

# Community Services Department

## Planning and Building

### SPECIAL USE PERMIT

(see page 7)

### SPECIAL USE PERMIT FOR GRADING

(see page 9)

### SPECIAL USE PERMIT FOR STABLES

(see page 12)

## APPLICATION



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Vater Detached Accessory Dwelling</b>			
Project Description: Single story, wood framed, detached accessory dwelling.			
Project Address: 505 E 1st Ave, Sun Valley NV 89433			
Project Area (acres or square feet): 768			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>west corner lot on e1st Ave and Oetting</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
085-182-08	0.35		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Ben Vater		Name: Ben Vater	
Address: 505 e 1st Ave		Address: 505 E 1st Ave	
Sun Valley	Zip: 89433	Sun Valley	Zip: 89433
Phone: 408 710 2903	Fax:	Phone: 4087102903	Fax:
Email: ben.vater.bv@gmail.com		Email: ben.vater.bv@gmail.com	
Cell:	Other:	Cell:	Other:
Contact Person: Ben Vater		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Ben Vater		Name:	
Address: 505 e 1st Ave		Address:	
Sun Valley	Zip: 89433		Zip:
Phone: 408 710 2903	Fax:	Phone:	Fax:
Email: ben.vater.bv@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Ben		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Property Owner Affidavit

**Applicant Name:** Benjamin Vater

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE   )

I, Benjamin Vater  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 085-182-08

Printed Name Benjamin Vater

Signed [Signature]

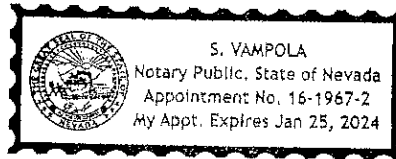
Address 505 E 1st Ave  
Sun Valley, NV, 89433

Subscribed and sworn to before me this 28<sup>th</sup> day of APRIL, 2022

(Notary Stamp)

[Signature]  
Notary Public in and for said county and state

My commission expires: January 25, 2024



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Detached accessory dwelling.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Please see attached.

3. What is the intended phasing schedule for the construction and completion of the project?

intended start date 8-1-22  
intended finish date 8-1-23

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

This project will benefit the adjacent properties by encouraging stick built construction as opposed to manufactured construction.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

I do not foresee any major negative impacts on adjacent properties. There will be small increase in traffic in the neighborhood. However, I don't see this as a major dilemma.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Please see attached plans

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	Washoe County Utilities
b. Electrical Service	NV energy
c. Telephone Service	Charter
d. LPG or Natural Gas Service	NV energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter
g. Water Service	TMWA

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	Reno Fire Department, 110 Quartz Ln, Sun Valley, NV 89433
b. Health Care Facility	Renown Regional Medical Center, 1155 Mill St, Reno, NV 89502
c. Elementary School	Sun Valley Elementary, 5490 Leon Dr, Sun Valley, NV 89433
d. Middle School	Fred Tanner middle school, 1700 Carville Dr, Reno, NV 89512
e. High School	Procter R Hug High School, 2880 Sutro St, Reno, NV 89512
f. Parks	Sun Valley Community Park, 115 W 6th Ave, Sun Valley, NV 89433
g. Library	North Valleys Library, 1075 N Hills Blvd, Reno, NV 89506
h. Citifare Bus Stop	Sun Valley Boulevard and E 1st Avenue

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

9. What are the planned hours of operation?

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

11. What is the intended phasing schedule for the construction and completion of the project?

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

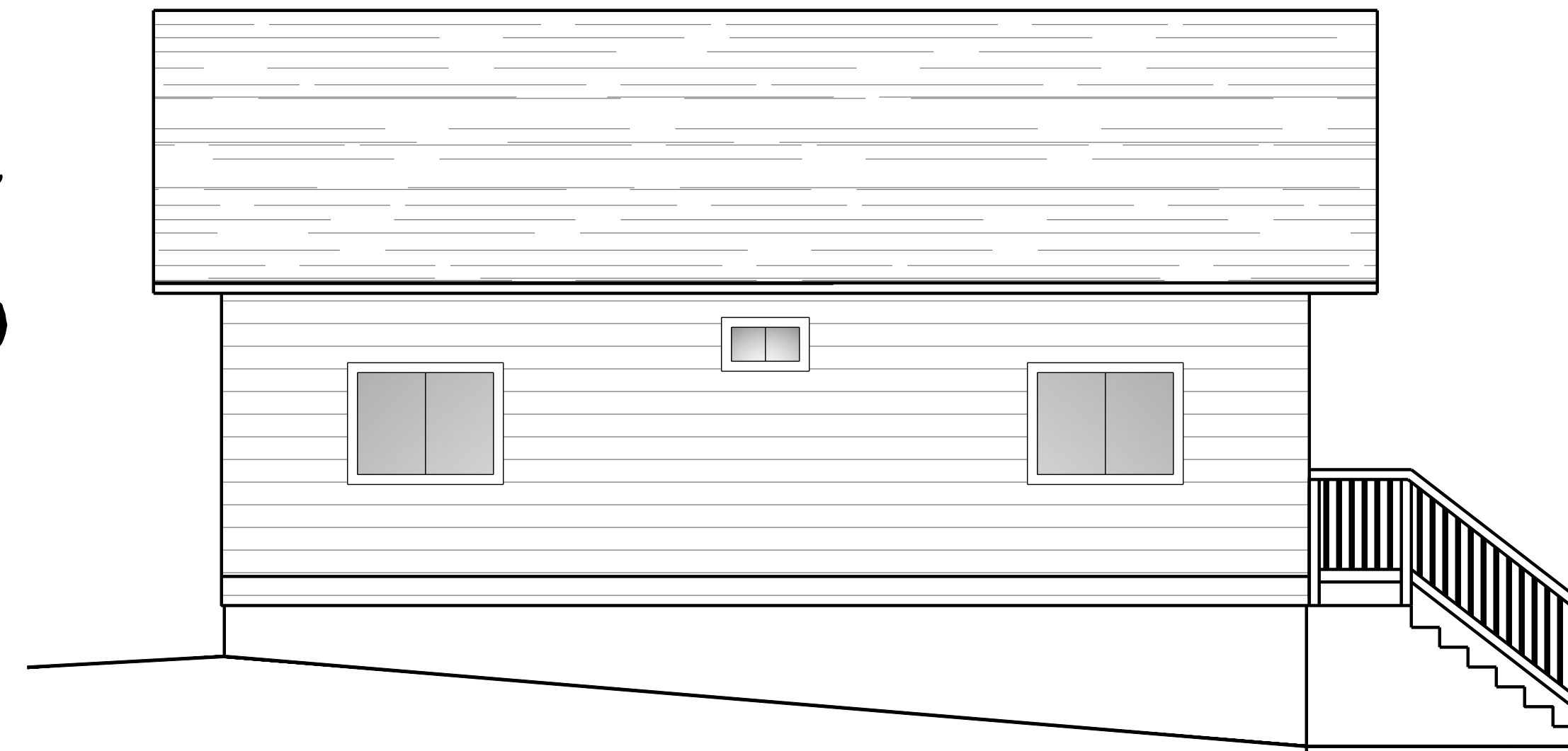
13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

# Water Detached Accessory Dwelling

505 E 1st Ave  
Sun Valley, Nv.



WEST ELEVATION  
SCALE 1/4" = 1'-0"

**K2 ENGINEERING**  
AND STRUCTURAL DESIGN  
860 Maestro Dr., Ste. A  
Reno, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
www.K2eng.net

**Water Detached Accessory Dwelling**  
Sun Valley, Nevada  
89433  
505E 1st Ave  
A.P.N.: 085-182-08

## GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL JOB SITE REQUIREMENTS AND FOR COORDINATION OF ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENTIAL DESIGNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS OR OTHER QUESTIONS RELATING TO THE CONSTRUCTION DOCUMENTS. DO NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS CLEAR.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.
- CONTRACTORS AND SUBCONTRACTORS SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE RESIDENTIAL DESIGNER SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THESE PLANS, SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED - AND SHALL COMPLY WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATIONS' OF THE U.S. DEPARTMENT OF LABOR, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE RESIDENTIAL DESIGNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.
- CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN THE PREMISES, CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, AND PAINT OVERSPRAY.
- BUILDER'S SET: THIS SET OF DRAWINGS HAS BEEN PREPARED SUFFICIENT TO OBTAIN A BUILDING PERMIT. ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS 'BUILDER'S SET'. THE IMPLEMENTATION OF THE DRAWINGS REQUIRES THE CONTRACTOR TO BE THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT AND TYPE OF CONSTRUCTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE NO STRUCTURAL SUBSTITUTIONS, CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.
- UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
- CODE COMPLIANCE  
A. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE CODES LISTED UNDER THE BASIS OF DESIGN, MUNICIPAL CODES AND OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

## BASIS OF DESIGN

**BUILDING CODE:**  
2018 INTERNATIONAL BUILDING CODE - 'IBC'  
2018 INTERNATIONAL RESIDENTIAL CODE - 'IRC'  
2018 INTERNATIONAL ENERGY CONSERVATION CODE - 'IECC'  
2017 NATIONAL ELECTRICAL CODE - 'NEC'  
2018 NORTHERN NEVADA CODE AMENDMENTS BY THE NNCICC

ALL OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT

## PROJECT INFORMATION

**SCOPE OF WORK:**  
A NEW DETACHED 1-STORY STRUCTURE TO BE BUILT W/ 2X4 EXTERIOR WOOD STUD WALLS, TRUSS ROOF, PRE-MANUF. FLOOR JOISTS, CONCRETE STEMWALL FOUNDATION, CORRUGATED METAL TO MATCH (E) AND SIDING TO MATCH (E).

**ADDRESS:** 505 E 1ST AVE, SUN VALLEY NV 89433

**A P N:** 085-182-08

**ZONING:** MDS

**FLOOD ZONE:** X

**NUMBER OF STORIES:** ONE

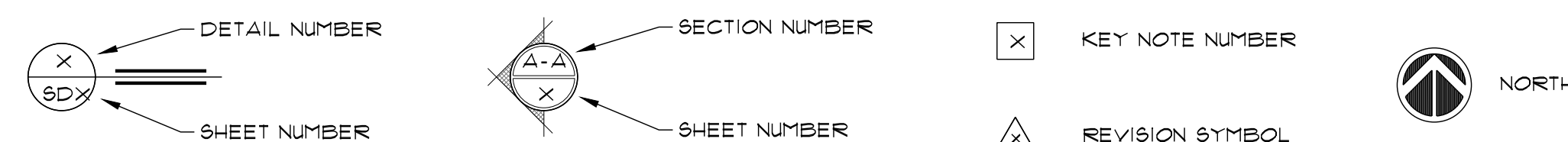
**PARCEL AREA:** 0.35 ACRES

AREA TABULATIONS:	
(E) RESIDENCE:	1568 SF.
(N) DETACHED STRUCTURE	768 SF.

## VICINITY MAP



## SYMBOL LEGEND



## DRAWING INDEX

- ARCHITECTURAL**
- A-0 COVER SHEET, PROJECT DATA, BASIS OF DESIGN, VICINITY MAP, SYMBOL LEGEND
  - A-1 SITE PLAN
  - A-2 FLOOR PLAN /ELECTRICAL PLAN
  - A-3 ELEVATIONS
  - A-4 SECTION & DETAILS
- STRUCTURAL**
- S-1 FOUNDATION PLAN, SHEAR-WALL PLAN, ROOF FRAMING PLAN
  - SD-1 STRUCTURAL NOTES AND SCHEDULES
  - SD-2 STRUCTURAL DETAILS
  - SD-3 STRUCTURAL DETAILS

## DIRECTORY

**OWNER**  
BENJAMIN VATER  
505 E 1ST AVE, SUN VALLEY, NEVADA 89433

**ENGINEER**  
BENJAMIN VATER PE  
K2 ENGINEERING  
860 MAESTRO DR., STE. A  
RENO, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
WWW.K2ENG.NET

## Revisions

Date	By
1-29-22	BWV
	BWV
	BWV
	BWV

Project No. 22-BWV

Cover Sheet

**A-0**

**GENERAL SITE NOTES**

1. ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS) AND THE 2017 NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
4. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, NOTIFY OWNER OF ANY DISCREPANCIES.
5. CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
6. SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
7. MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
8. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOOD PLAIN, BOUNDARY OF THE 100-YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
9. THIS SITE IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
10. THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
11. NEITHER A TOPOGRAPHICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHOE COUNTY GIS WEBSITE AND THE BOUNDARY SHOWN IS BASED ON RECORDED INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO ACCURATELY PLACE THE IMPROVEMENTS.
12. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
13. THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

ALL IMPROVEMENTS WITHIN THE CITY OF RENO RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF RENO CODES AND THE LATEST STANDARD SPECIFICATIONS AND DETAILS.

A STREET EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITH THE CITY OF RENO RIGHT-OF-WAY.

CITY OF RENO ENGINEERING (775-334-2063) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL/CERTIFICATE OF OCCUPANCY.

GRADES AND TOPOGRAPHY ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE AND VERIFY AND ADJUST AS REQUIRED ALL FF ELEVATIONS TO ENSURE THAT POSITIVE DRAINAGE WILL BE PROVIDED AT THE NEW STRUCTURE, AND WATER WILL BE MITIGATED AWAY FROM STRUCTURE AND ON TO RIGHT OF WAY.

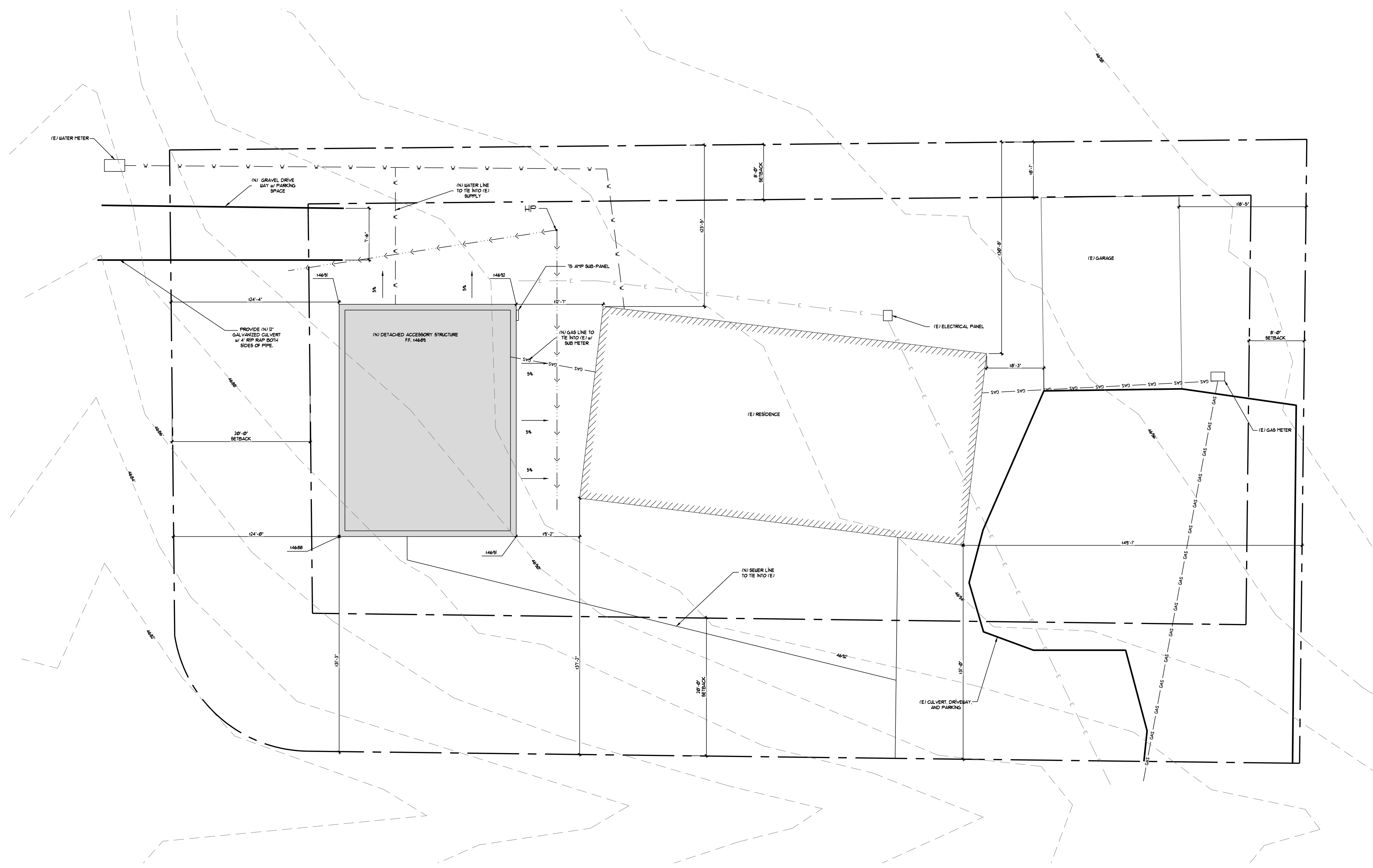
**EARTHWORK ANALYSIS**

SITE AREA	0.198 ACRES
SITE DISTURBANCE	0.04 ACRES
PROPOSED CUT	0.00 YD <sup>3</sup>
PROPOSED FILL	0.00 YD <sup>3</sup>
NET EARTHWORK	0.00 YD <sup>3</sup> CUT

1. THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION IF AVAILABLE AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

2. NET EARTHWORK TO BE DISPERSED EVENLY WITHIN THIS PROPERTY.

3. RESEED DISTURBED AREAS WITH NATIVE SEED MIX AND/OR VEGETATION.

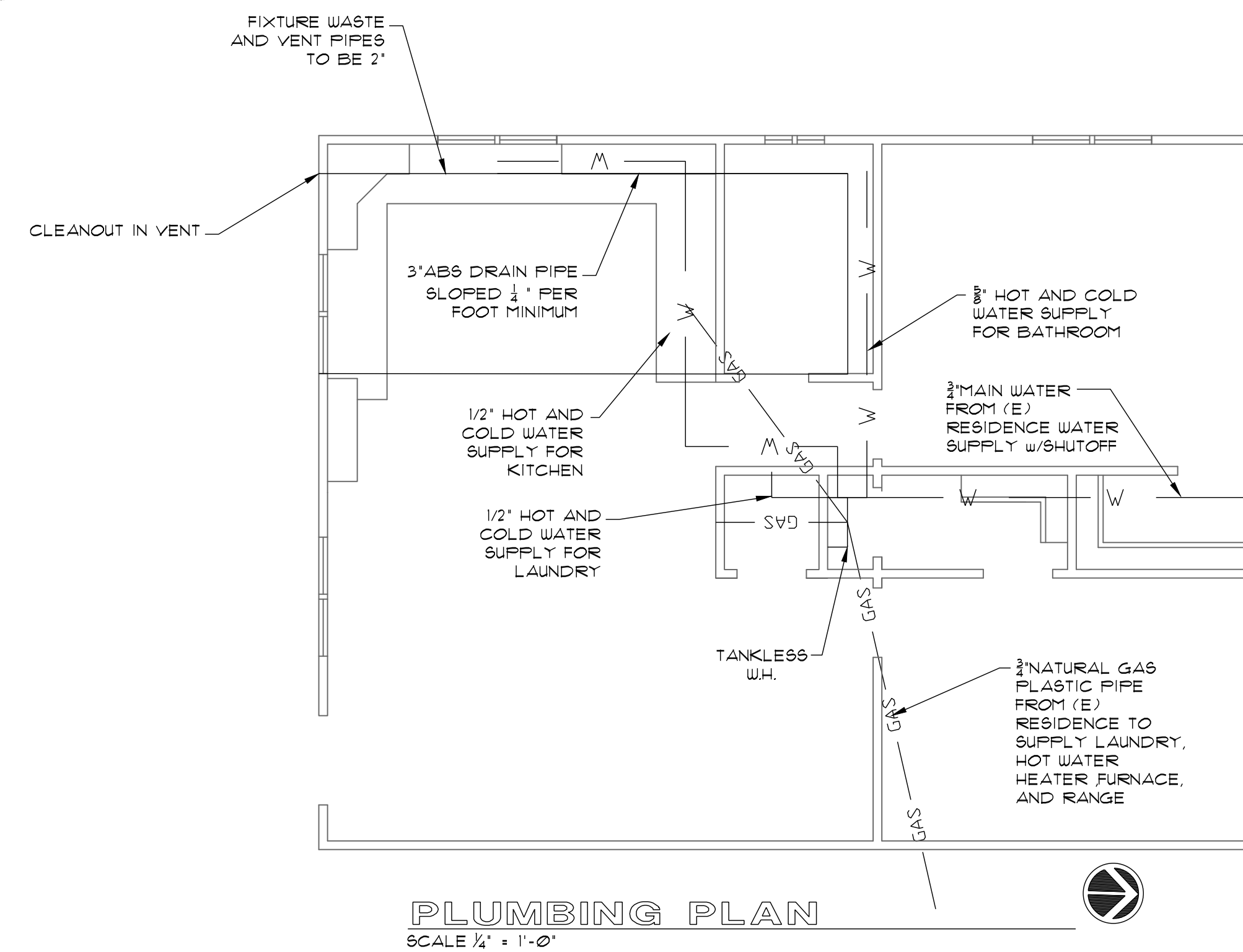
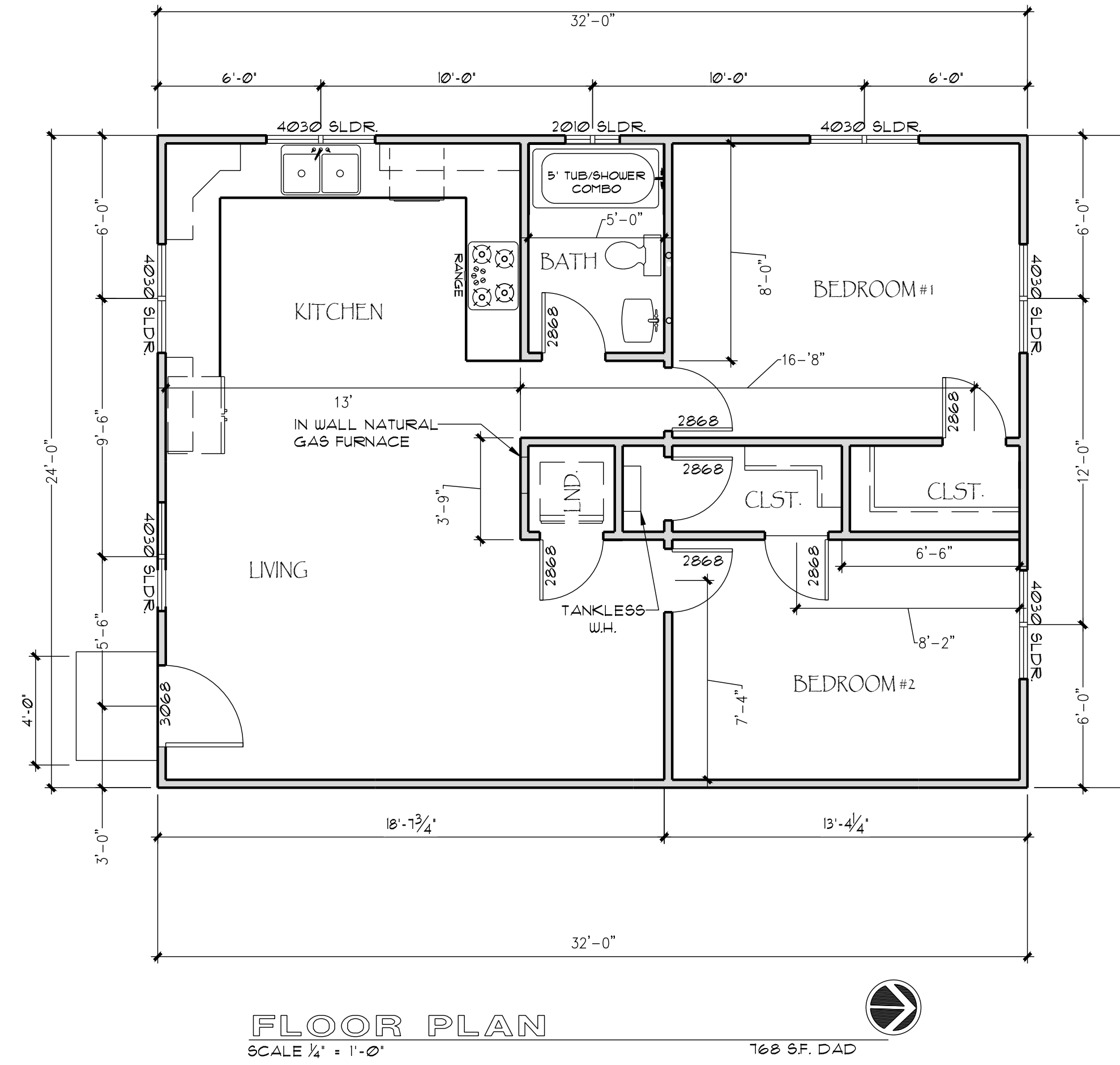




Revisions	
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Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

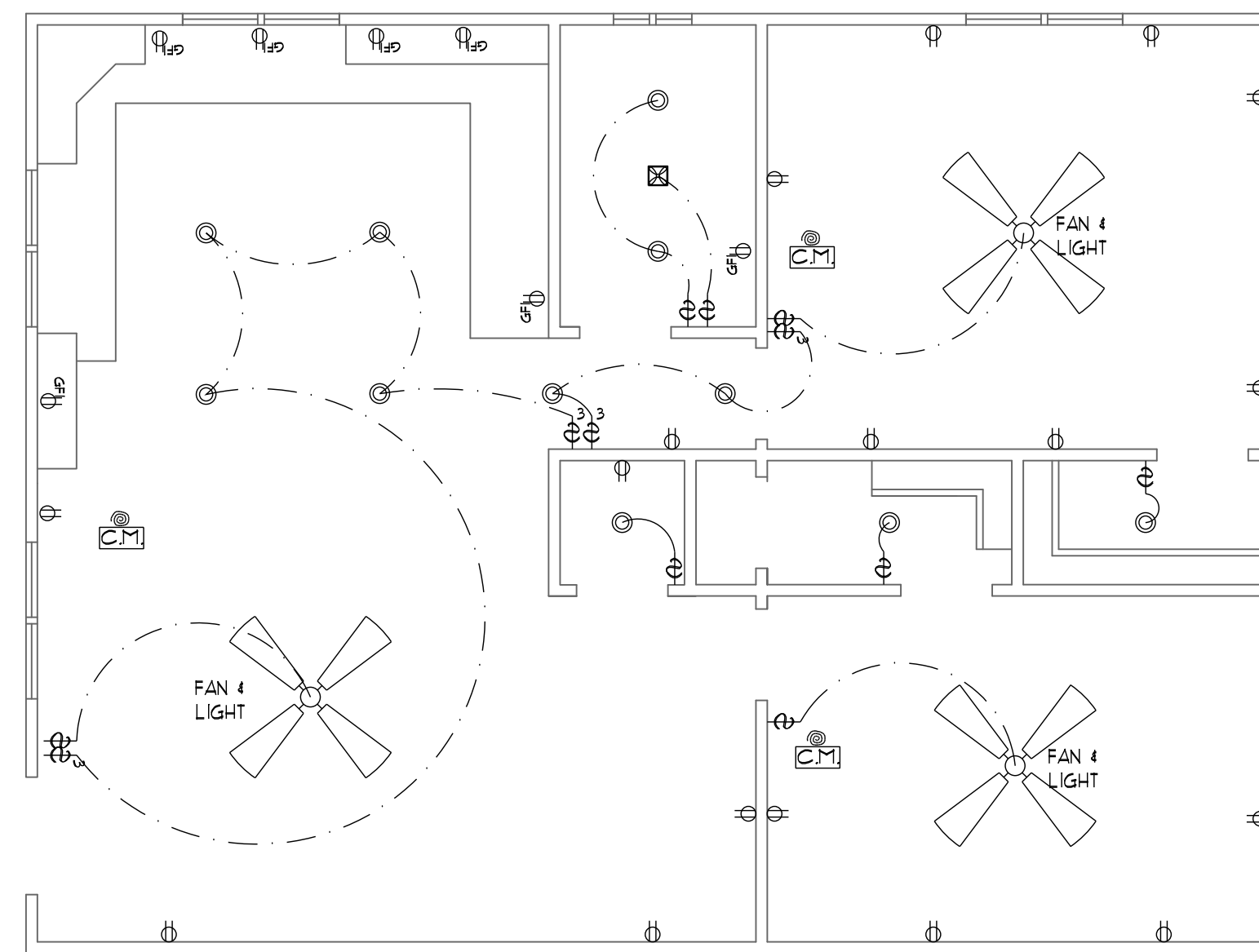
**FLOOR PLAN NOTES**

1. TYPICAL EXTERIOR WALL - EXT. SIDING o/ SHEAR FLY. o/ 2x4's @ 24" O.C. WALL FRAMING. SEE RES CHECK FOR INSULATION VALUES.
2. INTERIOR WALLS: 2x4 STUDS @ 24" O.C. UNO.
3. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
4. ALL 4x AND LARGER LUMBER TO BE DF#1 OR BETTER. ALL SMALLER LUMBER TO BE DF#1 OR BETTER UNLESS NOTED OTHERWISE.
5. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4.
6. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS w/ DRAIN LINES FROM ABOVE.
7. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R102.3.8.
8. PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.U.T. TO FIXTURE PER IECC R403.4.
9. 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY.
10. EGRESS WINDOW:  
MIN. OPEN AREA = 5.7 SQFT. (GRADE FLOOR).  
MIN. CLEAR OPENING WIDTH = 20"  
MAX. 44" FROM FIN. FLR TO CLR. OPENING
11. LANDINGS AT DOORS PER R311.3. AND LANDINGS AT STAIRWAYS PER R311.6.
12. SIDING SHALL BE INSTALLED PER MFR'S INSTRUCTIONS AND R103.
13. WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R203.2.1.
14. CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE HEATING EQUIPMENT SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3103.1.
15. WATER HEATER IGNITION SOURCE SHALL BE 18" ABV. GARAGE FLOOR.
16. ALL EXHAUST FANS REQUIRE RIGID, SMOOTH INTERIOR DUCT.
17. ALL DUCT WORK TO CONFORM WITH CHAPTER 16.
18. GAS PIPE SIZING PER CHAPTER 24 AND CONFORMANCE WITH LOCAL FUEL GAS SUPPLIER.
19. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION PER P2103.3.
20. MAXIMUM STATIC WATER PRESSURE SHALL BE 80 P.S.I. WHEN MAIN PRESSURE EXCEEDS 65 P.S.I., AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.



