

Community Services Department
Planning and Building
ADMINISTRATIVE PERMIT APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: <u>WBLD23-101513</u>	
Project Name: <u>YOHEY RESIDENCE DETACHED METAL GARAGE</u>			
Project Description: <u>2,400 SF DETACHED METAL GARAGE WITH LEAN-TO. NO ELECTRICAL OR PLUMBING</u>			
Project Address: <u>7475 BALDWIN WAY, SPARKS, NV 89436</u>			
Project Area (acres or square feet): <u>2,400 SF</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>PROJECT IS LOCATED NEAR NW PROPERTY BOUNDARY OF 7475 BALDWIN WAY, APPROXIMATELY 65' FROM MAIN RESIDENCE STRUCTURE AT THIS ADDRESS.</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>524-411-07</u>	<u>2.614</u>		
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s) <u>WBLD23-101513</u>			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>TYLER AND JAMIE YOHEY</u>		Name: <u>FRED HATCHER</u>	
Address: <u>7475 BALDWIN WAY</u>		Address: <u>1050 S. 21ST ST</u>	
<u>SPARKS, NV</u>	Zip: <u>89436</u>	<u>SPARKS, NV</u>	Zip: <u>89431</u>
Phone: <u>775-302-6523</u>	Fax: <u>N/A</u>	Phone: <u>775-302-6315</u>	Fax: <u>N/A</u>
Email: <u>YOHEY5@SBCGLOBAL.NET</u>		Email: <u>FHATCHER@QDCONSTRUCTION.COM</u>	
Cell: <u>775-302-6523</u>	Other: <u>N/A</u>	Cell: <u>775-302-6315</u>	Other: <u>N/A</u>
Contact Person: <u>TYLER YOHEY</u>		Contact Person: <u>FRED HATCHER</u>	
Applicant/Developer:		Other Persons to be Contacted:	
Name: <u>TYLER YOHEY</u>		Name: <u>N/A</u>	
Address: <u>7475 BALDWIN WAY</u>		Address:	
<u>SPARKS, NV</u>	Zip: <u>89436</u>		Zip:
Phone: <u>775-302-6523</u>	Fax: <u>N/A</u>	Phone:	Fax:
Email: <u>YOHEY5@SBCGLOBAL.NET</u>		Email:	
Cell: <u>775-302-6523</u>	Other: <u>N/A</u>	Cell:	Other:
Contact Person: <u>TYLER YOHEY</u>		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the type of project or use being requested?

2,400 SF DETACHED METAL GARAGE WITH LEAN-TO

2. What section of the Washoe County code requires the Administrative permit required?

ADMINISTRATIVE PERMIT REQUESTED AS PART OF PLAN REVIEW FOR PERMIT WBLD23-101513 BY
KATT STARK 775-328-3618 KRSTARK@WASHOECOUNTY.GOV

3. What currently developed portions of the property or existing structures are going to be used with this permit?

NO EXISTING STRUCTURES ON THE PROPERTY WILL BE IMPACTED BY THIS PERMIT. NEW STRUCTURE
TO BE BUILT ON VACANT LAND ADJACENT TO EXISTING STRUCTURES.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

6" CONCRETE SLAB ON GRADE AND PRE-FABRICATED METAL STRUCTURE TO BE COMPLETED BY
END OF 2023

5. Is there a phasing schedule for the construction and completion of the project?

NO. SLAB ON GRADE AND METAL STRUCTURE WILL BE BUILT CONCURRENTLY

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

LOCATION OF PROJECT IS A SINGLE FAMILY RESIDENCE. DETACHED GARAGE TO BE CONSTRUCTED
ON VACANT PORTION OF PARCEL.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

PROJECT WILL IMPROVE AESTHETICS OF PARCEL FOR ADJACENT PROPERTIES. SIGNED AGREEMENT OF
ADJACENT PROPERTY OWNERS ALLOWING CONSTRUCTION OF DETACHED GARAGE IS ATTACHED FOR YOUR USE.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

NO NEGATIVE IMPACTS ANTICIPATED FOR ADJACENT PROPERTIES. SEE ATTACHED SIGNED
AGREEMENT OF ADJACENT PROPERTY OWNERS.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

DAY - WORK ONLY FOR CONSTRUCTION.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

Capacity for 6 within detached garage

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

N/A

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Minimal lighting will be attached to extension of garage. Battery powered.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	N/A
b. Water Service	N/A

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #	N/A	acre-feet per year	
d. Certificate #	N/A	acre-feet per year	
e. Surface Claim #	N/A	acre-feet per year	
f. Other, #	N/A	acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A

Administrative Permit Application Supplemental Information for Care of the Infirm

(All required information, to include the physician's signed affidavit, is considered a public record and will be treated as such by Washoe County. Information may be attached separately)

1. Name of the Infirm:

N/A

2. Name of Nevada licensed physician identifying the need for on-premise care and the physician's estimate as to the length of on-premise care required (attach physician's signed affidavit, form on page 11):

N/A

3. Name(s) of the Caregiver(s):

N/A

4. Describe the type and size of recreational vehicle or self-contained travel trailer that is proposed for use as a temporary residence of the caregiver. (Attach a site map showing the proposed location.)

N/A

5. Describe the arrangements/methods proposed for the temporary provision of:

a. Water Service:

N/A

b. Sewage (Sanitary Sewer) Service:

n/a

c. Garbage (Solid Waste) Service:

n/a

d. Electricity:

n/a

e. Natural Gas:

n/a

6. What will you do to minimize the anticipated negative impacts or effect your waiver will have on adjacent properties?

n/a

7. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

<p>N/A</p>

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

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 PHONE: (775) 302-6523
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 LOT, BLOCK, SUB: LOT 2
 PARCEL: 524-411-07

NOTE:
 SITE MEASUREMENTS WERE OBTAINED
 FROM PREVIOUS PERMIT DOCUMENTS,
 BEARING AND DISTANCES TAKEN FROM
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 DATA SHOULD BE VERIFIED PRIOR TO
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 NO PUBLIC SEWER WITHIN 40'
 NO 100 YEAR FLOODPLAIN WITHIN 200' OF PL
 NO DRAINAGE CHANNELS ON SITE OR WITHIN 100' OF PL
 NO SURFACE WATER WITHIN 1/4 MILE
 NO EASEMENTS THRU PROPERTY

SITE PLAN INFO:
 -LOT AREA= 2.614 AC
 -LOT SLOPE <10%
 -TOTAL SITE DISTURBANCE = ±5,700 SF

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 BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY
 CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND
 DETAILS.

A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO
 BE PERFORMED WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.

THE WASHOE COUNTY ROAD DEPARTMENT (328-2180) MUST
 APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO
 PERMIT CERTIFICATE OF OCCUPANCY.



A GRADING PLAN FOR:
 GRAHAM RESIDENCE
 SPECIAL USE PERMIT APPLICATION

53 MULE DEER CT.
 RENO, NEVADA 89523

SCALE:
 DRAWN: FH
 CHECKED: FH
 DATE: 01/24/23
 REVISIONS

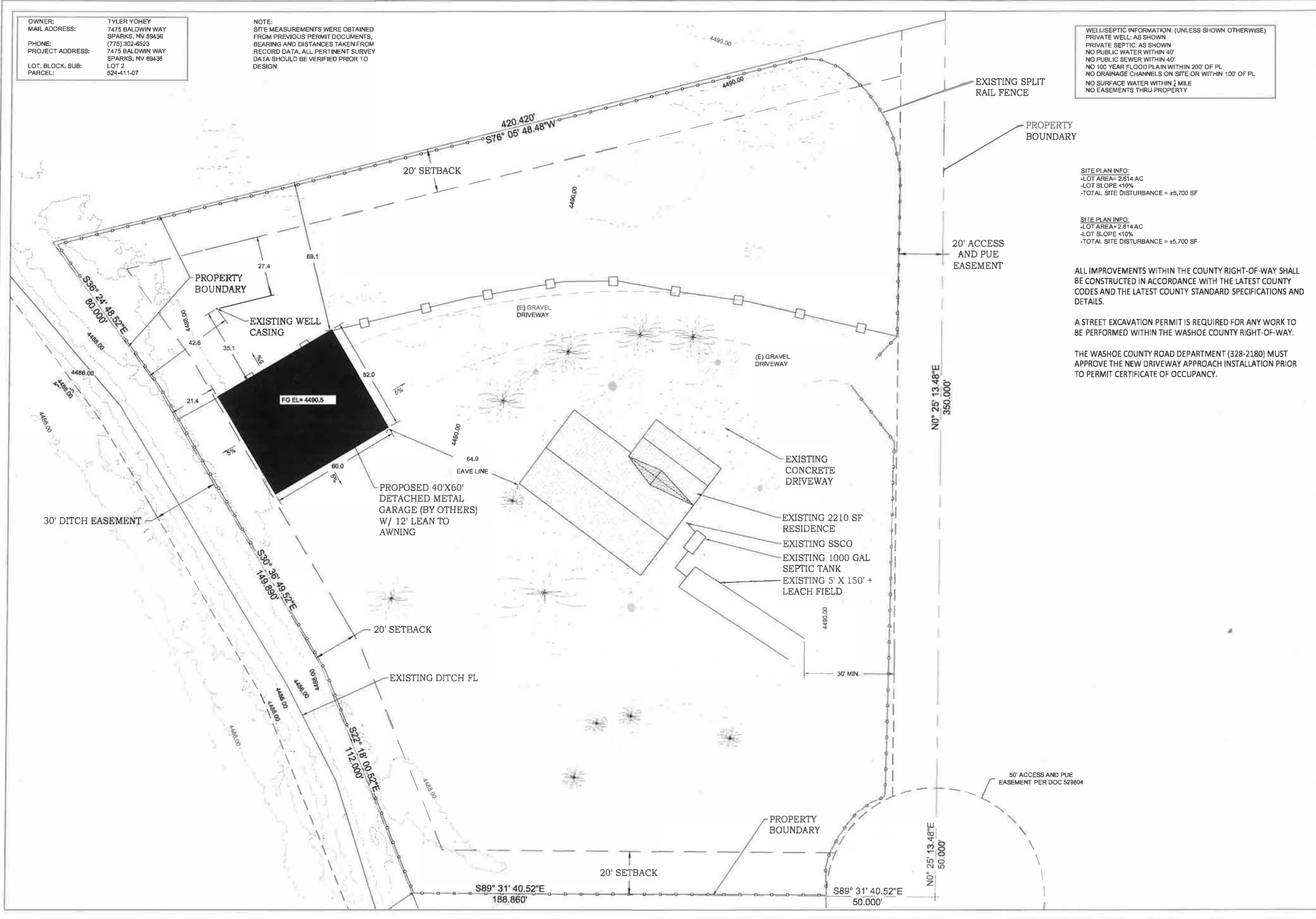
1	
2	

ENGINEER OF RECORD:
 FRED HATCHER JR., P.E.



