

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Melarkey Residence Barn			
Project Description: Construction of a new detached accessory dwelling structure with a proposed Kitchen and restroom for personal use			
Project Address: 6390 Galena Canyon Trail Reno, NV 89511			
Project Area (acres or square feet): 2,400 square feet of new construction			
Project Location (with point of reference to major cross streets AND area locator): Mt Rose Hwy, Left on Callahan Rd, Left on Galena Canyon Trail			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
148-122-01	4.286		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WBLD19-104124, WBLD19-104124, 04-2128			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: MELARKEY COMMUNITY PROP TRUST, MICHAEL & KAREN		Name: K2 Engineering and Structural Design	
Address: 6390 Galena Canyon Trail		Address:	
Reno, NV	Zip: 89511		Zip:
Phone: 775-742-3127	Fax:	Phone:	Fax:
Email: mike@mmelarkey.com		Email:	
Cell: Same as phone	Other:	Cell:	Other:
Contact Person: Mike Melarkey		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Bill Wardell (Owner's Agent)		Name:	
Address: 439 Chelmsford Drive		Address:	
Verdi, NV	Zip: 89439		Zip:
Phone:	Fax:	Phone:	Fax:
Email: billwardell@gmail.com		Email:	
Cell: 775-750-7325	Other:	Cell:	Other:
Contact Person: Bill Wardell		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

Existing Main Dwelling is 5,148 sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Total size is 2,400sf of which 2,090sf is Garage and Storage

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

The structure is designed as a freestanding barn and matches character with the surrounding properties

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

3 exterior and 3 interior

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

Location is within an existing open field area - New native planting will be located to maintain the surround area. Lighting will be dark sky compliant

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name. Galena Canyon
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic on Site	Septic on Site
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	TMWA	TMWA

Property Owner Affidavit

Applicant Name: MELARKEY community Property Trust

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Karen L. MELARKEY
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 148-122-01 148-122-01

Printed Name KAREN L. MELARKEY

Signed Karen L. Melarkey

Address 6390 Galena Canyon Trl
Reno, NV 89511

Subscribed and sworn to before me this 26th day of October, 2021

[Signature]
Notary Public in and for said county and state

My commission expires: 03-02-25

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: MICHAEL J. MELARKEY

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, MICHAEL J. MELARKEY
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 148-122-01 148-122-01

Printed Name MICHAEL J. MELARKEY

Signed [Signature]

Address 6390 Galena Community Trl - Reno, NV 89501

Subscribed and sworn to before me this 12th day of October, 2021.

(Notary Stamp)

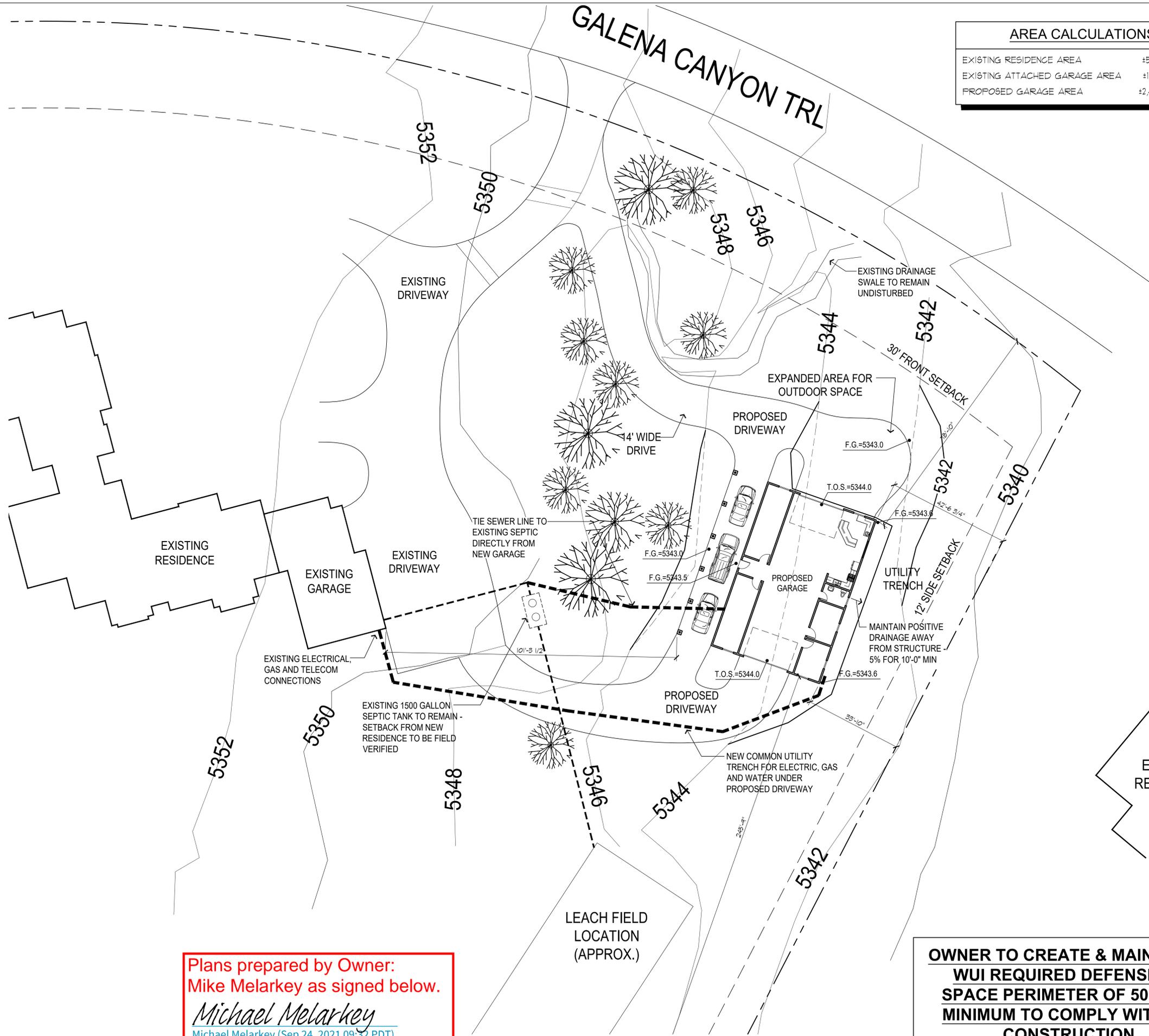
Laura J. Browning
Notary Public in and for said county and state



My commission expires: 8/3/2024

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
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- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
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AREA CALCULATIONS	
EXISTING RESIDENCE AREA	±5,148 SQ. FT.
EXISTING ATTACHED GARAGE AREA	±1,335 SQ. FT.
PROPOSED GARAGE AREA	±2,400 SQ. FT.

SHEET INDEX	
ARCHITECTURAL DRAWINGS:	
A-1	SITE PLAN AND DETAILS
A-2	ENTRY LEVEL FLOOR PLAN
A-3	EXTERIOR ELEVATIONS & SECTION
A-4	EXTERIOR ELEVATIONS
LIGHTING & POWER DRAWINGS:	
E-1	ENTRY AND LOWER LEVEL POWER AND LIGHTING PLANS
STRUCTURAL DRAWINGS:	
S-1	FOUNDATION PLAN
S-2	SHEAR / HOLDOWN PLAN
S-3	ROOF FRAMING PLAN
SD-1	STRUCTURAL NOTES AND SCHEDULES
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS

HOUSE GRADING CALCULATIONS	
PROPOSED CUT VOLUME	±300 CU. YDS.
PROPOSED FILL VOLUME (ON SITE)	±400 CU. YDS.
IMPORT/EXPORT BALANCE	0 IMPORT/EXPORT
INCIDENTAL GRADING TO OCCUR AT PERIMETER OF BUILDING AND DRIVEWAY DISTURBING +/- 9,000 SQ. FT. OF AREA	

- GRADING NOTES**
- LESS THAN 50 CU. YDS. OF GRADING IS REQUIRED.
 - THE OWNER IS RESPONSIBLE TO PERPETUATE ALL EXISTING DRAINAGE
 - ALL GRADING, IMPORT OR EXPORT OF MATERIAL SHALL COMPLY WITH WASHOE COUNTY CODE DETAILED IN CHAPTER 49B.
 - SLOPE GRADE FROM STRUCTURE 5% MIN OR 6" OF FALL IN 10'-0" MIN.

- GENERAL PROJECT NOTES:**
- All elevations are based on existing site data. The Owner to review drainage, building elevations and grading prior to start of construction.
 - The Owner shall be responsible for adequate temporary drainage facilities during the rainy season operation and protect all disturbed areas from erosion. He shall repair any areas of erosion prior to acceptance of grading.
 - The Owner shall expose all existing utility lines or other underground facilities at proposed crossings or connection points to verify location and elevation. Backfill shall be included in the price for various items of work. Owner shall contact USA to locate underground utilities prior to digging.
 - The Owner is responsible for the protection of all existing monuments or other survey markers. All such monuments or markers destroyed during construction shall be replaced at Owner's expense. Owner shall set a final floor datum on site prior to excavation.
 - Temporary lookups such as signs and power shall have their own temporary poles and shall not utilize trees or other natural elements for that purpose.
 - Removal of temporary facilities shall occur as progress of work permits and not later than completion of work.
 - Adequate measures shall be taken to protect areas outside the immediate construction zone and shall be strictly observed. a) These areas shall include trees or groups of trees adjacent to the construction zone and shall be fenced off to insure their protection. b) Adjacent property shall be respected and adequately protected. If it should become necessary to use the adjacent property for any reason, the reason shall be specified and written permission shall be obtained from the respective owner. c) Any areas outside the construction zone affected by the construction shall be restored to original condition.
 - Any material from clearing and excavation which is unsuitable for fill or landscaping shall be removed from the site.
 - Back filling of trenches, foundation and other excavation shall be done in such a manner as to not clean natural site conditions, drainage, ground cover, etc.
 - The Owner shall call the Engineer 48 hours prior to placing concrete in footing for steel review. Owner is to notify the Engineer on any deviation of plans or specifications.
 - Complete clean-up of the construction site and all areas outside the construction site shall be an integral part of the work. No trash shall be allowed to accumulate during construction and shall be removed at least on a weekly basis.
 - Structural engineering by "IC Engineering" shall be an integral and legally binding portion of these Contract Documents.
 - All work and materials shall conform to the latest edition of the International Building Code and all other applicable local codes and ordinances. Owner to abide by Association rules and C.C.R.s.
 - Owner shall install all utilities as per Utility and County building department requirements.

THE PROPOSED DETACHED GARAGE TO BE CONSTRUCTED AS A WUI IGNITION RESISTANT CLASS IR1 STRUCTURE

OWNER TO CREATE & MAINTAIN A WUI REQUIRED DEFENSIBLE SPACE PERIMETER OF 50 FEET MINIMUM TO COMPLY WITH IR2 CONSTRUCTION

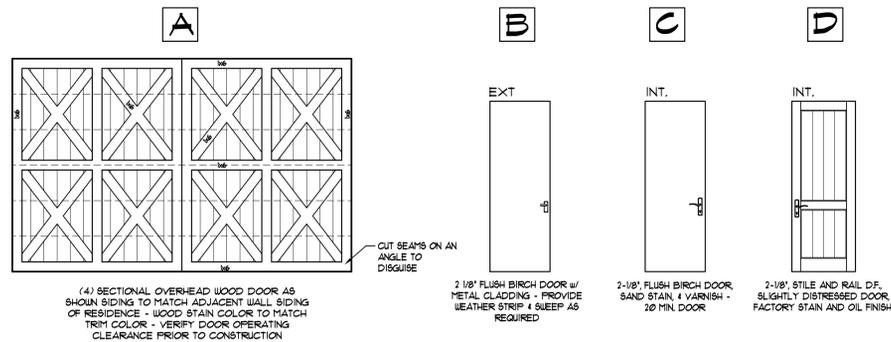
SEPTIC NOTES
 THE EXISTING SEPTIC SYSTEM IS A 1/2" APPROVED INSTALLATION INSTALLED UNDER WASHOE COUNTY BUILDING PERMIT #04-2120. THE SYSTEM IS TO REMAIN AS INSTALLED AND THE NEW SINKS AND TOILET WILL BE CONNECTED TO THE EXISTING SYSTEM AT THE MAIN LINE FROM THE RESIDENCE. NO UPGRADES TO THE SYSTEM ARE PROPOSED.