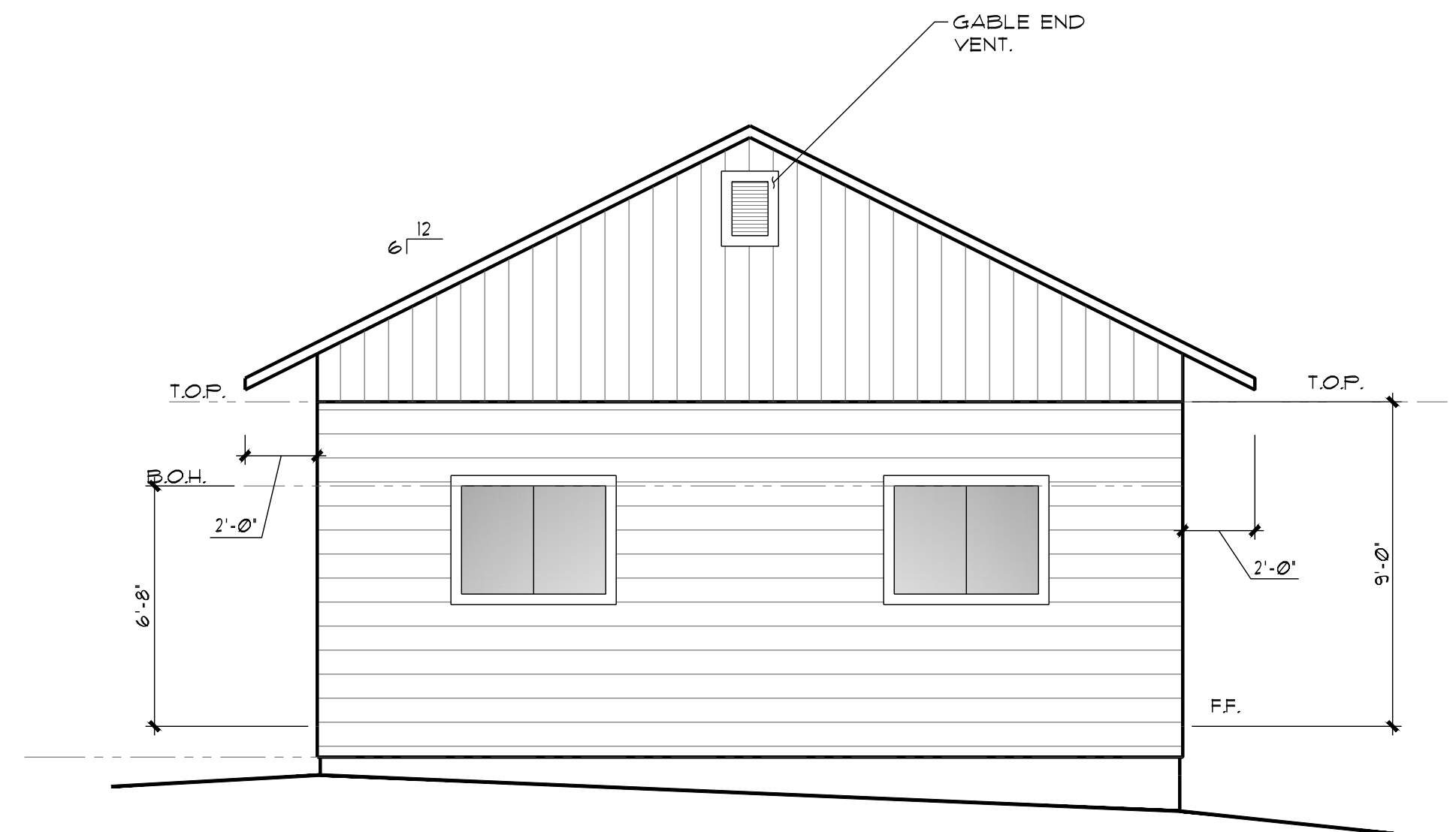
**ELECTRICAL PLAN NOTES**

1. ALL ELECTRICAL INSTALLATION SHALL COMPLY w/ THE 2011 NATIONAL ELECTRICAL & LOCAL CODES.
2. ALL PLUG SPACING PER 2011 N.E.C. TYP.
3. BACK TO BACK ELEC. PER 2011 N.E.C. TYP.
4. COORDINATE ALL HANGING FIXTURES w/ OWNER.
5. SHOULD ANY LIGHTING CONFLICT w/ FRAMING, RELOCATE PER OWNER SPEC'S.
6. LOCATION(S) OF COLD AIR RETURN TO BE VERIFIED w/ OWNER.
7. ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND LABELED FOR MAX. AIR LEAKAGE AND SEALED TO CEILING w/ GASKET OR CAULKING.
8. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DUELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS PER 2018 IRC SPECIFIED IN SECTIONS E3301.2 THROUGH E3301.2.3.
9. CONTRACTOR TO PROVIDE TAMPER PROOF RECEPTACLES PER 2018 IRC SECTION E4002.14.
10. PROVIDE 30" WIDE X 36" DEEP WORKSPACE IN FRONT OF ELECT. PANEL.
11. ELECTRIC OUTLET BOXES LOCATED IN FLOORS SHALL BE LISTED FOR INFLOOR INSTALLATION.
12. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE OR WITHIN 3' OF RECESSED LUMINARIES' ENCLOSURE, WIRING COMPARTMENT OR BALLAST EXCEPT WHERE SUCH LUMINARIES IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC, PER I.R.C. E4004.9.
13. CEILING FAN/LIGHT OUTLET BOXES SHALL BE RATED FOR WEIGHT OF FAN / LIGHT.
14. INSTALL SMOKE ALARMS AS REQUIRED BY 2018 IRC SECTION R314 AND LOCAL BUILDING CODES.
15. PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED BY 2018 IRC SECTION R315 AND LOCAL BUILDING CODES.
16. WITH THE EXCEPTION OF SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, AND HOME SECURITY SYSTEMS INSTALLED ON INDIVIDUAL BRANCH CIRCUITS, ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BED ROOMS, SUN ROOMS, RECEPTION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
17. ELECTRICAL PLAN IS FOR SCHEMATIC PURPOSES ONLY. OWNER TO COORDINATE WITH CONTRACTOR AND FIELD VERIFY LOCATION OF ELECTRICAL FIXTURES.
18. 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH EFFICACY.

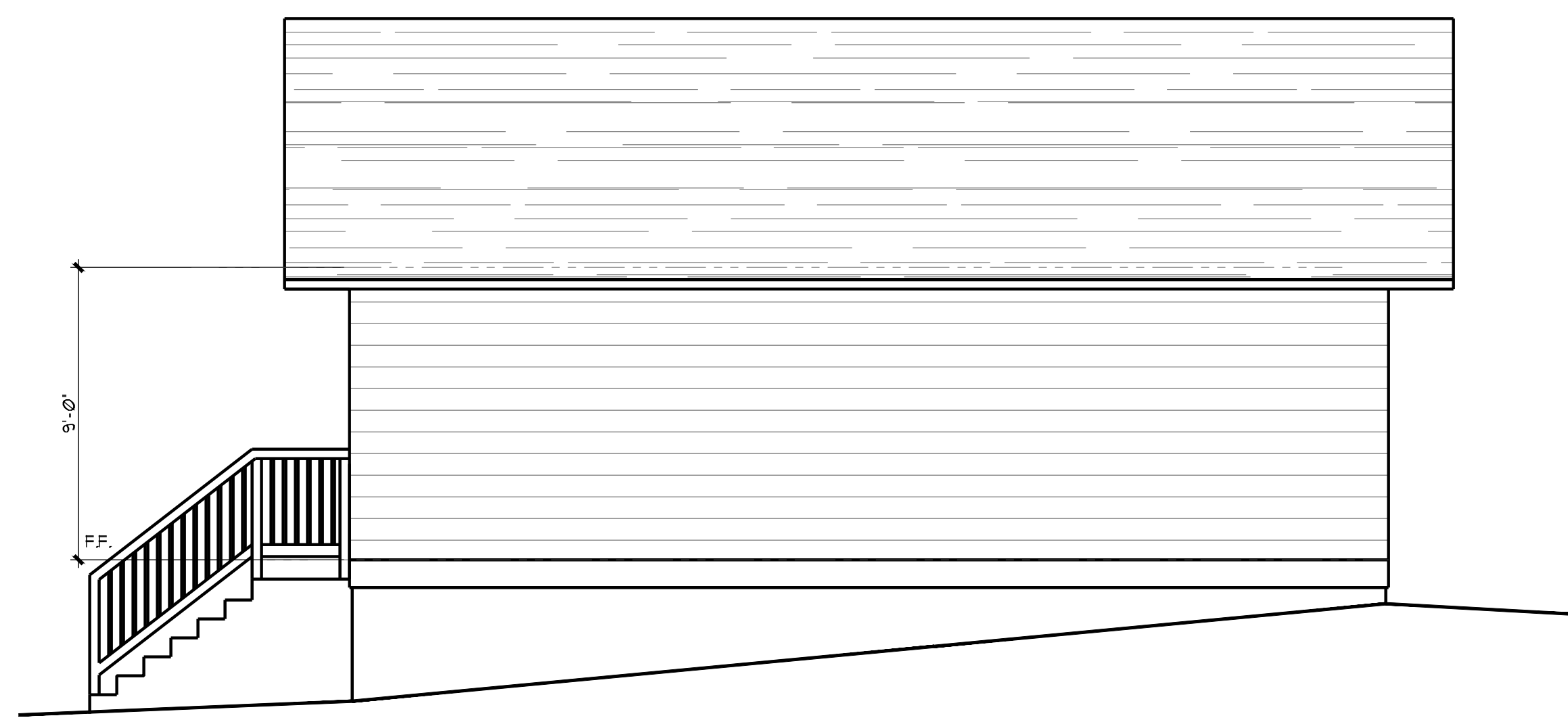


**ELECTRICAL LEGEND**

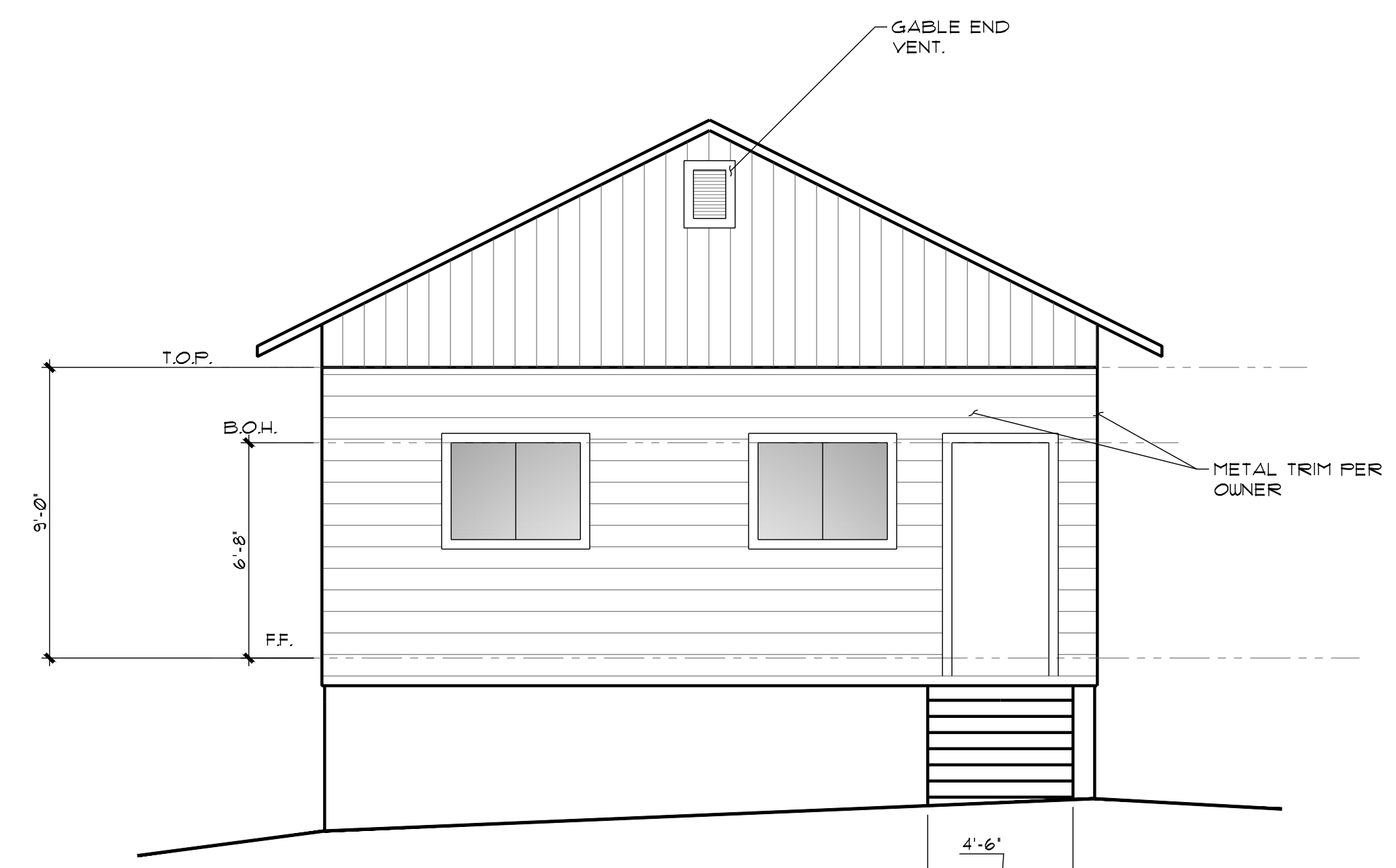
⊕	120 VOLT GFI WALL OUTLET
⊕	220 VOLT GFI WALL OUTLET
⊕	WALL SWITCH - .52" UNO.
⊕	3-WAY WALL SWITCH - .52" UNO.
⊕	RECESSED LIGHT
⊕	SMOKE/CARBON MONOXIDE DETECTOR
⊕	CARBON MONOXIDE DETECTOR
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	EXHAUST FAN / LIGHT COMBO
⊕	INCANDESCENT 3-LIGHT BATH BAR LIGHT
⊕	T.V. CABLE OUTLET
⊕	2 LAMP FLUORESCENT LIGHT
⊕	FAN 4 LIGHT COMBO
⊕	GARAGE DOOR OUTLET
⊕	ELECTRICAL CIRCUIT



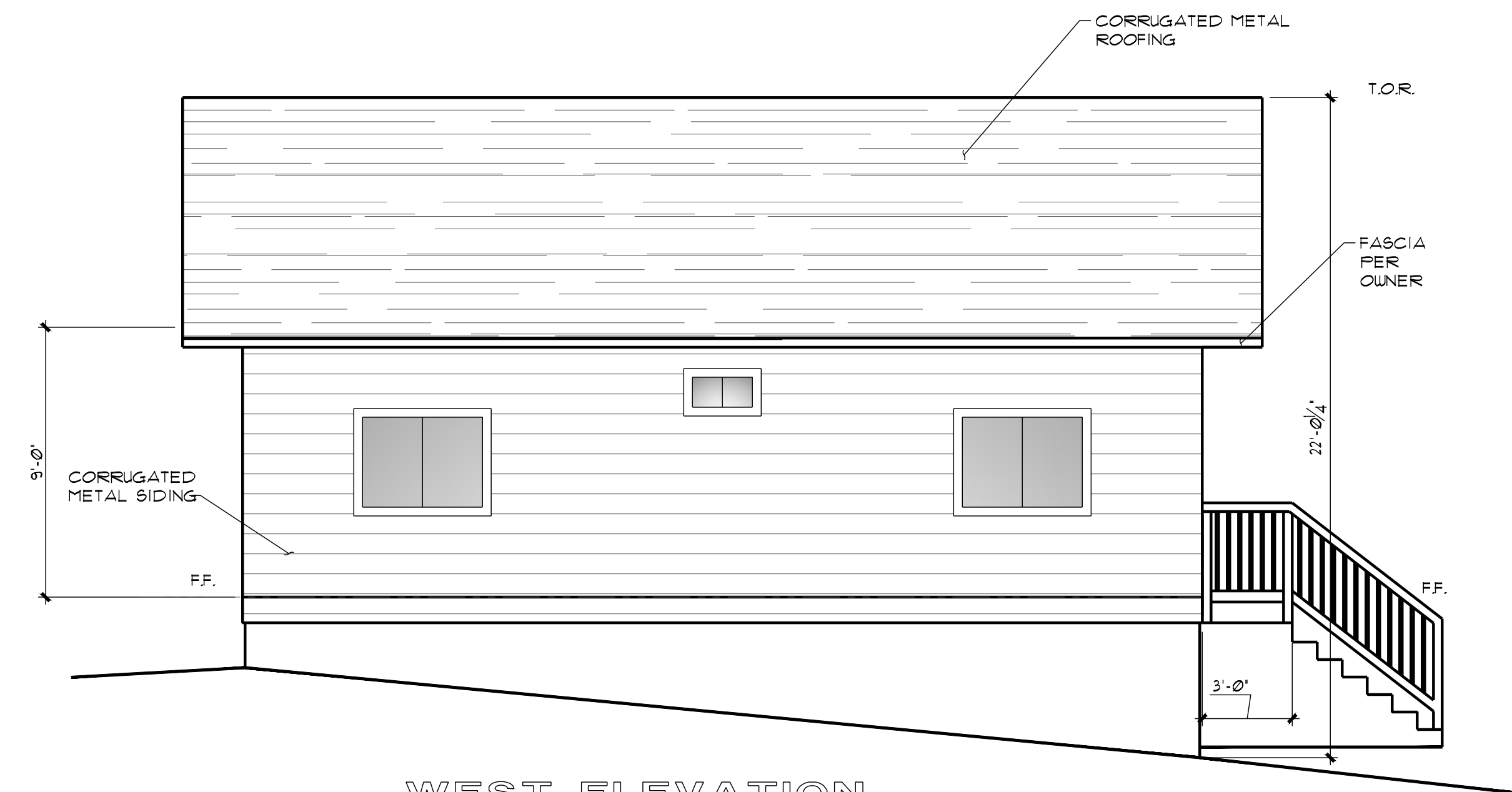
**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"