SHEET

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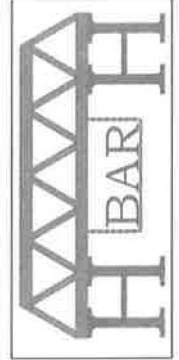
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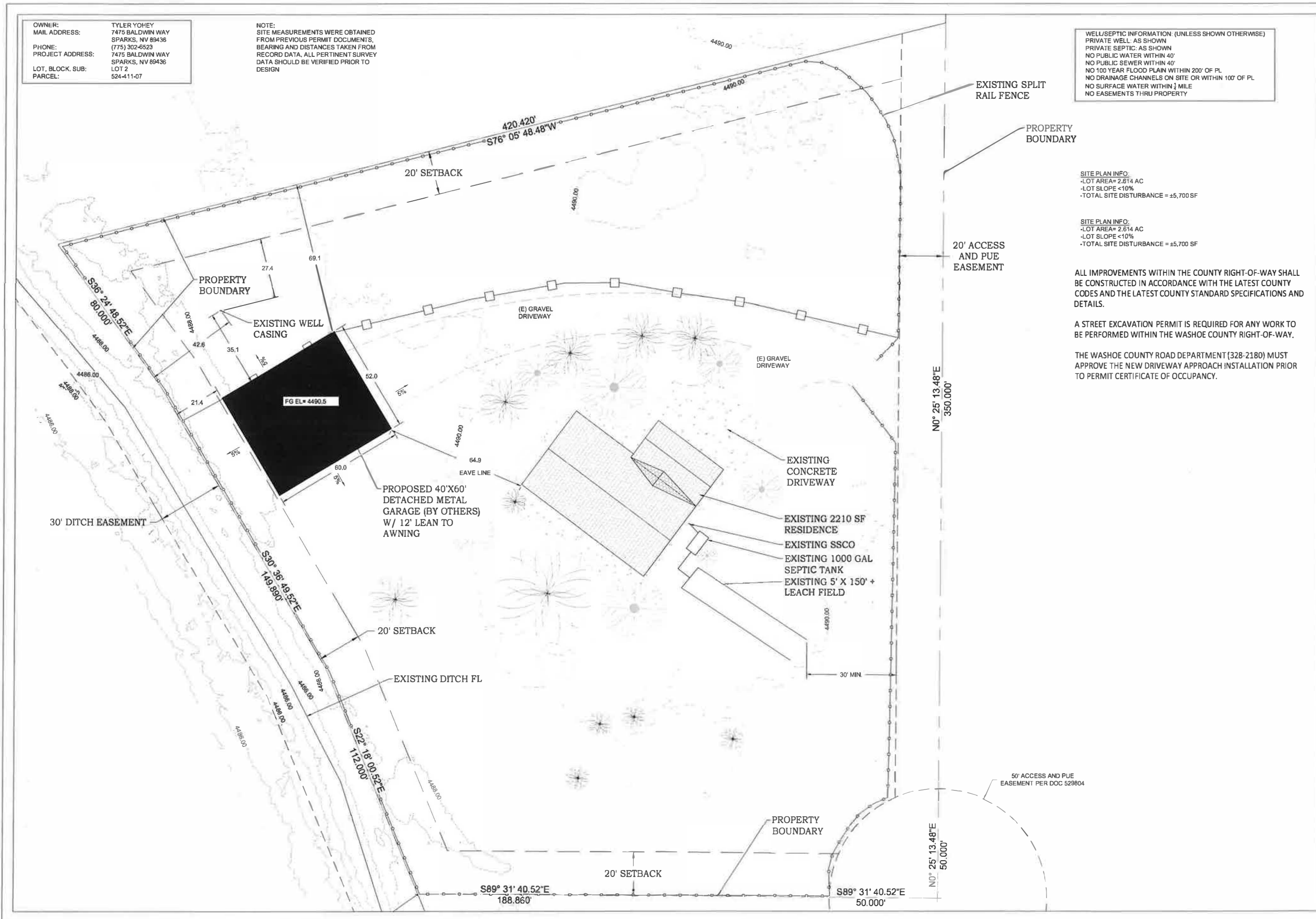
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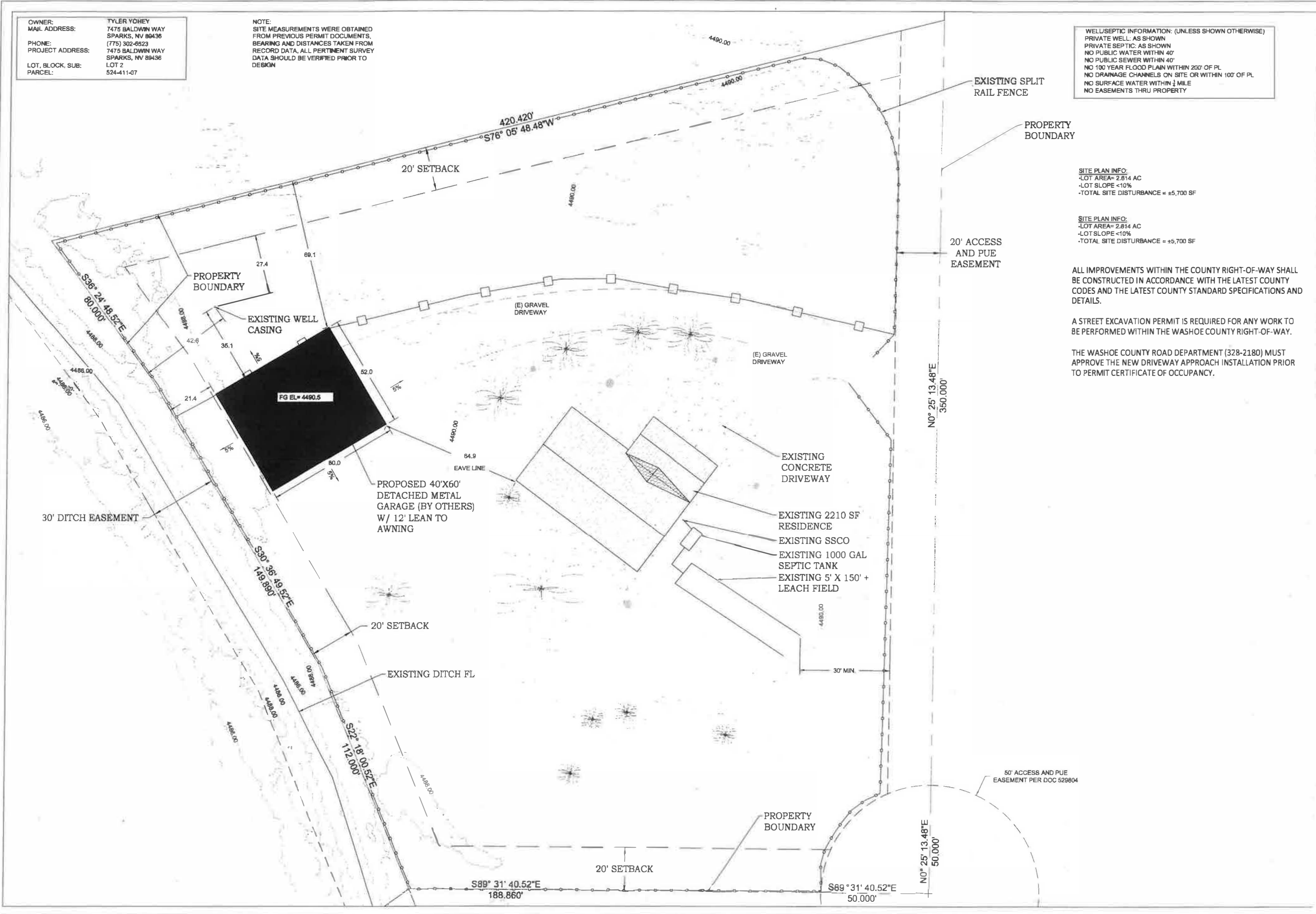
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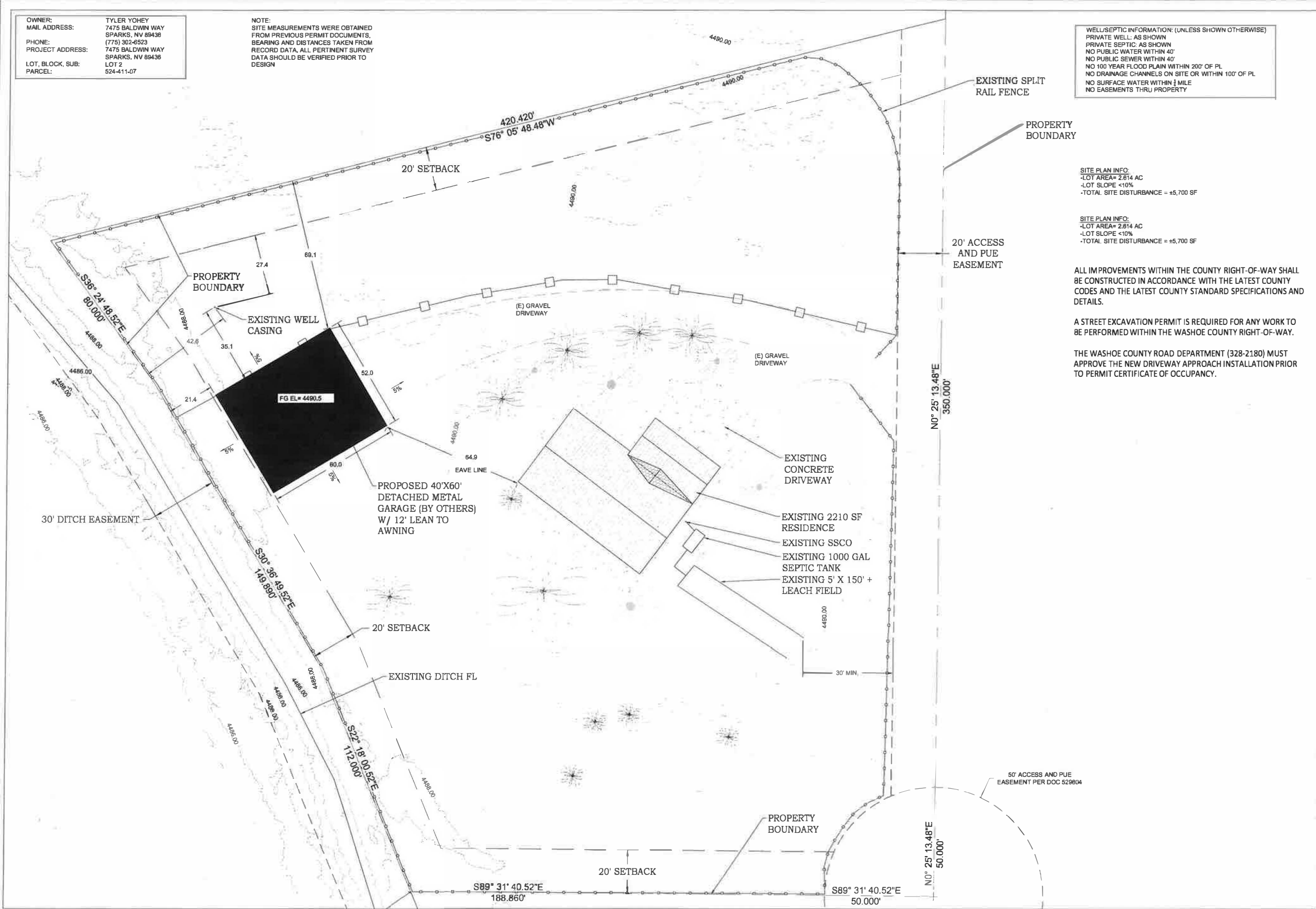
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TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO

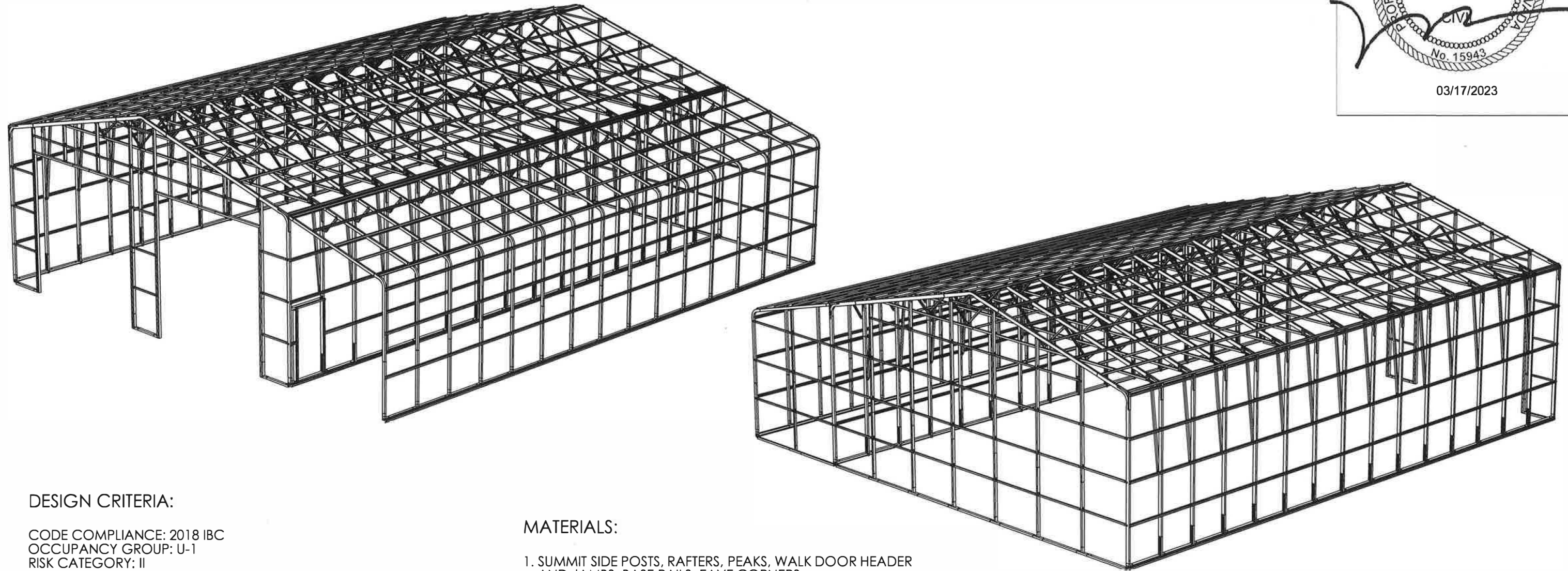
STRUCTURAL DESIGN

T & Z Consulting Services, LLC
 1428 N Shevlin Court
 Sewickley, PA 15143

SEAL:



03/17/2023



DESIGN CRITERIA:

CODE COMPLIANCE: 2018 IBC
 OCCUPANCY GROUP: U-1
 RISK CATEGORY: II
 3:12 PITCH

1. DEAD LOAD: 2 PSF
2. ROOF SNOW LOAD: 33 PSF
3. WIND LOAD: 120 MPH, EXPOSURE (C)
4. SEISMIC CATEGORY: D2

5. ON CENTER FRAME SPACING: 4'
 SUMMIT ROOF HAT CHANNEL SPACING: 39 13/16"
 SUMMIT SIDE HAT CHANNEL SPACING: 46 11/16"
 LEAN-TO ROOF HAT CHANNEL SPACING: 33 15/16"
 LEAN-TO SIDE HAT CHANNEL SPACING: 47 3/4"
 RAT TRACK HAT CHANNEL SPACING: 96 11/16"

6. SHEET METAL: 29GA MULTIPURPOSE, 80KSI, STEEL
 ALLOWABLE WIND PRESSURE LOAD ON 47 3/4" CENTERS: 36 PSF
 ALLOWABLE GRAVITY LOAD ON 39 13/16" CENTERS: 47 PSF
 PANELS ARE CLASS (A) FIRE RATED. EXTERIOR SHEETING NOT SHOWN.

