

Community Services Department
Planning and Building
**EXTENSION OF SUBDIVISION
EXPIRATION DATE
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Extension of Subdivision Expiration Date for Approved Applications

Development Application Submittal Requirements

If you are submitting your application online, you may do so at [OneNV.us](https://www.onenv.us)

1. **Fees:** See Master Fee Schedule. **Most payments can be made directly through the OneNV.us portal.** If you would like to pay by check, please make the check payable to Washoe County and bring your application and payment to the Community Services Department (CSD).
2. **Development Application:** A completed Washoe County Development Application form.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Letter:** A letter shall accompany the application that delineates the circumstances that have prevented the initiation or completion of the project within the approved timeframe.
6. **Submission Packets:** One (1) packet and a flash drive. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

Notes:

- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
- (ii) All oversized maps and plans must be folded to a 9" x 12" size.
- (iii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies that clarify the potential impacts and potential conditions of development in order to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
- (iv) **Labels:** If the assigned planner determines the abandonment will affect the access to a mobile home park, the applicant will be required to submit a list of mailing addresses for every tenant residing in the mobile home park.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Woodland Village Town Center			
Project Description: 42 Unit Multi Family Residential Townhomes			
Project Address: 18705 Village Center Dr. Reno, NV 89508			
Project Area (acres or square feet): 9.8 AC			
Project Location (with point of reference to major cross streets AND area locator): Cold Springs NV 2.2 Miles NE of US 395			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
556-721-01	1.37	556-390-05	4.23
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WTM20-005, WSUP20-0021, WFNLM21-0008, FM220005			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: WVC Commercial LLC		Name: Summit Engineering	
Address: 4790 Caughlin Parkway #519		Address: 5405 Mae Anne Ave.	
Reno, NV	Zip: 89509	Reno, NV	Zip: 89524
Phone: 775-750-5537	Fax:	Phone: 775-787-4333	Fax:
Email: rlissner@gmail.com		Email: sdelatorre@summitnv.com	
Cell:	Other:	Cell:	Other:
Contact Person: Bob Lissner		Contact Person: Sebastian De La Torre	
Applicant/Developer:		Other Persons to be Contacted:	
Name: WVC Commercial LLC		Name:	
Address: 4790 Caughlin Parkway #519		Address:	
Reno, NV	Zip: 89509		Zip:
Phone: 775-750-5537	Fax:	Phone:	Fax:
Email: rlissner@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Bob Lissner		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