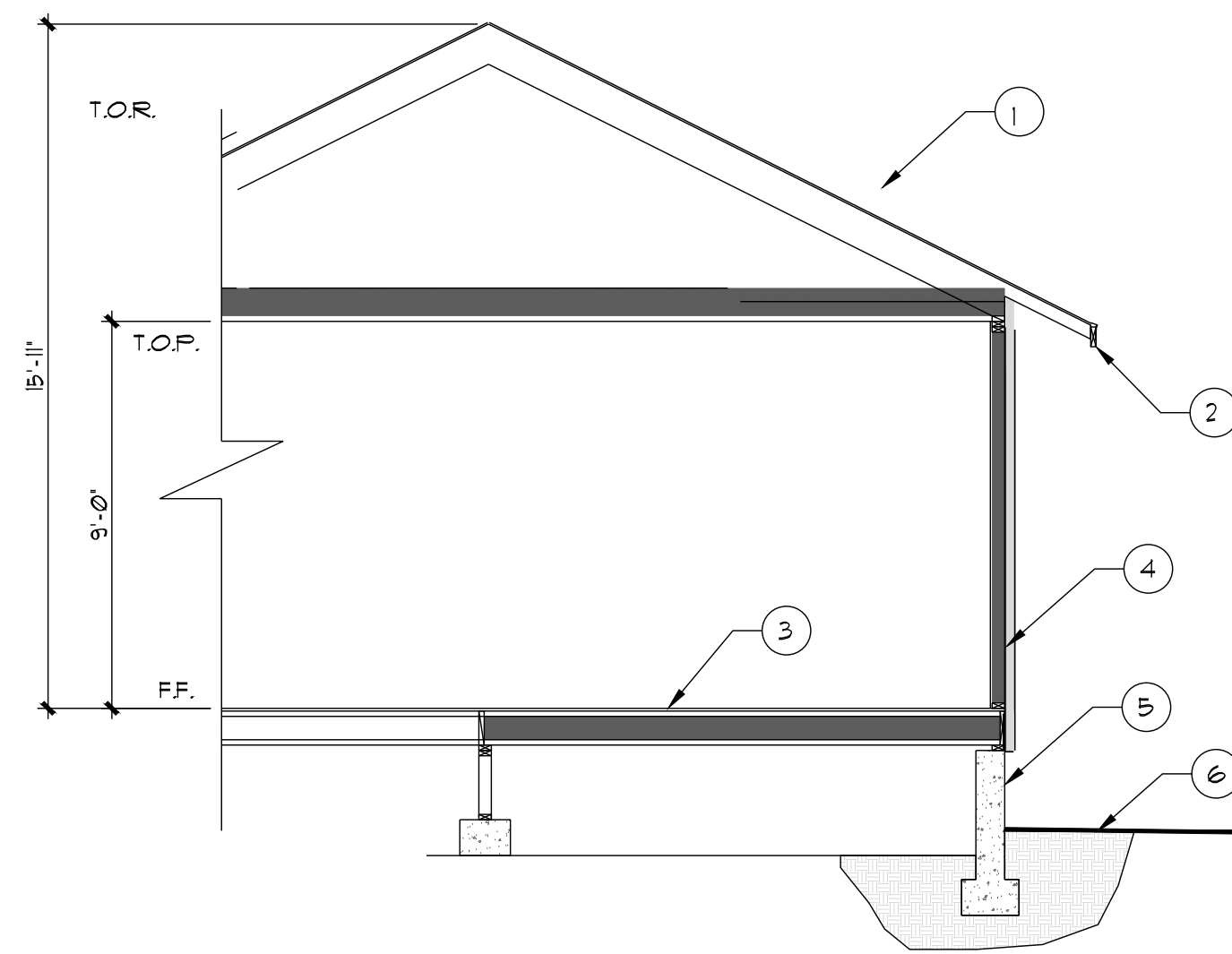
**Vater Detached Accessory Dwelling**  
505E 1st Ave  
Sun Valley, Nevada 89433  
A.P.N.: 085-182-08

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

**Revisions**


Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

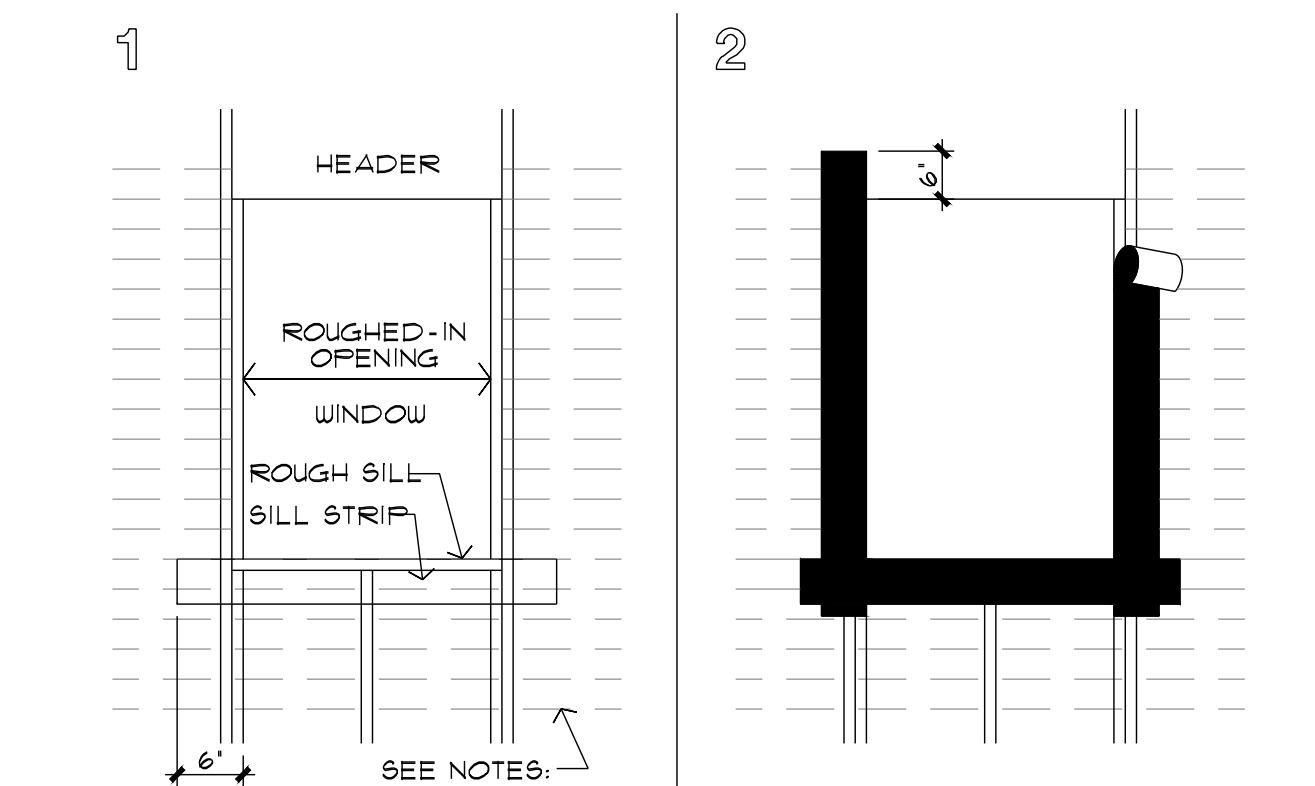
Elevations



**SECTION A-A**  
SCALE: 1/4" = 1'-0"

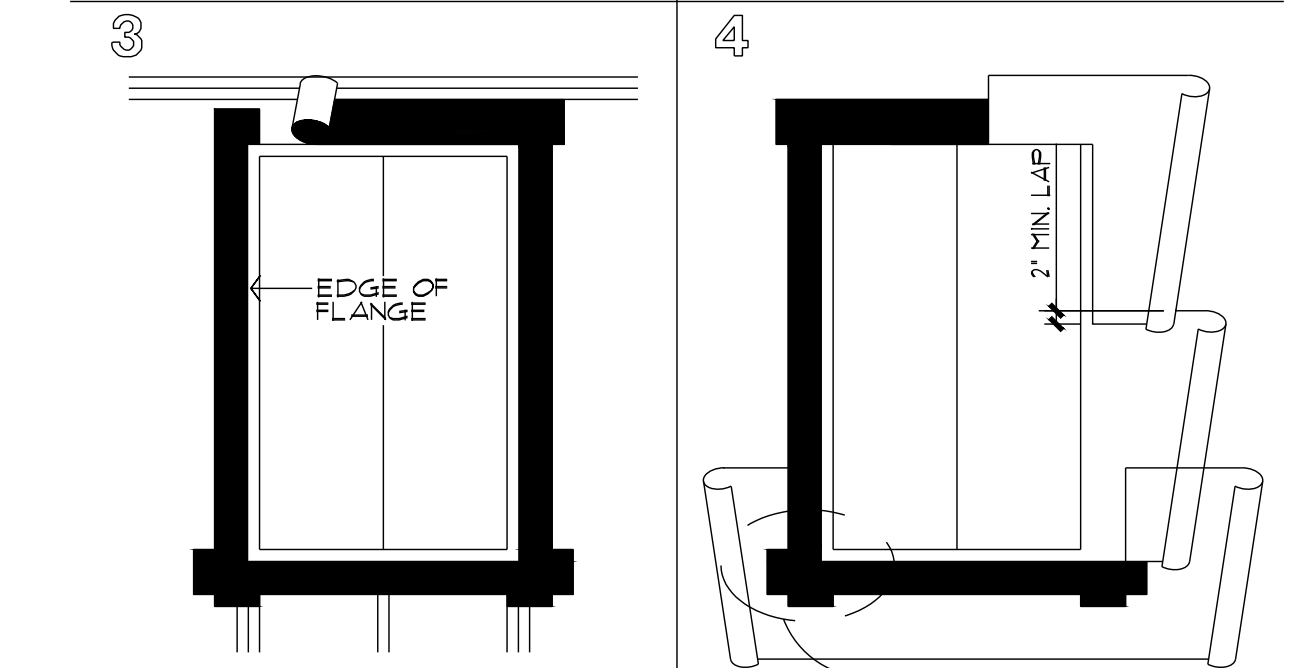
**SECTION NOTES**

- 1 **TYPICAL ROOF/CEILING**
  - ROOFING MATERIAL - SEE EXT. ELEV.
  - 1 LAYER ICE AND WATER SHEILD
  - SHEATHING - SEE STRUCT.
  - TRUSS FRAME ROOF - SEE ROOF FRAMING PLAN
  - R-40 BLOWN IN INSUL.
  - 3/4" GYP. BD.
- 2 **TYPICAL FASCIA / BARGE**
  - 2x6 PVC FASCIA
- 3 **TYPICAL FLOOR**
  - FLOOR FINISH PER OWNER/CONTRACTOR
  - FLOOR JOISTS PER STRUCT.
  - R-38 FIBERGLASS INSUL.
- 4 **TYPICAL EXTERIOR WALL**
  - CORRUGATED METAL SIDING
  - EXT. SHEAR - SEE STRUCT.
  - 2x4 @ 24" O.C. STUDS U.N.O.
  - R-10 RIGID FOAM BOARD INSULATION
  - R-13 FIBERGLASS BATT INSULATION
  - 1/2" GYP. BD.
- 5 **TYPICAL FOUNDATION**
  - 8" STEM WALL AND FOOTING
  - BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE.
- 6 **FINISH GRADE**
  - SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS, TYP.



ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 12" WIDE WITH THE TOP EDGE EVEN WITH TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP 12" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING FLUSH WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 6" ABOVE THE LOWER EDGE OF THE HEADER (TOP OF WINDOW OPENING).



APPLY A CONT. BEAD OF SEALANT TO THE BACK SURFACE OF THE WINDOW FLANGE. THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 12" WIDE

STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM AS SHORT DASH LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B, C, ETC.) OVER JAMB AND HEAD FLANGES IN SINGLE-BOARD FASHION.

NOTES: IRC CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE UBC DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE 'MOISTOP' FLASHING BY FORTIFIBER CORP. OR EQUAL, WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

2609.61 FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.

**Window Flashing**  
SCALE: 1/4" = 1'-0"

**ATTIC VENTILATION**

ATTIC VENTILATION PER 2018 IRC SECTION R2026

THE NET FREE AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED.

THE OPENING AREA MAY BE 1/800 OF THE AREA OF THE SPACE VENTILATED PROVIDED ONE OF THE FOLLOWING IS PROVIDED:

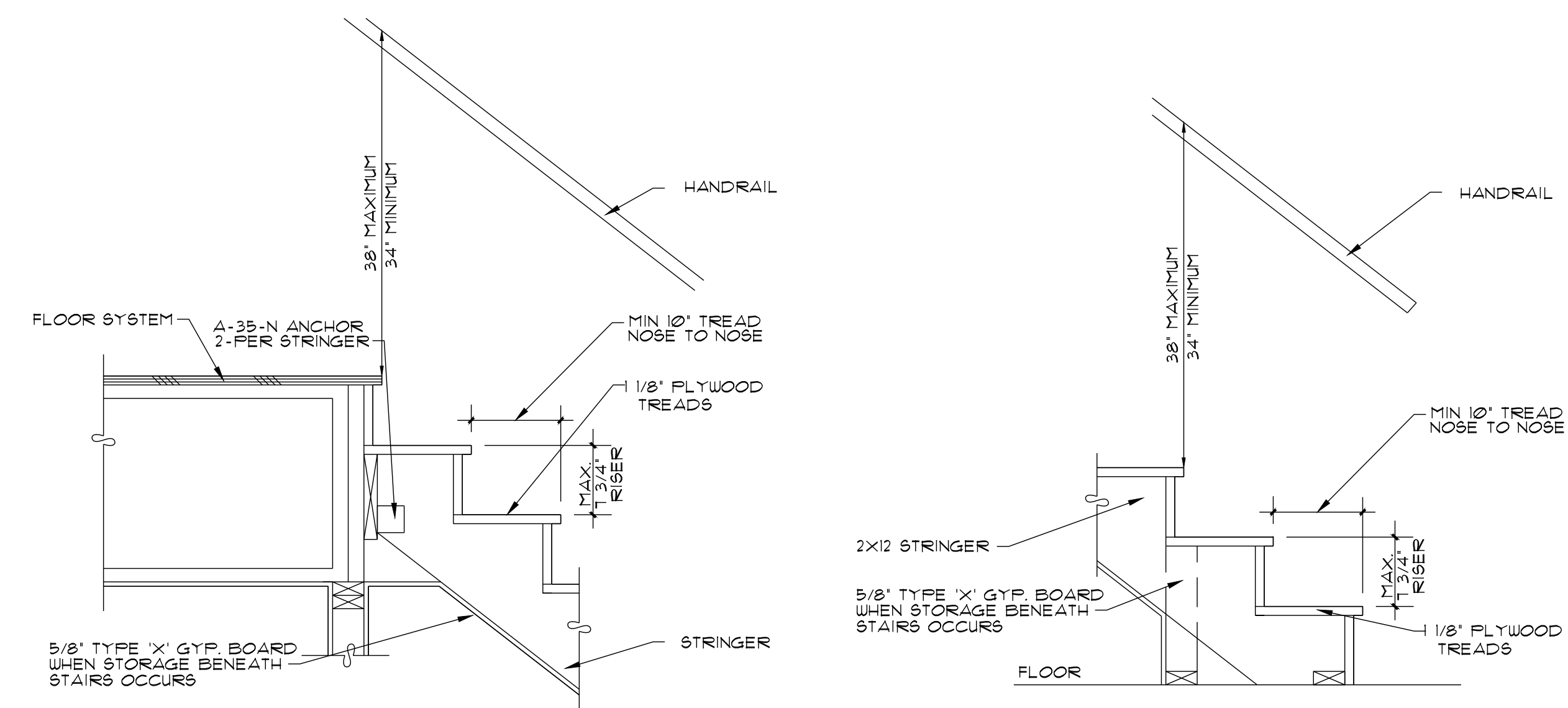
- 1) AT LEAST 50 PERCENT (50% MAX.) OF THE REQUIRED OPENING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' FEET ABOVE THE EAVE VENTS).
- 2) A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. CLASS I (.01 PERM), CLASS II (.01 PERM 1.0 PERM)

MAINTAIN 1" AIR SPACE BETWEEN THE INSULATION AND ROOF SHEATHING. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR (USE INSULATION BAFFLES)

168 SQ. FT. / 300 = 2.56 SQ. FT. OF NET FREE VENTILATION AREA

PROVIDE 2.56 SQ. FT. (50%) OF REQUIRED VENTILATION AT OR NEAR RIDGE (WITHIN 2' OF RIDGE IS RECOMMENDED). (USE (1) 14" X 24" GABLE VENT @ EACH GABLE END)

PROVIDE 2.56 SQ. FT. (50%) OF REQUIRED VENTILATION AT EAVE LINE. (USE VENTED BLOCKING @ EVERY OTHER BLOCK)



**Stair Details**

SCALE: N.T.S.