MATERIALS:

1. SUMMIT SIDE POSTS, RAFTERS, PEAKS, WALK DOOR HEADER AND JAMBS, BASE RAILS, EAVE CORNERS:
 2" X 4" 14 GA 1010 STEEL, 50 KSI
2. LEAN-TO RAFTER, SIDE POST, HEIGHT EXTENSIONS, BASE RAILS, SUMMIT END WALL COMPONENTS:
 2" X 3" 14 GA 1015 STEEL, 50 KSI
3. LEAN TO END WALL COMPONENTS, LONG KNEE BRACES, COLLAR TIE:
 2" X 2" 15 GA 1015 STEEL, 50 KSI
4. WEB BRACES, LEAN-TO KNEE BRACES, GABLE END GIRTS, NAILER TUBES:
 1 1/2" X 1 1/2" 18 GA 1008 STEEL, 45 KSI
5. HAT CHANNEL (ROOF PURLINS, EAVE SIDE GIRTS, RAT TRACK):
 18 GA, 1010 STEEL, 50 KSI
6. BRACKETS:
 BK-30, BK-31, BK-60, BK-61: 14GA, 50 KSI STEEL
 BK-10, BK-20, 700-BK10, BK-WEB-1.5SQ, BK-WEB-2SQ-B: 12GA, 50 KSI STEEL
 BK-BPR BRACKETS: 16GA, 50 KSI STEEL
 700-BK40: 18GA, 50 KSI STEEL

DRAWING INDEX:

1. COVER PAGE
2. ELEVATIONS
3. FRONT GABLE DETAILS
4. ROOF WALL SECTION DETAILS
5. BACK GABLE DETAILS
6. SHEET METAL INSTALL DETAILS
7. BASE RAIL LAYOUT DETAILS
8. FOUNDATION DETAILS
9. ANCHOR DETAILS
10. CONNECTION DETAILS
11. CONNECTION DETAILS
12. CONNECTION DETAILS



PROJECT: VERSATUBE SUMMIT BUILDING

TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT

DWG NO: VBC8406016042GD1WD-3E12LT_1494108REV

DRAWN BY: E. BARTGES

DATE: 3/10/2023

PAGE 1 OF 12

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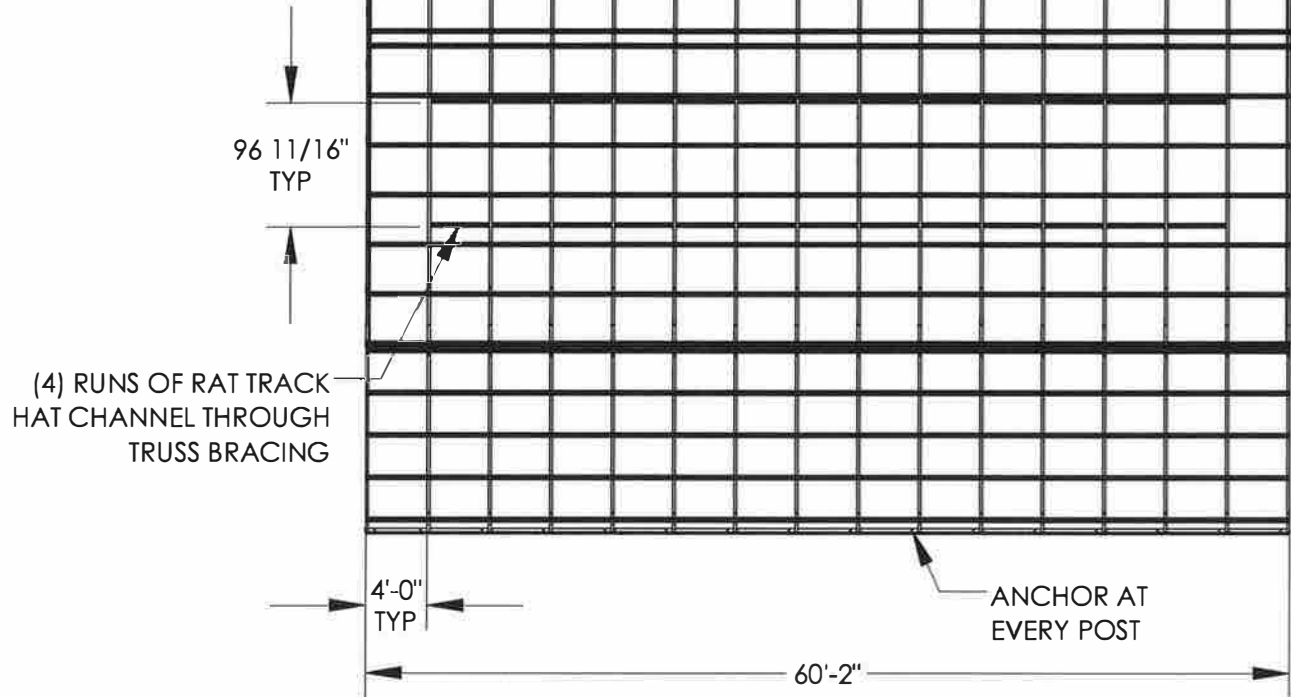
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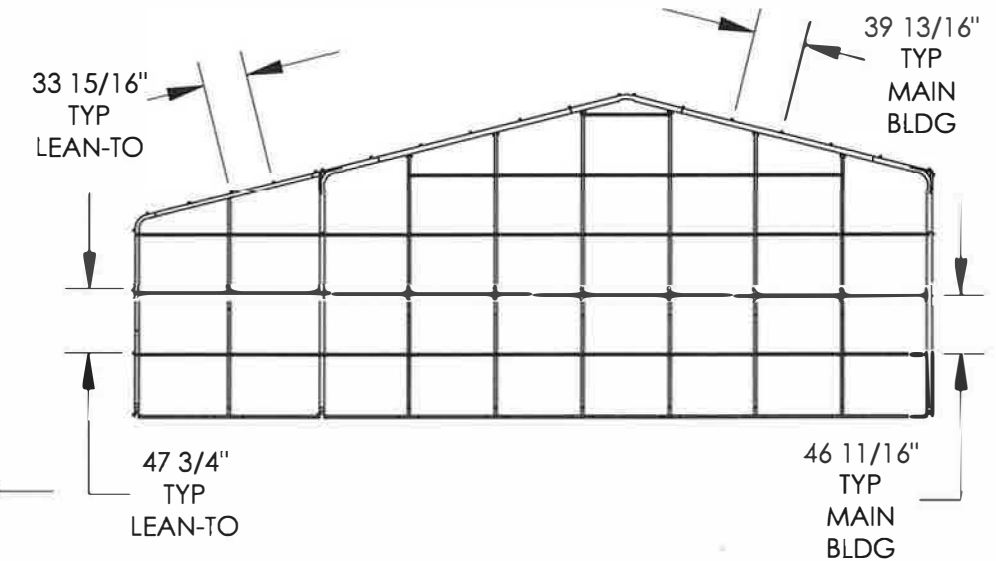
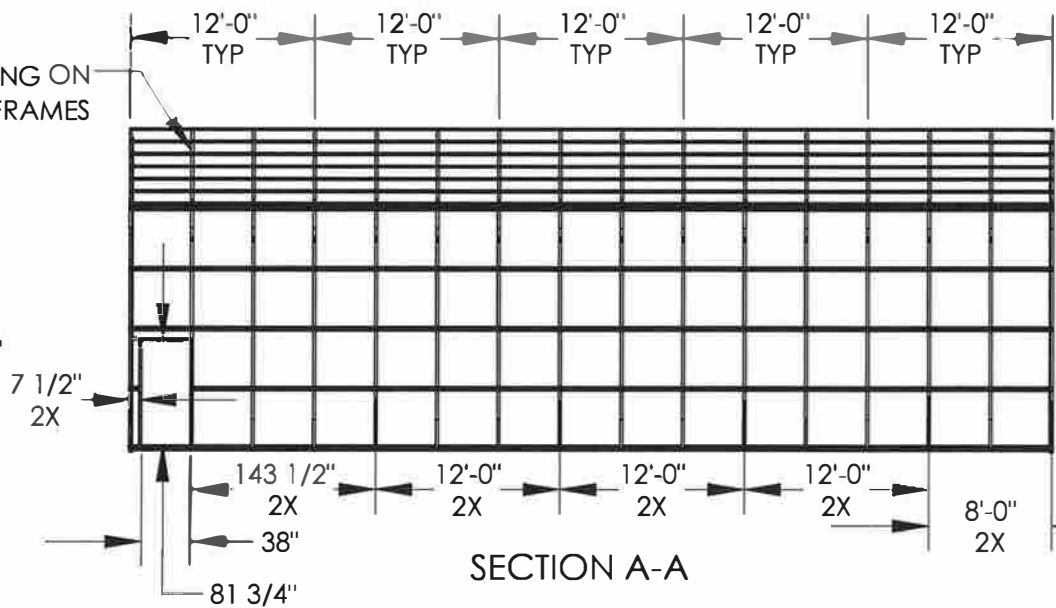
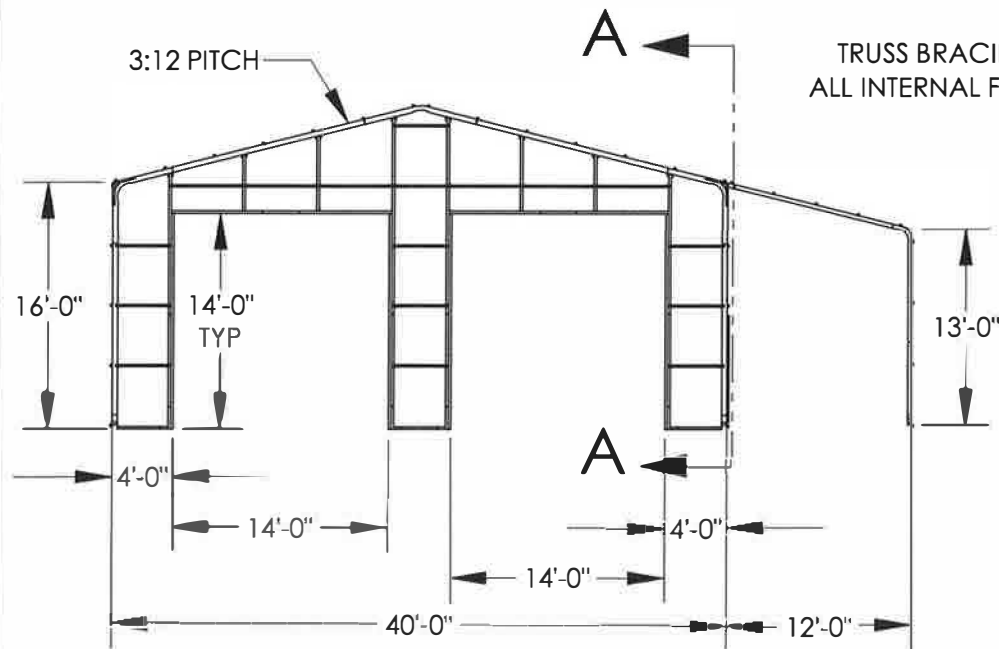
SEAL:



03/17/2023



- WALK DOOR
CONSISTS OF:
- (1) 7000-04575
 - (1) 7000-08175
 - (1) 7500-04200P2
 - (2) 7500-08175P5
 - (3) BK-10
 - (1) BK-20
 - (12) 71-9999-C314



STRUCTURAL DESIGN
T & Z Consulting Services, LLC
1428 N Shevlin Court
Sewickley, PA 15143



