

Community Services Department
Planning and Development
VARIANCE
APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: TSFL - Fleming Residence			
Project Description: Remodel and addition to a single family residence. The proposed plan features a two-story addition at the front of the house with a garage at the street level and living space below. The proposed living space as proposed does not encroach into any setbacks.			
Project Address: 715 Cristina Dr. Incline Village, NV 89451			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator): Approx. 500 feet from Eagle Dr, across from intersection of Incline Pines with Cristina Dr. Nearest major crossroads are Country Club and Village (approx 1500ft away by road).			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
126-251-06	0.363		
Section(s)/Township/Range: Section - 10/11, Township - 16, Range - 18			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Thomas and Susan Fleming		Name: Elise Fett & Associates Ltd.	
Address: 5111 Alta Canyon Rd.		Address: PO Box 5989	
La Canada Flitridge, CA	Zip: 91011	Incline Village, NV	Zip: 89450
Phone: 213-300-1711	Fax:	Phone: 775-833-3388	Fax: 775-833-2388
Email: tfleming@jonesbell.com		Email: elise@elisefett.com	
Cell:	Other:	Cell: 775-762-3388	Other:
Contact Person: Tom Fleming		Contact Person: Elise Fett	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Elise Fett & Associates Ltd.		Name:	
Address: PO Box 5989		Address:	
Incline Village, NV	Zip: 89450		Zip:
Phone: 775-833-3388	Fax: 775-833-2388	Phone:	Fax:
Email: julie@elisefett.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Julie Rinaldo		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Elise Fett & Associates Ltd.

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Susan S. Fleming
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 126-251-06

Printed Name Susan S. Fleming

Signed *Susan S. Fleming*

Address 715 Cristina / P.O. Box 5282

Incline Village, Nevada 89451

Subscribed and sworn to before me this
_____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

*SEE
ATTACHED
ACKNOWLEDGEMENT*

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of LOS ANGELES)

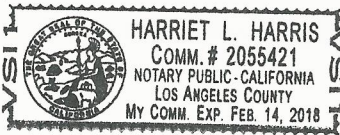
On APRIL 12, 2016 before me, HARRIET L. HARRIS, NOTARY PUBLIC
Date Here Insert Name and Title of the Officer

personally appeared SUSAN STAUFF FLEMING
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____
Document Date: _____ Number of Pages: FOR 715 CHRISTINA P.O. BOX 5282 INCURNE VILLAGE, NV 89451
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Variance Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to variances may be found in Article 804, Variances.

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

Front yard setback article 406-Building Placement Standard 110.406.30 is the provision we are requesting a variance for. The proposed garage design encroaches upon the front yard setback by 3' 11". The covered entry deck column encroaches 5' 6" because the property line gradually curves back with the road, but this column is only 6" in front of the proposed garage wall. The roof overhangs both the columns and garage by 3'. We are therefore reducing from 15' setback to 10' 13/16" at the entry deck roof column.

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

The site has a 30% slope and an existing parking deck at the front of the house. Locating the garage addition where the existing parking deck structure is located is the least obtrusive option for an attached garage. Any other location would require a new driveway approach at an even steeper area of the lot. The kitchen of the existing house is directly in front of the proposed garage and the roof line of the existing house can continue over the garage and new entry for reasonable and efficient construction that provides safe access to the home.

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

The garage and covered entry deck addition will appear as a single story at the street level of the house and it is within the setbacks at the rear and sides of the house. By building the garage in front of the (e) house, there is still a large view corridor to the lake from the road and adjacent neighbors. The homes become more separated from each other at the roadside since the lots are on a curve. There are not any houses on the opposite side of the street. By constructing above the existing parking deck, only one tree will need to be removed.

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

Creating a two-car garage will decrease clutter on the street and hide cars from view. The cars, fire wood piles and various storage items that are currently stored on the parking deck will be kept in the garage and out of view. From the edge of pavement, there will still be 18 feet of off-street parking available at the front of the house. As part of this project, the foundation that was poured in the 90's at the north side of the lot will be removed and the area will be restored to a natural vegetative state. The existing street facade does not have a visible entry since it is a 1/2 level below the road and screened by the parking deck. The proposed facade will have an inviting, functional, and attractive entry point to the right of the garage and will feature a mix of heavy stone and wood siding. The facade will have an updated high quality curbside interest that will add to the appeal of the neighborhood.

5. What enjoyment or use of your property would you be denied that is common to other properties in your neighborhood?

A garage and covered entry is enjoyed by neighbors and commonplace in Tahoe. The lack of an enclosed parking space is a violation of development code 110.410.10.1, the proposed garage will bring the residence into compliance with this code. Currently, residents must navigate steep stairs that are exposed to the elements to get from the parking deck into the main level of the house. The (e) entry comes in at a split level landing of the home; therefore, you have to go down stairs outside and back up stairs on the inside to get to the living level. With the proposed garage and covered entry deck, residents and guests will be able to enter the house at a single level and enjoy the benefit of a covered, apparent, and attractive entry deck which is significantly safer and more functional.

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
------------------------------	--	-------------------------------

7. What is your type of water service provided?

<input type="checkbox"/> Well	<input checked="" type="checkbox"/> Community Water System
-------------------------------	--

8. What is your type of sanitary waste disposal?

<input type="checkbox"/> Individual Septic System	<input checked="" type="checkbox"/> Community Sewer System
---	--

Washoe County Treasurer
 Tammi Davis

Account Detail

[Back to Search Results](#)

[Change of Address](#)

[Print this Page](#)

Pay Online

No payment due for this account.


\$0.00


Pay By Check


Please make checks payable to:
WASHOE COUNTY TREASURER


Mailing Address:
 P.O. Box 30039
 Reno, NV 89520-3039

Overnight Address:
 1001 E. Ninth St., Ste D140
 Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**

Washoe County Parcel Information

Parcel ID	Status	Last Update
12625106	Active	4/15/2016 2:10:21 AM
Current Owner: FLEMING, G THOMAS III & SUSAN S		SITUS: 715 CRISTINA DR INCL NV
5111 ALTA CANYADA RD LA CANADA FLINTRIDGE, CA 91011		
Taxing District 5200	Geo CD:	
Legal Description		
SubdivisionName SCOTCHWOOD SUBDIVISION Township 16 Range 18 Lot 17		

Tax Bill (Click on desired tax year for due dates and further details)