Plans prepared by Owner:
 Mike Melarkey as signed below.
Michael Melarkey
 Michael Melarkey (Sep 24, 2021 09:32 PDT)

DOOR SCHEDULE

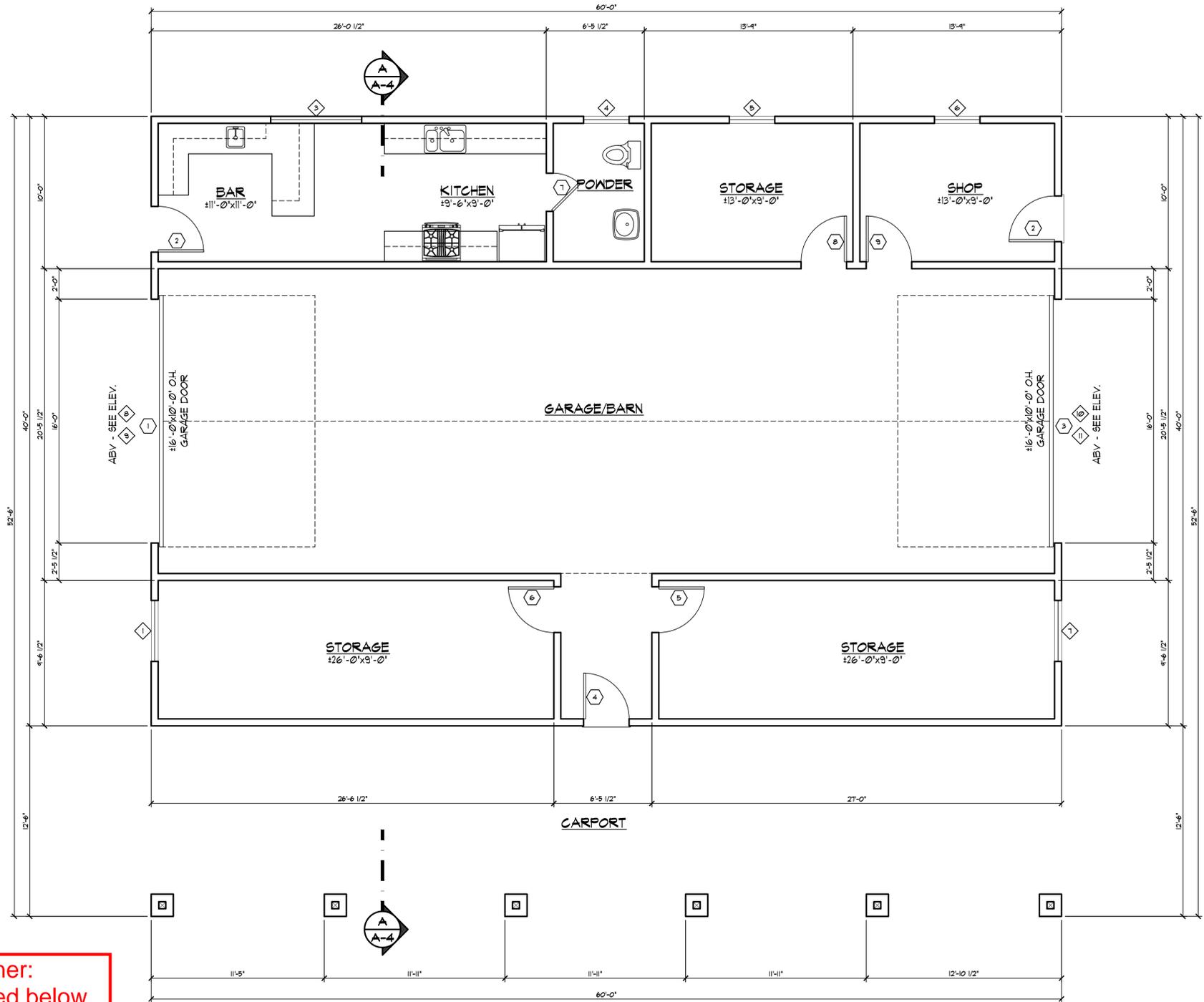
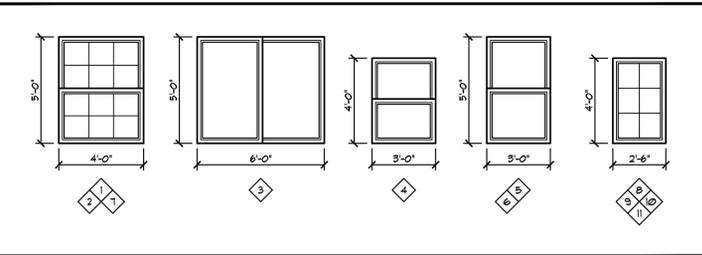
OPNS NO.	DOOR				DOOR TYPE	FRAME			REMARKS
	THICK	WIDTH	HEIGHT	MAT'L		HEAD	JAMB	SILL	
1		16'-0"	10'-0"	MTL/WLD	A	WOOD	WOOD	CONC	INSULATED OVERHEAD DOOR WITH CURTAIN WOOD OVERLAY
2	2 1/8"	3'-0"	8'-0"	WOOD	B	WOOD	WOOD	MTL	
3		16'-0"	10'-0"	MTL/WLD	A	WOOD	WOOD	CONC	INSULATED OVERHEAD DOOR WITH CURTAIN WOOD OVERLAY
4	2 1/8"	3'-0"	8'-0"	WOOD	B	WOOD	WOOD	WOOD	
5	2 1/8"	3'-0"	8'-0"	WOOD	C	WOOD	WOOD	WOOD	
6	2 1/8"	3'-0"	8'-0"	WOOD	C	WOOD	WOOD	WOOD	
7	2 1/8"	2'-8"	8'-0"	WOOD	D	WOOD	WOOD	WOOD	
8	2 1/8"	3'-0"	8'-0"	WOOD	C	WOOD	WOOD	WOOD	
9	2 1/8"	3'-0"	8'-0"	WOOD	C	WOOD	WOOD	WOOD	

DOOR TYPES



WINDOW SCHEDULE

- All windows to be "ANDERSON" fiberglass windows with dual glazing.
- All windows to have "thermal breaks" & Low "E".
- Provide screens for all operable windows.
- Contractor to review all temp. glass and egress locations, and verify all dimensions in field.



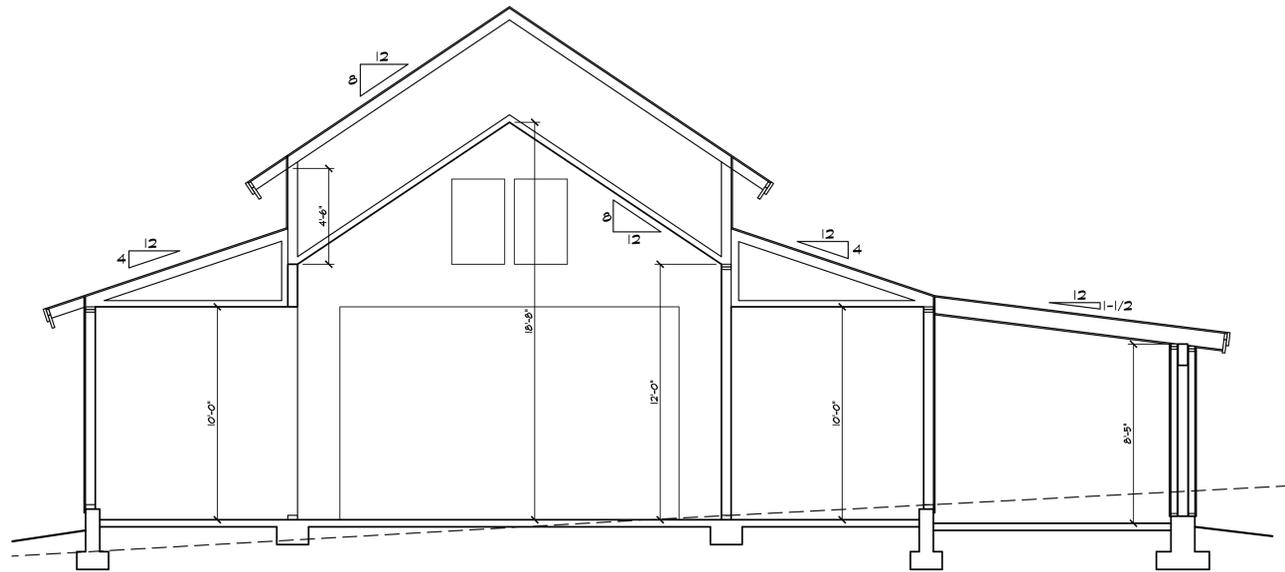
Plans prepared by Owner:
 Mike Melarkey as signed below.
Michael Melarkey
 Michael Melarkey (Sep 24, 2021 09:32 PDT)



GARAGE/BARN FLOOR PLAN

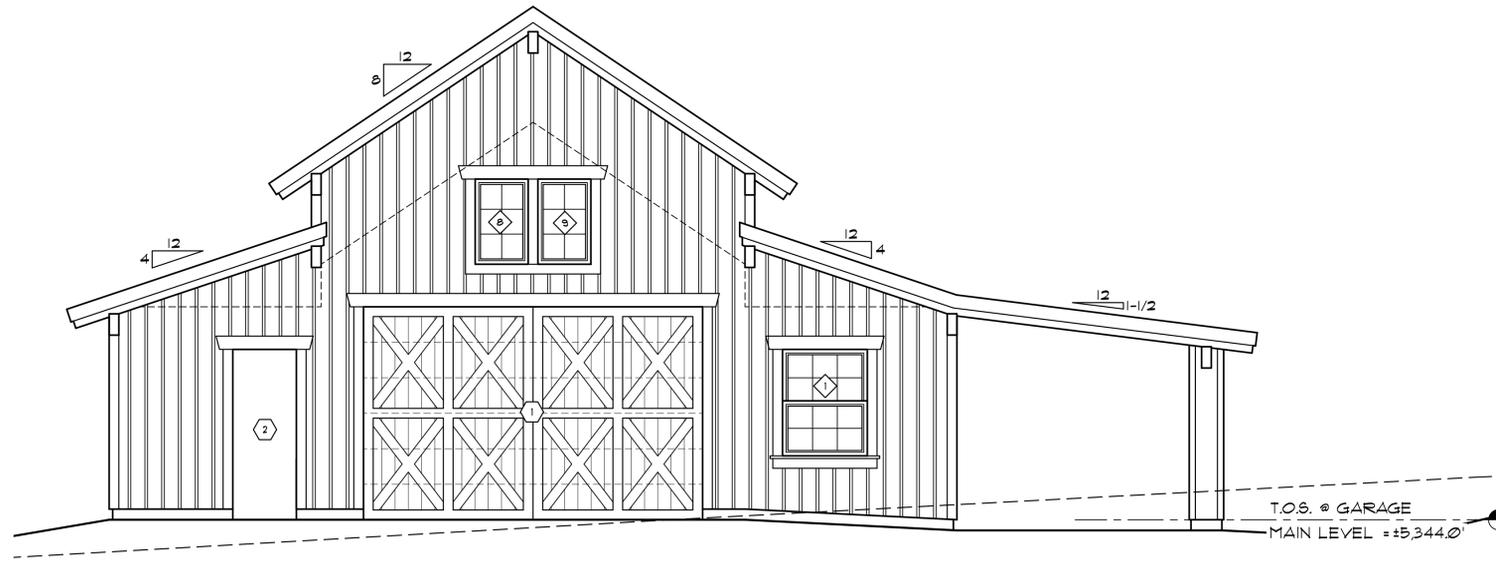
GARAGE AREA = +2,090 SQ. FT.
 KITCHEN/BATH AREA = +310 SQ. FT.