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DRAWN BY: E. BARTGES DATE: 3/10/2023

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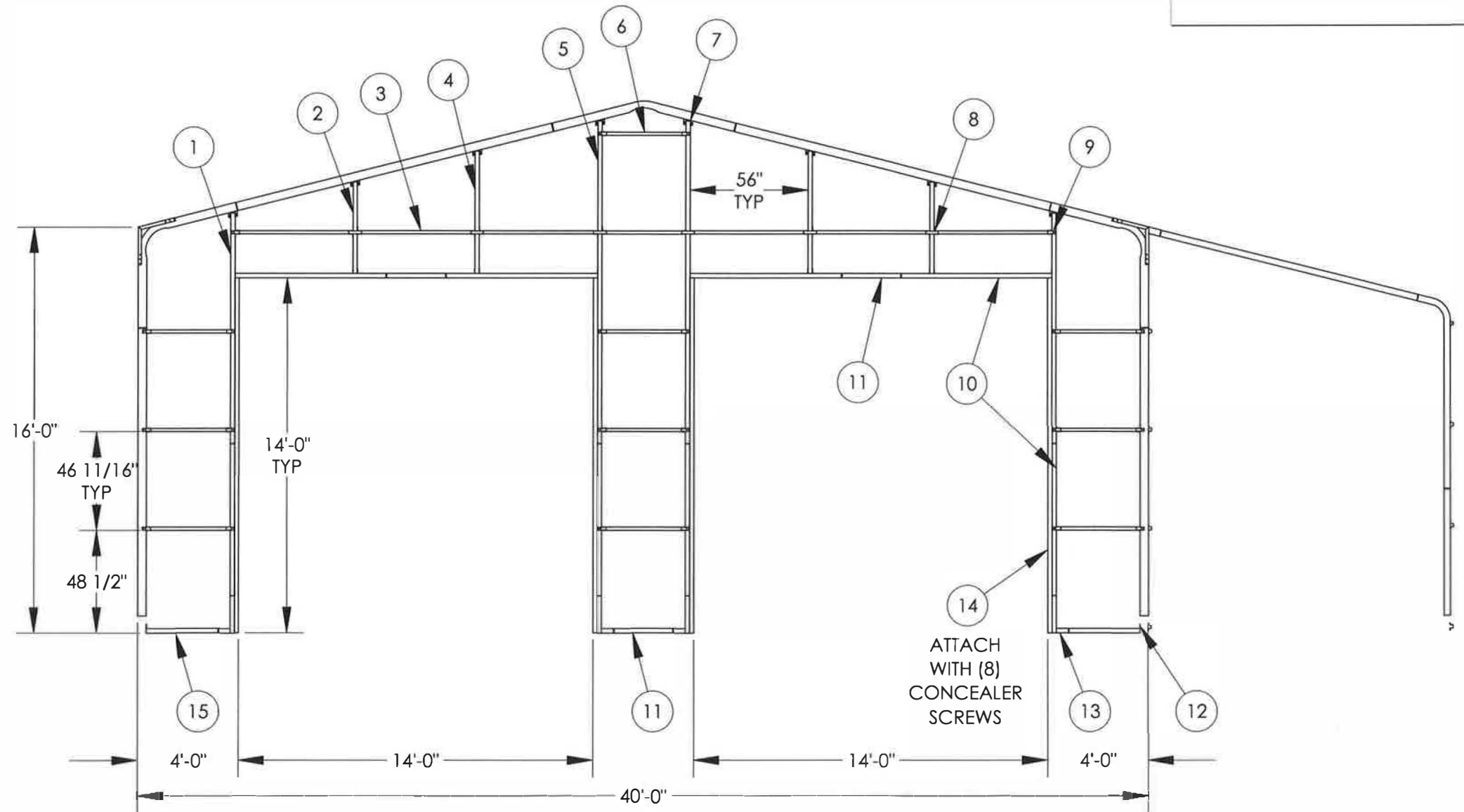
ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	7100-10900	2.000X3.000X109.000	2
2	7100-4325	2.00X3.00X43.25	2
3	7500-05575	1 1/2"X1 1/2"X4'-7 3/4"	6
4	7100-5775	2.00X3.00X57.75	2
5	7100-15250	2.000X3.000X152.500	2
6	7500-03975	1.500X1.500X39.750	11
7	700-BK10	TOP BRACKET	16
8	BK-31	DOUBLE PURLIN BRACKET	6
9	BK-30	SINGLE PURLIN BRACKET	22
10	HE-6	2"X3"X72", 4 3/4" SWAGE	8
11	7100-2800	2.00X3.00X28.00	3
12	BK-10	CORNER BRACKET	14
13	81-DJ-L	L-CONNECTOR	4
14	7100-16800	2.000X3.000X168.000	4
15	7100-3400P625	2.00X3.00X34.00, 5/8" HOLE	2

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STRUCTURAL DESIGN
 T & Z Consulting Services, LLC
 1428 N Shevlin Court
 Sewickley, PA 15143



PROJECT: VERSATUBE SUMMIT BUILDING
 TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
 DWG NO: FEC14016214X14-12LT-5H_1494108
 DRAWN BY: E. BARTGES DATE: 3/10/2023

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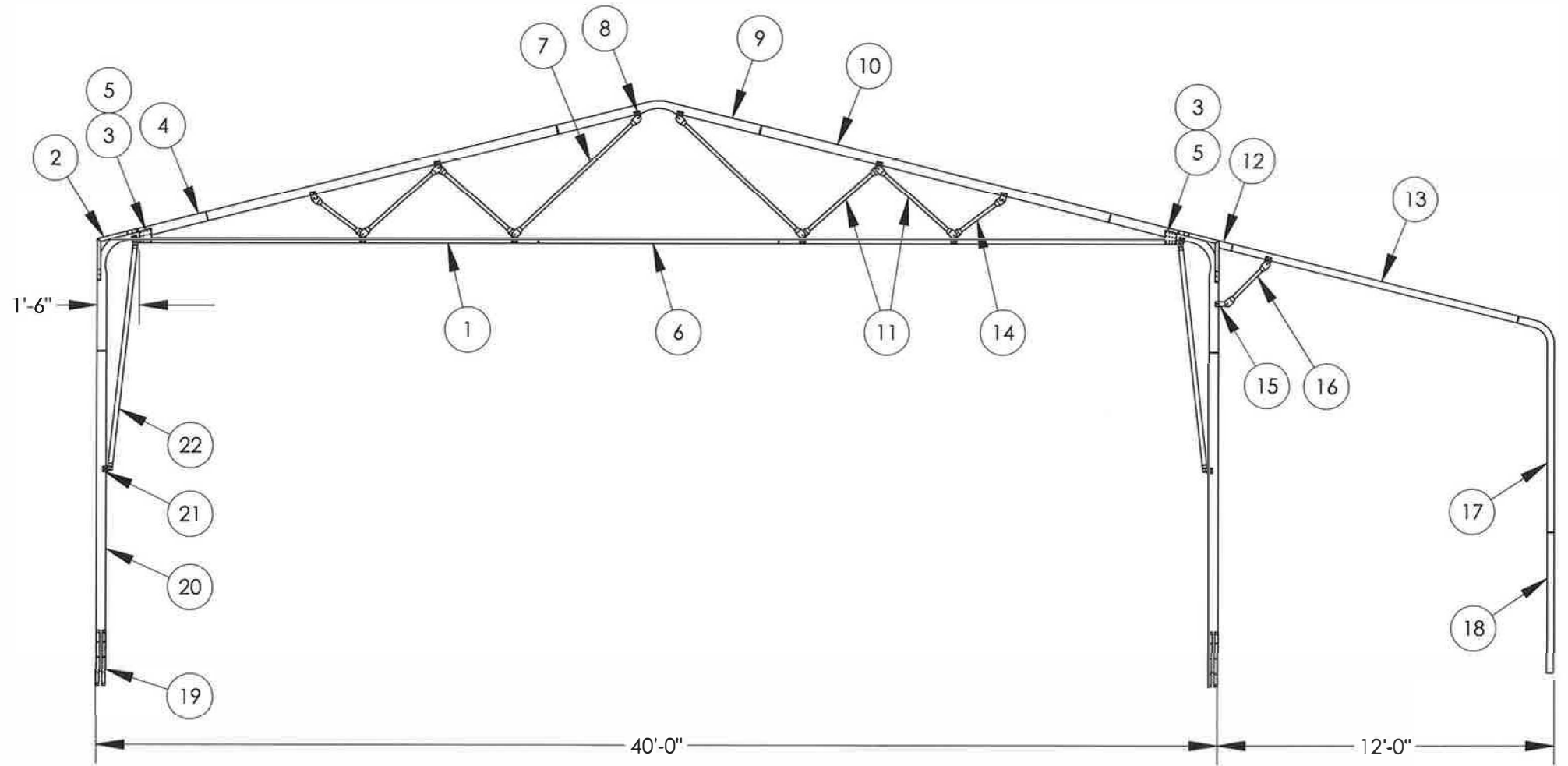
ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	7400-17050	2"X2"X14'-2 1/2"	2
2	700-BK40	CORNER BRACKET	1
3	BK-61	COLLAR TIE BRACKET	2
4	700-5000B	EAVE CORNER	2
5	BK-60	COLLAR TIE BRACKET	2
6	74-1110	2"SQ X 111" CENTER STRINGER	1
7	1.5SQ-WEB-7275	72.75" WEB BRACE	2
8	BK-WEB-1.5SQ	WEB BRACKET	11
9	700-6000B	2"x4" PEAK	1
10	7000-15412	2.00X4.00X154.13	2
11	1.5SQ-WEB-4325	43.25" WEB BRACE	4
12	700-BK55-2X3	2X4 TO 2X3 LEAN-TO BRACKET	1
13	71-8500A	LEAN TO RAFTER FOR 12' WIDE 3:12 PITCH	1
14	1.5SQ-WEB-2587	25.87" WEB BRACE	2
15	BK-65VT-2.625	WEB BRACKET	1
16	1.5SQ-WEB-2400	24" WEB BRACE	1
17	71-5008	8' SIDE POST	1
18	HE-5	2"X3"X60.000, EXTENSION	1
19	BK-BPR-24	BASE REINFORCEMENT BRACKET	4
20	7000-13612	2"X4"X11'-4 1/8"	2
21	BK-WEB-2SQ-B	WEB BRACKET	4
22	76-9675-2	2"SQx96.75" WEB BRACE	2

TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO

SEAL:



03/17/2023



STRUCTURAL DESIGN T & Z Consulting Services, LLC 1428 N Shevlin Court Sewickley, PA 15143		PROJECT: VERSATUBE SUMMIT BUILDING
		TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
DWG NO: 40X16 RWS TB8 2SQ KB FOR BR BK-BPR-24 RH 12.T 2		DRAWN BY: E. BARTGES
DATE: 3/10/2023		PAGE 4 OF 12