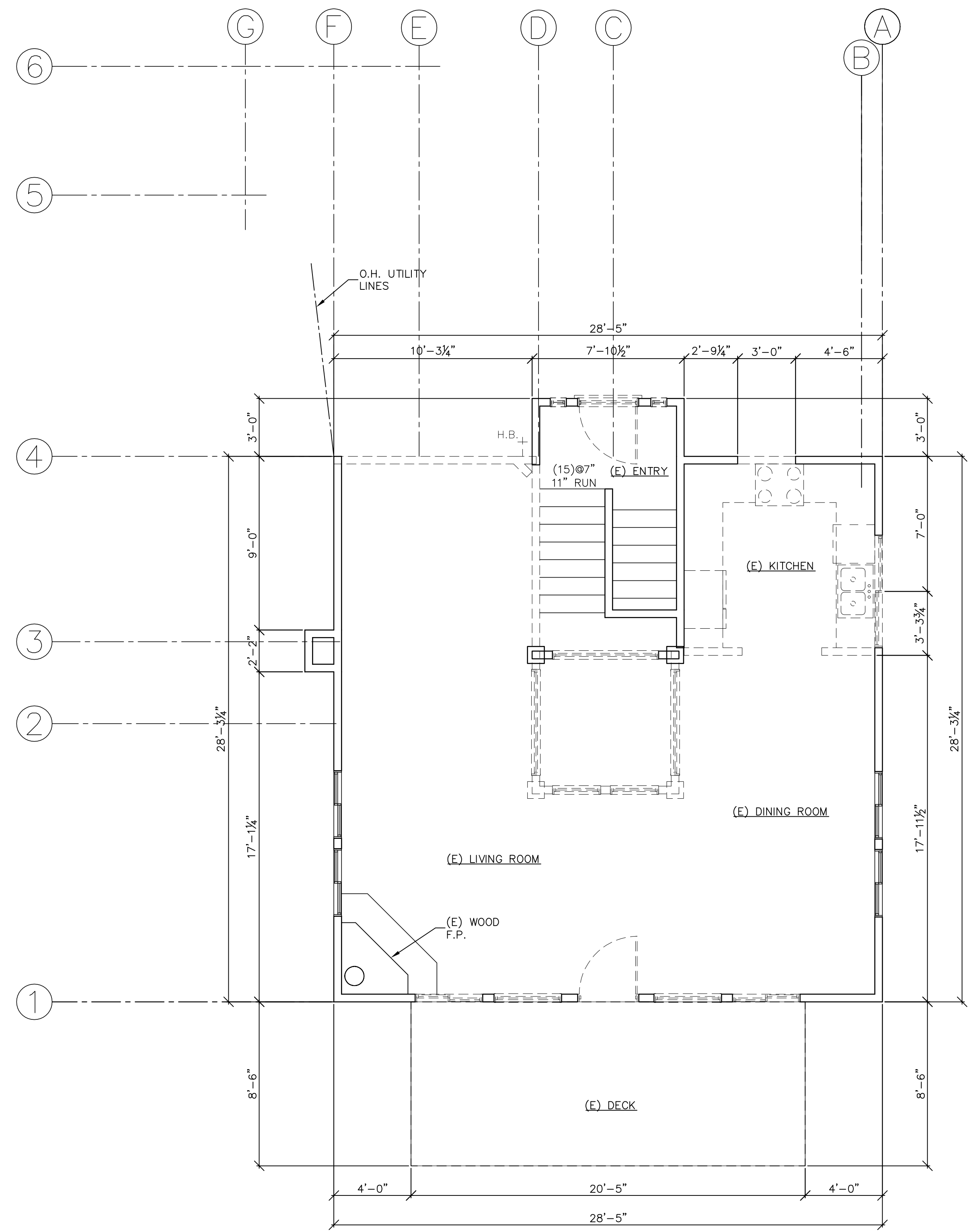
Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2015	\$7,921.47	\$7,921.47	\$0.00	\$0.00	\$0.00
2014	\$7,949.44	\$7,949.44	\$0.00	\$0.00	\$0.00
2013	\$7,956.42	\$7,956.43	\$0.00	\$0.00	\$0.00
2012	\$7,943.40	\$7,943.40	\$0.00	\$0.00	\$0.00
2011	\$7,736.20	\$7,736.20	\$0.00	\$0.00	\$0.00
Total					\$0.00

Important Payment Information

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.



2nd FLOOR EXISTING AND DEMO PLAN
 1/4" = 1'-0"

WALL LEGEND	
	- EXISTING WALL TO REMAIN
	- EXISTING WALL TO BE REMOVED
	- NEW WALL (2x4 INTERIOR) (2x6 EXTERIOR)

REVISIONS	BY

ELISE FETT & ASSOCIATES, LTD.
 AIA • RCE
 ARCHITECTURE
 ENGINEERING

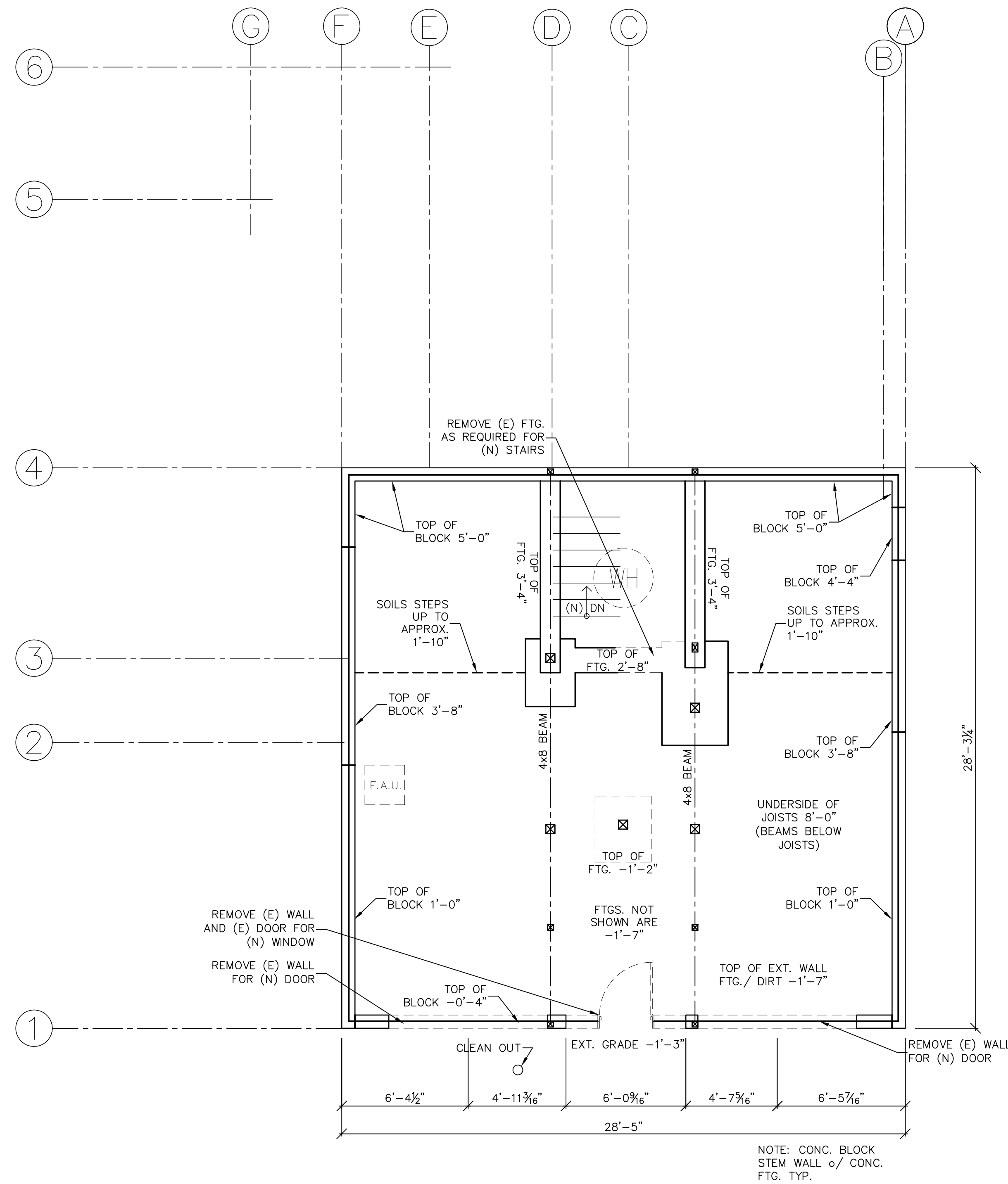
P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775)833-3388
 FAX: (775)833-2388
 elise@elisefett.com