March 5, 2024

Washoe County Community Services Department
1001 E. Ninth St.,
Reno, NV 89512

To whom it may concern,

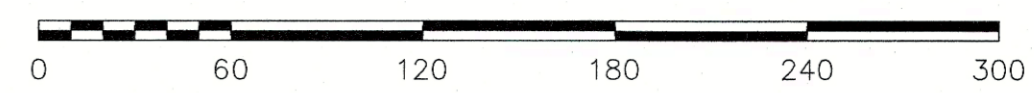
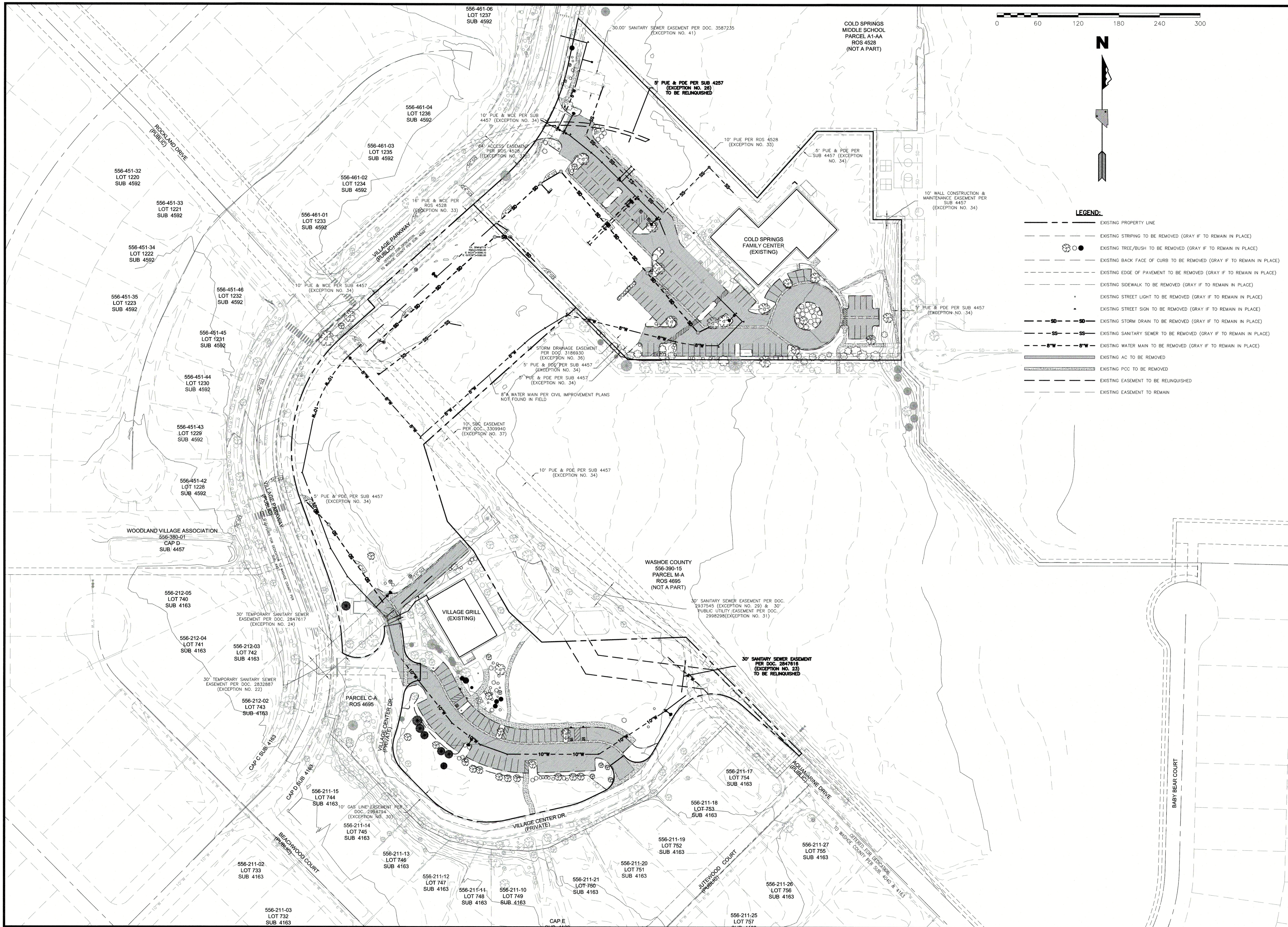
This letter is to provide clarification for submitting a tentative map extension request for the Woodland Village Town Center tentative map (WTM20-005 and WSUP20-0021). The original decision date for the tentative map and SUP was January 5, 2021. A final map for the first phase of this project, consisting of 7 buildings and 42 units has been recorded. Of the 7 buildings, 2 are complete and 2 more are close to completion. About \$8 million has been spent on construction. Due to adverse market conditions the final three buildings have been started, but not finished. Phase 2 will consist of 12 buildings and 70 units. Due to an unfavorable economic climate, the project was not finished within the approved timeframe and a tentative map extension request is required.

Sincerely,

SUMMIT ENGINEERING CORPORATION

A handwritten signature in blue ink, appearing to read "Sebastian De La Torre".