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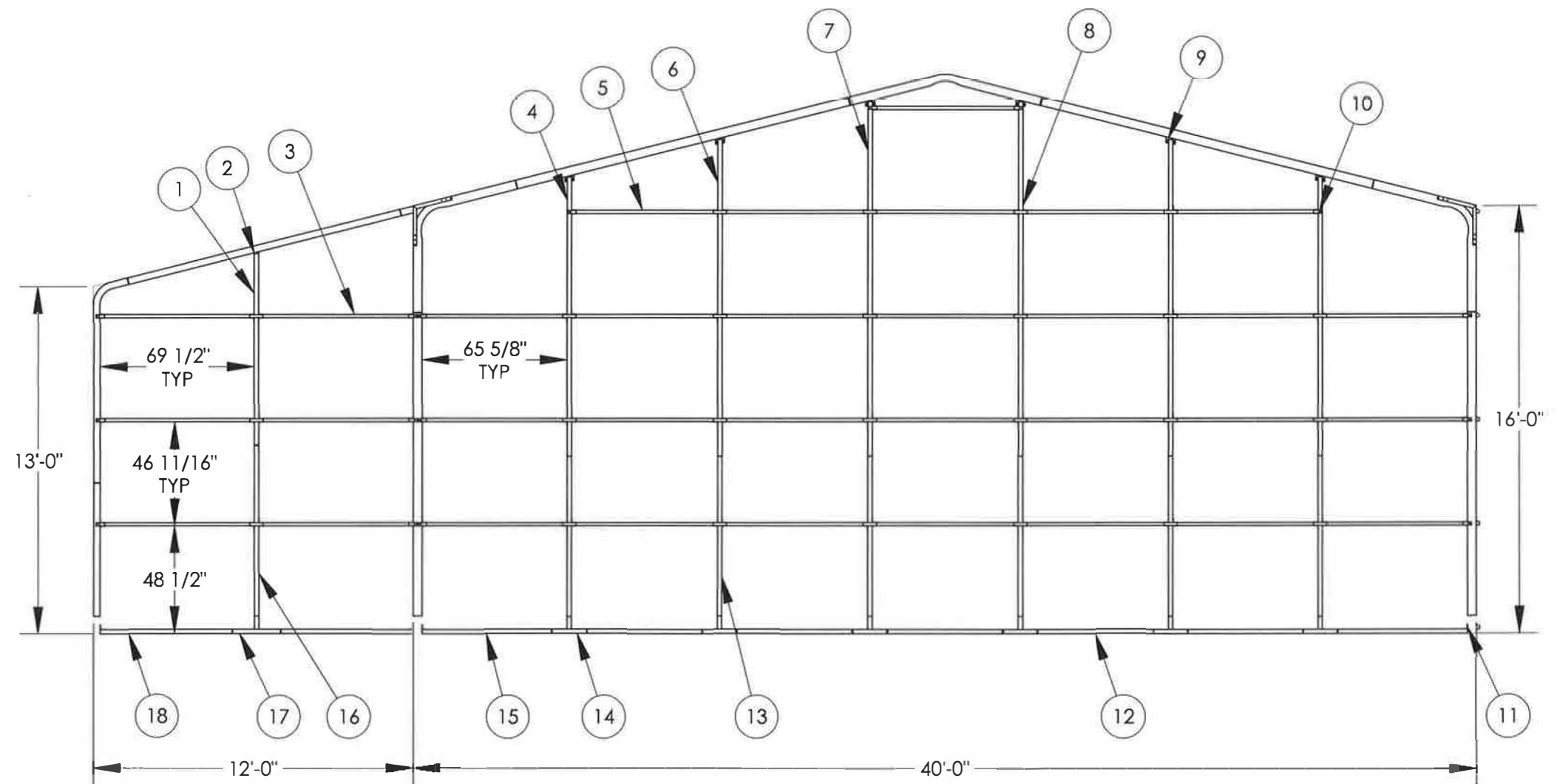
ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	7400-8587	2"X2"X85 1/4"	1
2	BK-20	FLAT BRACKET	1
3	7500-06925	1.50X1.50X69.25	6
4	7100-12512	2"X3" X 125 1/8"	2
5	7500-06537	1.5"SQ X 65 3/8"	27
6	7100-14200	2"X3" X 142"	2
7	7100-15900	2.000X3.000X159.000	2
8	BK-31	DOUBLE PURLIN BRACKET	25
9	700-BK10	TOP BRACKET	12
10	BK-30	SINGLE PURLIN BRACKET	16
11	BK-10	CORNER BRACKET	4
12	7100-5187	2.00X3.00X51.88	5
13	HE-6	2"X3"X72", 4 3/4" SWAGE	6
14	81-SR-T	T-CONNECTOR	6
15	7100-5875P625	2.000X3.000X58.750, 5/8" HOLE	2
16	74-8175	2"sq X 81 3/4", SWAGED	1
17	71-BE-T	T CONNECTOR	1
18	7400-5950	2.00X2.00X59.50	2

TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO

SEAL:



03/17/2023



STRUCTURAL DESIGN T & Z Consulting Services, LLC 1428 N Shevlin Court Sewickley, PA 15143		PROJECT: VERSATUBE SUMMIT BUILDING
		TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
		DWG NO: BEC14016-12LT-6V-5H_1478880
		DRAWN BY: E. BARTGES
		DATE: 3/10/2023
		PAGE 5 OF 12

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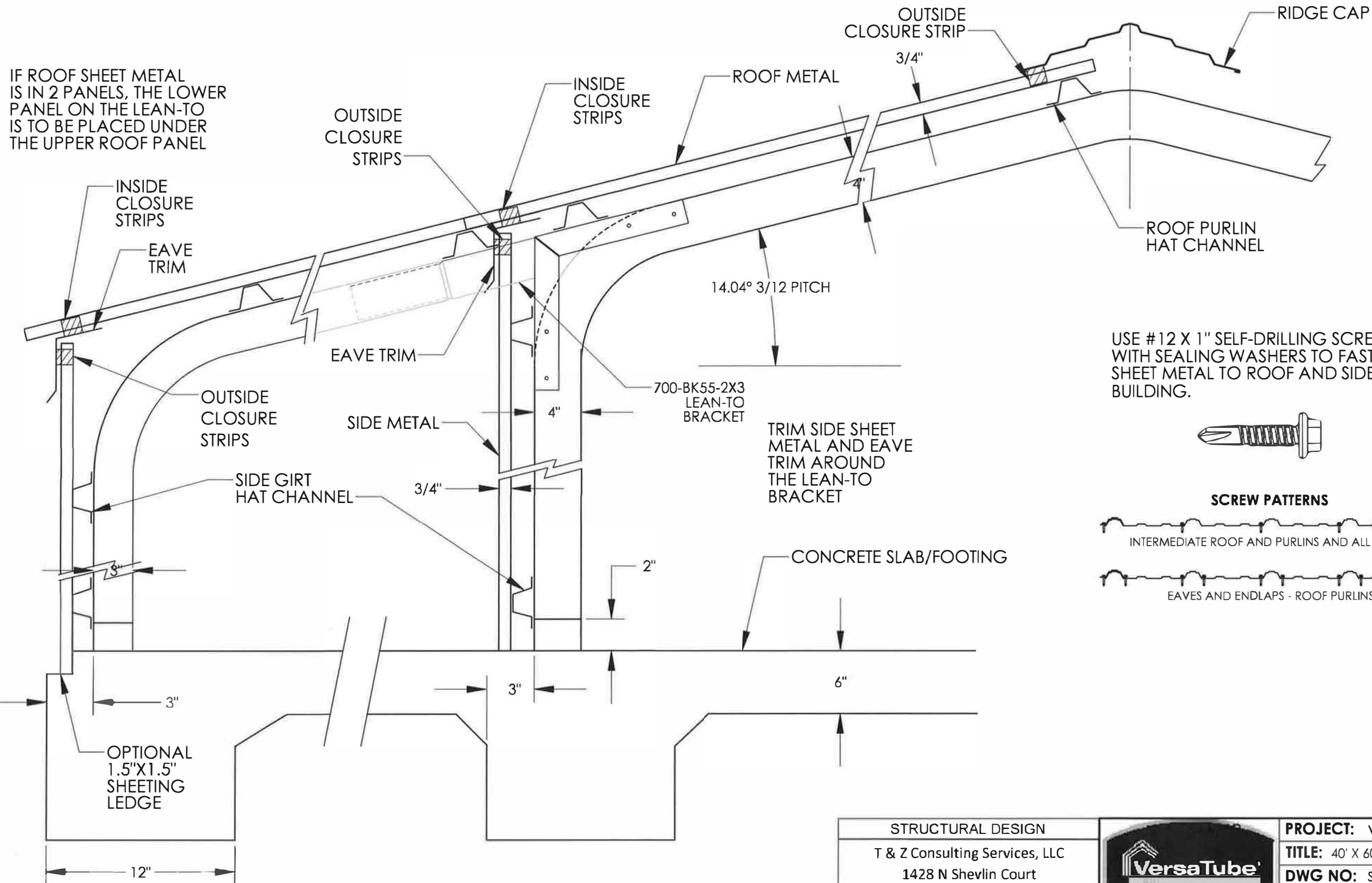
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7475 BALDWIN WAY
SPARKS, NV 89436
40' X 60'-2" X 16' W/ 12' LEAN-TO

SEAL:

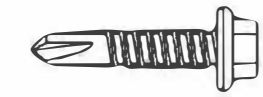


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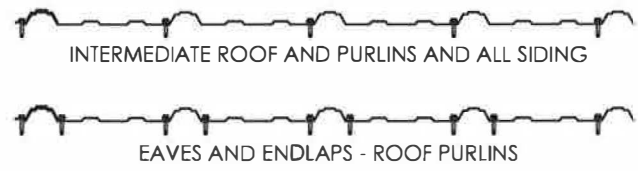


IF ROOF SHEET METAL IS IN 2 PANELS, THE LOWER PANEL ON THE LEAN-TO IS TO BE PLACED UNDER THE UPPER ROOF PANEL

USE #12 X 1" SELF-DRILLING SCREWS WITH SEALING WASHERS TO FASTEN SHEET METAL TO ROOF AND SIDES OF BUILDING.



SCREW PATTERNS



STRUCTURAL DESIGN
T & Z Consulting Services, LLC
1428 N Shevlin Court
Sewickley, PA 15143



PROJECT: VERSATUBE SUMMIT BUILDING
TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
DWG NO: SHEET METAL DETAIL
DRAWN BY: E. BARTGES DATE: 3/10/2023

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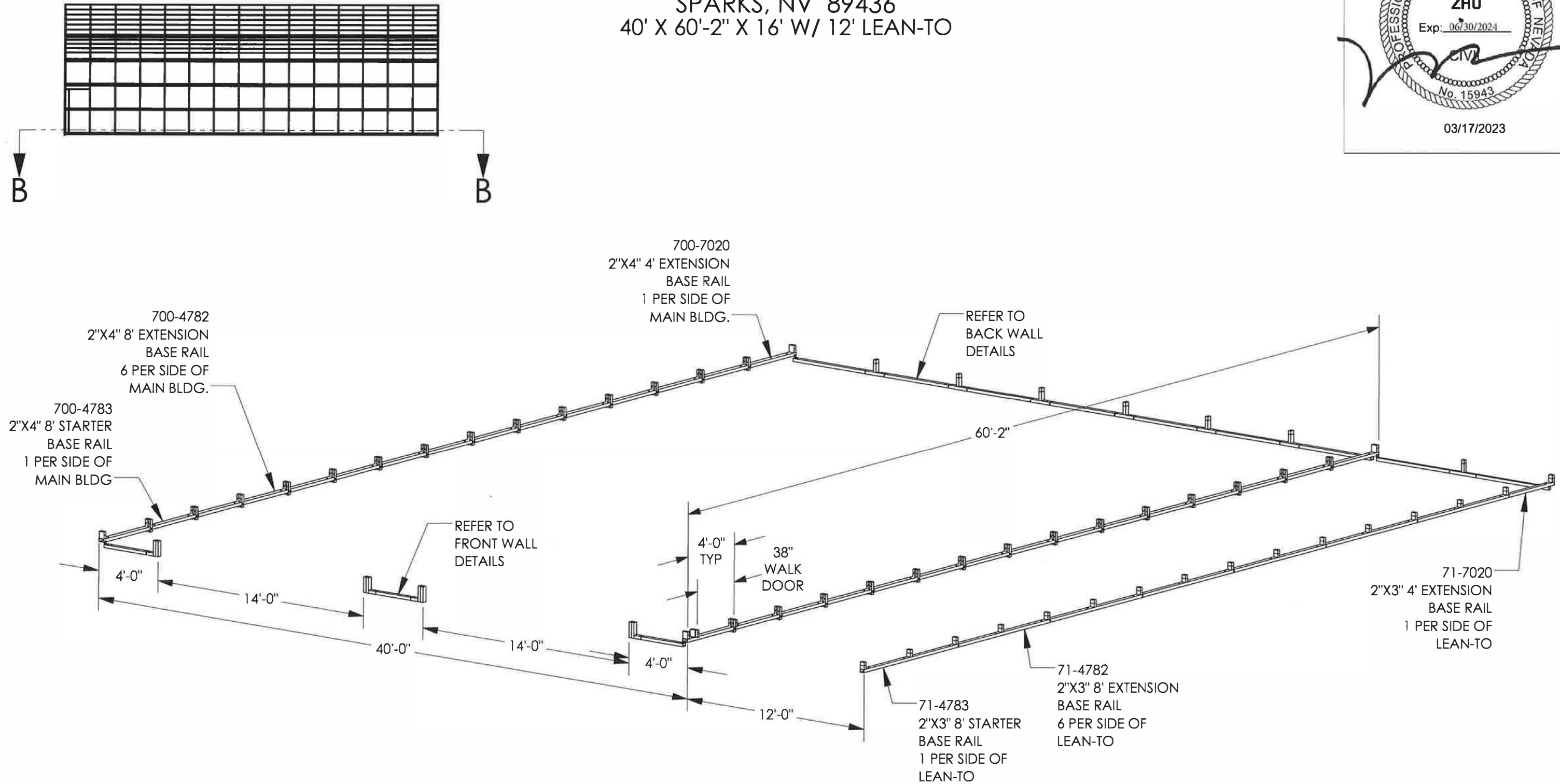
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TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO

SEAL:



03/17/2023



STRUCTURAL DESIGN T & Z Consulting Services, LLC 1428 N Shevlin Court Sewickley, PA 15143		PROJECT: VERSATUBE SUMMIT BUILDING
		TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
		DWG NO: VBC8406016042GD1WD-3E12LT_1494108REV
		DRAWN BY: E. BARTGES DATE: 3/10/2023