THOMAS & SUSAN FLEMING REMODEL
 SCOTCHWOOD LT 17
 715 CRISTINA DR., INCLINE VILLAGE, NV
 APN: 126-251-06

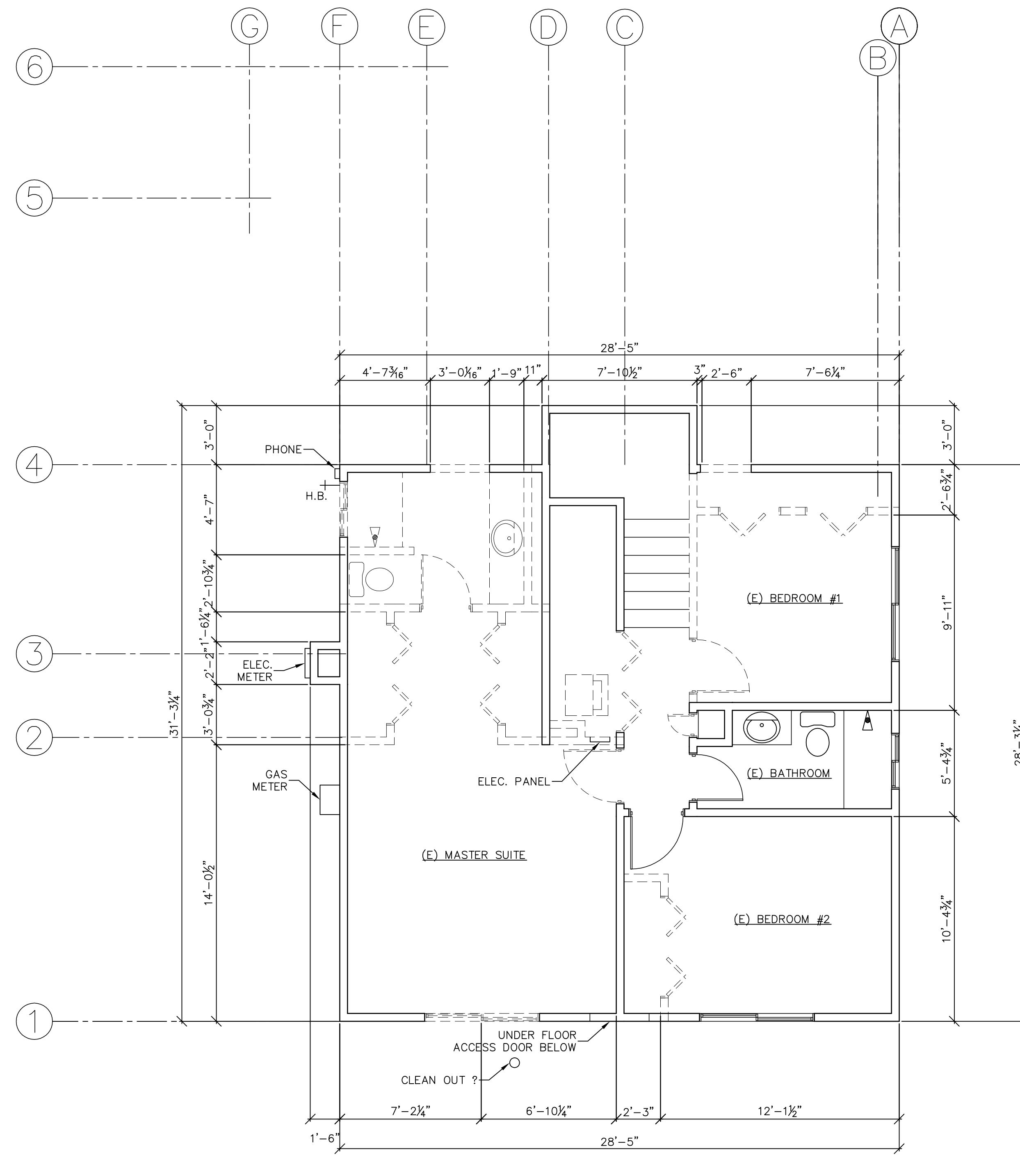
DRAWN : LE	CHECKED : EF
DATE : 2-3-16	
SCALE : AS NOTED	
JOB NO : TSFL	
DWG NO : x-1st	
SHEET	

A-2
 OF "A" SHEETS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.



BASEMENT EXISTING AND DEMO PLAN
1/4" = 1'-0"



1st FLOOR EXISTING AND DEMO PLAN
1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL (2x4 INTERIOR) (2x6 EXTERIOR)