Scale: 1/4" = 1'-0"



SECTION 'A-A'

scale: 1/4" = 1'-0"

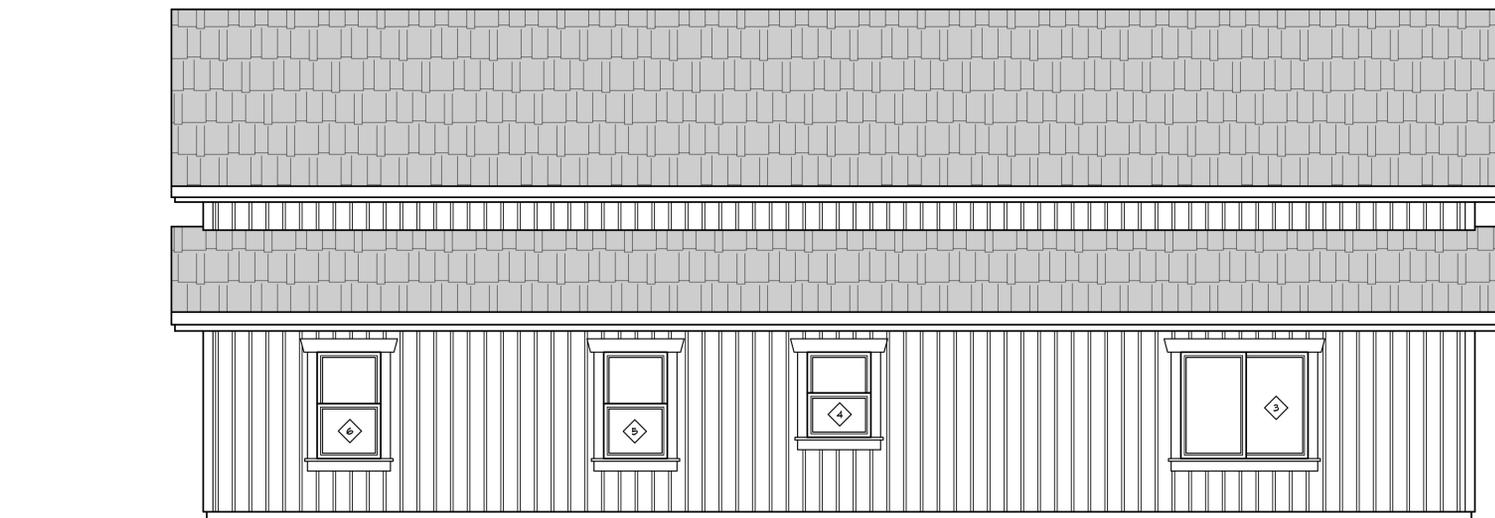


NORTH ELEVATION

scale: 1/4" = 1'-0"

Plans prepared by Owner:
 Mike Melarkey as signed below.
Michael Melarkey
 Michael Melarkey (Sep 24, 2021 09:32 PDT)

MAX. BUILDING HEIGHT
 ELEV = +5,273.0'



EAST ELEVATION

scale: 1/4" = 1'-0"

EXTERIOR MATERIALS

NOTES:

1. ALL EXTERIOR MATERIALS SHALL COMPLY WITH THE WILDLAND URBAN INTERFACE REQUIREMENTS ESTABLISHED BY WASHOE COUNTY FOR A 102 HIGH HAZARD WITH A CONCRETE WATER BARRIERS.
2. THE STRUCTURE IS NON-SPERKLERED.
3. THE ROOF SYSTEM IS TO BE UNVENTILATED. ALL EAVES TO BE PROTECTED WITH STUCCO FINISH TO MATCH THE WALLS.
4. SEE ROOF PLAN SHEET A-8 FOR DRAIN LOCATIONS.

SIDING AT WALLS

ALL WOOD SIDING ALL EXTERIOR WOOD SIDING TO BE 1/2" VERTICAL GRAIN D.F. APPLIED VERTICALLY w/ 1/8" VERTICAL BATTIS AT EACH JOINT, WITH BROWN PATINA, TYP.

ALL WALLS TO BE WRAPPED WITH 'TYFAR' OR EQUAL HOUSE WRAP AND ALL PENETRATIONS TO BE TAPERED AND FLASHED PER MANUFACTURERS DETAILS, NO EXTERIOR INSULATION TO BE USED.

ROOF FINISH

ROOF WILL BE SHEATHED WITH 3/4" MIN 1/4 G CDX PLYWOOD OR EQUAL w/ (2) LAYERS 'GRACE' ICE AND WATER SHIELD (HIGH TEMP) w/ 'ENVIROSLATE' OR APPROVED EQUAL SLATE STYLE METAL ROOFING PANELS. ALL TERMINATIONS TO BE CAPPED WITH 'J' MOLD OR 'Z' FLASHING AS APPLIES.

WOOD EXTERIOR DOORS

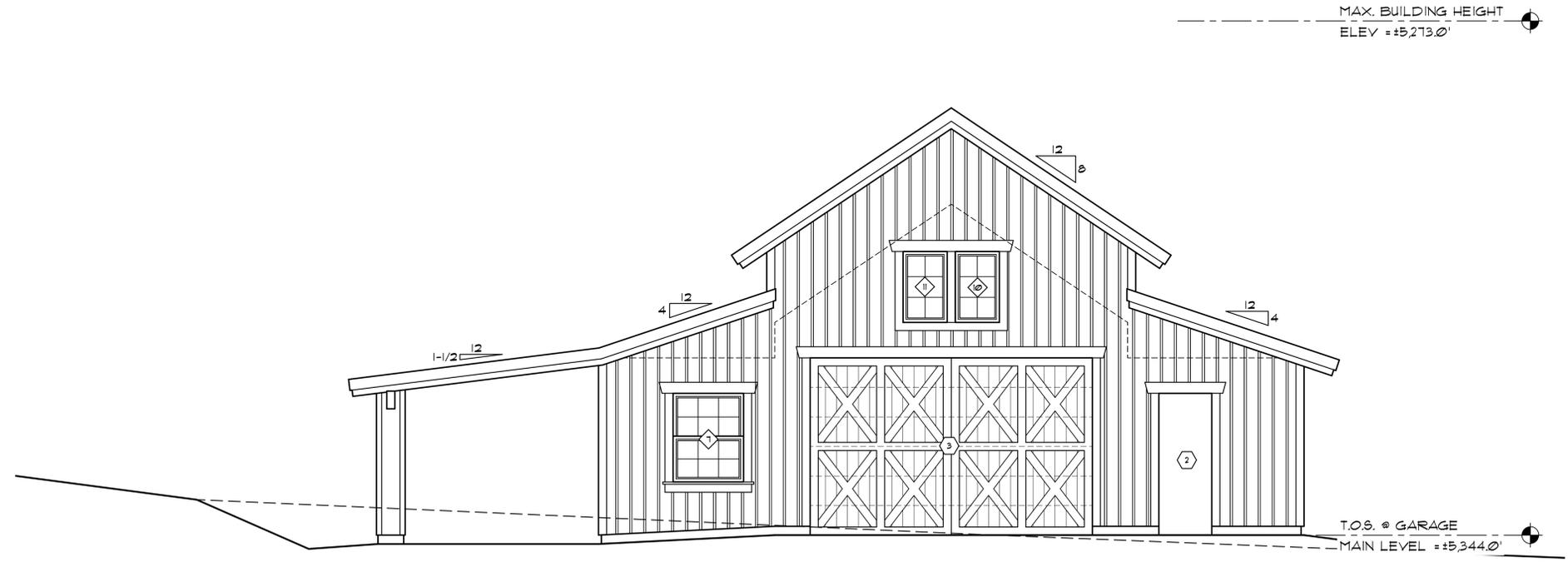
2-1/8" THICK SOLID WOOD w/ WATER BASED STAIN FINISH

EXTERIOR WINDOWS, PATIO AND SLIDING GLASS DOORS

'ANDERSON' OR EQUAL FIBERGLASS CLADDING OVER SOLID WOOD FRAME w/ TEmPERED EXTERIOR GLASS TO COMPLY WITH UJI REQUIREMENTS - SEE WINDOW SCHEDULE FOR SIZES AND INTERIOR TEMPERING REQUIREMENTS

BUILDING HEIGHT CALCULATION

MAXIMUM ALLOWABLE HEIGHT PER CODE =	30 FEET ABOVE MEDIAN GRADE ELEVATION
LOW POINT AT EXISTING GRADE =	+5,241'
HIGH POINT AT EXISTING GRADE =	+5,245'
MEDIAN GRADE ELEVATION =	+5,243'
MAXIMUM ALLOWABLE BUILDING ELEVATION =	+5,273'
AVERAGE CROSS SLOPE AT BUILDING =	+18%

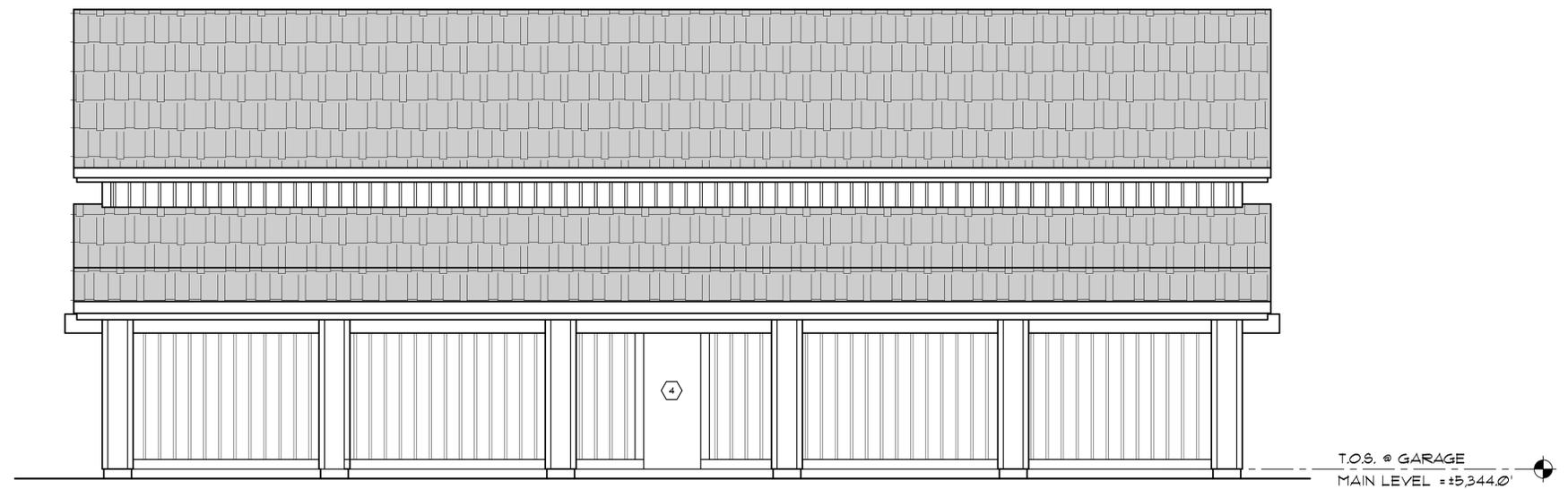


SOUTH ELEVATION

scale: 1/4" = 1'-0"

Plans prepared by Owner:
 Mike Melarkey as signed below.
Michael Melarkey
 Michael Melarkey (Sep 24, 2021 09:52 PDT)

MAX. BUILDING HEIGHT
 ELEV = +5,273.0'



WEST ELEVATION

scale: 1/4" = 1'-0"

Date:	
Revised:	
Revised:	
Revised:	
Drawn By:	BWRZ
Rev. No.:	
Scale:	1/4"=1'-0"

SMOKE DETECTOR REQUIREMENTS

- PER NFPA 72, SECTION 28.3.3.4 SMOKE ALARMS OR DETECTORS MUST BE A MINIMUM OF 20 FEET FROM A COOKING APPLIANCE, UNLESS THEY ARE IONIZATION (ALLOWED AT 10') OR LISTED FOR CLOSE PROXIMITY TO PERMANENTLY INSTALLED COOKING EQUIPMENT.
- PER NFPA 72, SECTION 28.3.3.4.3 SMOKE DETECTORS MUST BE MORE THAN 36" HORIZONTAL AND NOT BE IN THE DIRECT AIRFLOW OF THE MECHANICAL SUPPLY VENTS.