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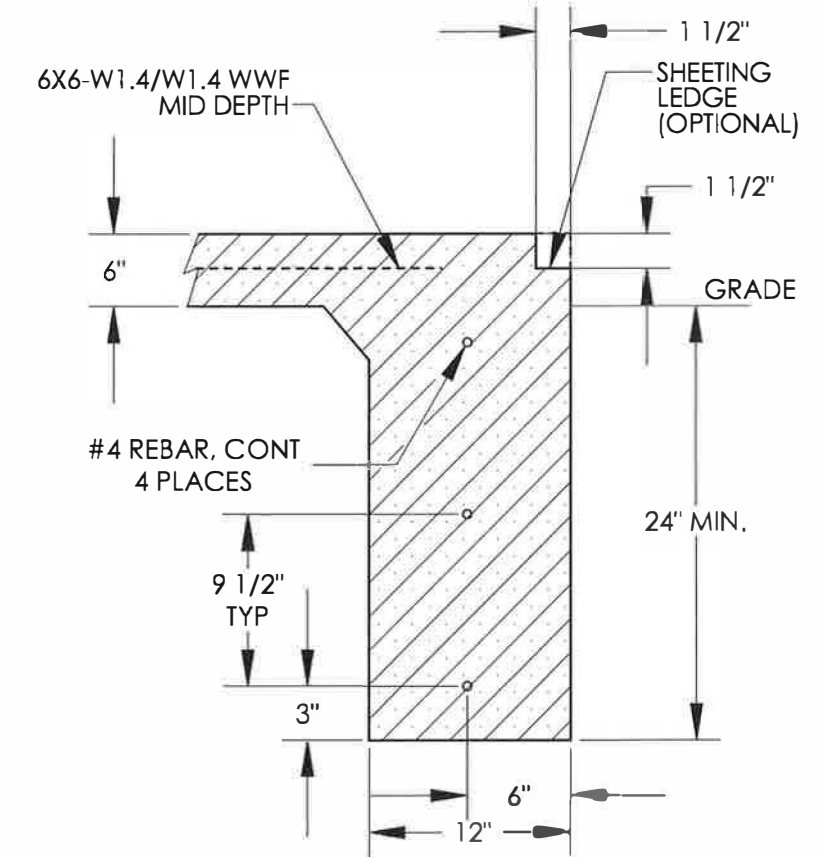
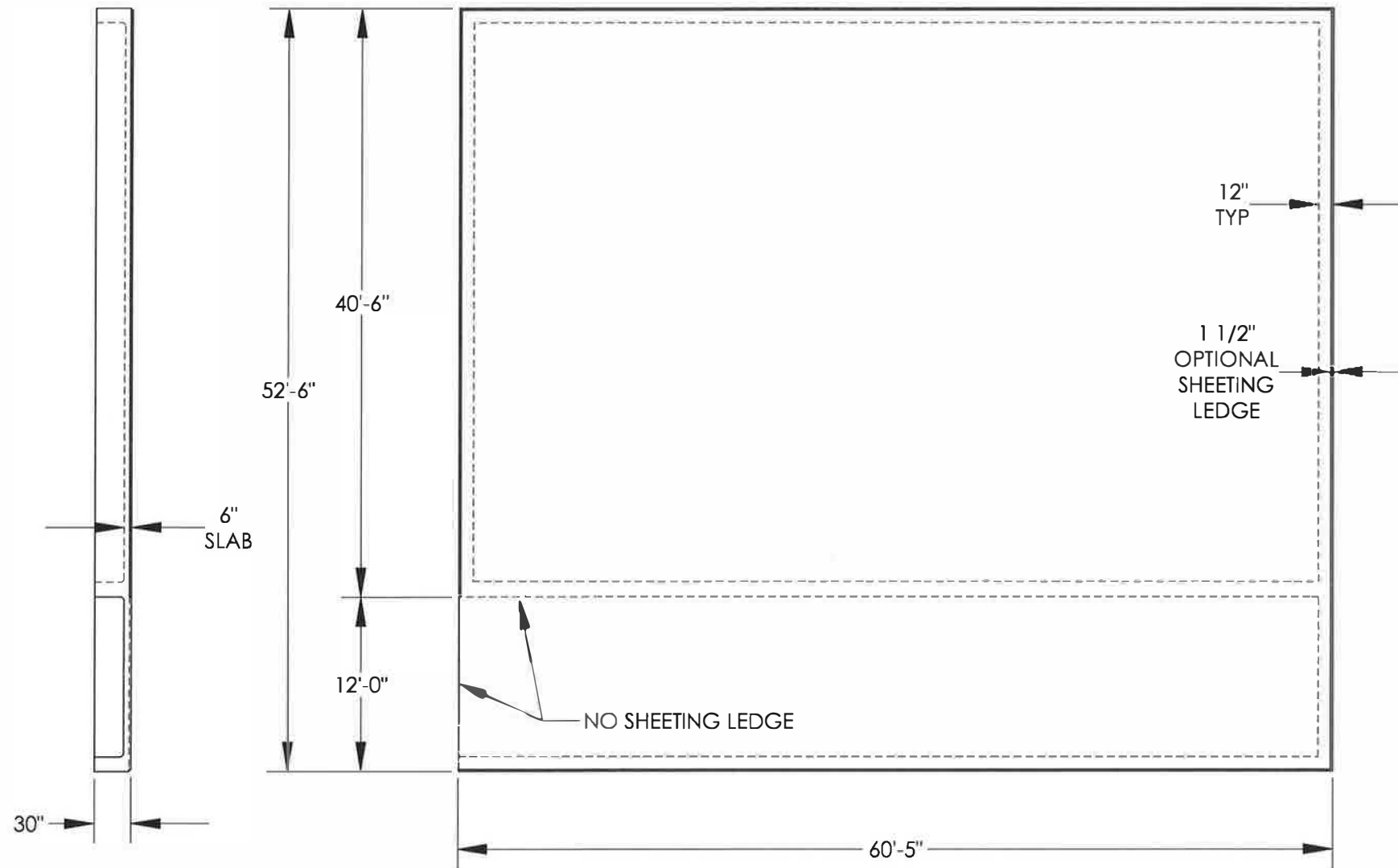
STRUCTURAL DESIGN

T & Z Consulting Services, LLC
1428 N Shevlin Court
Sewickley, PA 15143

SEAL:



03/17/2023



GENERAL NOTES:

1. MAXIMUM ALLOWABLE SOIL BEARING PRESSURE IS AS FOLLOWS: 1500 PSF MINIMUM. OWNER TO VERIFY THAT SOIL IS STABLE AND COMPACTED TO A MINIMUM OF 90% RELATIVE OPTIMUM VALUE.
2. MAXIMUM SIZE AGGREGATE SHALL BE AS FOLLOWS: 1" DIA.
3. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS: 2500 PSI
4. PLACE REINFORCEMENTS AT MID THICKNESS FOR SLABS ON THE GROUND.
5. ALL SPLICES IN CONTINUOUS REINFORCEMENT OR REINFORCING AS USED IN WALLS, FOOTINGS ,ETC. SHALL HAVE A MINIMUM LAP OF 40 DIAMETERS. SPLICES IN ADJACENT BARS SHALL NOT BE LESS THAN 4'-0" APART. VERTICAL WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. BARS MAY BE WIRED TOGETHER AT SPLICES OR LAPS EXCEPT FOR TOP REINF. OF BEAM AND SLABS, OR WHERE SPECIFICALLY DETAILED TO BE SEPARATED.
6. CONCRETE SHALL NOT BE DROPPED THROUGH REINF. STEEL AS IN WALLS SO AS TO CAUSE SEGREGATION OF AGGREGATES. IN SUCH CASE, HOPPERS AND VERTICAL CHUTES OR TRUNKS SHALL BE USED. CHUTES OR TRUNKS SHALL BE OF VARIABLE LENGTHS SO THAT FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED FIVE (5) FEET AND SUFFICIENT NUMBER SHALL BE USED TO INSURE THE CONCRETE BEING LEVEL AT ALL TIMES.

TYLER YOHEY
7475 BALDWIN WAY
SPARKS, NV 89436
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PROJECT: VERSATUBE SUMMIT BUILDING

TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT

DWG NO: FOUNDATION DETAIL

DRAWN BY: E. BARTGES

DATE: 3/10/2023

PAGE 8 OF 12

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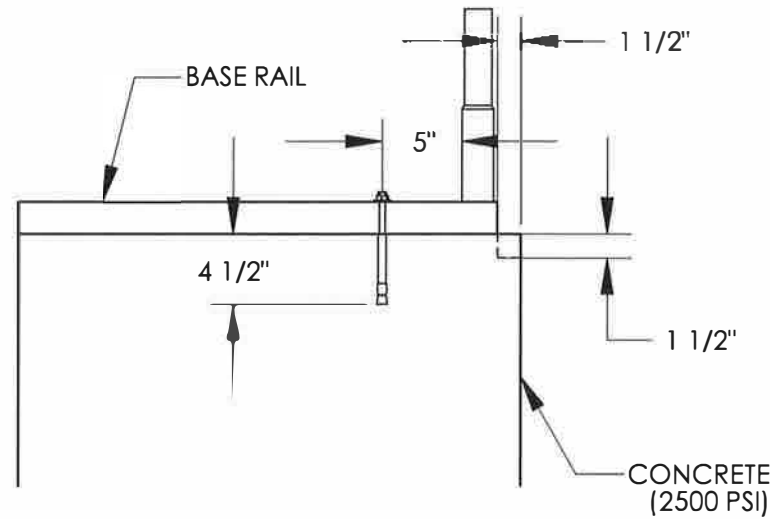
TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO

STRUCTURAL DESIGN
 T & Z Consulting Services, LLC
 1428 N Shevlin Court
 Sewickley, PA 15143

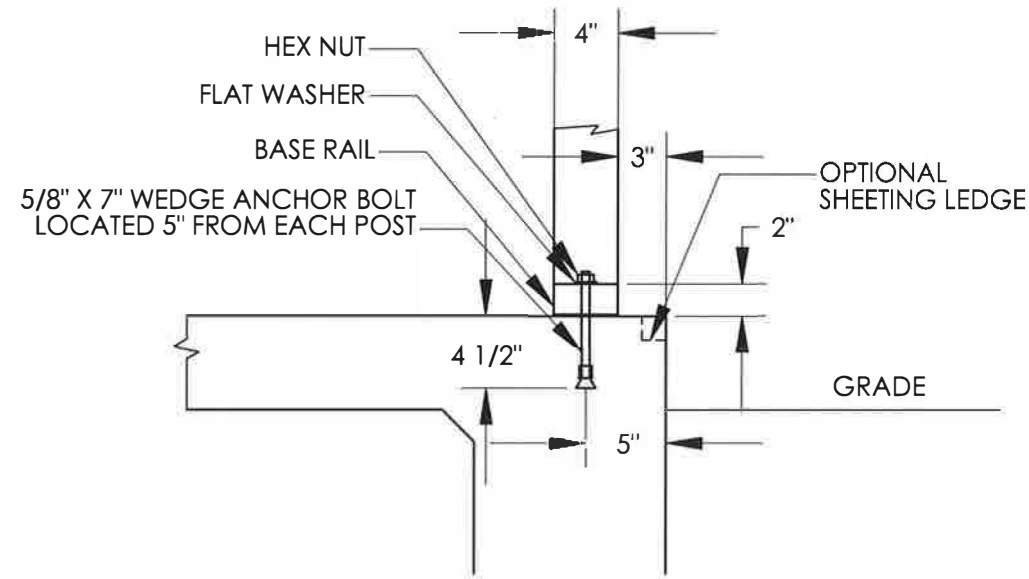
SEAL:

03/17/2023

ANCHOR HOLD DOWN FORCE 3,285
 (POWERS FASTENERS, INC.) **ESR-2818**



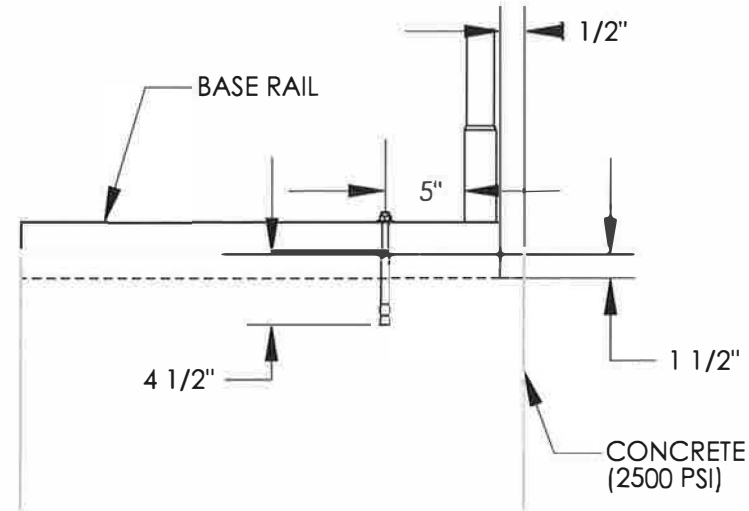
SIDE VIEW



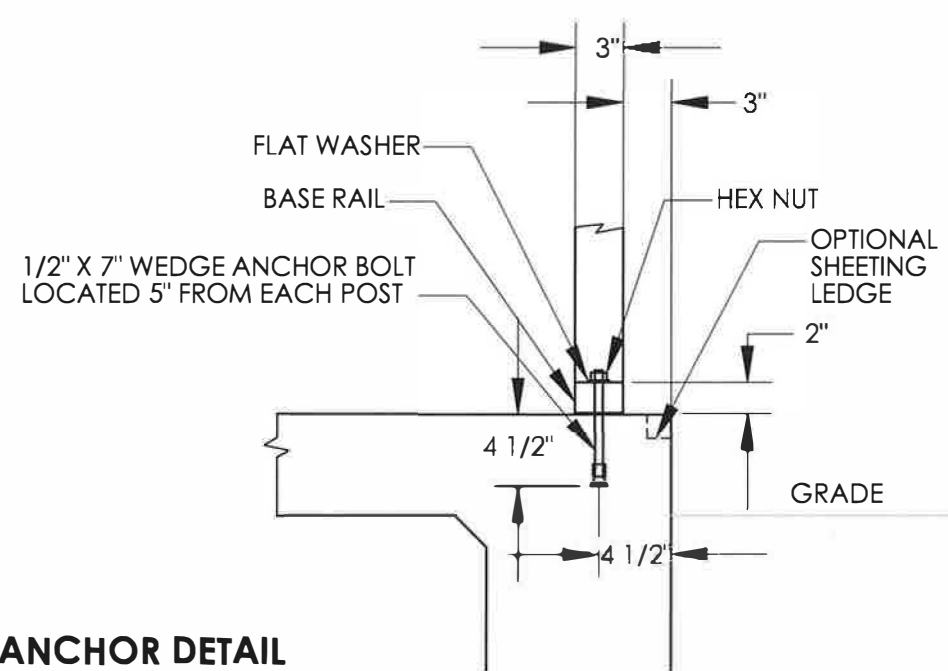
ANCHOR DETAIL
 FOR MAIN STRUCTURE

INSTALLATION: USING HAMMER DRILL AND A 5/8" CONCRETE DRILL BIT, DRILL A HOLE INTO THE CONCRETE 5" TO 5 1/2" DEEP. REMOVE DEBRIS FROM HOLES. PLACE THE FLAT WASHER ON THE BOLT AND INSTALL THE NUT UNTIL ABOUT 2 THREADS ARE EXPOSED ABOVE THE NUT. TAP THE ANCHOR THROUGH THE BASE RAIL INTO THE HOLE UNTIL THE WASHER TOUCHES THE TOP OF THE BASE RAIL. NOW, TIGHTEN THE NUT TO SET THE ANCHOR. DO NOT OVER TIGHTEN AND CRUSH THE TUBE.

ANCHOR HOLD DOWN FORCE 2,425
 (POWERS FASTENERS, INC.) **ESR-2818**



SIDE VIEW



ANCHOR DETAIL
 FOR LEAN-TO

END VIEW

INSTALLATION: USING HAMMER DRILL AND A 1/2" CONCRETE DRILL BIT, DRILL A HOLE INTO THE CONCRETE 5" TO 5 1/2" DEEP. REMOVE DEBRIS FROM ALL HOLES. PLACE THE FLAT WASHER ON THE BOLT AND INSTALL THE NUT UNTIL ABOUT 2 THREADS ARE EXPOSED ABOVE THE NUT. TAP THE ANCHOR THROUGH THE BASE RAIL INTO THE HOLE UNTIL THE WASHER TOUCHES THE TOP OF THE BASE RAIL. NOW, TIGHTEN THE NUT TO SET THE ANCHOR. DO NOT OVER TIGHTEN AND CRUSH THE TUBE.



PROJECT:	VERSATUBE SUMMIT BUILDING
TITLE:	40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
DWG NO:	ANCHOR DETAIL
DRAWN BY:	E. BARTGES
DATE:	3/10/2023
PAGE:	9 OF 12

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40' X 60'-2" X 16' W/ 12' LEAN-TO

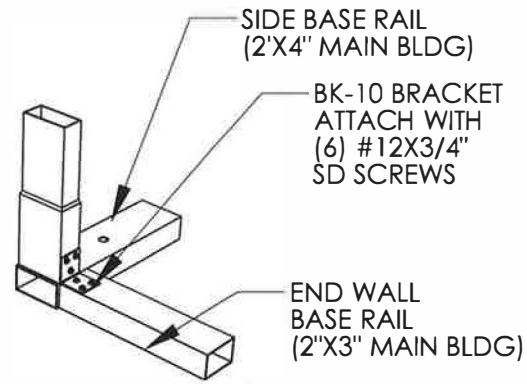
STRUCTURAL DESIGN

T & Z Consulting Services, LLC
1428 N Shevlin Court
Sewickley, PA 15143

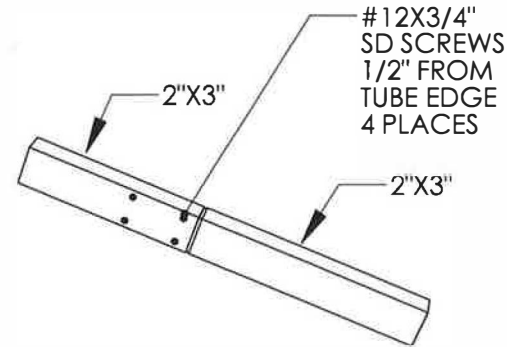
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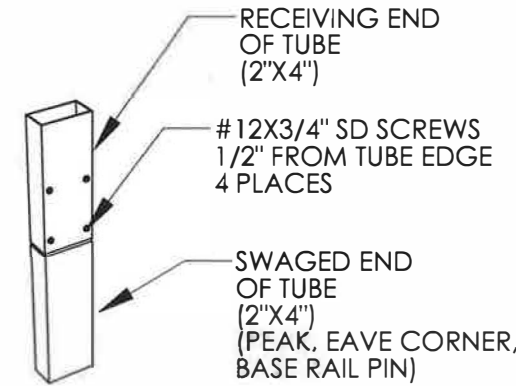
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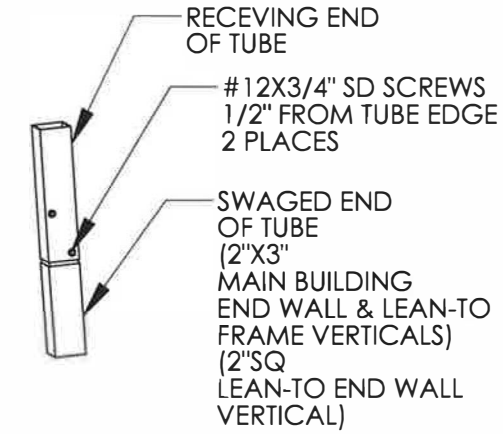
MAIN BLDG END WALL BASE RAIL TO SIDE BASE RAIL PIN



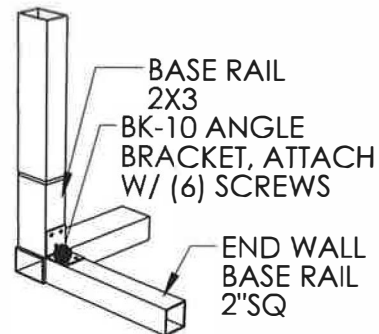
LEAN-TO BRACKET TO RAFTER AND LEAN-TO RAFTER TO SIDE POST CONNECTION



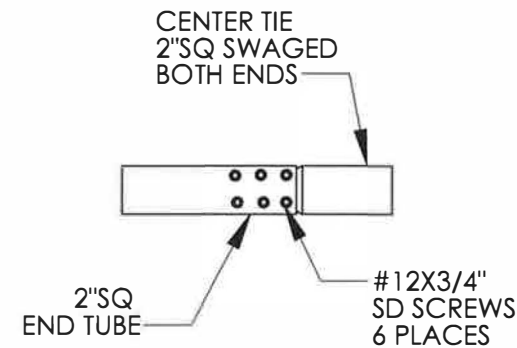
MAIN BUILDING FRAME SWAGE JOINT CONNECTION



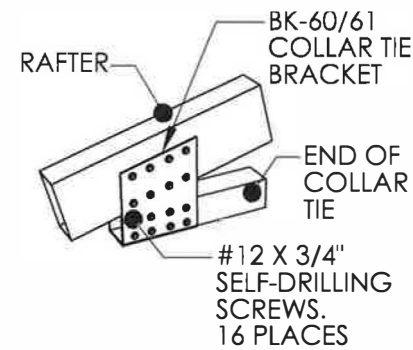
MAIN BUILDING END WALLS AND LEAN-TO FRAME VERTICAL SWAGE JOINT CONNECTIONS



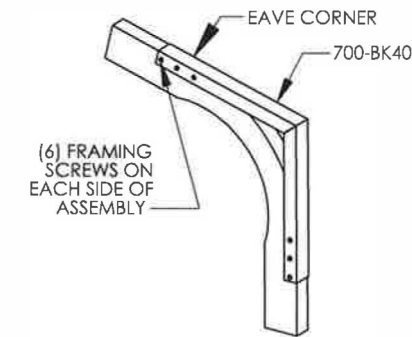
LEAN-TO END WALL BASE RAIL TO EAVE WALL



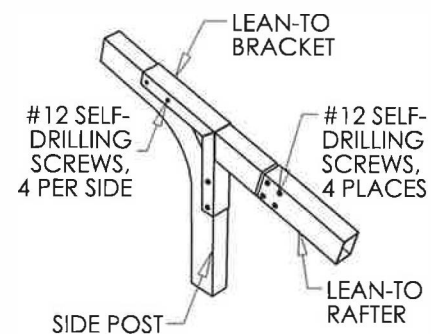
COLLAR TIE CONNECTION DETAIL



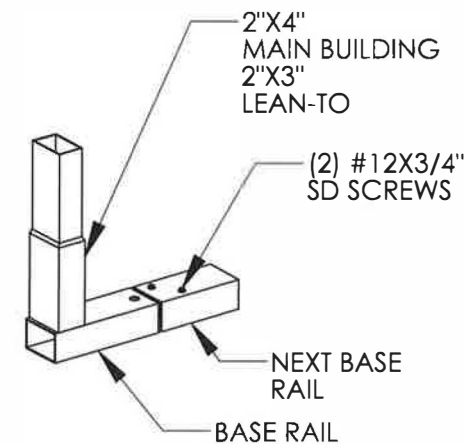
COLLAR TIE BRACKET



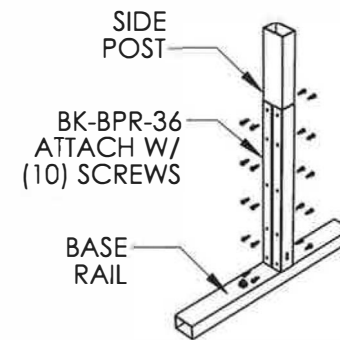
CORNER BRACKET TO EAVE CORNER



LEAN-TO BRACKET



BASE RAIL CONNECTION



BK-BPR-36 TO SIDE POST



PROJECT: VERSATUBE SUMMIT BUILDING

TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT

DWG NO: DETAIL CONNECTIONS

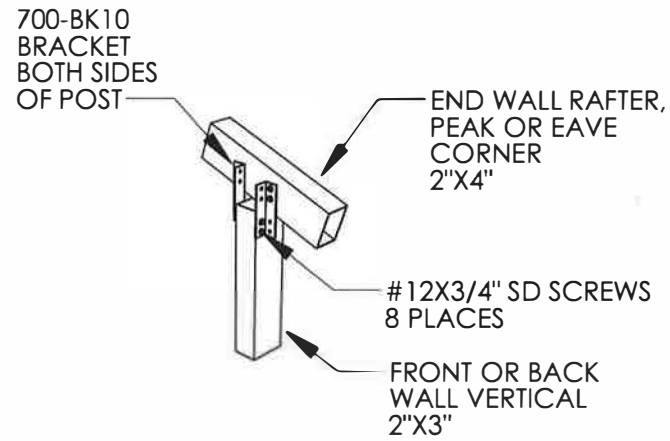
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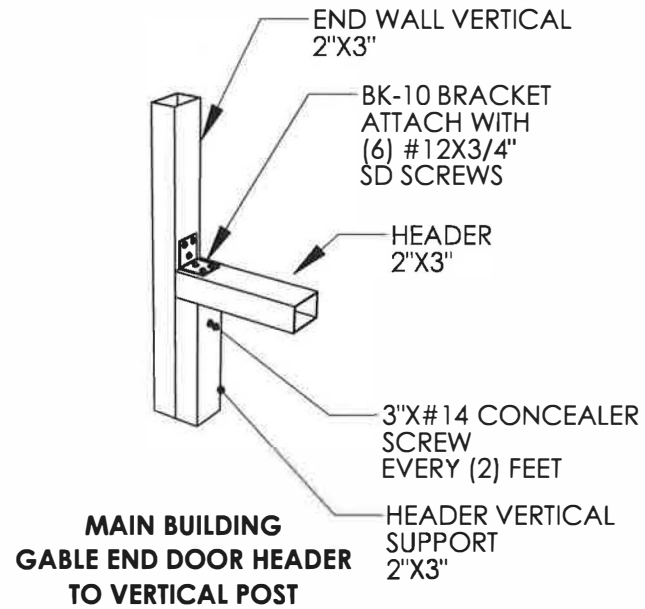
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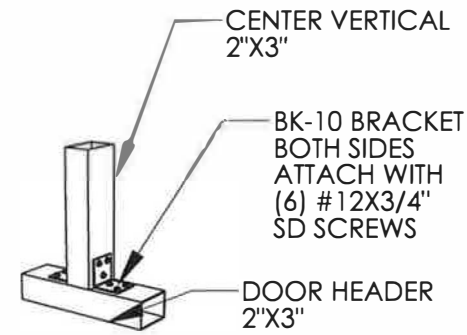
TYLER YOHEY
 7475 BALDWIN WAY
 SPARKS, NV 89436
 40' X 60'-2" X 16' W/ 12' LEAN-TO