REVISIONS	BY

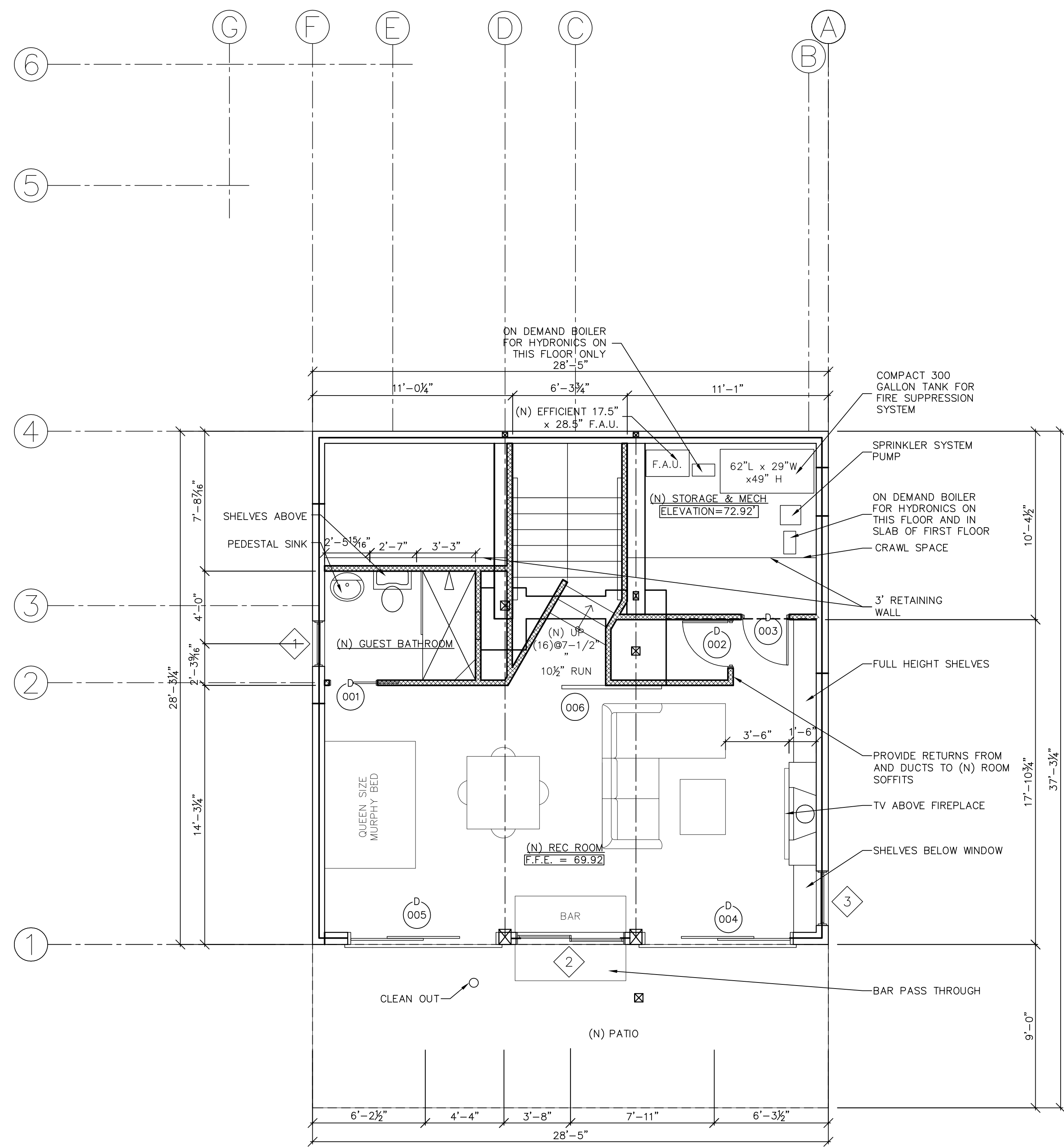
ELISE FETT & ASSOCIATES, LTD.
AIA • RCE
ARCHITECTURE
ENGINEERING

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450
PHONE: (775)833-3388
FAX: (775)833-2388
elise@elisefett.com

THOMAS & SUSAN FLEMING REMODEL
SCOTCHWOOD LT 17
715 CRISTINA DR., INCLINE VILLAGE, NV
APN: 126-251-06

DRAWN : LE	CHECKED : EF
DATE : 2-3-16	
SCALE : AS NOTED	
JOB NO : TSFL	
DWG NO : x-1st	
SHEET	
A-1	
OF	"A" SHEETS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

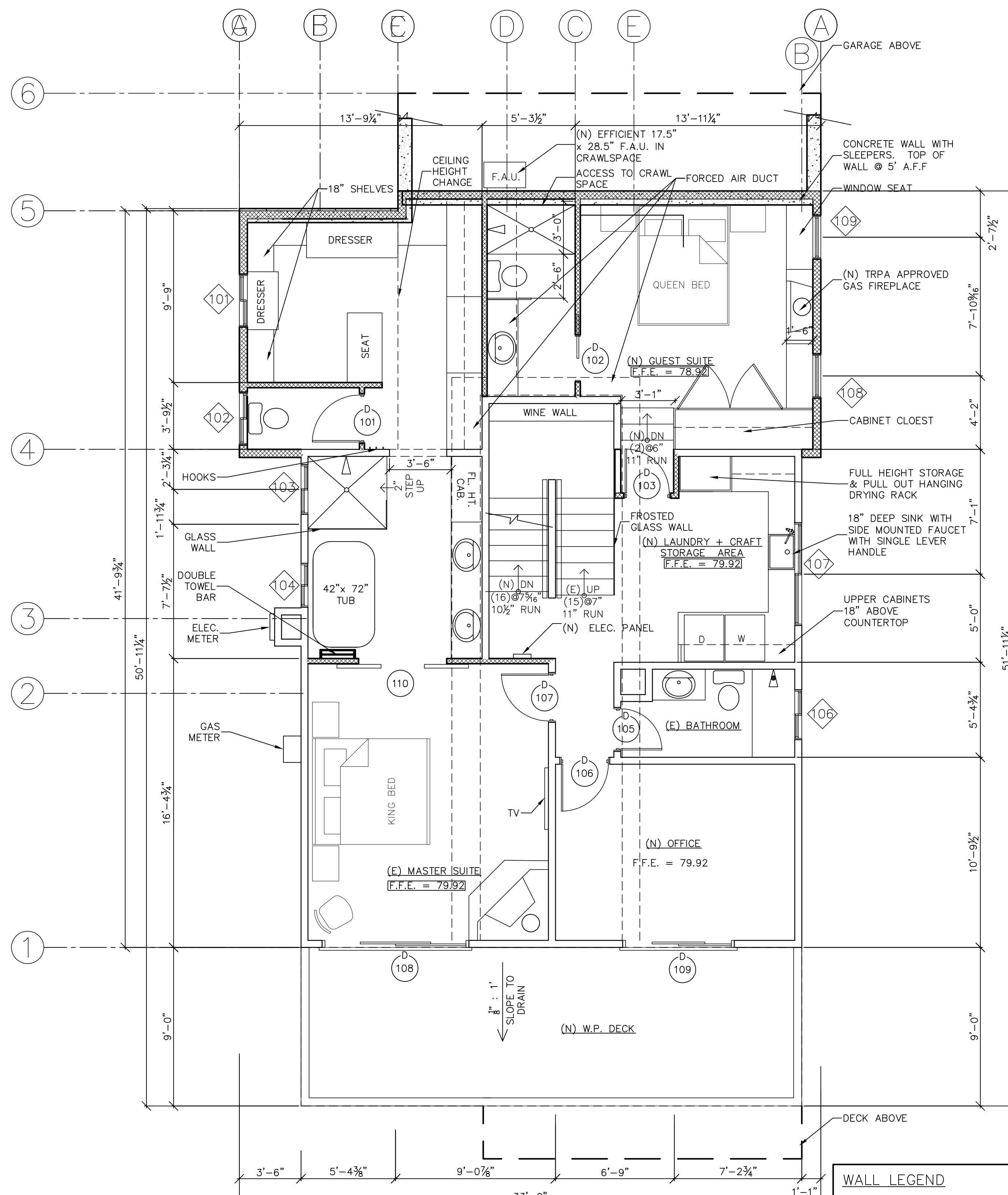


BASEMENT FLOOR PLAN
1/4" = 1'-0"

BASEMENT FLOOR SQUARE FOOTAGE
(E) RESIDENCE TO REMAIN = 80 SQ. FT.
(E) RESIDENCE TO REMODEL = 684 SQ. FT.
(N) PATIO = 234 SQ. FT.