ELECTRICAL CODE REQUIREMENTS

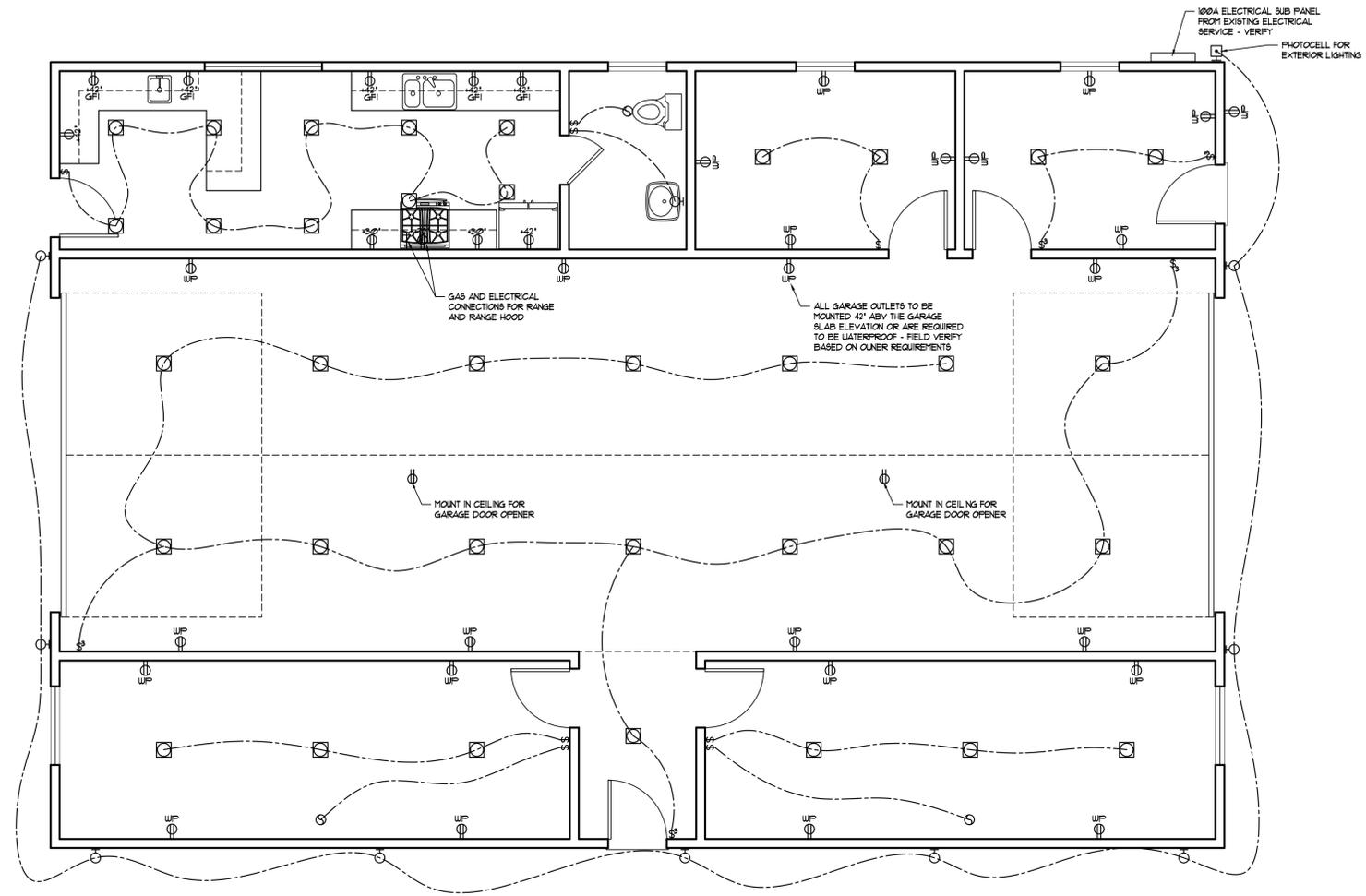
- A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS IS TO BE INSTALLED.
- COUNTERTOP RECEPTACLE OUTLETS IN THE KITCHEN SHALL BE SUPPLIED BY NO FEWER THAN TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS.
- CONDUCTOR WIRES FOR WITH AN INSULATED NEUTRAL AND A FOUR PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGE AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL.

ELECTRIC SYMBOL LEGEND

⊙ IN-GRADE UPLIGHT	⊕ DUPLEX OUTLET	⊕ MASTER SWITCH
○ WALL LIGHT	⊕ 1/2" HALF SWITCHED OUTLET (TOP HALF SWITCHED TYP.)	⊕ FIXTURES CONTROLLED BY MASTER SWITCHES
⊕ RECESSED CAN (sloped as required)	⊕ 220V 220V OUTLET	⊕ SWITCH
⊕ DIRECTIONAL CAN (sloped as required)	⊕ GROUND FAULT INTERRUPTER (GFI)	⊕ THREE WAY SWITCH
⊕ PENDANT FIXTURE	⊕ DOUBLE DUPLEX	⊕ FOUR WAY SWITCH
⊕ SURFACE MOUNT	⊕ FLOOR JACK	⊕ FAN
⊕ SMALL SPOT LIGHT	⊕ LANDSCAPE LIGHT	⊕ WALL MOUNTED FAN
⊕ WATER PROOF EXTERIOR OUTLET (W/ GFI)		⊕ SMOKE DETECTOR
		⊕ CARBON MONOXIDE DETECTOR
(SEE FLN FOR) LENGTH	BAR FIXTURE CONSULT W/ OWNER TYP.	⊕ TELEPHONE
(SEE FLN FOR) LENGTH	FLUORESCENT FIXTURE	⊕ COMMUNICATION OUTLET (TECHNOLOGY OUTLET)
		⊕ SAFETY BEAM
		⊕ GARAGE DOOR
		⊕ TELEVISION
⊕ CEILING FAN		⊕ JUNCTION BOX
		⊕ DOOR BELL BUTTON BY OWNER
		⊕ MECHANICAL DOOR BELL
⊕ VOLTAGE TRANSFORMER (TO BE LOCATED BY ELECTRICAL CONTRACTOR) WATTAGE		
# LOAD NUMBERS (FOR CONTROL SYSTEM)		

DESIGN / BUILD GENERAL ELECTRICAL NOTES

- ALL SWITCHES AND RECEPTACLE COVER PLATES ON GYP. BD. SURFACES TO BE "SIERRA" OR EQUAL WALL PLATES, SMOOTH, PLASTIC AND WHITE IN COLOR - PROVIDE SAMPLE.
- ELECTRICAL CONTRACTOR SHALL VERIFY AND SEEK APPROVAL OF PANEL DISTRIBUTION AND SERVICE FROM OWNER PRIOR TO INSTALLATION.
- ALL CIRCUIT BREAKERS SHALL BE 20 AMP UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL LAMPS AND BULBS. ALL LED LIGHT BULBS TO BE 3500K OR ADJUSTABLE LIGHTS.
- UNLESS OTHERWISE NOTED, ALL WALL MOUNTED FIXTURES SHALL BE MOUNTED 26" FROM FINISH FLOOR TO CENTERLINE OF FIXTURE. REFER TO INTERIOR ELEVATIONS FOR HEIGHT OF BATHROOM LIGHT VALENCE FIXTURE. CONSULT W/ OWNER PRIOR TO INSTALLATION.
- ELECTRICAL CONTRACTOR TO PROVIDE FOUR WATERPROOF DUPLEX OUTLETS UNDER THE EAVES.
- LOCATION ON THE PLANS OF LIGHT FIXTURES, SWITCHES, PLUGS, TELEPHONE OUTLETS, TV OUTLETS, THERMOSTATS, ETC. ARE APPROXIMATE IN NATURE ONLY. ELECTRICAL CONTRACTOR TO REVIEW EXACT LOCATION WITH OWNER OR OWNER FOR APPROVAL PRIOR TO INSTALLATION. ALL CEILING FIXTURES SHALL BE PHYSICALLY MOCKED UP ON CEILING WITH ALL PROPOSED FINISHES ON CEILING Laid OUT. ANY ELECTRICAL FIXTURES LOCATED WITHOUT APPROVAL SHALL BE MOVED AT ELECTRICAL CONTRACTORS EXPENSE.
- ALL WORK TO CONFORM TO CURRENT AND APPLICABLE CODE (IBC, UPC, UFC, IEC) AND COUNTY REQUIREMENTS.
- ELECTRICAL CONTRACTOR TO WIRE AND HOOK UP ALL EXHAUST FANS, APPLIANCES, FURNACES, AND ALL OTHER EQUIPMENT REQUIRING ELECTRICAL SERVICE.
- ALL THERMOSTATS ARE SPECIFIED BY MECHANICAL CONTRACTOR. VERIFY ALL REQUIREMENTS W/ MECHANICAL CONTRACTOR.
- GROUND FAULT INTERRUPTER REQUIRED IN BATHROOM, OUTSIDE, GARAGE, AND KITCHEN WHERE APPLICABLE.
- PERMANENTLY WIRED SMOKE DETECTORS REQUIRED WITH BATTERY BACKUP.
- ELECTRICAL CONTRACTOR SHALL DESIGN ALL REQUIRED CIRCUITS, VERIFY ALL SIZES AND SUBMIT A LAYOUT FOR PROPOSED MAIN RUNS TO OWNER / OWNER PRIOR TO CONSTRUCTION.



ENTRY LEVEL ELECTRICAL AND LIGHTING PLAN

SCALE: 1/4"=1'-0"

Plans prepared by Owner:
 Mike Melarkey as signed below.
Michael Melarkey
 Michael Melarkey (Sep 24, 2021 09:32 PDT)

Date:	08/15/2021
Revised:	
Revised:	
Revised:	
Drawn By:	AD
Rev No.:	
Scale:	1/4"=1'-0"

FOUNDATION PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

FLOOR JOIST

TYPICAL WALL w/ SHEARPLY AND HOLDINGS

ANCHOR BOLT SPACING, 48" o/c TYP. UNO.

INDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1

P.T. 3x SILL IE w/ 3/8"x12" AB'S, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL IE MAY BE USED w/ 3/8"x10" AB'S @ HALF THE SPECIFIED SPACING.

CONCRETE NOTES

SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONG. FORMS. SOIL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.