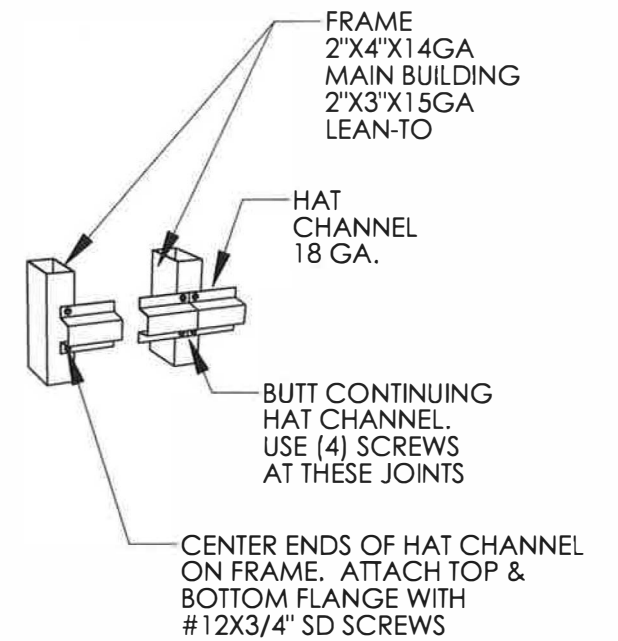
MAIN BUILDING GABLE END VERTICAL TO RAFTER, PEAK OR EAVE CORNER



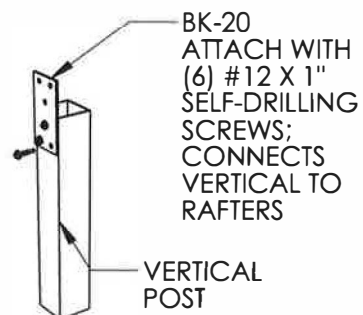
MAIN BUILDING GABLE END DOOR HEADER TO VERTICAL POST



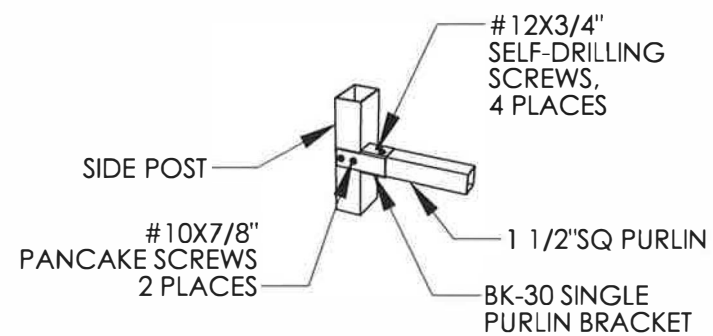
MAIN BUILDING GABLE END DOOR HEADER CENTER VERTICAL DETAIL



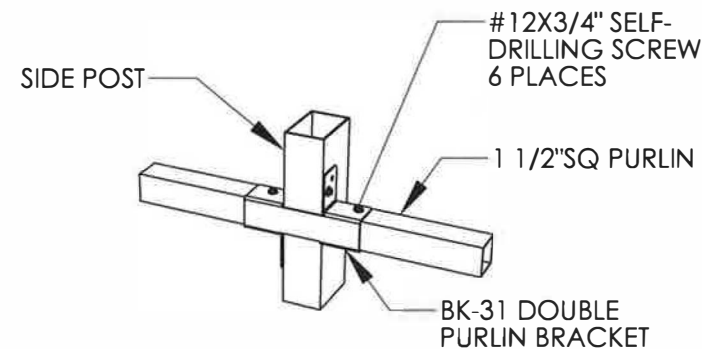
HAT CHANNEL TO FRAME



FLAT BRACKET TO VERTICAL LEAN-TO END WALL



SINGLE PURLIN BRACKET



DOUBLE PURLIN BRACKET

STRUCTURAL DESIGN		PROJECT: VERSATUBE SUMMIT BUILDING
T & Z Consulting Services, LLC 1428 N Shevlin Court Sewickley, PA 15143		TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT
		DWG NO: DETAILS CONNECTIONS
		DRAWN BY: E. BARTGES
		DATE: 3/10/2023
		PAGE 11 OF 12

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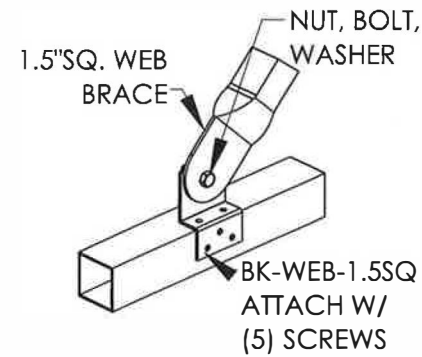
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40' X 60'-2" X 16' W/ 12' LEAN-TO

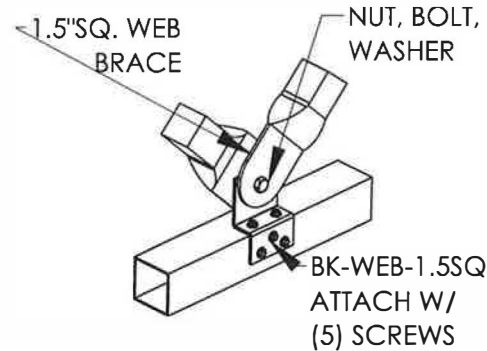
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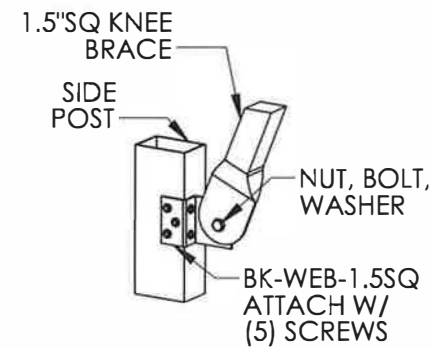
03/17/2023



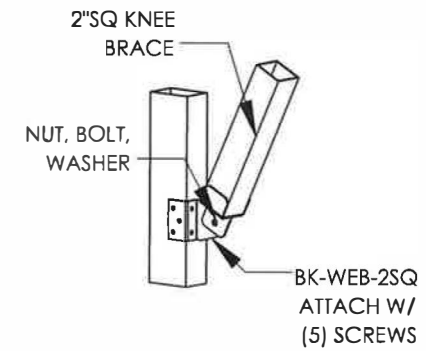
SINGLE WEB BRACE TO BRACKET



DOUBLE WEB BRACES TO BRACKET



KNEE BRACE TO BRACKET



2" SQ KNEE BRACE TO BRACKET

STRUCTURAL DESIGN

T & Z Consulting Services, LLC
1428 N Shevlin Court
Sewickley, PA 15143



PROJECT: VERSATUBE SUMMIT BUILDING

TITLE: 40' X 60'-2" X 16' W/ 12' LEAN-TO SUMMIT

DWG NO: DETAIL CONNECTIONS

DRAWN BY: E. BARTGES

DATE: 3/10/2023

PAGE 12 OF 12

CONSENTS TO SHOP AT

7475 BALDWIN WAY:

Arno OPPS 7469

Mark McLean 7470

11/24/14 7475

Ray Theobald 7434

7430

Lisa Gandy 7470

7450

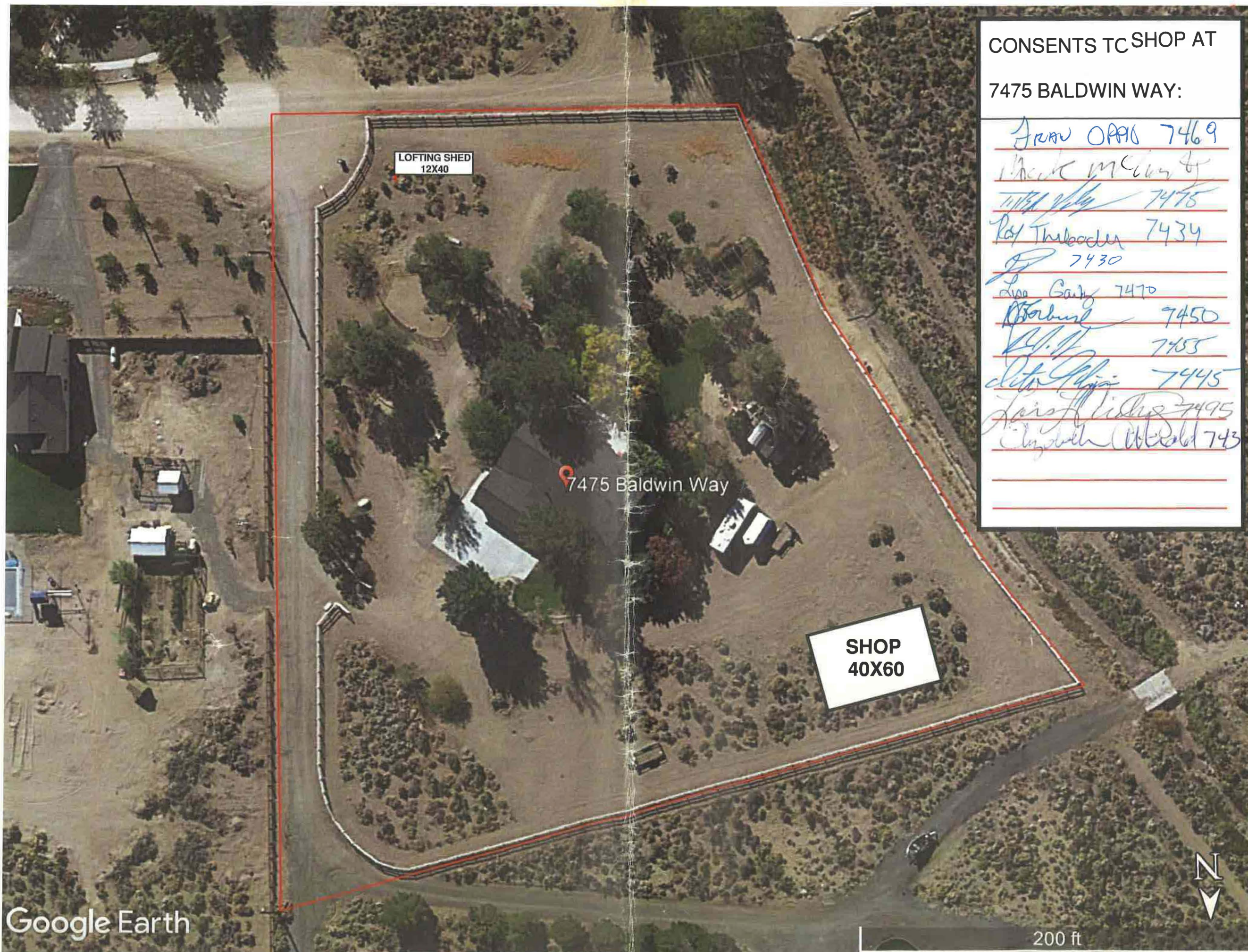
7455

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Google Earth

200 ft