MARK	DOOR SIZE		Style	Swing	NOTES
	WD	HGT			
001	2'-6"	6'-8"	Sgl. Pocket	Right	---
002	2'-6"	6'-8"	Hinged - Single	Right	---
003	2'-6"	6'-8"	Hinged - Single	Left	---
004	PR 4'-0"	8'-0"	Sliding - Double - Full Lite	Right	---
005	PR 4'-0"	8'-0"	Sliding - Double - Full Lite	Left	---
006	5'-6"	8'-0"	BARN DOOR	NA	---

MARK	WINDOW SIZE		Style	Remarks	Head Height
	WIDTH	HEIGHT			
1	2'-6"	4'-0"	Cosement		8'-0"
2	6'-0"	4'-6"	Slider		6'-8"
3	3'-0"	5'-0"	Picture		8'-0"



1st FLOOR PLAN
1/4" = 1'-0"

FIRST FLOOR SQUARE FOOTAGE
(E) RESIDENCE TO REMODEL = 804 SQ. FT.
(N) RESIDENCE = 456 SQ. FT.
(N) DECK = 229 SQ. FT.

MARK	DOOR SIZE		Style	Swing	NOTES
	WD	HGT			
101	2'-8"	6'-8"	Hinged - Single	Left	---
102	2'-6"	6'-8"	Pocket - Single	Right	---
103	2'-6"	6'-8"	Hinged - Single	Left	---
104	2'-6"	3'-0"	Hinged - Single	Left	---
105	2'-4"	6'-8"	Hinged - Single	Right	---
106	2'-8"	6'-8"	Hinged - Single	Right	---
107	2'-8"	6'-8"	Hinged - Single	Right	---
108	PR 4'-0"	6'-8"	Sliding - Double - Full Lite	Right	---
109	PR 3'-0"	6'-8"	Sliding - Double - Full Lite	Right	---
110	PR 2'-8"	8'-0"	Sliding - Double Barn Door	NA	---

MARK	WINDOW SIZE		Style	Remarks	Head Height
	WIDTH	HEIGHT			
101	3'-0"	3'-0"	Slider		6'-8"
102	3'-0"	1'-9 1/2"	Slider		6'-8"
103	2'-10"	1'-9 1/2"	Slider		6'-8"
104	2'-6"	3'-0"	Slider		6'-8"
106	2'-10"	1'-9 1/2"	Slider		6'-8"
107	5'-10"	3'-9"	Slider		6'-8"
108	2'-6"	5'-0"	Picture		7'-8"
109	2'-6"	5'-0"	Picture		7'-8"

WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED
- ▬ NEW WALL (2x4 INTERIOR)
(2x6 EXTERIOR)

PRESCRIPTIVE PACKAGE FOR ZONE 5

INSULATION
CEILING - R-38 OR BETTER
WALLS - R-20 OR BETTER
FLOOR - R-30 OR BETTER

SLAB - R-10 OR BETTER, 2 FT., R-15 FOR HEATED SLABS MIN. R-5 INSULATION IS REQUIRED BENEATH HYDRONIC TUBING.

NOTES:
WINDOWS - DOUBLE PANE, LOW E, U FACTOR OF .35 OR BETTER
EXTERIOR DOORS - U FACTOR OF .3 OR BETTER

*ENERGY REQUIREMENTS SHALL MEET OR EXCEED PRESCRIPTIVE PACKAGE REQUIREMENTS FOR ZONE 5

NOTE:
CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH (E) OPENINGS AND STRUCTURAL. CONTRACTOR TO ORDER WINDOWS AFTER OPENINGS ARE FRAMED.

REVISIONS	BY

ELISE FETT & ASSOCIATES, LTD.
AIA • RCE
ARCHITECTURE
ENGINEERING

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450
PHONE: (775)833-3388
FAX: (775)833-2388
elise@elisefett.com

THOMAS & SUSAN FLEMING REMODEL
SCOTCHWOOD LT 17
715 CRISTINA DR., INCLINE VILLAGE, NV
APN: 126-251-06

THOMAS & SUSAN FLEMING REMODEL
SCOTCHWOOD LT 17
715 CRISTINA DR., INCLINE VILLAGE, NV
APN: 126-251-06

DRAWN : LE	CHECKED : EF
DATE : 2-3-16	
SCALE : AS NOTED	
JOB NO : TSFL	
DWG NO : x-1st	
SHEET	
A-3	
OF	"A" SHEETS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