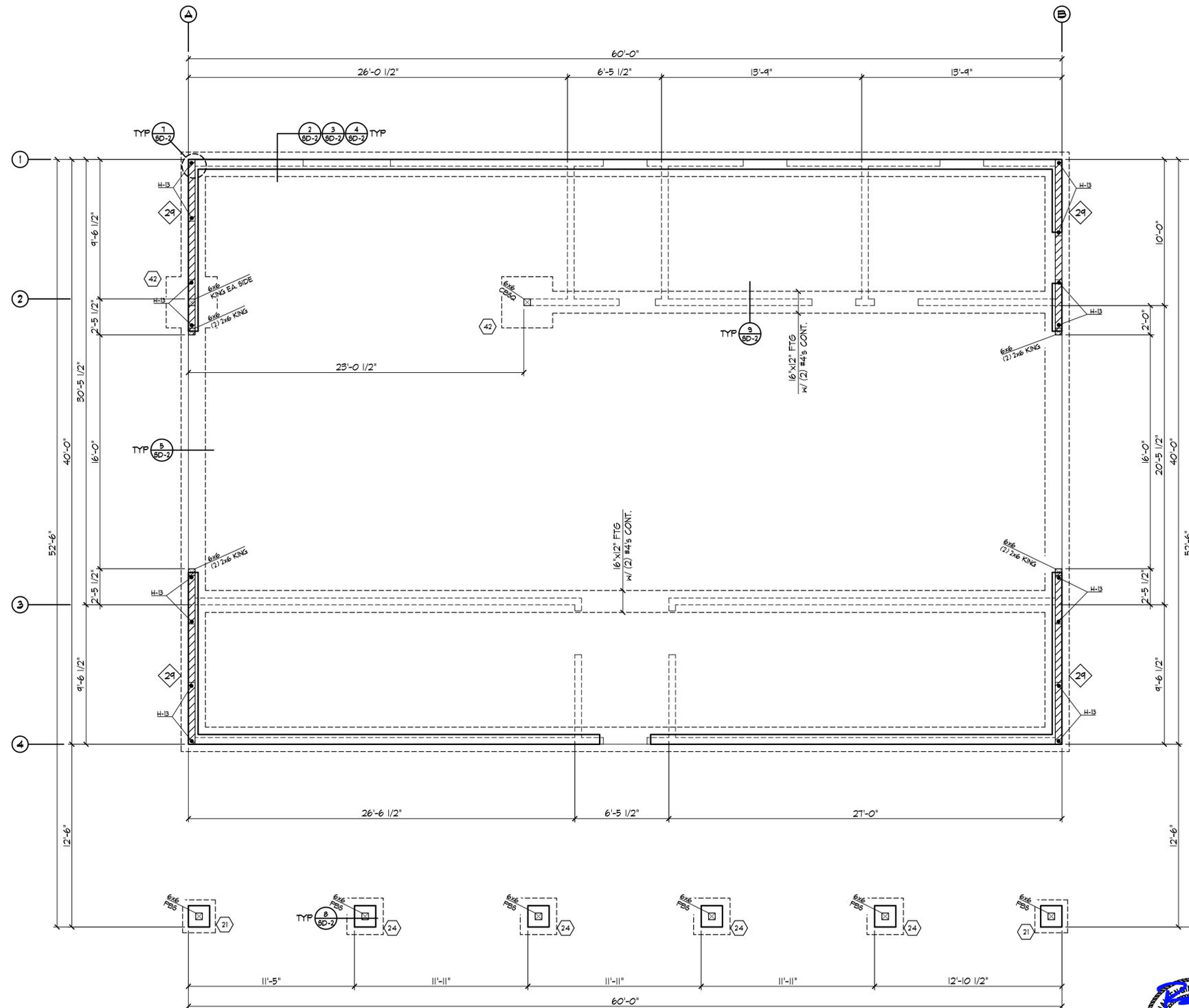
CONG. FOOTINGS 16" x 10" w/ 2-#4 REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. FOOTING SHALL BE A MIN. OF 2'-0" BELOW FINISHED GRADE.

8" CONG. FOUNDATION WALL w/ 1-#4 TOP & #4 VERT. @ 32" O.C. TYP. UNO. PROVIDE 3/8" x 10" AB'S @ 48" O.C. TO 2x6 P.T. SILL UNO. IN SHEAR WALL PLAN. PROVIDE 2x6 P.T. SOLE PLATE @ GARAGE.

ALL SLABS TO BE 4" THICK CONCRETE w/ #3 BARS @ 18" O/C EW OR 6x6 10/10 WELDED WIRE FABRIC REINFORCING AND SHALL BE PLACED OVER 4" TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.

FOR 2x SILL PLATE, USE 3/8" x 10" AB FOR 3x OR DOUBLE SILL PLATE USE 3/8" x 12" AB. EXTEND SILL BOLTS 1" INTO FOUNDATION MINIMUM; MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (1) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"x3"x1/4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT.

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED w/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE 16" & 14", REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT & SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.



FOUNDATION PLAN

scale: 1/4" = 1'-0"



FOUNDATION PLAN

Date:	Revised:	Revised:	Revised:	Drawn By:	Rev. No.:	Scale:
				BWKS		1/4"=1'-0"

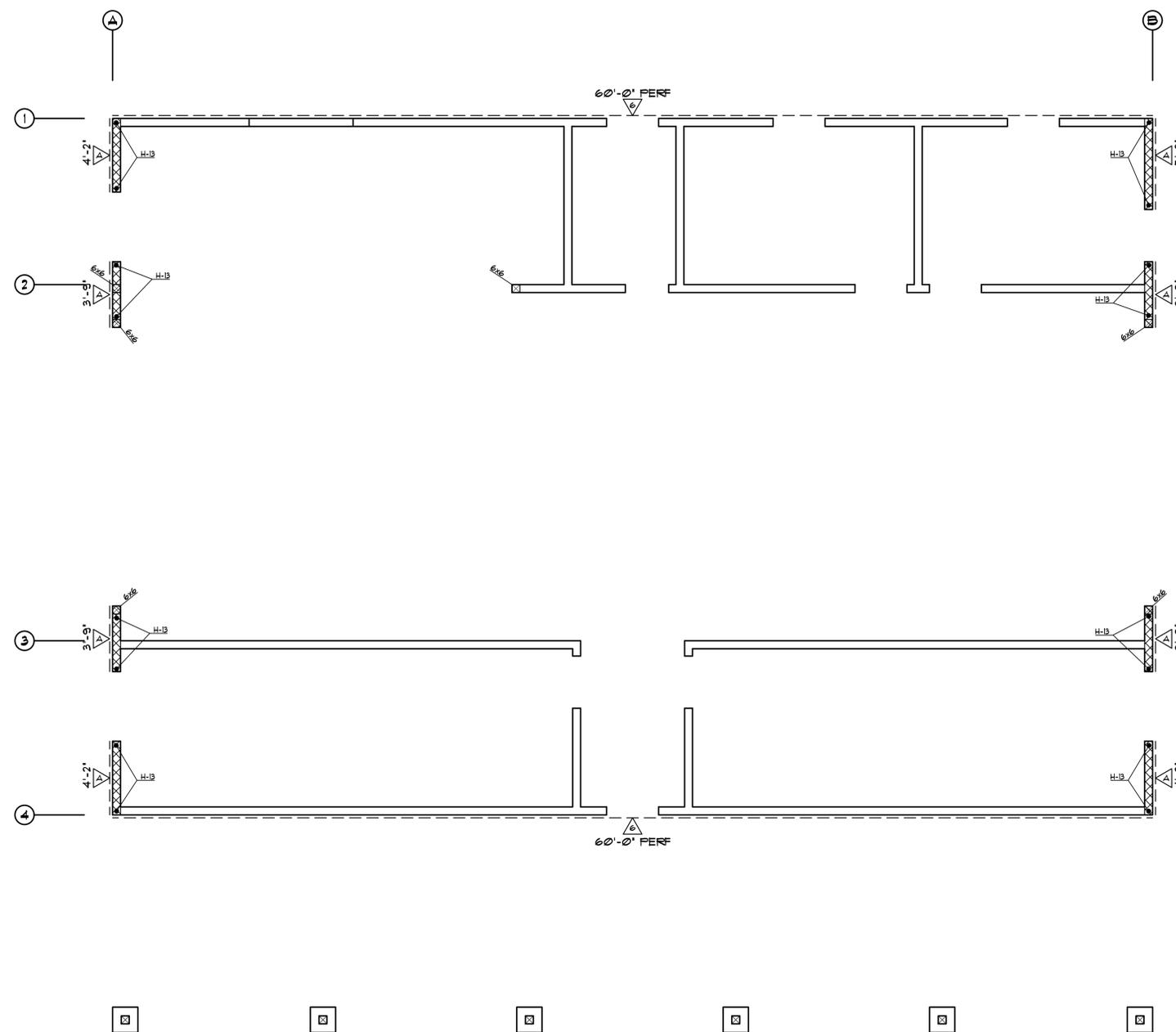
SHEARWALL PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

 SHEARWALL TYPE - SEE SHEET SD1 FOR ADDITIONAL INFORMATION

 TYPICAL WALL w/ SHEARPLY AND HOLDDOWNS.

 3x OR DBL 2x FRAMING MEMBERS CONNECTED w/ (2) 16d's @ 12" O/C AT ADJOINING PANEL EDGES



SHEAR / HOLDOWN PLAN

scale: 1/4" = 1'-0"



Date:	Revised:	Revised:	Revised:	Revised:
Drawn By:	BWKS			
Scale:	1/4"=1'-0"			

ROOF FRAMING PLAN LEGEND

- SEE SHEET 9D-1 FOR ADDITIONAL NOTES AND SCHEDULES
- WOOD HEADER/BEAM
- PRE MANUFACTURED TRUSSES
- ROOF RAFTERS
- INTERIOR BEARING WALL
- BALLOON FRAMED WALL
- 3x FRAMING AT ADJOINING PANEL EDGES
4 P.T. 3x SILL IE w/ 3/8"x12" AB'S, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL IE MAY BE USED w/ 3/8"x10" AB'S @ HALF THE SPECIFIED SPACING.

ROOF FRAMING NOTES

ROOF LOADS: SNOW 49# SQ. FT. ; DEAD 21# SQ. FT.

USE (1)-LAYER 3/8" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & NAIL w/ 10d'S @ 6" O.C. EDGES & BOUNDARIES & 12d'S @ 12" O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. w/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.

ALL FRAMING HARDWARE NOTED SHALL BE 'SIMPSON' INSTALL PER MANUFACTURER'S REQUIREMENTS.

PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) FLY GIRDER TRUSSES w/ SIMPSON H6. USE (3) STUDS @ 3-PLY TRUSSES & (4) STUDS @ 4-PLY TRUSSES. U.N.O. CONNECT GIRDER TRUSSES TO POST w/ SIMPSON H6 U.N.O.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 U.N.O.

TYP HEADER U.N.O. USE 6x8 DF #1

USE 12-16d BETWEEN TOP PLATE SPLICES. TYP U.N.O.

USE 2x6 FLAT w/ 2x6 STRONGBACK @ 48" O.C. @ GABLE END FRAMING

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS. TYP PROVIDE BITUMINEOUS MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF PLAN

USE BOUNDARY NAILING @ ALL DRAG TRUSSES U.N.O.

A35 @ 48" O.C. TRUSS BLKG TO TOP PLATE TYP U.N.O.

PROVIDE ICE & WATER DAM MEMBRANE @ HIPS, EAVES, VALLEYS & RIDGES AS PER LOCAL BLDG DEPT STANDARDS

PROVIDE SNOW DIVERTERS @ ALL ROOF PENETRATIONS

PROVIDE ATTIC ACCESS (22"x30") PER I.R.C. SECTION R801.1

PROVIDE ROOF VENTILATION PER I.R.C. SECTION R806.1

PROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP

PROVIDE CONT ROOF PLY UNDER ALL ROOF OVER FRAMING

PRE-MANUFACTURED WOOD ROOF TRUSSES

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS CONNECTIONS, BLOCKING, BRACING, & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING & THE ARCHITECT.

DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240.

GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG & TO ALLOW A TOP CHORD NOTCH OF ONE & A HALF INCHES

ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW w/ SIMPSON STC CLIPS.