**Revisions**


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Project No.	22-BWV

**Revisions**


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**Foundation Shear and Roof Plan**

**TYPICAL LEGEND**

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

- (---) TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.
- (---) CONT. STRIP FOOTING PER SCHEDULE ON SHEET SD-1
- (X) INDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1
- (X) SHEARWALL TYPE - SEE SHEET SD1 FOR ADDITIONAL INFORMATION
- (---) F.T. 3x SILL IE w/ 3/8"x12" AB'S, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL IE MAY BE USED w/ 3/8"x10" AB'S @ HALF THE SPECIFIED SPACING.

**CONCRETE NOTES**

SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONC. FORMS. SOIL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.

CONC. FOOTINGS 16" x 10" w/ 2 #4 REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. FOOTING SHALL BE A MIN. OF 2'-0" BELOW FINISHED GRADE.

FOR 2x SILL PLATE, USE 3/8" x 10" AB. FOR 3x OR DOUBLE SILL PLATE, USE 3/8" x 12" AB. EXTEND SILL BOLTS 1" INTO FOUNDATION MINIMUM. MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12") NOR LESS THAN (1") BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"x3"x1/2" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT.

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED w/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE '6' & '4', REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. FLYWOOD JOINT & SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

**TYPICAL LEGEND**

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

- (---) (N) WOOD HEADER/BEAM
- (---) (N) ROOF RAFTERS/FLOOR JOIST
- (---) TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.
- (X) ANCHOR BOLT SPACING, 48" o/c TYP.
- (---) INTERIOR BEARING WALL

**FLOOR FRAMING NOTES**

3/4" T&G PLYWOOD APA RATED STURD-I-FLOOR - 48/24 w/ 10d @ 6" O.C. BOUNDARY, EDGES & DRAG STRUTS w/ 10d @ 10" O.C. FIELD - GLUE & NAIL THROUGHOUT, TYP.

2x10 FLOOR JOISTS @ 16" O.C. TYP. BLK. SOLID @ ALL SUPPORT LINES. PROVIDE 1/4" LSL RIM BOARD THROUGHOUT, TYP. BLOCK SOLID UNDER ALL HOLDOWNS. PROVIDE CRUSH BLOCK, WEB STIFFENERS, ETC. PER MFR.

PROVIDE INSULATION @ RIM JOISTS & FLOOR.

INSULATE ALL PIPES & DUCTWORK.

PROVIDE SOLID BLKG. UP TO SUB-FLOOR, AS REQUIRED, TO SUPPORT POSTS ABOVE.

ALL FRAMING HARDWARE SHALL BE 'SIMPSON'. INSTALL PER MANUF. REQUIREMENTS.

VERIFY THE ENTIRE CRAWLSPACE IS COVERED BY VAPOR BARRIER TYP.

MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12 INCHES; UNDER JOISTS SHALL BE 18 INCHES.

ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE '6' WALLS (SEE SHEARWALL SCHEDULE).

**ROOF FRAMING NOTES**

ROOF LOADS: LIVE 2" SQ. FT. ; DEAD 15" SQ. FT.

USE (1)-LAYER 1/2" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & NAIL w/ 10d'S @ 6" O.C. EDGES & BOUNDARIES & 10d'S @ 12" O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. w/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.

ALL FRAMING HARDWARE NOTED SHALL BE 'SIMPSON' INSTALL PER MANUFACTURER'S REQUIREMENTS.

PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) PLY GIRDER TRUSSES w/ SIMPSON H6. USE (3) STUDS @ 3-PLY TRUSSES & (4) STUDS @ 4-PLY TRUSSES, UNO. CONNECT GIRDER TRUSSES TO POST w/ SIMPSON H6 UNO.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 UNO.

TYP. HEADER UNO. USE (2) 2x6 D.F. #2

USE 12-16d BETWEEN TOP PLATE SPLICES. TYP. UNO.

USE 2x6 FLAT w/ 2x6 STRONGBACK @ 48" O.C. @ GABLE END FRAMING

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS, TYP. PROVIDE BITUTHANE MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF PLAN

USE BOUNDARY NAILING @ ALL DRAG TRUSSES UNO.

A35 @ 48" O.C. TRUSS BLKG TO TOP PLATE TYP. UNO.

PROVIDE ICE & WATER DAM MEMBRANE @ HIPS, EAVES, VALLEYS & RIDGES AS PER LOCAL BLDG DEPT STANDARDS

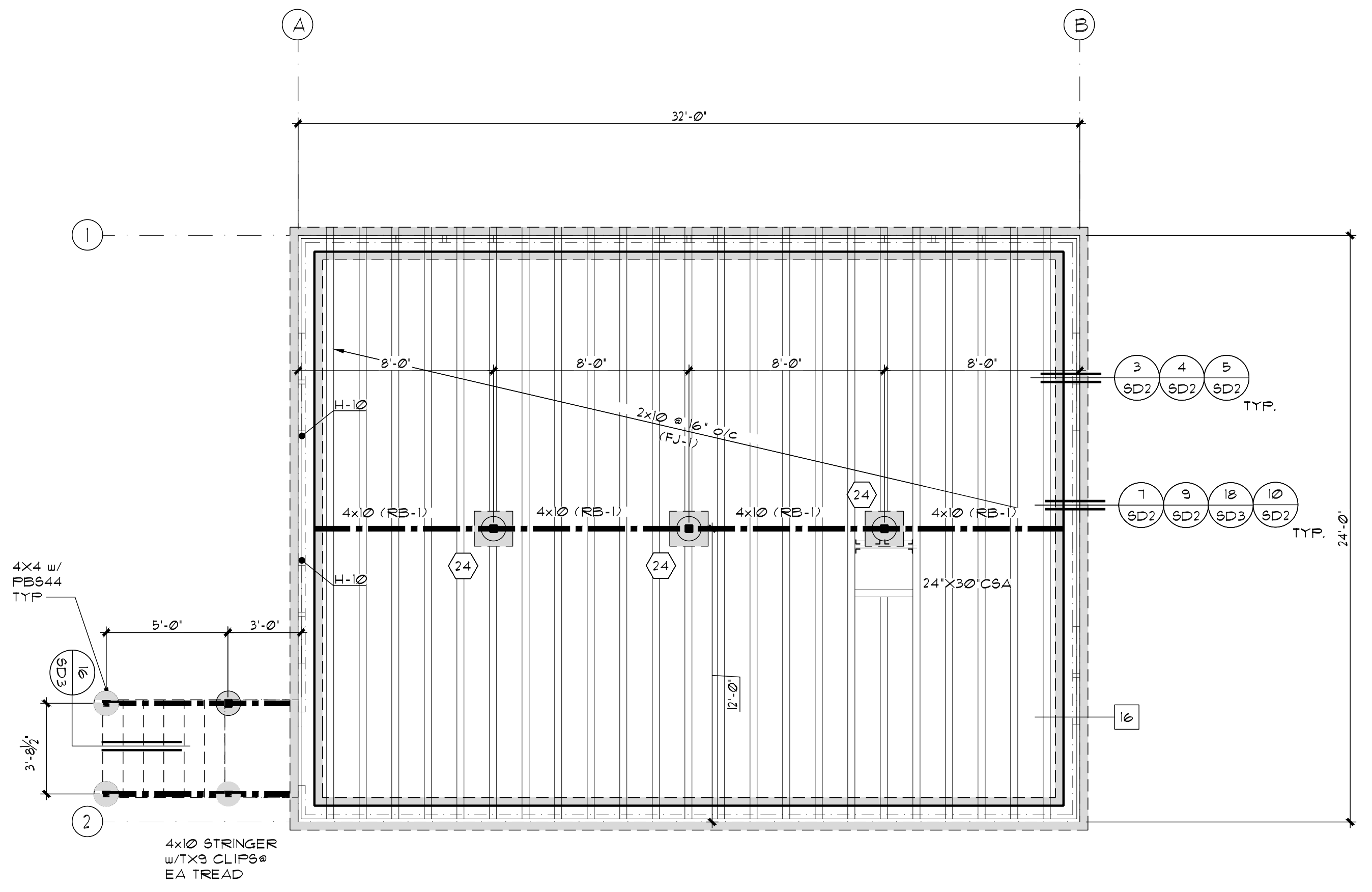
PROVIDE SNOW DIVERTERS @ ALL ROOF PENETRATIONS

PROVIDE ATTIC ACCESS (22"x30") PER I.R.C. SECTION R807.1

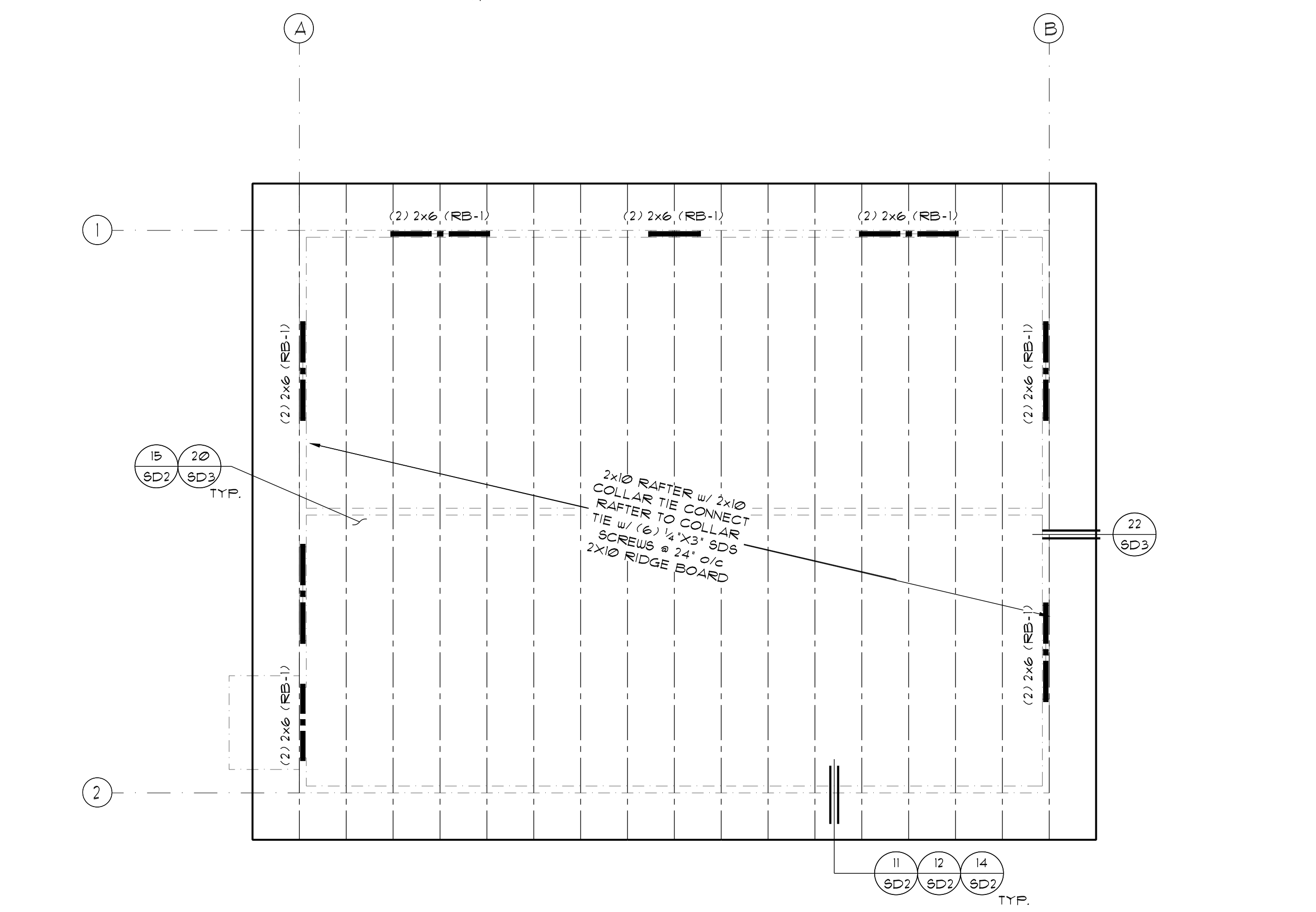
PROVIDE ROOF VENTILATION PER I.R.C. SECTION R806.1

PROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP

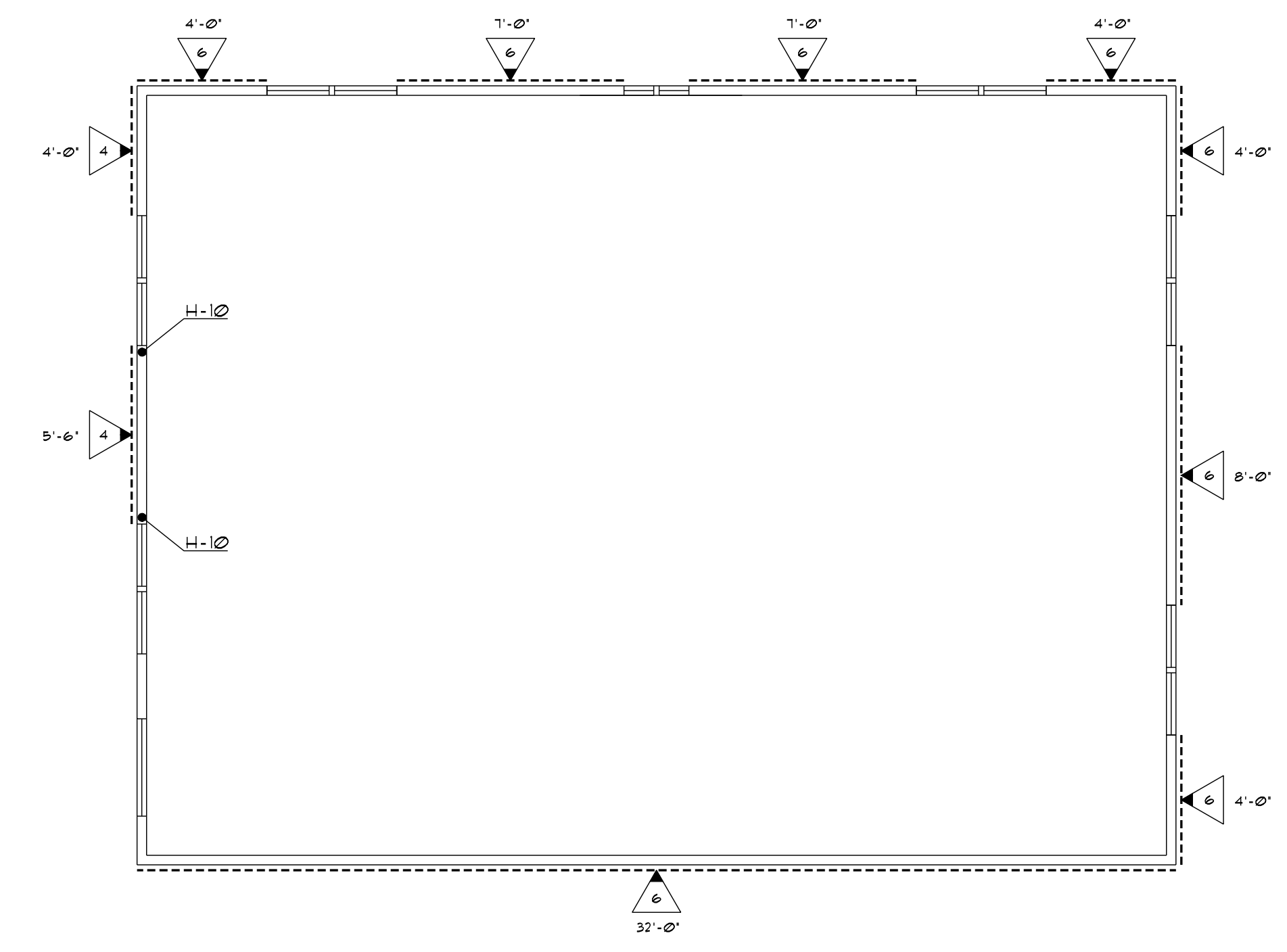
PROVIDE CONT. ROOF PLY UNDER ALL ROOF OVER FRAMING



**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"

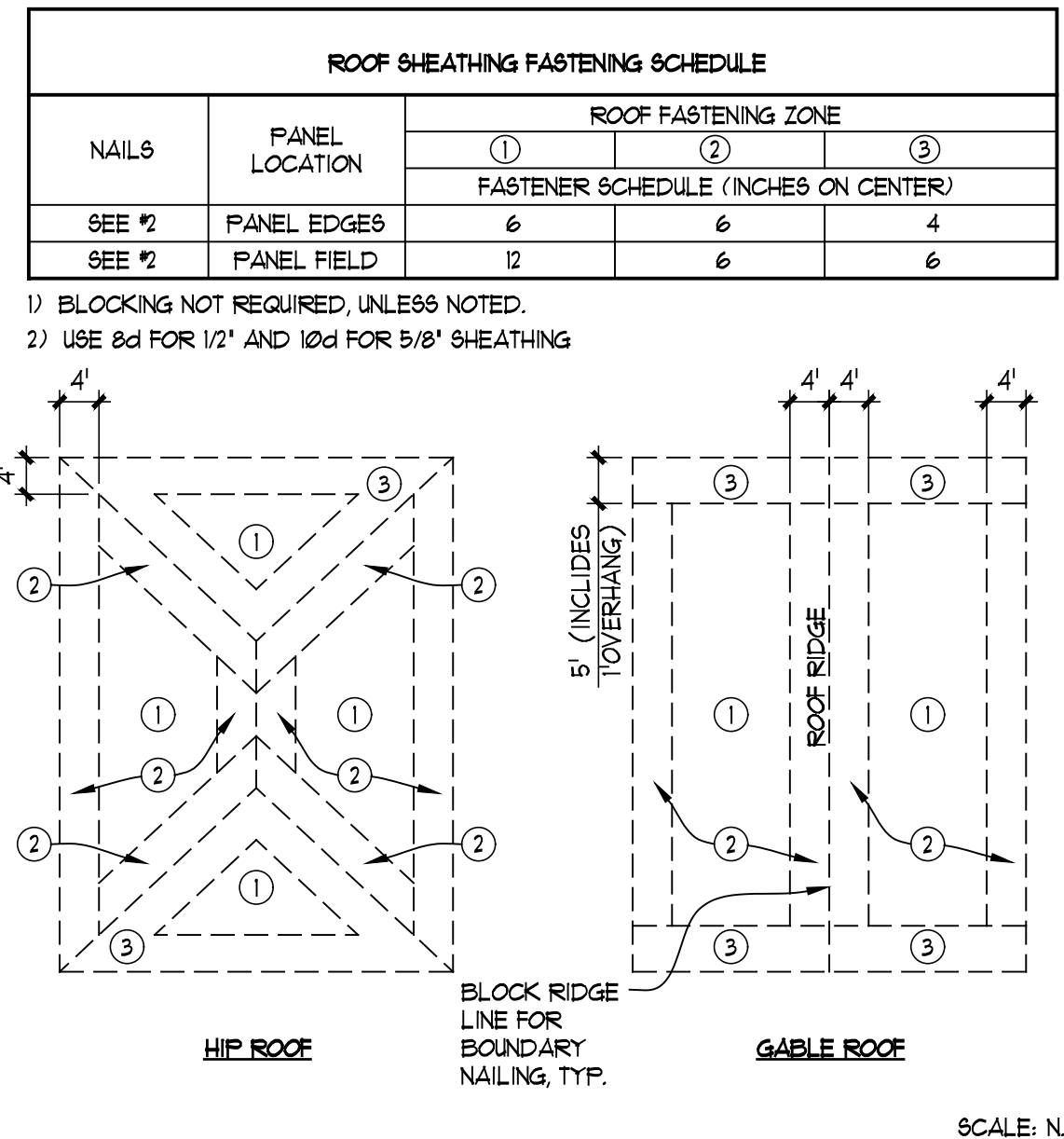


**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"

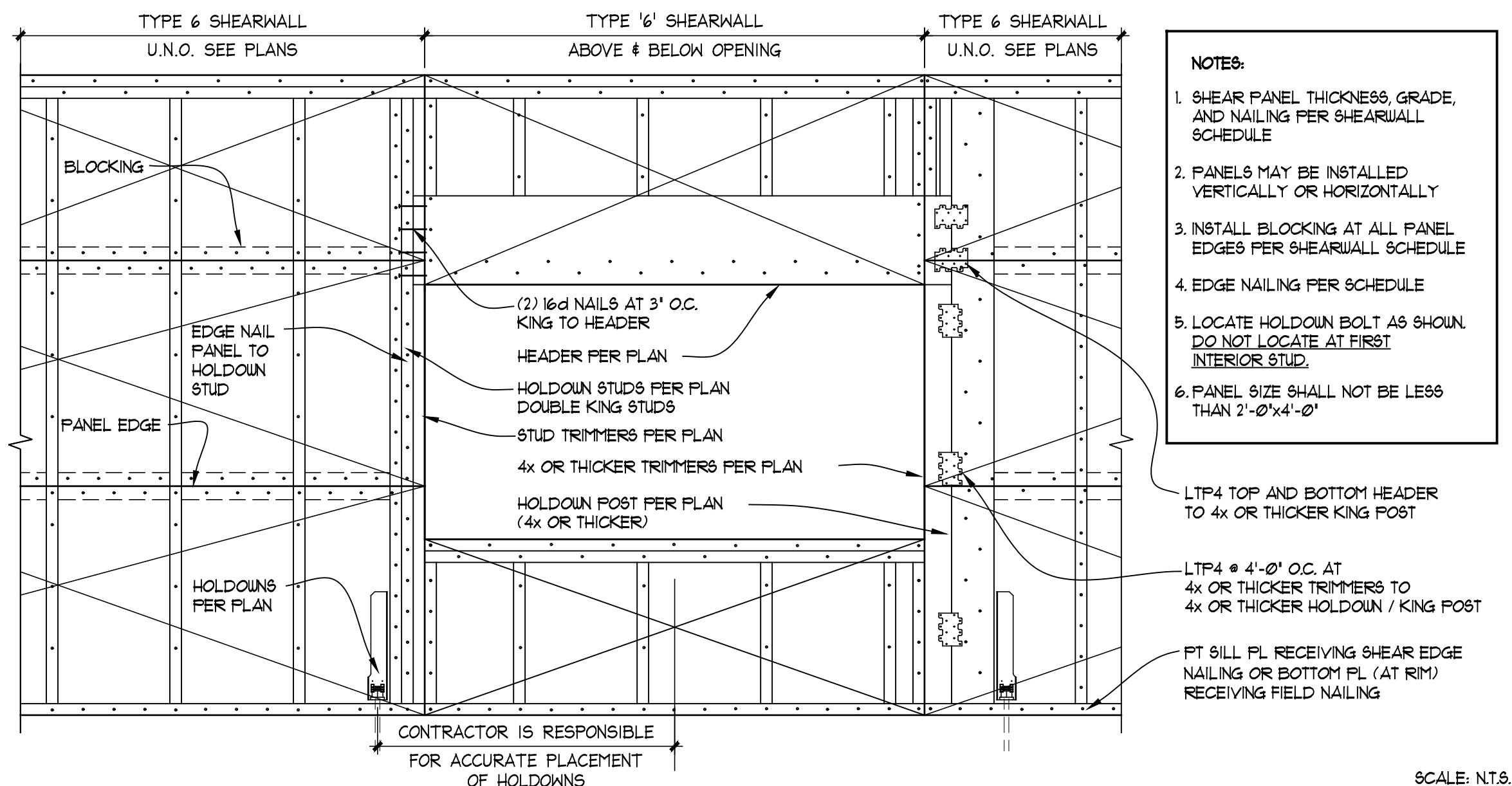


**SHEAR WALL PLAN**  
SCALE 1/4" = 1'-0"

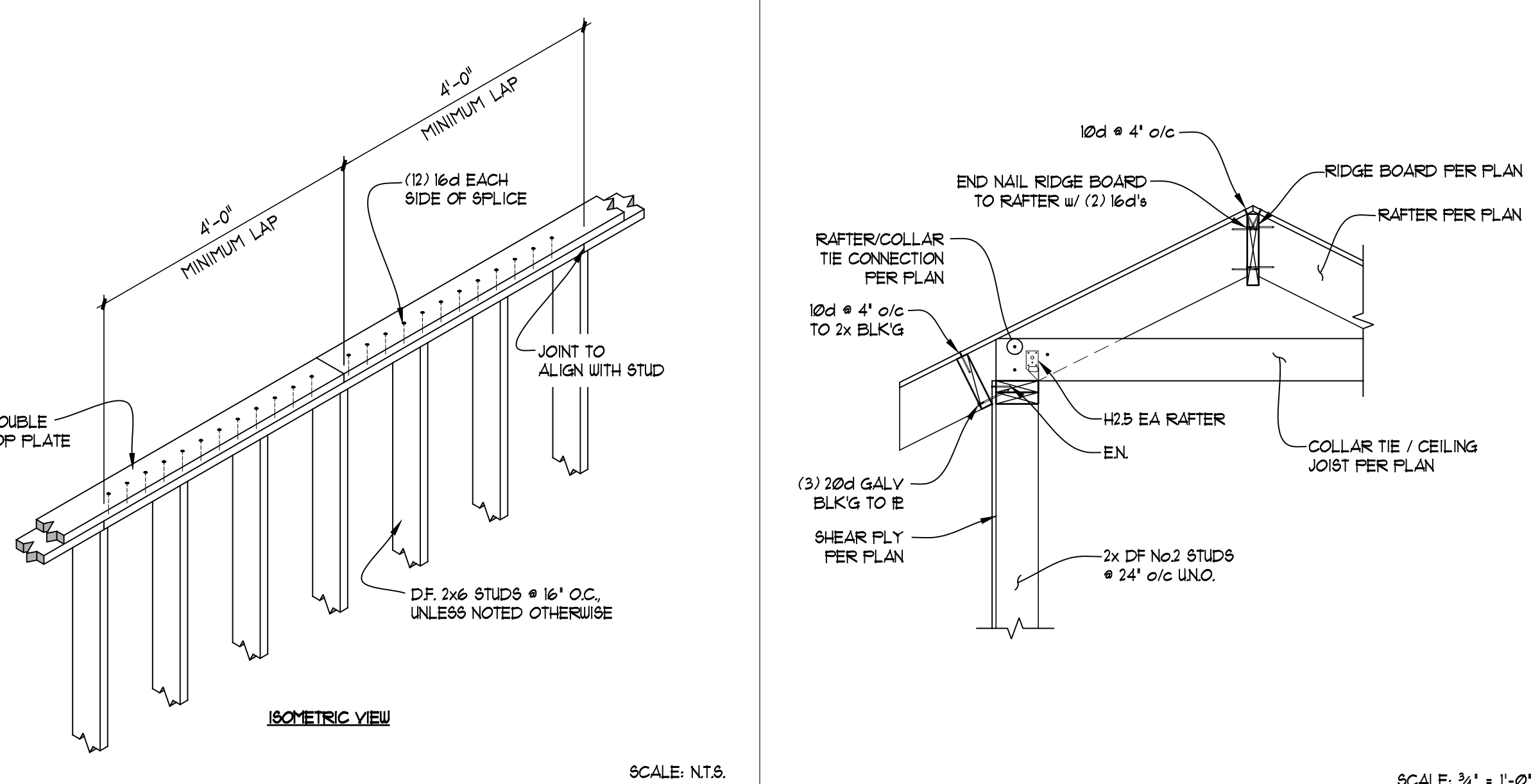