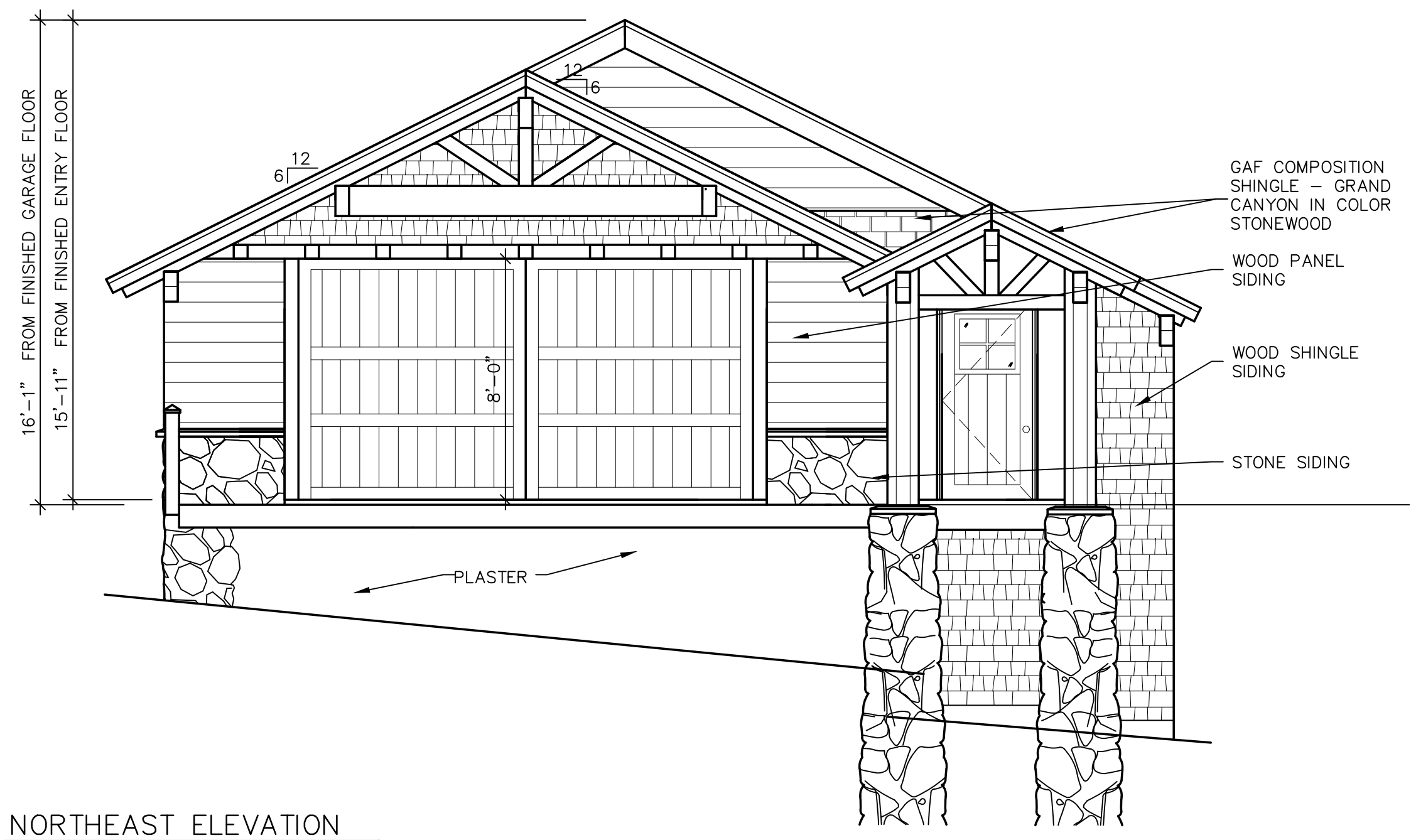
REVISIONS	BY

BUILDING HEIGHT

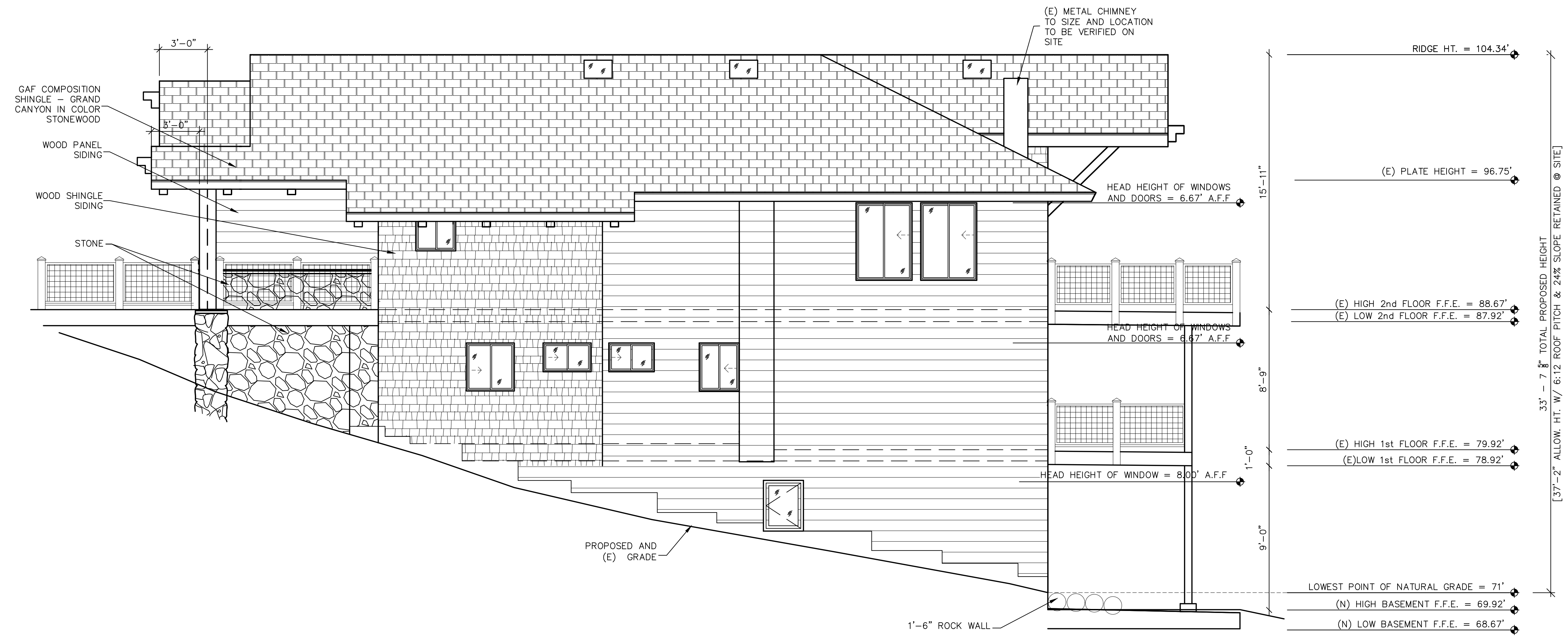
BUILDING SITE SLOPE	24%
ROOF PITCH	6:12
MAX. ALL. BUILDING HT.	37'-2"
MAX EXISTING HEIGHT	33'-7 ⁵ / ₈ "

(REFER TO SHEET A-4 FOR ROOF AREA SUMMARY)

EXTERIOR FINISHES:	
ROOF:	(N) CLASS A - TO MATCH EXISTING
SIDING:	(N) WOOD PLANKS AND (N) WOOD SHINGLES
STONE:	(N) STONE



NORTHEAST ELEVATION
1/4" = 1'-0"



NORTHWEST ELEVATION
1/4" = 1'-0"

ELISE FETT & ASSOCIATES, LTD.
AIA • RCE
ARCHITECTURE
ENGINEERING

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450
PHONE: (775)833-3388
FAX: (775)833-2388
elise@elisefett.com