Sebastian De La Torre, P.E.
Project Manager



LEGEND:

- EXISTING PROPERTY LINE
- EXISTING STRIPING TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING TREE/BUSH TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING BACK FACE OF CURB TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING EDGE OF PAVEMENT TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING SIDEWALK TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING STREET LIGHT TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING STREET SIGN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- SD --- EXISTING STORM DRAIN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- SS --- EXISTING SANITARY SEWER TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- W --- EXISTING WATER MAIN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- AC --- EXISTING AC TO BE REMOVED
- PCC --- EXISTING PCC TO BE REMOVED
- EXISTING EASEMENT TO BE RELINQUISHED
- EXISTING EASEMENT TO REMAIN

SUMMIT ENGINEERING CORPORATION
 5405 MAE ANNE AVENUE, RENO, NV. 89523
 PHONE: (775) 747-8550 FAX: (775) 747-8559

REV.	DATE	DESCRIPTION	BY	APP'D

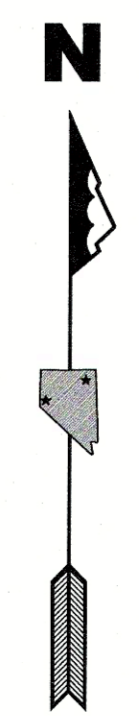
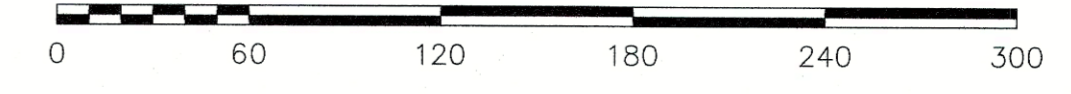
**TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 EXISTING CONDITIONS AND DEMOLITION PLAN**
 WASHOE COUNTY NEVADA
 COLD SPRINGS

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: 1"=60'
 VERT:
 JOB NO: 31069

PROFESSIONAL ENGINEER
 ROBERT GELU
 Exp. 6-30-21
 CIVIL
 11-5-2020

SHEET
EX-1 OF 12

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 WASHOE COUNTY NEVADA
 COLD SPRINGS
 TOWN CENTER
 11-5-2020
 1:43 PM - 04-NOV-2020
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LEGEND:

- EXISTING PROPERTY LINE
- LOT NUMBER
- EXISTING TREE/BUSH (TO REMAIN)
- EXISTING FRONT FACE OF CURB (TO REMAIN)
- EXISTING EDGE OF PAVEMENT (TO REMAIN)
- EXISTING SIDEWALK (TO REMAIN)
- PROPOSED BUILDING
- CENTER LINE
- EXISTING STREET LIGHT (TO REMAIN)
- STREET SIGN (GRAY IF EXISTING)
- STRIPING (GRAY IF EXISTING)
- PROPOSED GRAC
- PROPOSED PCC

PROJECT INFORMATION:

ZONING: NC, PSP
 MASTER PLAN: COLD SPRINGS AREA PLAN
 TOTAL PROPOSED BUILDINGS: 19
 TOTAL PROPOSED UNITS: 111
 TOTAL AREA: 9.80 AC
 GROSS DENSITY: 11.33 DU/AC
 TOTAL BUILDING AREA: 99,550 SF
 COMMON AREA: 7.51 AC

PARKING:

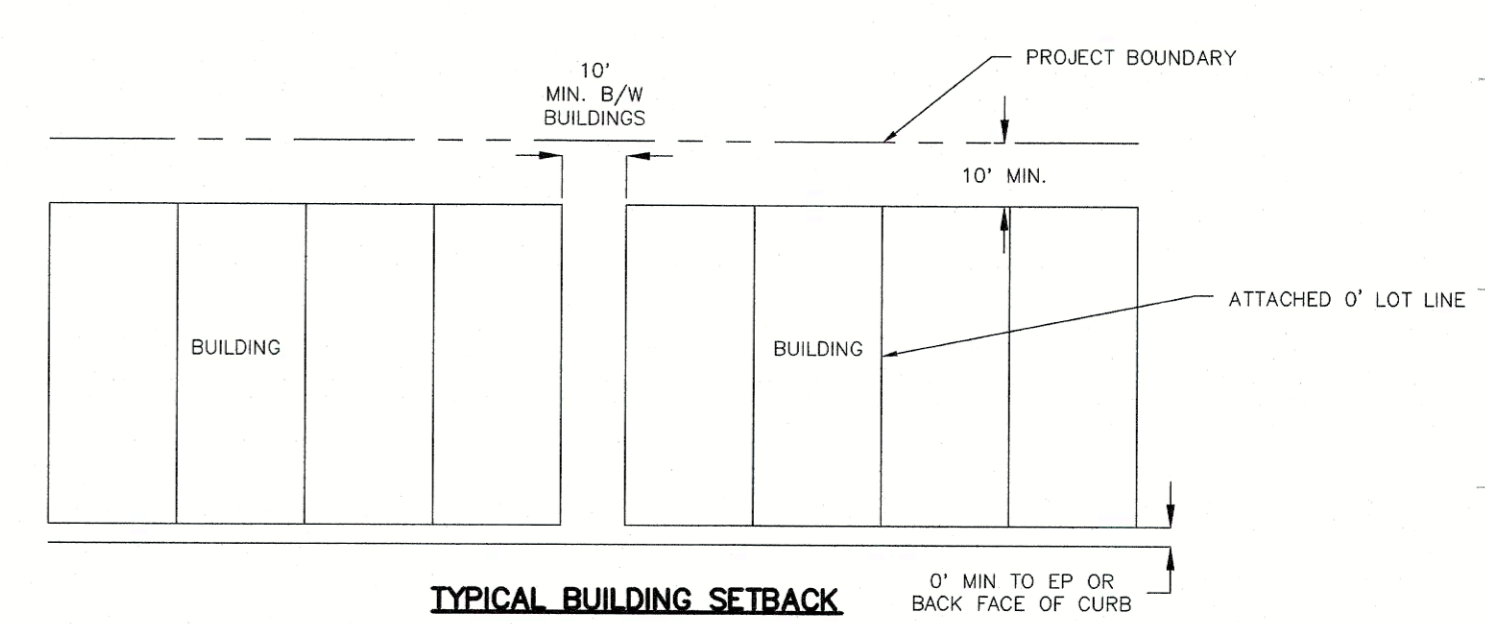
REQUIRED PARKING: 330 SPACES
 RESIDENTIAL: 222 SPACES
 RETAIL/RESTAURANT: 40 SPACES
 COMMUNITY CENTER: 68 SPACES

PARKING PROVIDED: 402 SPACES
 RESIDENTIAL: 294 SPACES (175 GARAGE, 97 DRIVEWAYS, 22 OFF-STREET)
 RETAIL/RESTAURANT: 40 SPACES
 COMMUNITY CENTER: 68 SPACES

Line #/Curve #	Length	Direction/Delta	Radius
C1	91.953	131.7131	40.000
C2	38.547	055.2149	40.000
C3	47.099	067.4649	40.000
C4	50.757	048.4689	60.000
C5	23.035	032.9952	40.000
C6	45.900	026.2988	100.000
C7	50.441	036.1257	80.000
C8	42.617	024.4176	100.000
C9	64.617	092.5567	40.000
C10	31.416	030.0000	60.000
C11	22.979	032.9147	40.000
C12	76.049	108.9324	40.000
C13	76.137	109.0583	40.000
C14	31.328	044.8742	40.000
C15	31.394	041.9681	40.000
C16	115.498	101.2634	65.350
C17	46.657	109.1131	24.500
C18	43.076	100.7385	24.500
C19	26.926	012.6976	121.500
C20	123.469	058.2244	121.500
C21	54.499	063.0816	49.500
C22	62.342	011.7305	304.500
C23	35.723	083.5427	24.500
C24	36.276	084.8350	24.500
C25	37.273	005.5255	386.503