**15 Roof Fastening Zones**

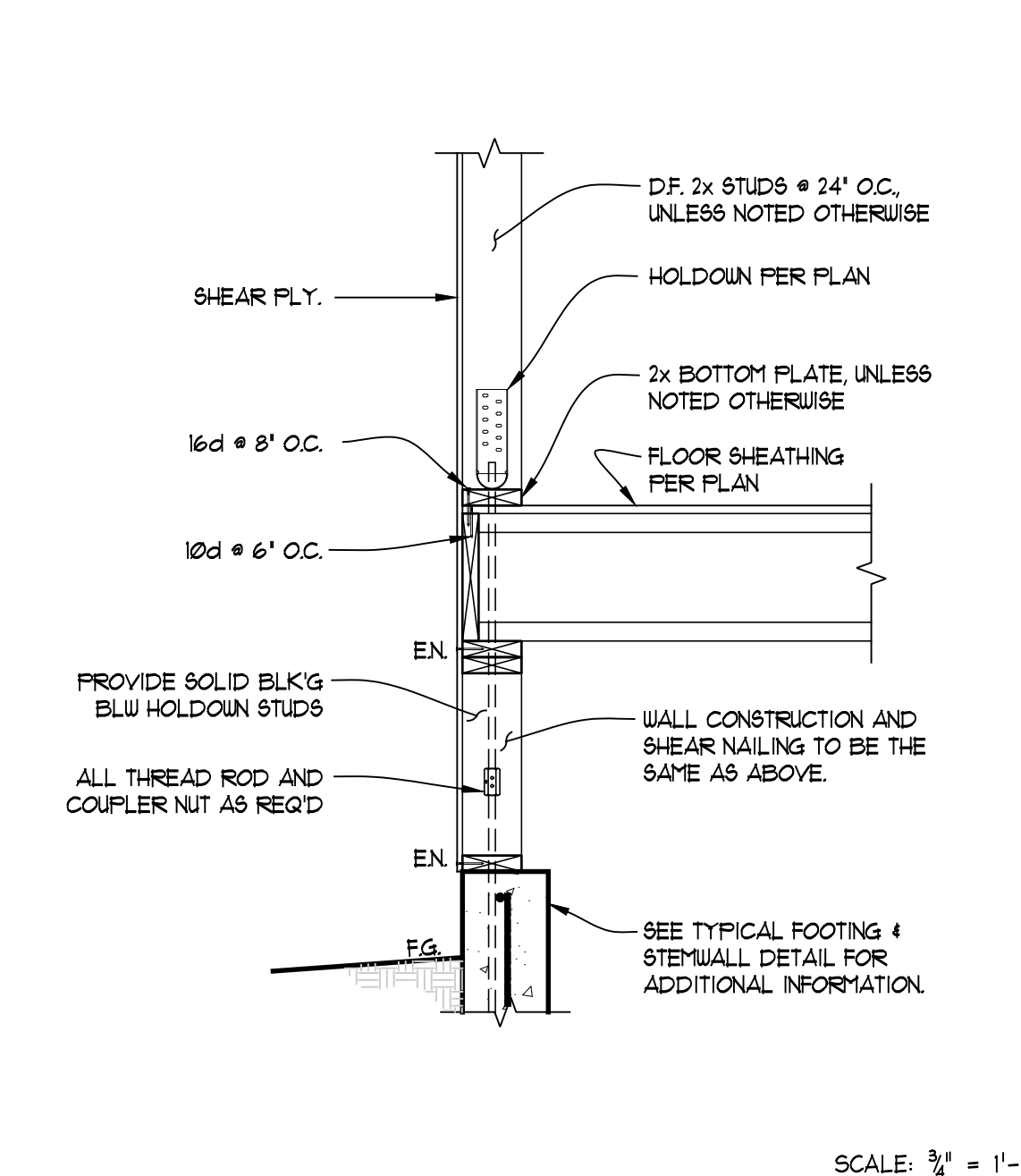


**14 Typical Shearwall / Header**

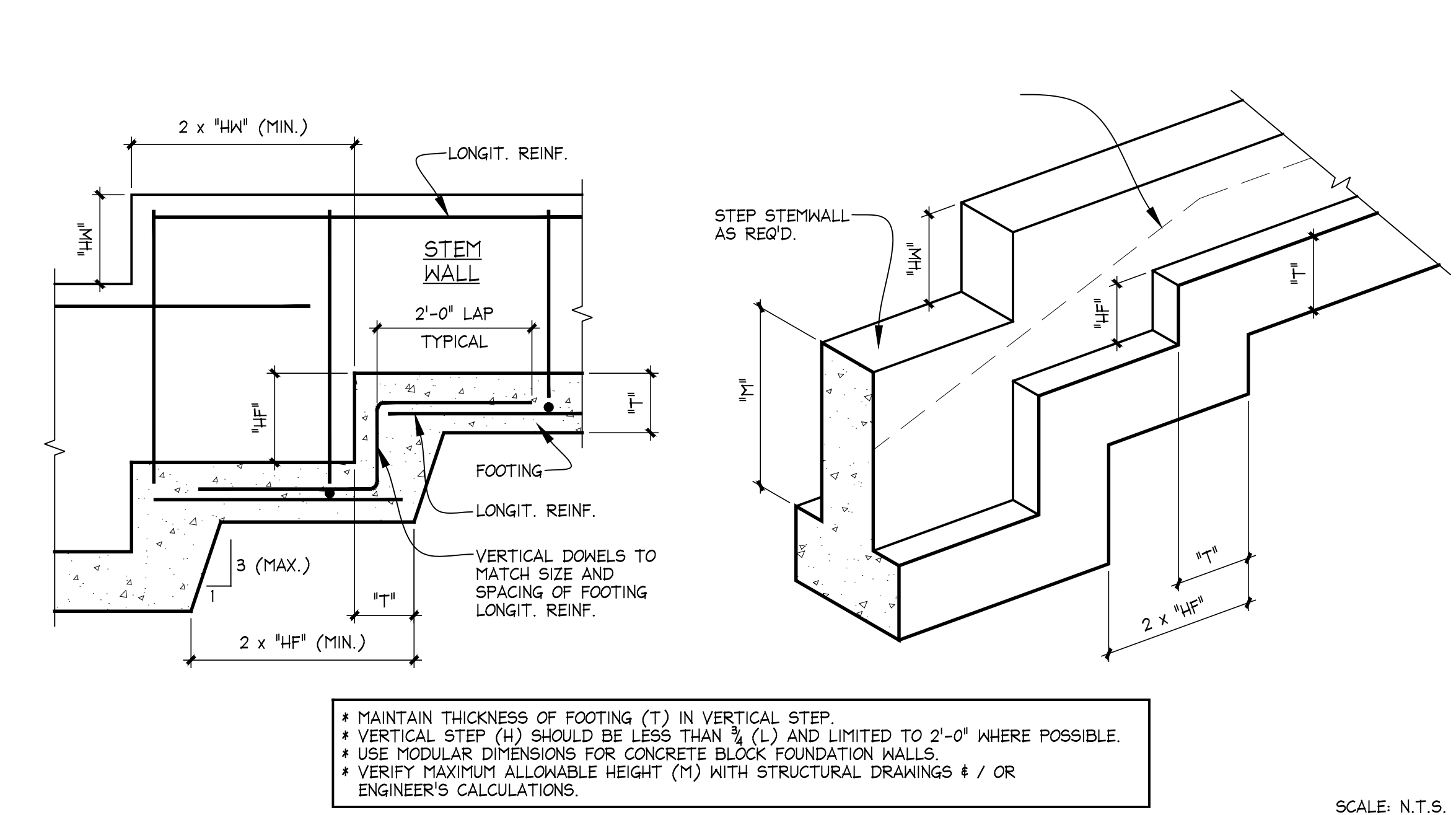


**12 Top Plate Splice**

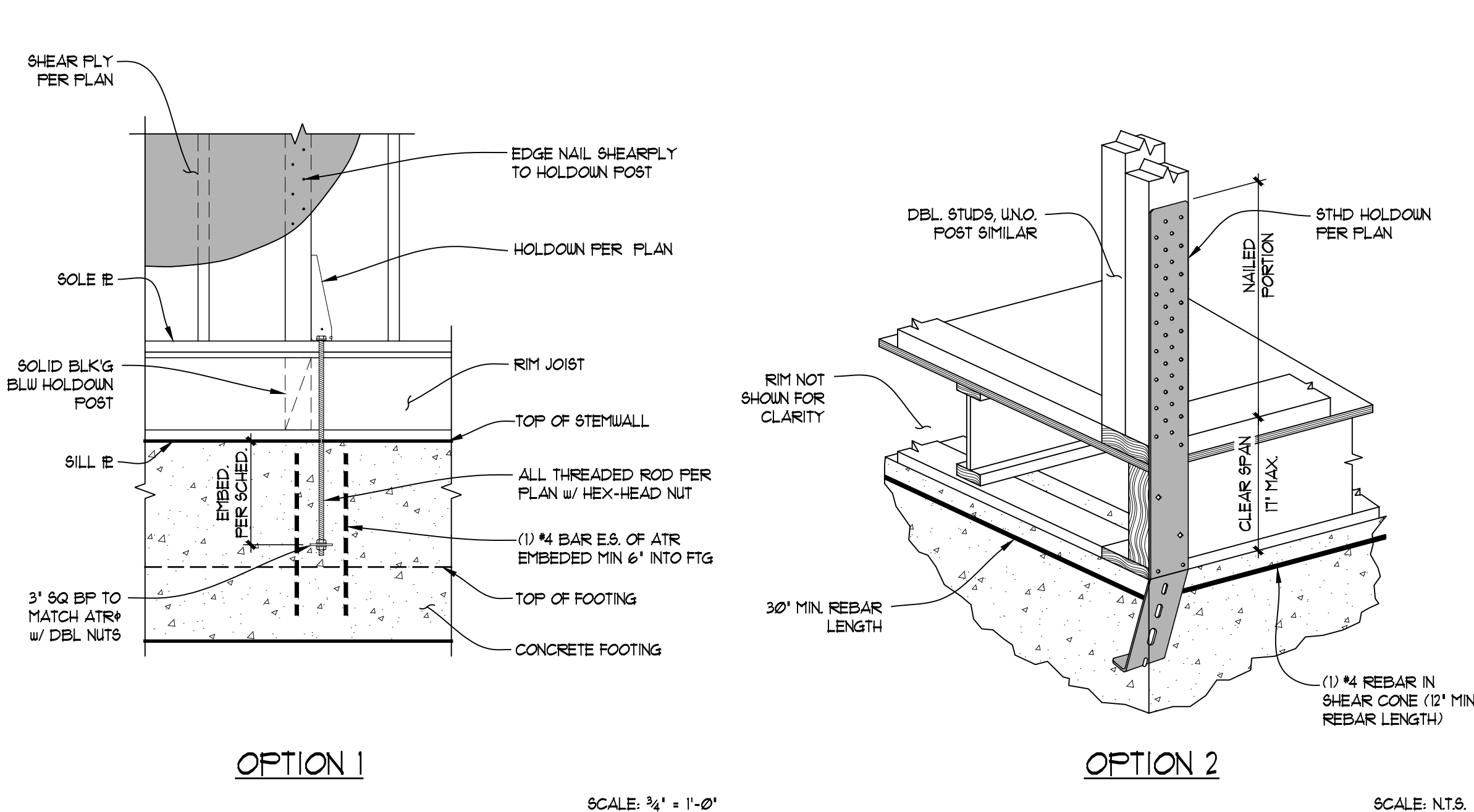
**11 Rafters w/ Collar Ties**



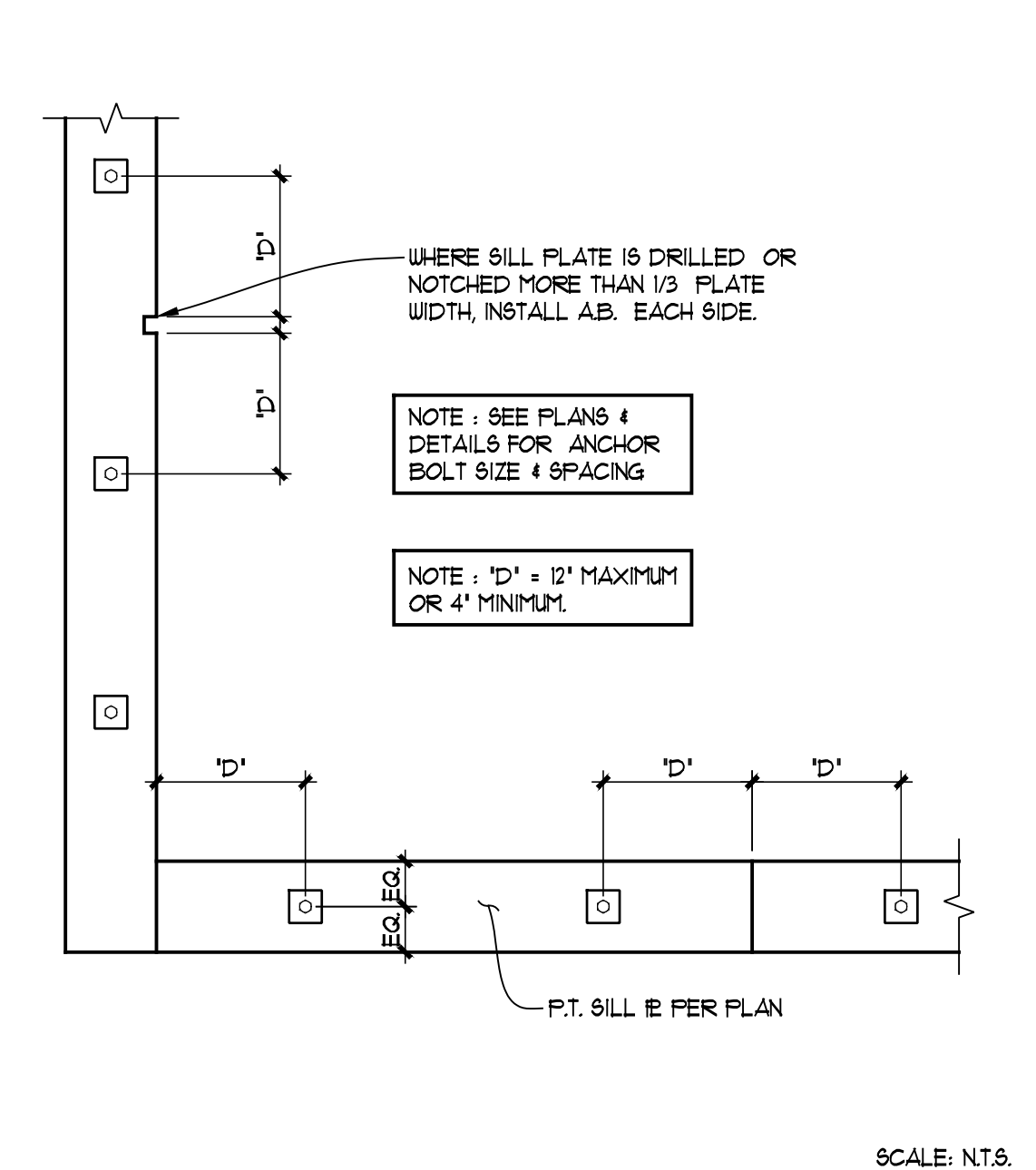
**10 Footing & Cripple Wall**



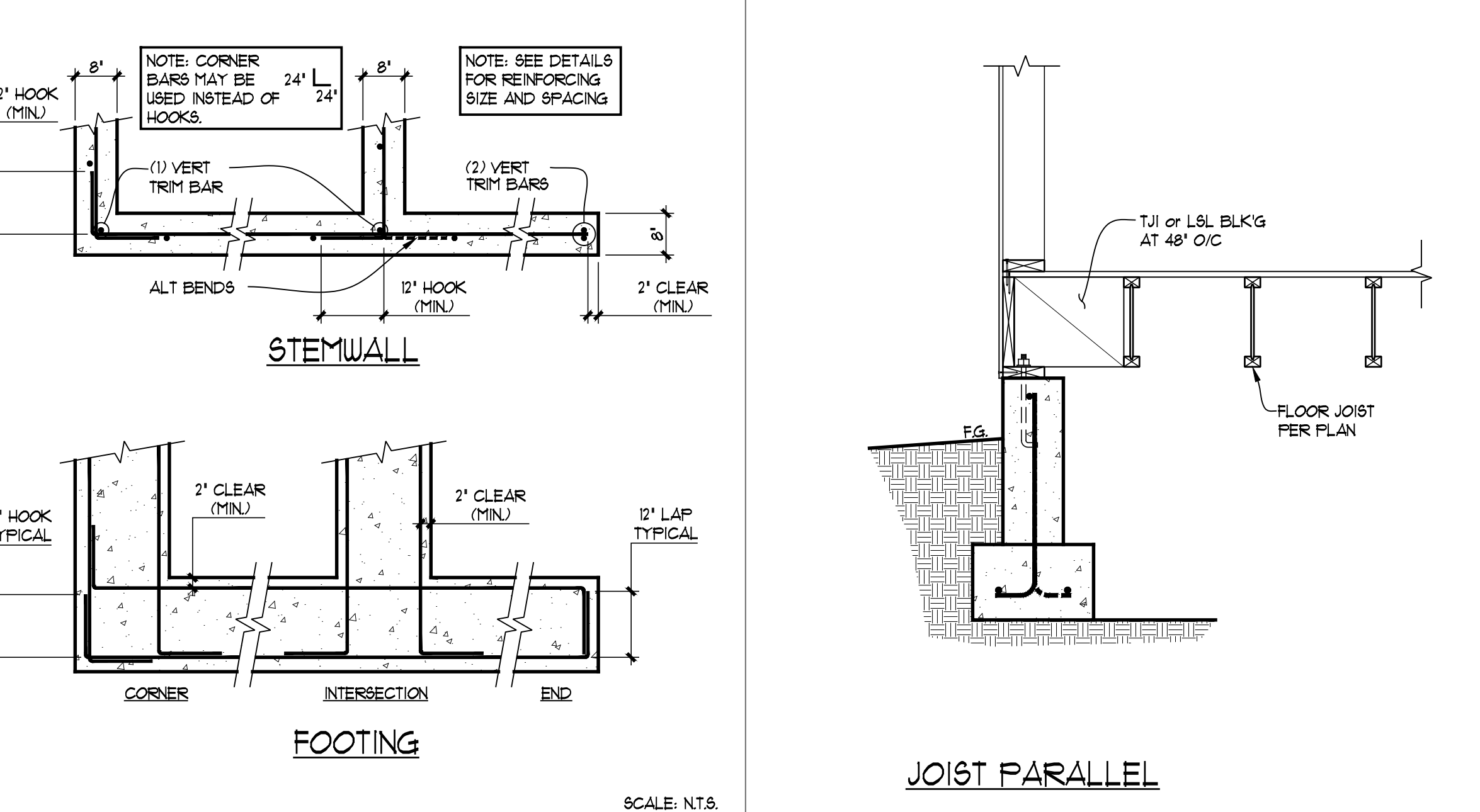
**9 Typical Rebar Placement At Stepped Footings**