THOMAS & SUSAN FLEMING REMODEL
SCOTCHWOOD LT 17
715 CRISTINA DR., INCLINE VILLAGE, NV
APN: 126-251-06

DRAWN : LE	CHECKED : EF
DATE : 2.3.16	
SCALE : AS NOTED	
JOB NO : TSFL	
DWG NO : Elev.dwg	
SHEET	

A-5
OF SHEETS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

REVISIONS	BY

ELISE FETT & ASSOCIATES, LTD.
 AIA • RCE
 ARCHITECTURE
 ENGINEERING

P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450
 PHONE: (775)833-3388
 FAX: (775)833-2388
 elise@elisefett.com

THOMAS & SUSAN FLEMING REMODEL

SCOTCHWOOD LT 17
 715 CRISTINA DR., INCLINE VILLAGE, NV
 APN: 126-251-06

DRAWN : LE
 CHECKED : EF
 DATE : 2.3.16
 SCALE : AS NOTED
 JOB NO : TSFL
 DWG NO : Elev.dwg
 SHEET

A-6
 OF SHEETS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

33' - 7 8" TOTAL PROPOSED HEIGHT
 [37'-2" ALLOW. HT. W/ 6:12 ROOF PITCH & 24% SLOPE RETAINED @ SITE]

RIDGE HT. = 104.34'

(E) PLATE HEIGHT = 96.75'

15'-11"

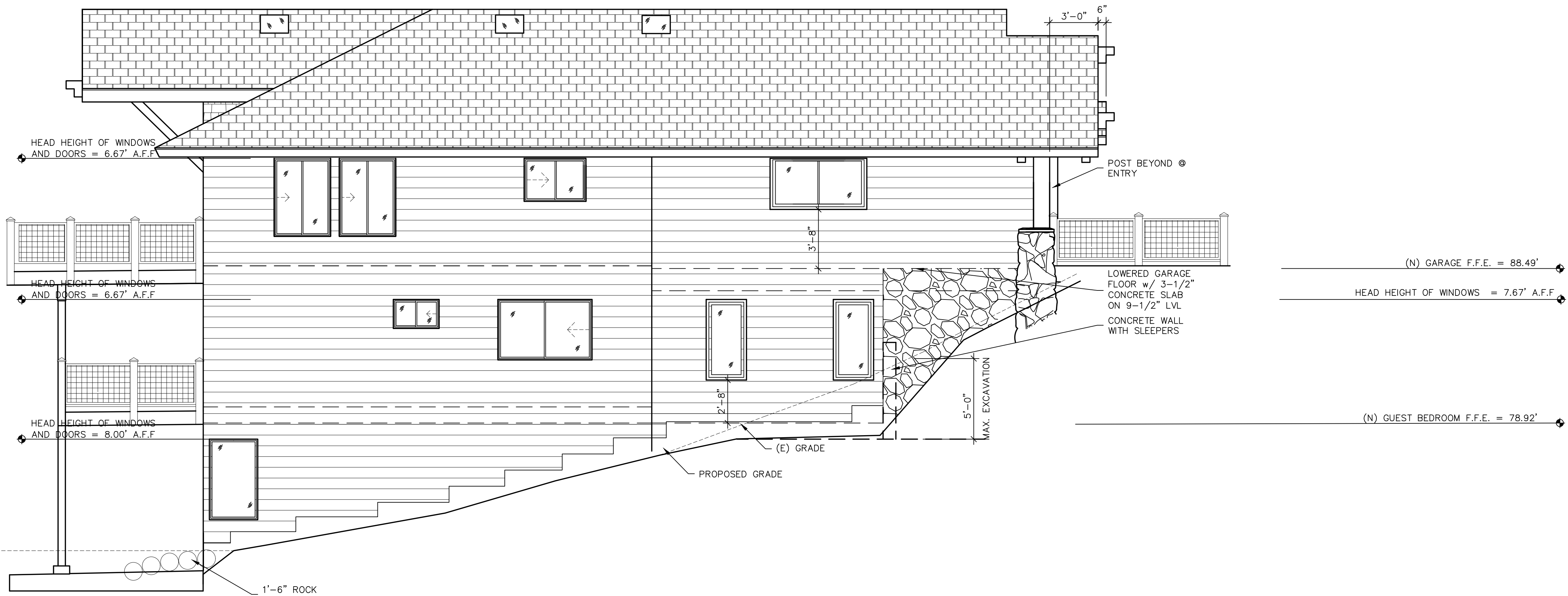
(E) HIGH 2nd FLOOR F.F.E. = 88.67'
 (E) LOW 2nd FLOOR F.F.E. = 87.92'

8'-9"

(E) HIGH 1st FLOOR F.F.E. = 79.92'
 (E) LOW 1st FLOOR F.F.E. = 78.92'
 HEAD HEIGHT OF WINDOWS AND DOORS = 87.92'

9'-0"

LOWEST POINT OF NATURAL GRADE = 71'
 (N) HIGH BASEMENT F.F.E. = 69.92'
 (N) LOW BASEMENT F.F.E. = 68.97'



SOUTHEAST ELEVATION
 1/4" = 1'-0"

33' - 7 8" TOTAL PROPOSED HEIGHT
 [37'-2" ALLOW. HT. W/ 6:12 ROOF PITCH & 24% SLOPE RETAINED @ SITE]

RIDGE HT. = 104.34'

(E) PLATE HEIGHT = 96.75'

(E) HIGH 2nd FLOOR F.F.E. = 88.67'
 (E) LOW 2nd FLOOR F.F.E. = 87.92'

15'-11"

