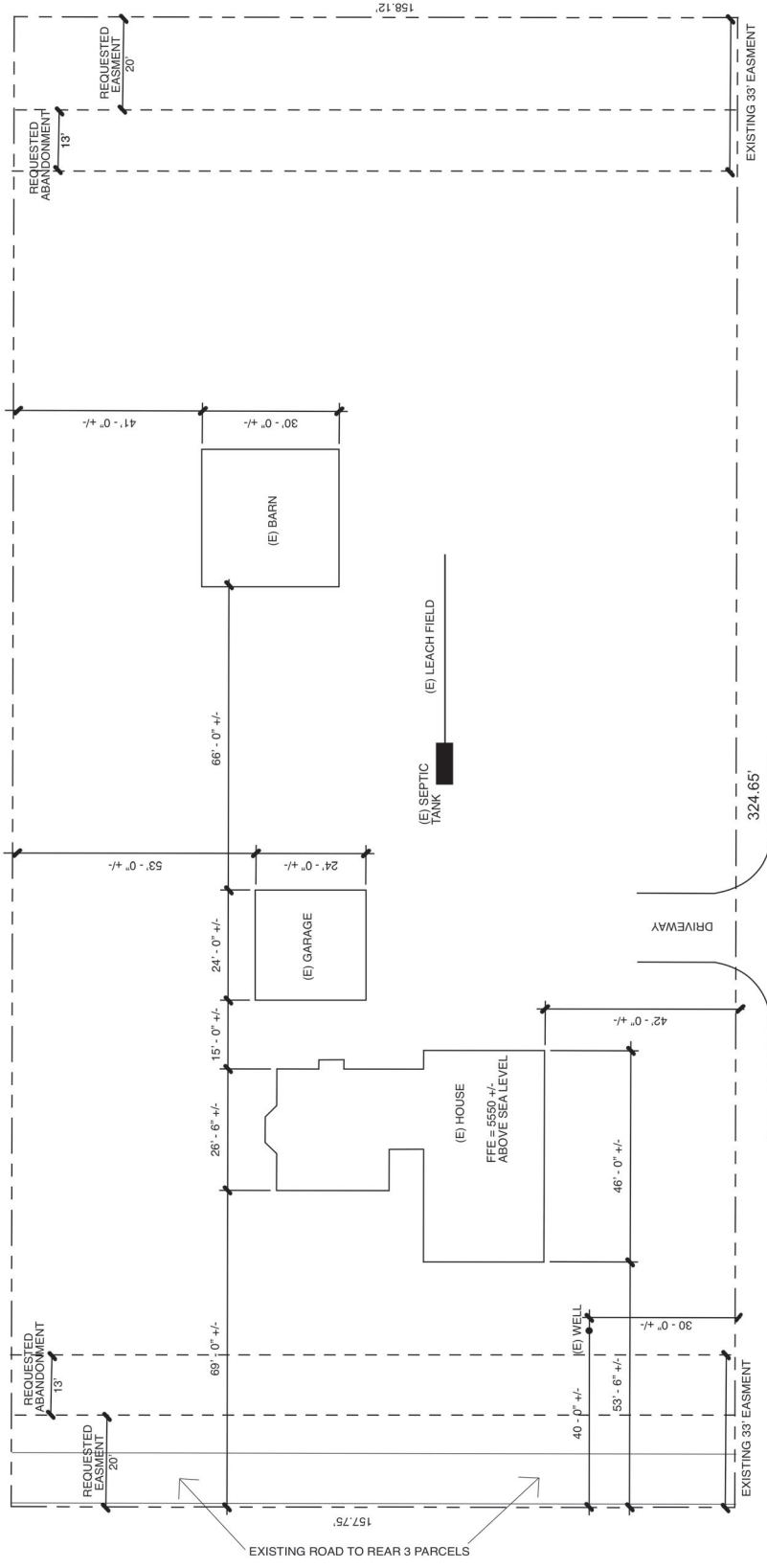




FAWN LANE



SITE PLAN



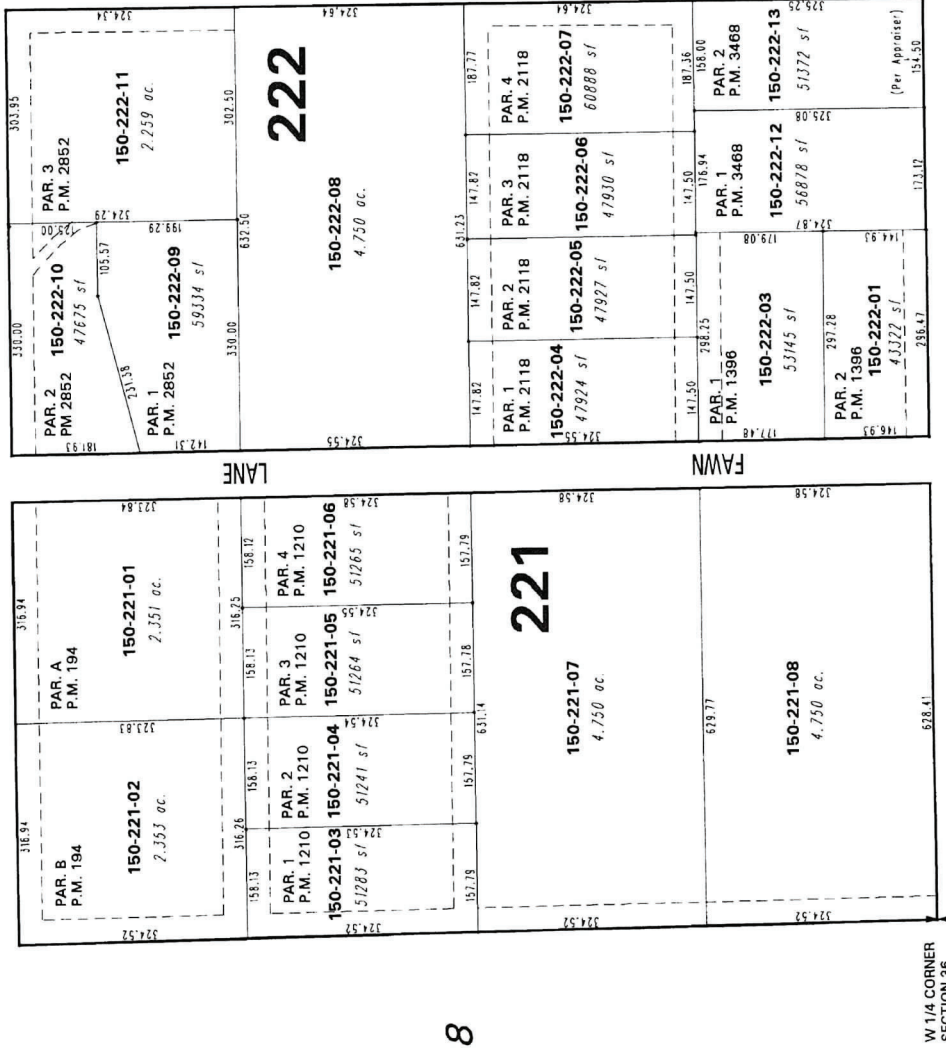
FAWN LANE



150-22

SW 1/4 NW 1/4 SECTION 36 T18N - R19E

150-21



150-38

150-08

150-23



This area previously shown on 49-12

NOTE: Areas of parcels which are less than 2 acres are shown in square feet.

Drawn by MP 9/89
 Revised 1/27/99 R.L.T. TWT 3/30/99. 8/11/03
 KSB 12/19/03

use of the Washoe County Assessor for
 only. It does not represent a survey of
 as to the sufficiency or the accuracy

Office of Washoe County Assessor, Nevada - Robert W. McGowan

ARC/INFO 6.1.7 WINDOWS 386/5.0