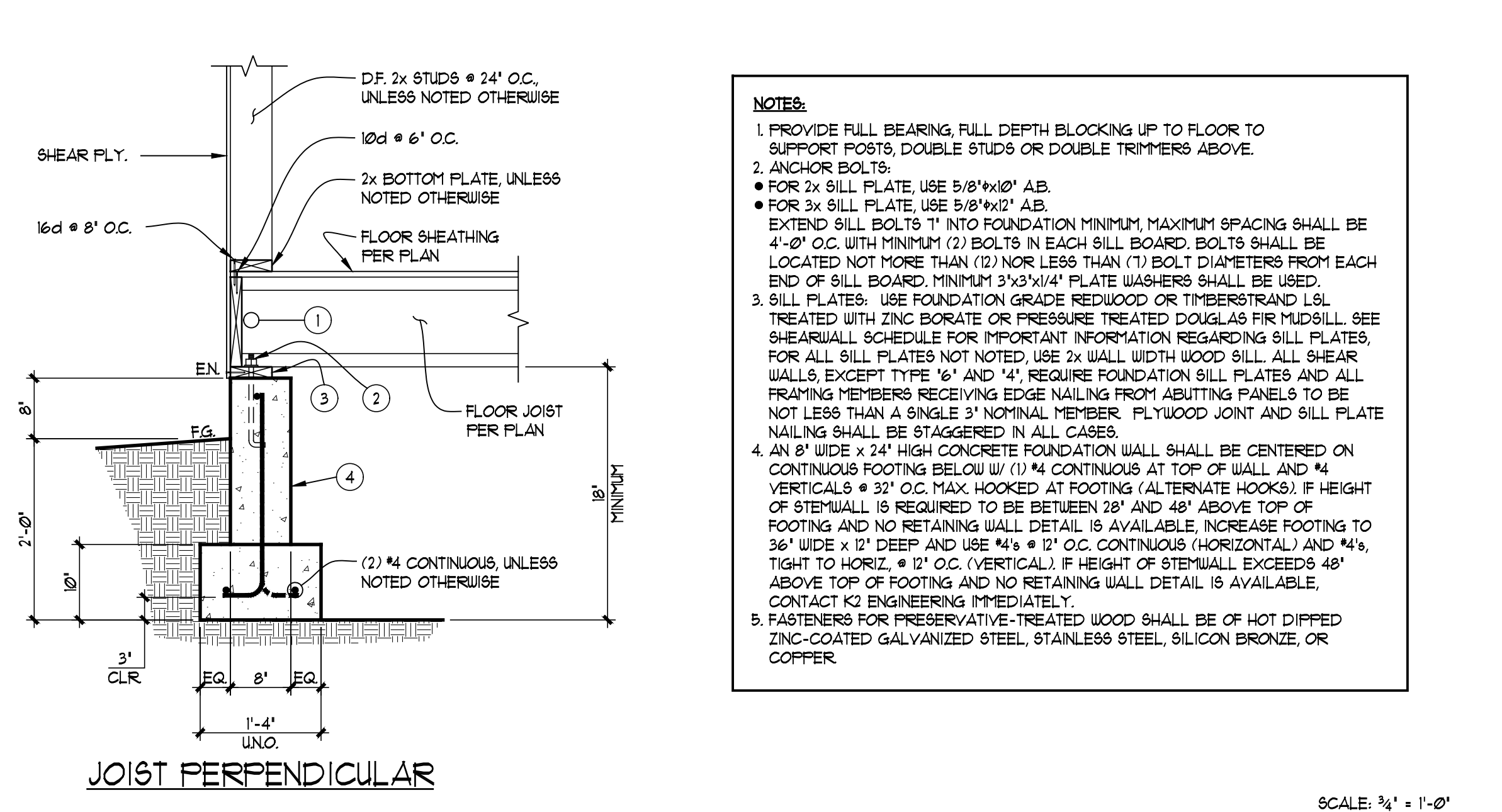
**7 Holdown Embedment Detail**



**5 Sill Plate Bolting**



**4 Rebar Reinf. Placement**



**3 Typical Footing & Stemwall**

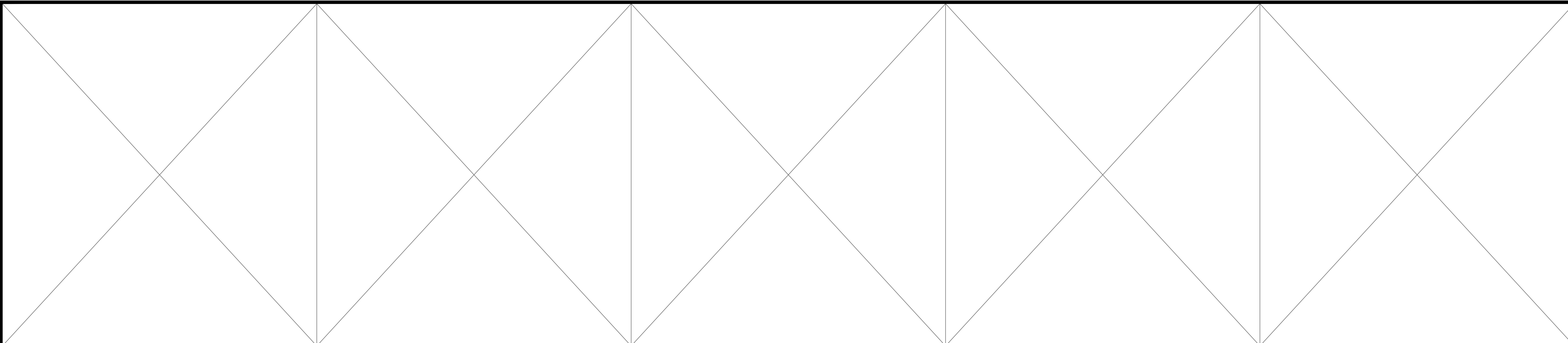
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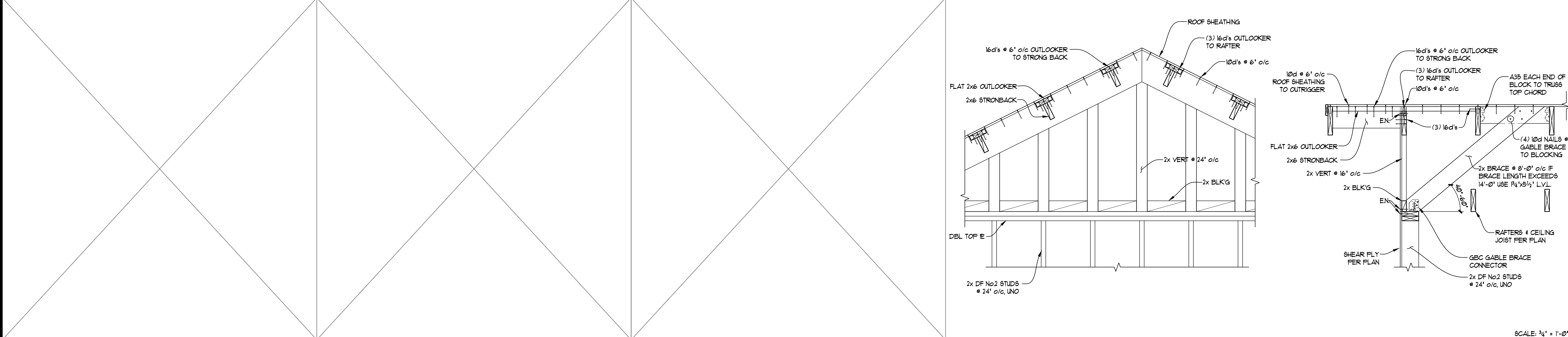
Revisions	
Date	1-29-22
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Structural Details

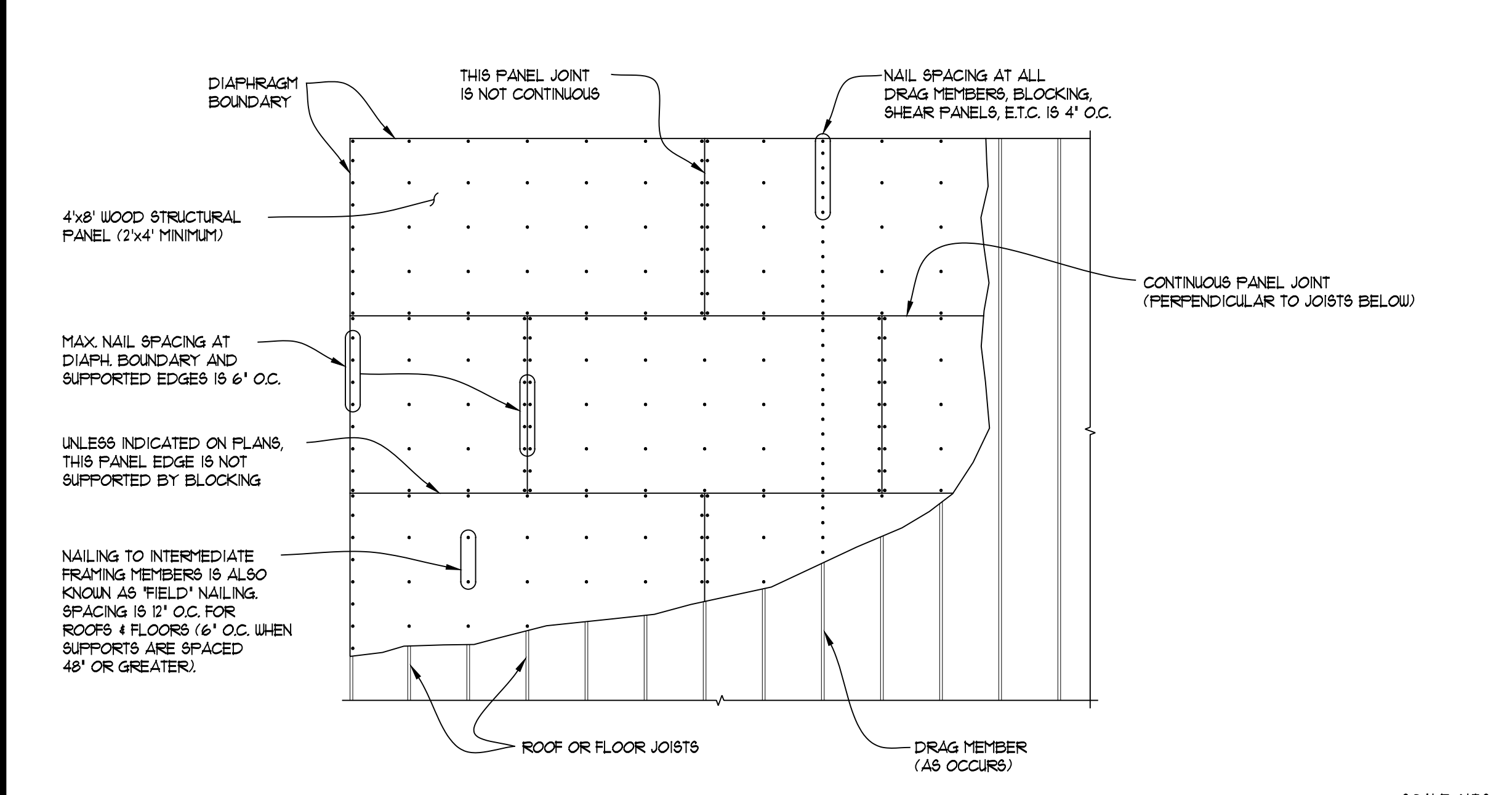
**SD-2**



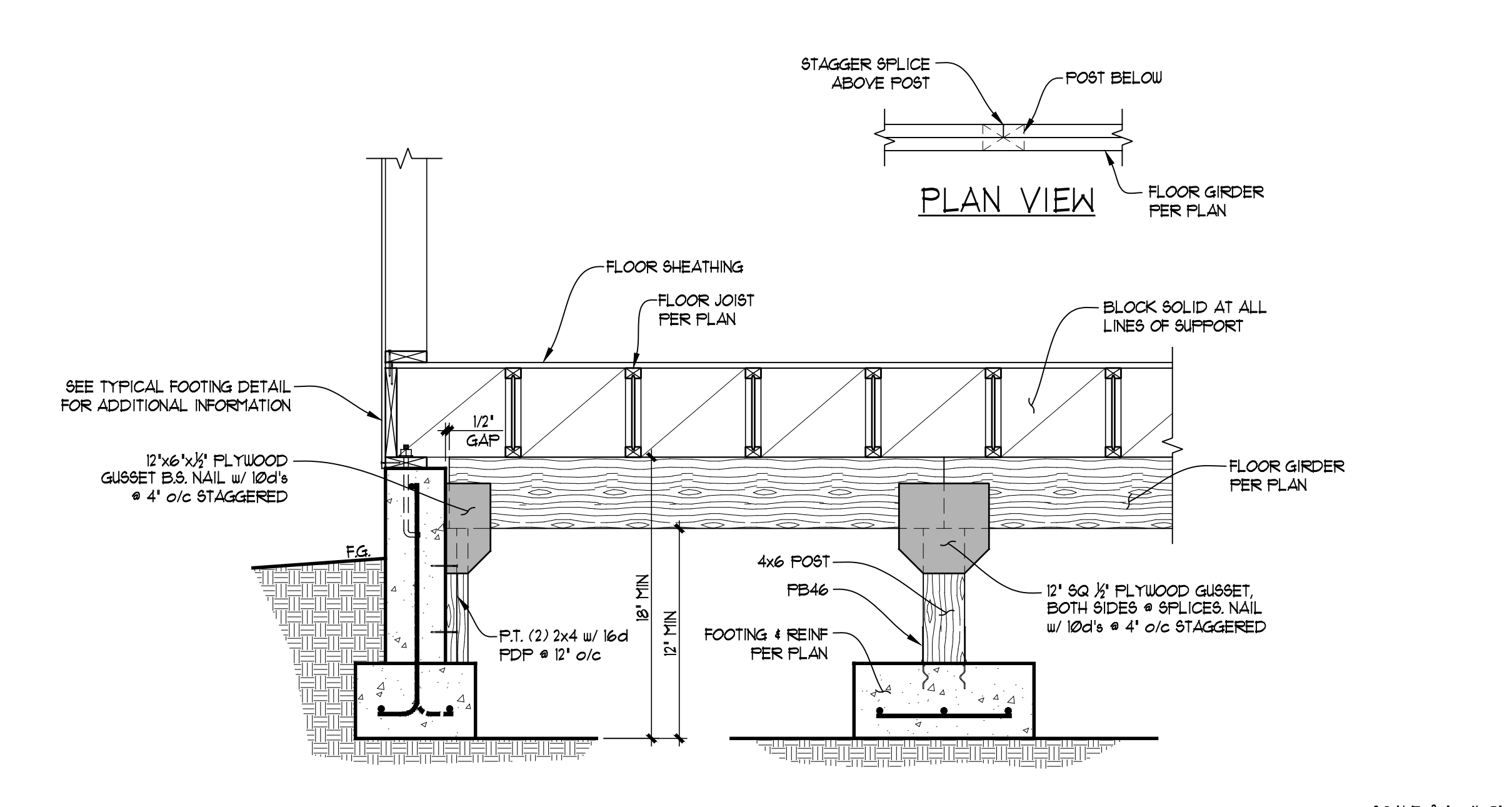
30 Not Used      29 Not Used      28 Not Used      27 Not Used      26 Not Used



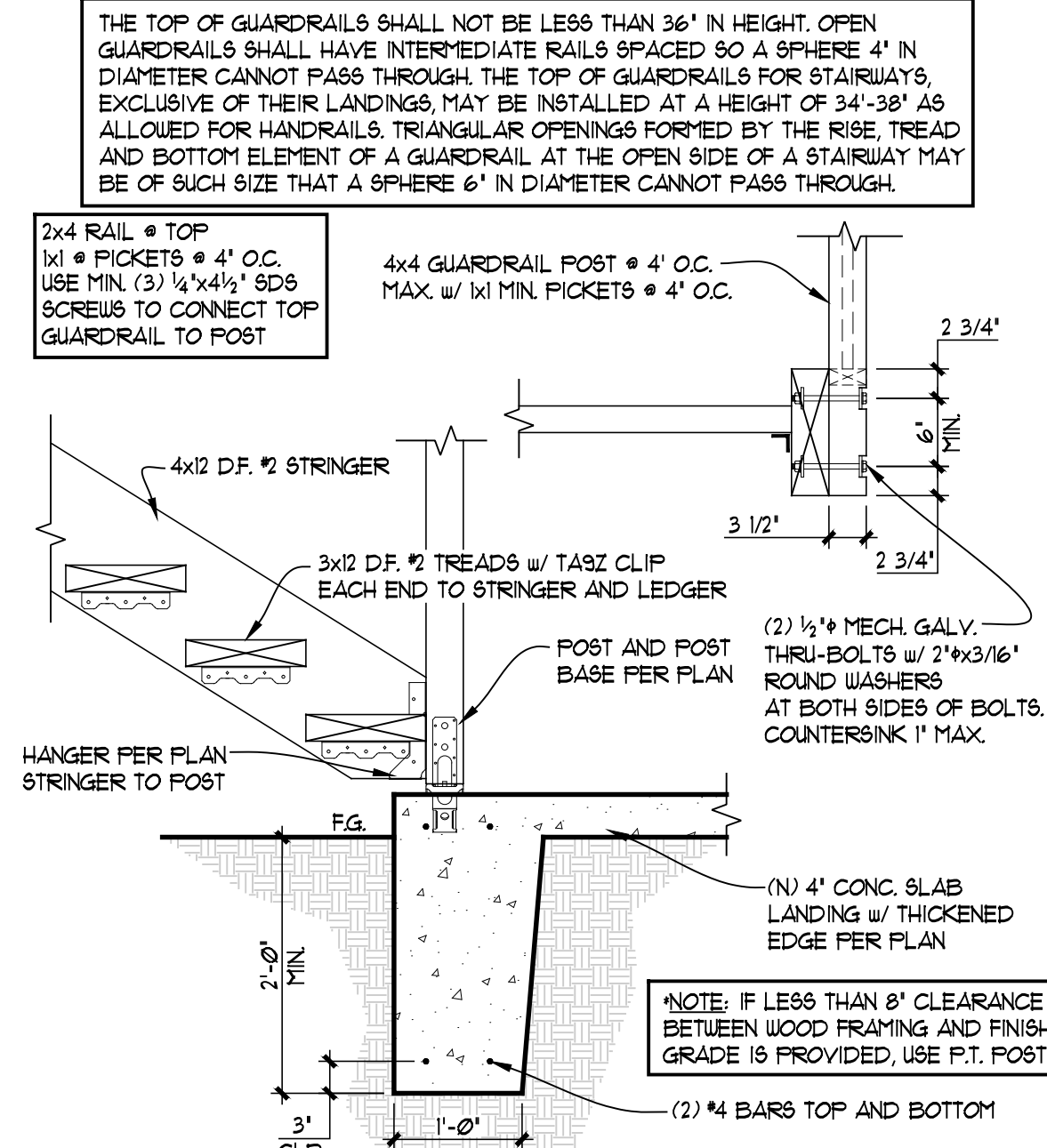
25 Not Used      24 Not Used      23 Not Used      22 Gable Wall Detail



20 Unblocked Diaphragm Nailing



18 Post and Girder Detail



16 Exterior Stair Detail

**Revisions**

Rev	Description

Date 1-29-22  
Drawn BWV  
Checked BWV  
Project No. 22-BWV

**Structural Details**