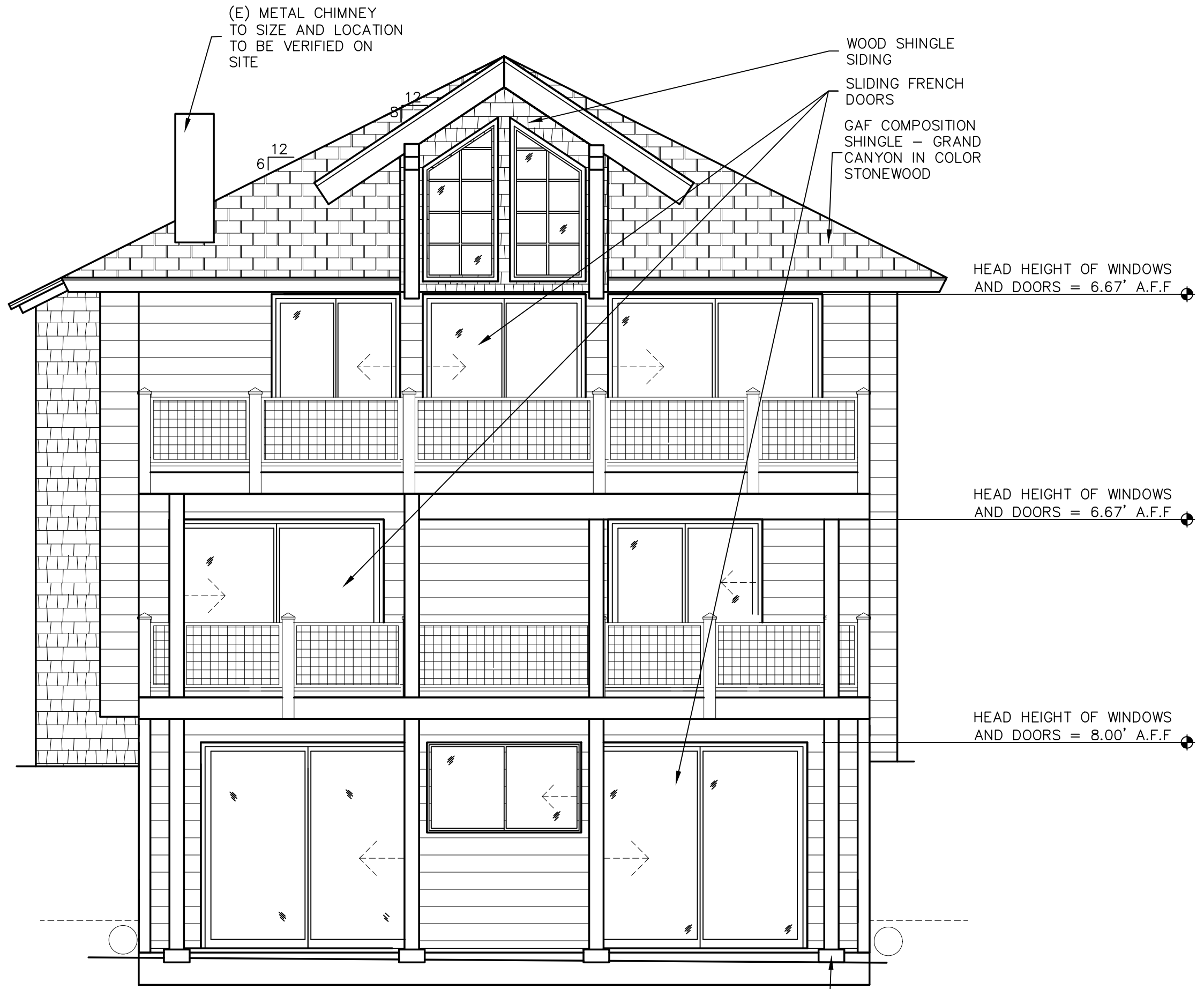
(E) HIGH 1st FLOOR F.F.E. = 79.92'
 (E) LOW 1st FLOOR F.F.E. = 78.92'

8'-9"

1'-0"

9'-0"

LOWEST POINT OF NATURAL GRADE = 71'
 (N) HIGH BASEMENT F.F.E. = 69.92
 (N) LOW BASEMENT F.F.E. = 68.67'



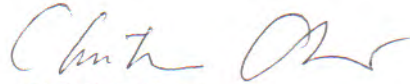
SOUTHWEST ELEVATION
 1/4" = 1'-0"

To: Incline Village Planning Department

We, the owners of the property adjacent to the proposed remodel at 715 Cristina , Incline Village, hereby consent to the variance of approximately 4-feet from the 15-foot setback for a 2-car garage which has been requested by Susan and Tom Fleming as described above. We view their remodel, including the requested variance, as beneficial to our adjacent property and the neighborhood in general.

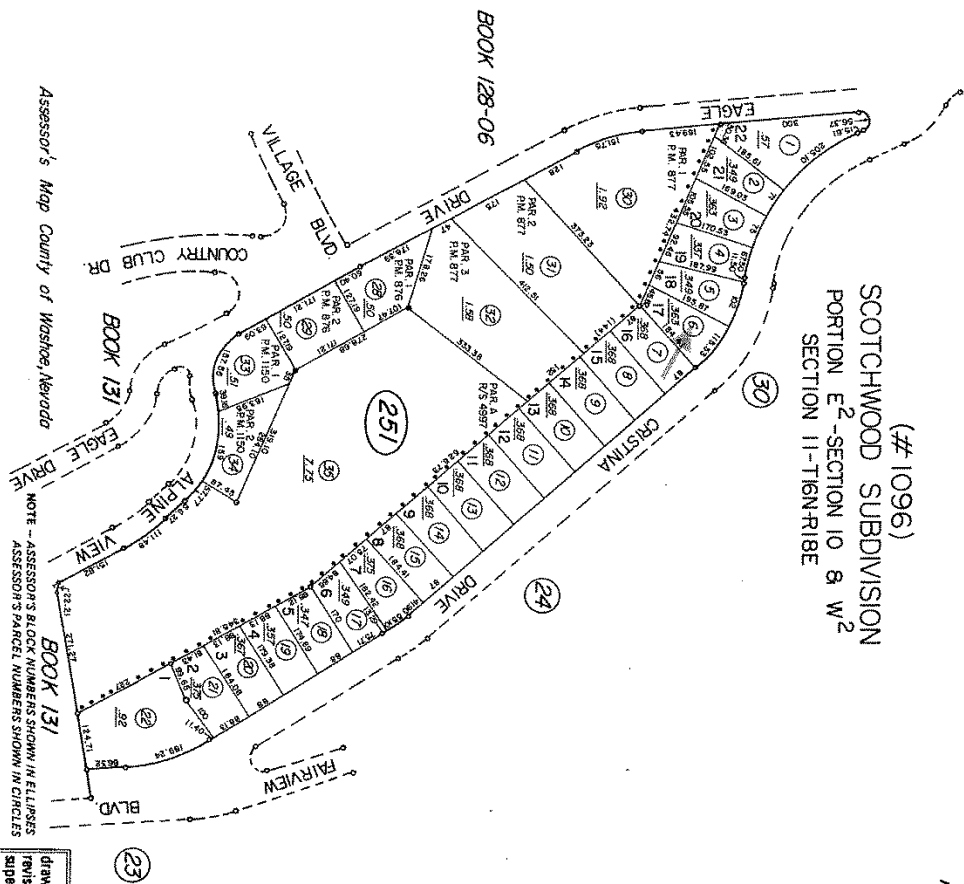


Mark Chew
713 Cristina Drive
Incline Village, NV 89451



Christina Chew
713 Cristina Drive
Incline Village, NV 89451

(# 1096)
SCOTCHWOOD SUBDIVISION
PORTION E²-SECTION 10 & W²
SECTION 11-T16N-R18E



NOTE: This Map is prepared for the use of the Washoe County Assessor's Office and is not a representation of the Assessor's Office. No liability is assumed by the Assessor's Office for the sufficiency or accuracy of the data delivered thereon.

Assessor's Map County of Washoe, Nevada

NOTE - ASSASSOR'S BLOCK NUMBERS SHOWN IN ELLIPSES AND ASSASSOR'S PARCEL NUMBERS SHOWN IN CIRCLES

drawn by S.T. 8/78
revised S.A./C.R. 11/12/2007
suspended