USE PRE-ENGINEERED MANUFACTURED TRUSSES. SOLID BLOCK @ ALL SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON H1 @ EACH SUPPORT WALL/BEAM TO EACH TRUSS & H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.

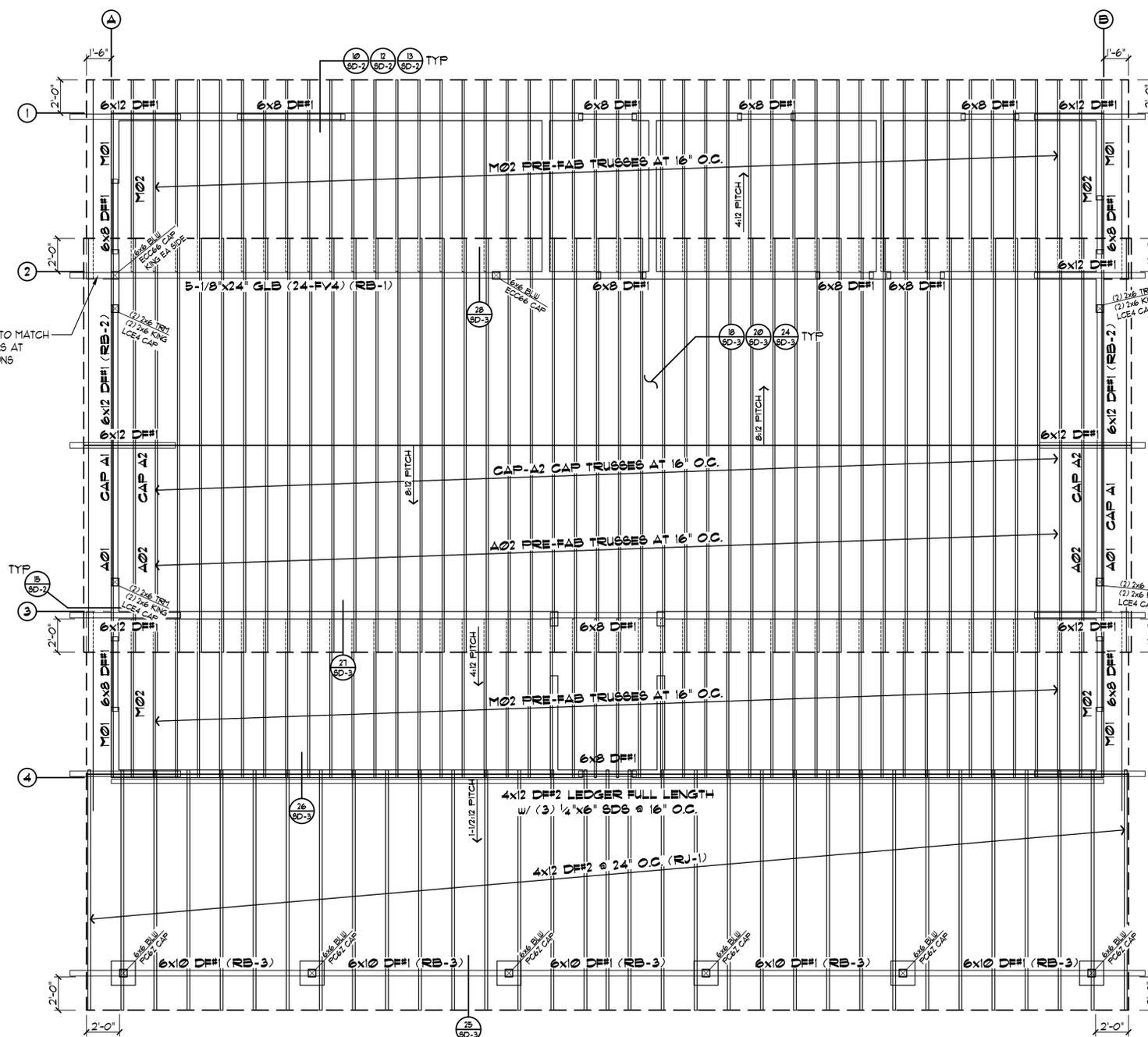
HANG TRUSSES & GIRDER TRUSSES w/ SIMPSON HUB26 OR AS SPECIFIED ON PLAN. TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN @ ALL TRUSS-TO-TRUSS CONNECTIONS.

TRUSSES ARE TO BE HANDLED, INSTALLED, & BRACES IN ACCORDANCE w/ HIB-41 OF THE TRUSS PLATE INSTITUTE (TPI).

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FIELD CONDITIONS, PLATE HEIGHTS, TRUSS DIMENSIONS, ROOF PITCHES AND OVERHANGS PRIOR TO TRUSS FABRICATION.

NO TRUSSES SHALL BE DELIVERED TO THIS RESIDENCE THAT ARE NOT FROM RENO TRUSS, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED.

RIP DOWN GLB TO MATCH 6x12 OUTRIGGERS AT OTHER LOCATIONS

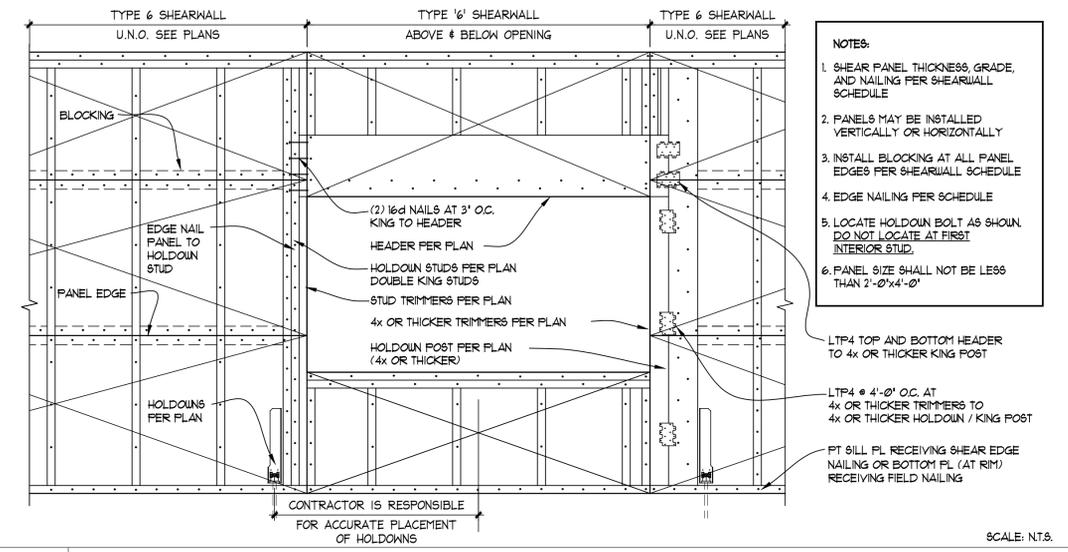


ROOF FRAMING PLAN

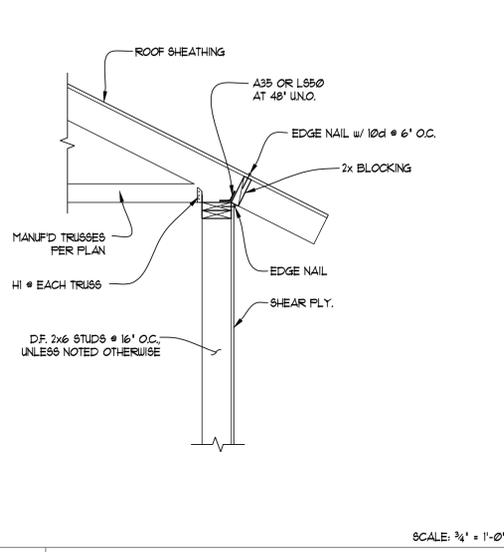
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Date:	Revised:	Revised:	Drawn By:	Rev. No.:	Scale:
					1/4"=1'-0"

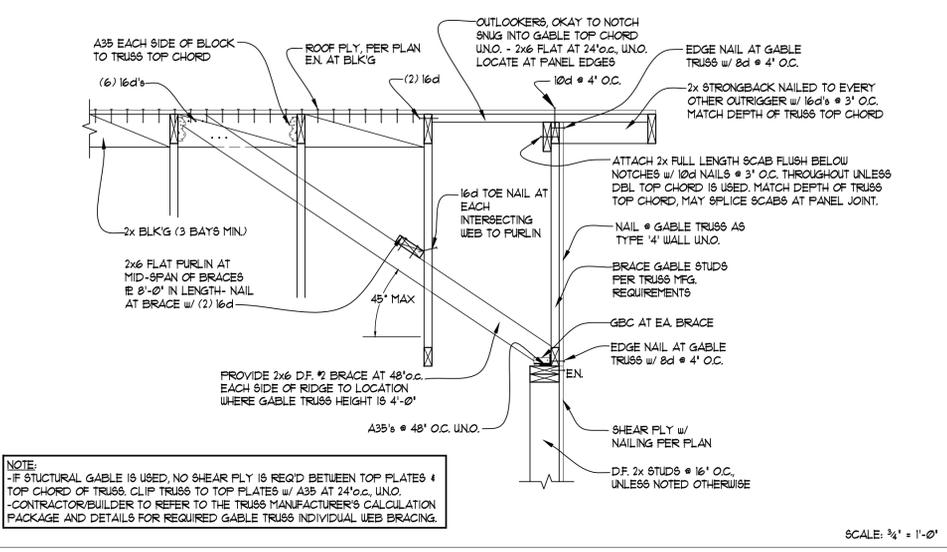




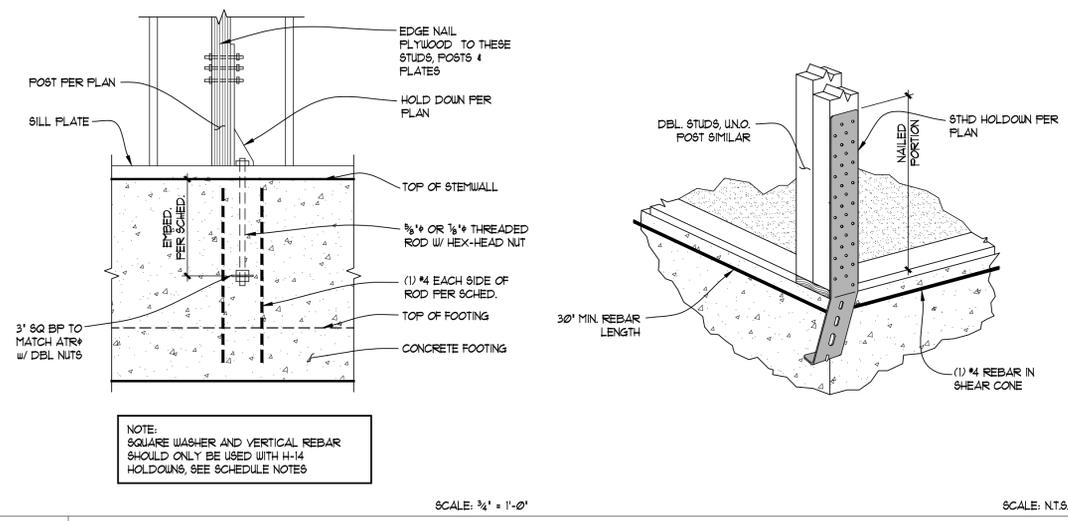
12 Typical Shearwall / Header



13 Typical Truss @ Eave

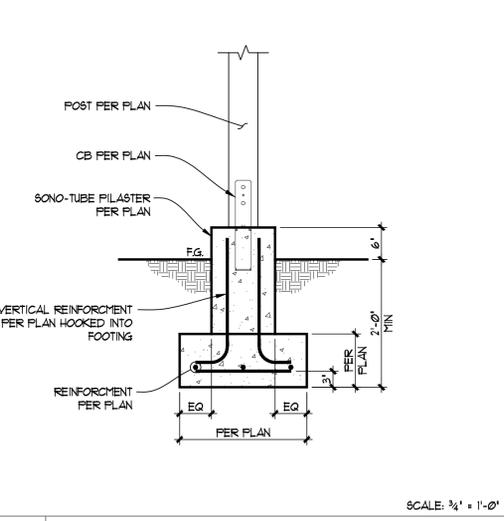


15 Gable Wall Bracing Detail

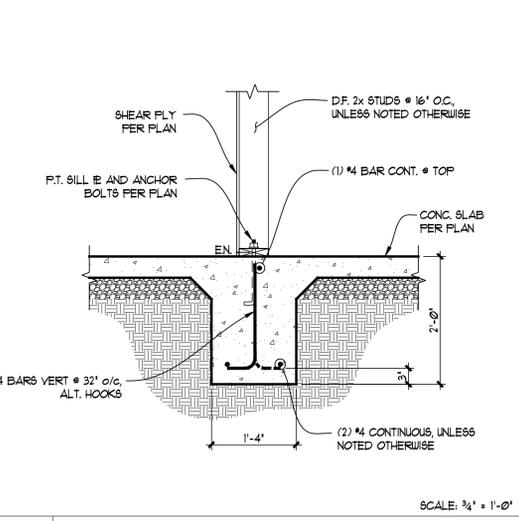


7 Holddown Embedment Detail

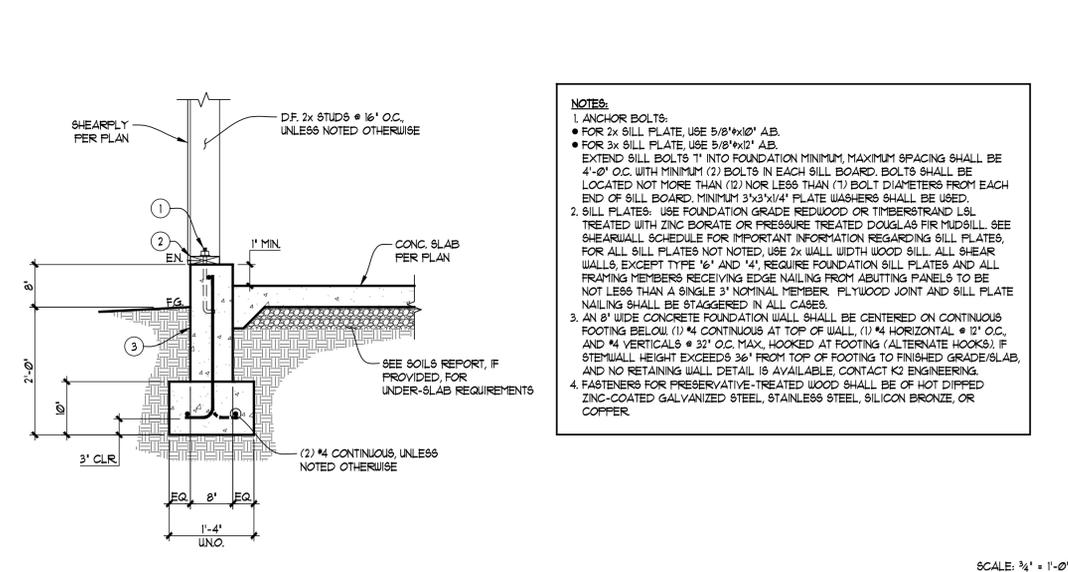
STHD



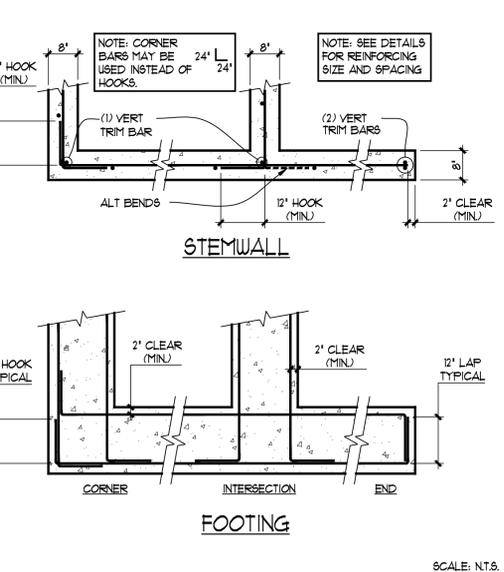
8 Sono-Tube Pilaster Detail



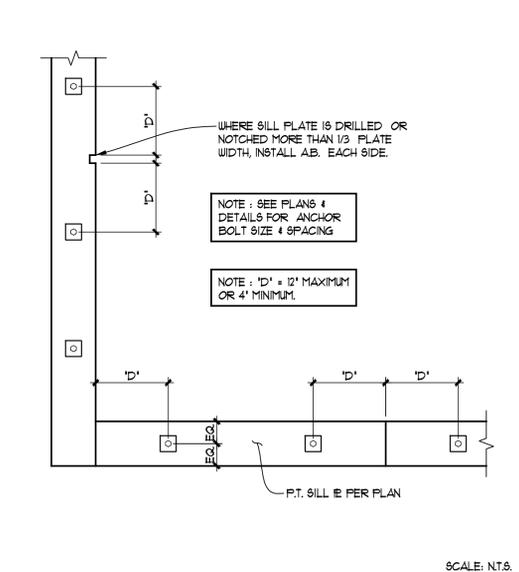
9 Thickened Slab at Bearing



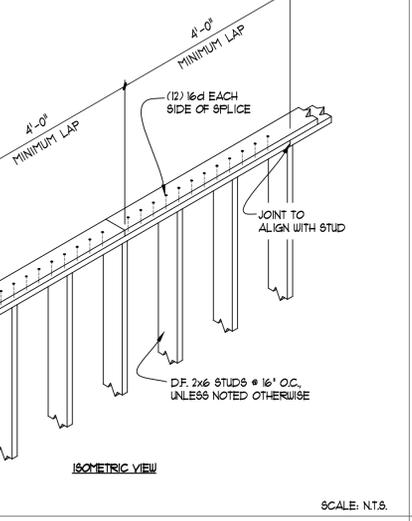
2 Typ Garage Footing



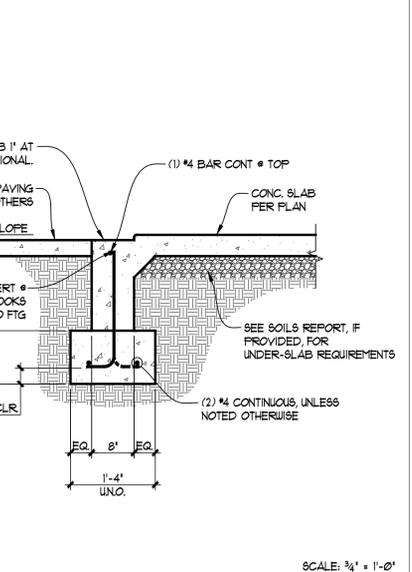
3 Rebar Reinf. Placement



4 Sill Plate Bolting



10 Top Plate Splice



5 Slab @ Garage Door

Brandt T. Kennedy, P.E.
 Jared A. Krupa, P.E.

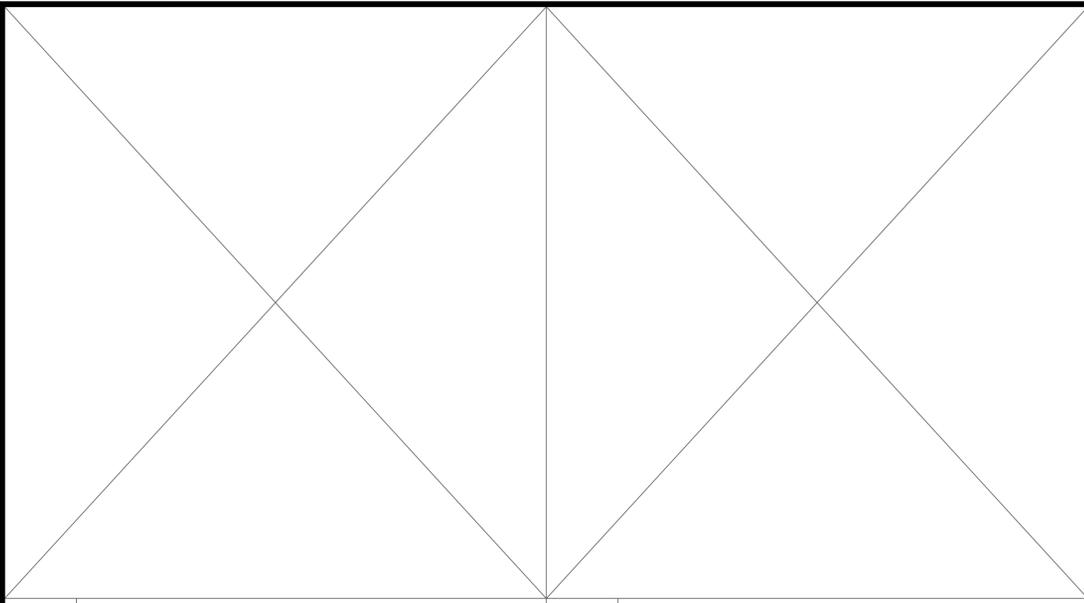


08/24/2021

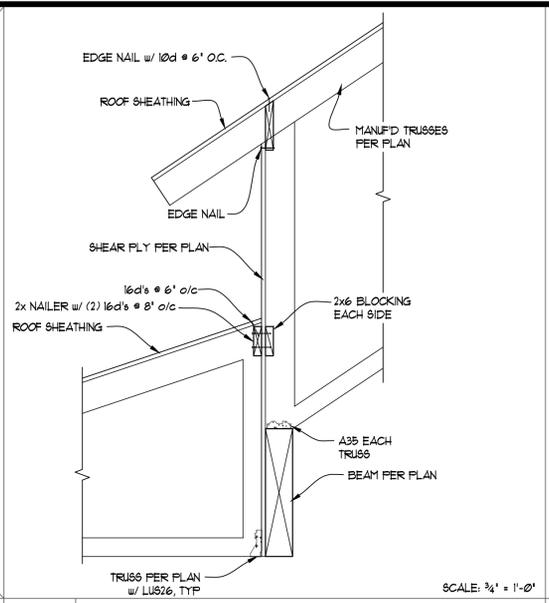
Revisions

Date: 8/24/2021
 Drawn: TJD
 Checked: BTK
 Project No.: 21-269

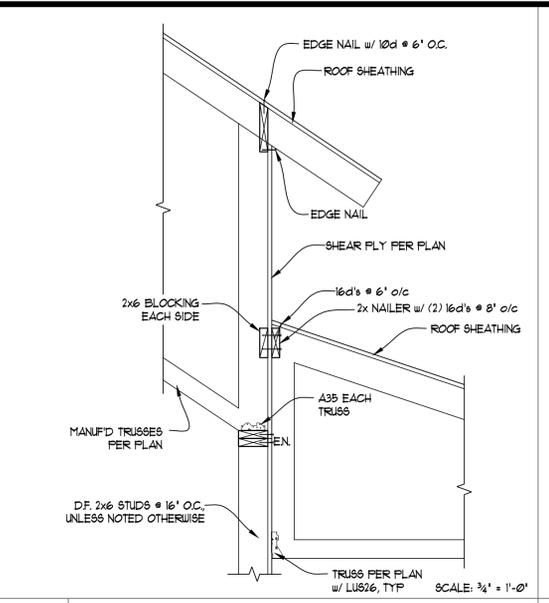
Structural Details



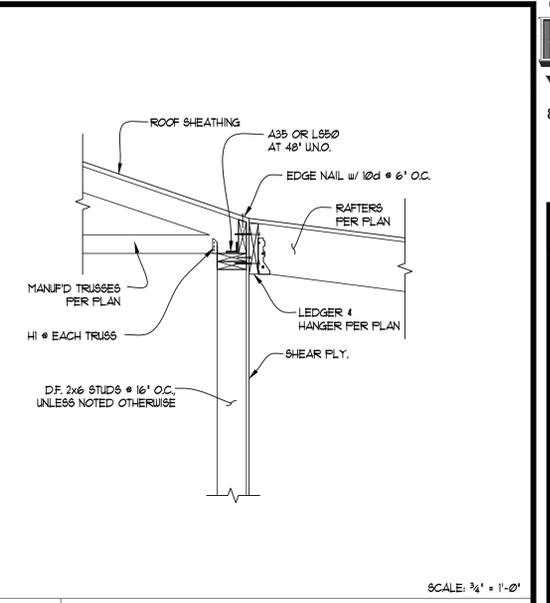
30 Not Used



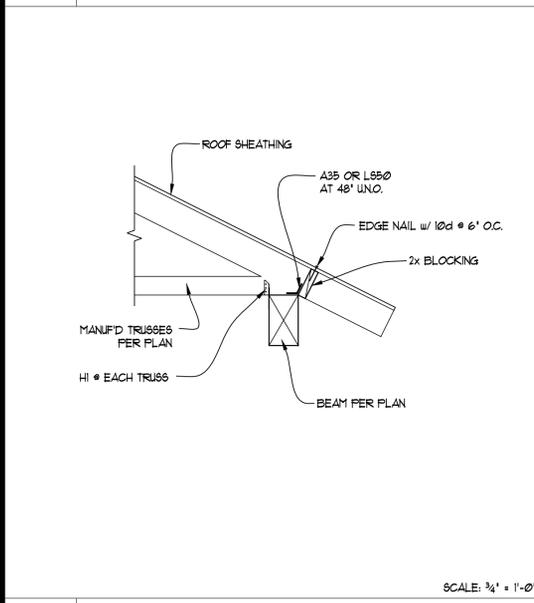
28 Framing Detail



27 Framing Detail



26 Framing Detail



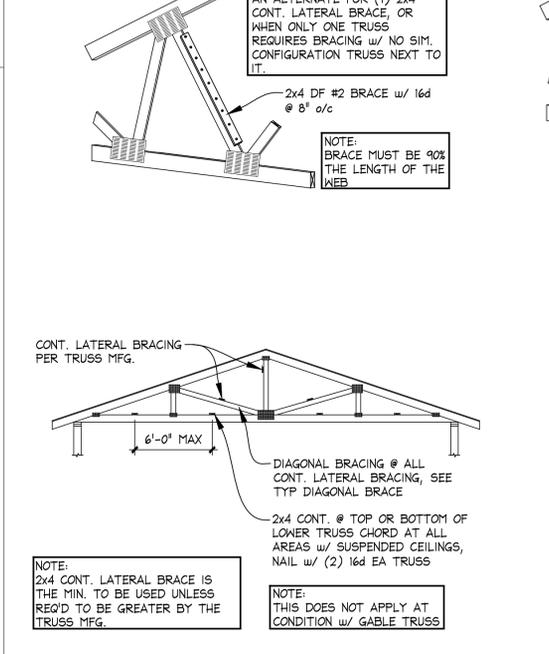
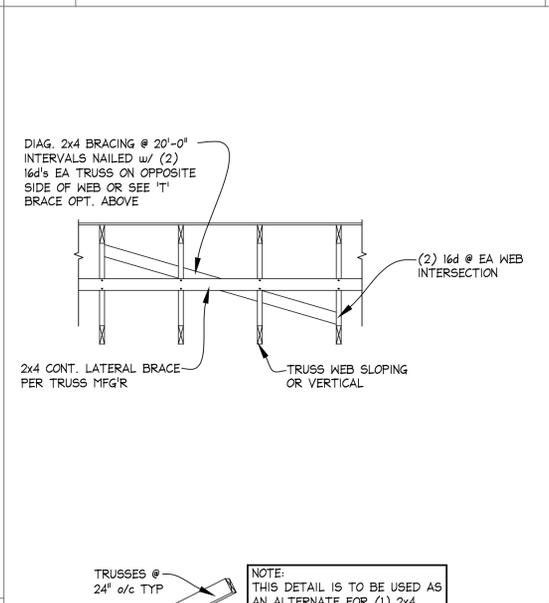
25 Typical Truss @ Eave

NAILS	PANEL LOCATION	ROOF FASTENING ZONE		
		①	②	③
		FASTENER SCHEDULE (INCHES ON CENTER)		
SEE #2	PANEL EDGES	6	6	4
SEE #2	PANEL FIELD	12	6	6

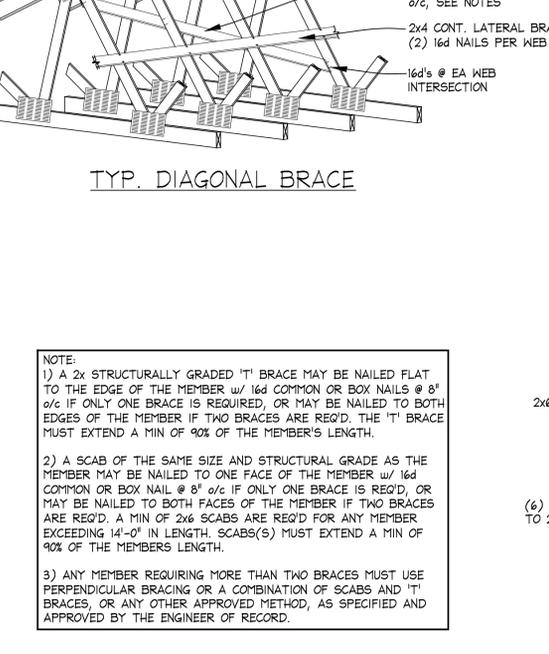
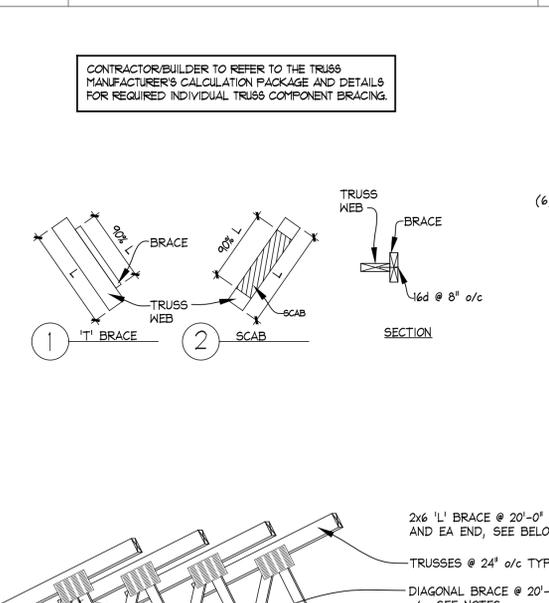
1) BLOCKING NOT REQUIRED, UNLESS NOTED.
 2) USE 8d FOR 1/2" AND 10d FOR 5/8" SHEATHING

HIP ROOF
 BLOCK RIDGE LINE FOR BOUNDARY NAILING, TYP.
 GABLE ROOF
 SCALE: N.T.S.

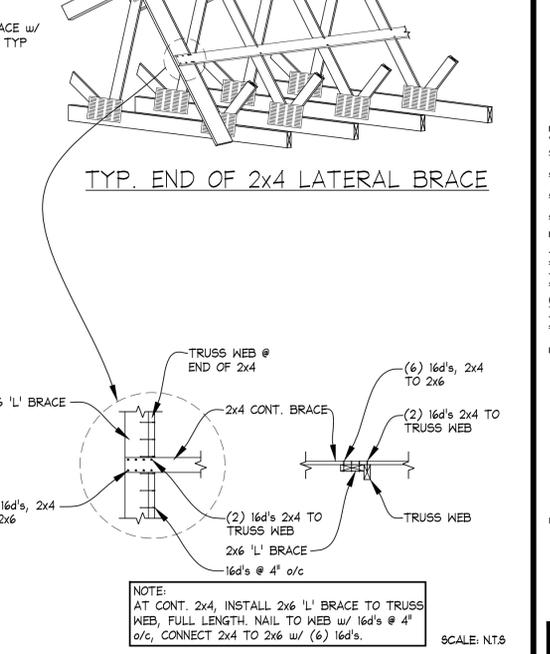
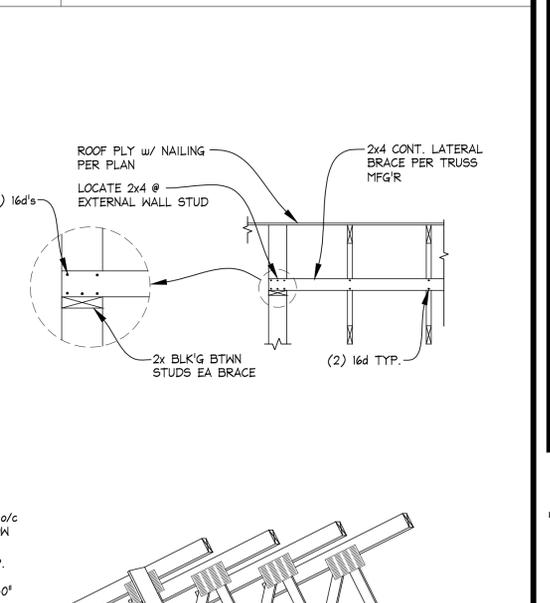
24 Roof Fastening Zones



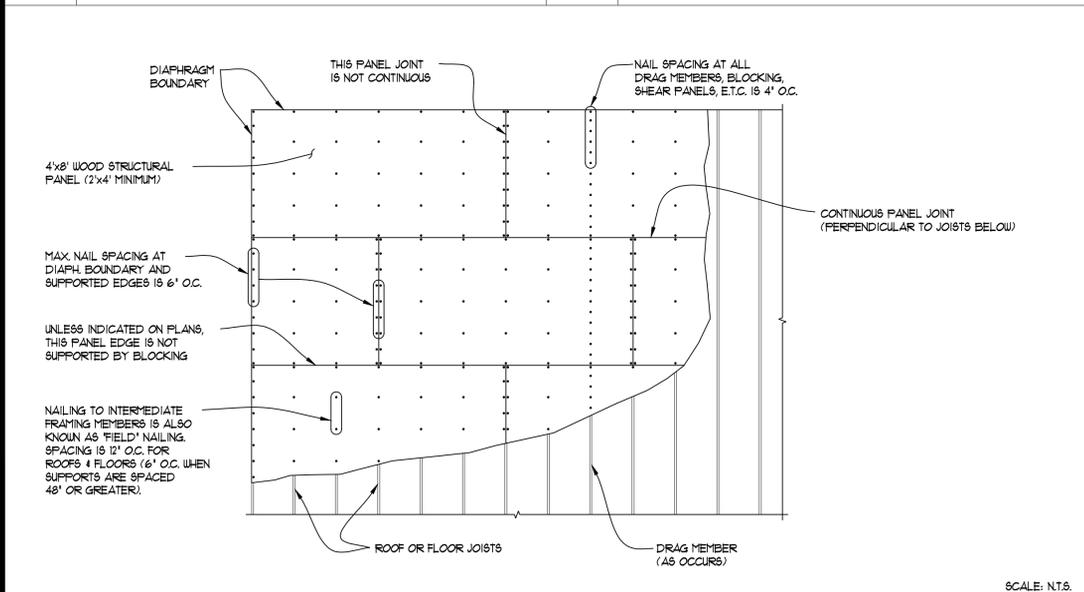
18 Truss Bracing & Truss Web Bracing



17 Truss Bracing & Truss Web Bracing



16 Truss Bracing & Truss Web Bracing



20 Unblocked Diaphragm Nailing