Line #/Curve #	Length	Direction/Delta	Radius
C26	93.161	135.1321	39.500
C27	117.322	018.6052	361.300
C28	262.824	068.1391	221.000
C29	192.423	035.9121	307.000
L1	161.587	N87° 55' 34.90"E	
L2	41.360	N75° 40' 34.90"E	
L3	176.822	S20° 08' 29.94"E	
L4	61.500	N47° 59' 50.65"E	
L5	6.923	N72° 00' 09.35"W	
L6	200.503	N42° 00' 09.35"W	
L7	541.502	N47° 59' 50.65"E	
L8	70.085	N77° 54' 53.00"W	
L9	179.733	N45° 00' 00.00"W	
L10	93.412	N45° 07' 32.93"W	
L11	364.689	N90° 00' 00.00"E	
L12	134.696	N45° 01' 54.81"E	
L13	148.547	N23° 36' 44.40"W	
L14	5.500	S44° 59' 44.77"W	
L15	5.017	N45° 00' 15.23"W	
L16	108.859	N48° 48' 58.28"W	
L17	55.776	S29° 55' 13.32"W	
L18	25.000	S53° 38' 14.55"W	
L19	30.808	S64° 22' 33.08"W	
L20	94.718	S77° 04' 24.56"W	
L21	56.487	N44° 42' 07.43"W	

Line #/Curve #	Length	Direction/Delta	Radius
L22	25.003	N01° 09' 01.42"E	
L23	25.000	S79° 41' 06.77"W	
L24	117.174	N20° 08' 29.94"W	
L25	67.000	N47° 59' 50.65"E	
L26	16.000	N42° 00' 09.35"W	
L27	210.000	N47° 59' 50.65"E	
L28	214.792	S45° 00' 00.00"E	
L29	302.624	S47° 59' 50.65"W	
L30	119.171	S17° 12' 44.81"E	
L31	58.548	S41° 44' 43.51"E	
L32	103.796	S30° 20' 48.62"E	
L33	65.474	S47° 24' 53.03"E	
L34	213.306	N87° 55' 34.90"E	
L35	242.172	S45° 00' 15.23"W	
L36	59.766	N47° 59' 50.65"E	
L37	73.384	N12° 05' 07.00"E	
L38	374.653	S45° 00' 00.00"E	
L39	131.525	N41° 41' 16.19"E	
L40	83.696	N90° 00' 00.00"E	
L41	130.001	S00° 00' 00.00"E	
L42	42.008	N90° 00' 00.00"E	
L43	207.500	S00° 00' 00.00"E	
L44	404.047	N90° 00' 00.00"W	
L45	323.274	N45° 00' 00.00"W	



- SITE PLAN KEYNOTES**
- 1 12" STOP BAR PER MUTCD
 - 2 CONST. R1-1 STOP SIGN (30"x30") W/ STREET NAME SIGNS
 - 3 CONST. R2-1 10 MPH SPEED LIMIT SIGN
 - 4 CONST. 2' WIDE x 6' LONG PEDESTRIAN CROSSING MARKINGS PER MUTCD
 - 5 CONST. PCC SIDEWALK
 - 6 CONST. PEDESTRIAN RAMP W/ DETECTABLE WARNING SURFACE
 - 7 CONST. MINIMUM 8.5' WIDE x 17' LONG PARKING SPACE WITH MARKINGS
 - 8 CONST. TYPE 1 CURB AND GUTTER PER DETAIL SHEET
 - 9 CONST. MEDIAN CURB PER DETAIL SHEET
 - 10 CONST. "NO PARKING ON PAVEMENT EXCEPT IN DESIGNATED PARKING STALLS" SIGN
 - 11 CONST. VALLEY GUTTER W/ SPANDREL
 - 12 CONST. CONCRETE VALLEY GUTTER
 - 13 CONST. 6' MAX REINFORCED CMU RETAINING WALL
 - 14 CONST. VAN ACCESSIBLE ADA PARKING STALL W/ MARKINGS
 - 15 CONST. CONCRETE CHANNEL
 - 16 CONST. LANDSCAPE POT PER LANDSCAPE PLANS
 - 17 CONST. LANDSCAPE AREA PER LANDSCAPE PLANS
 - 18 CONST. PCC STEPS AS NEEDED (MIN. 2 FOR EACH UNIT)

REV.	DATE	DESCRIPTION

TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 PRELIMINARY SITE PLAN
 WASHOE COUNTY
 NEVADA
 COLD SPRINGS

DESIGNED BY: SD
 CHECKED BY: RG

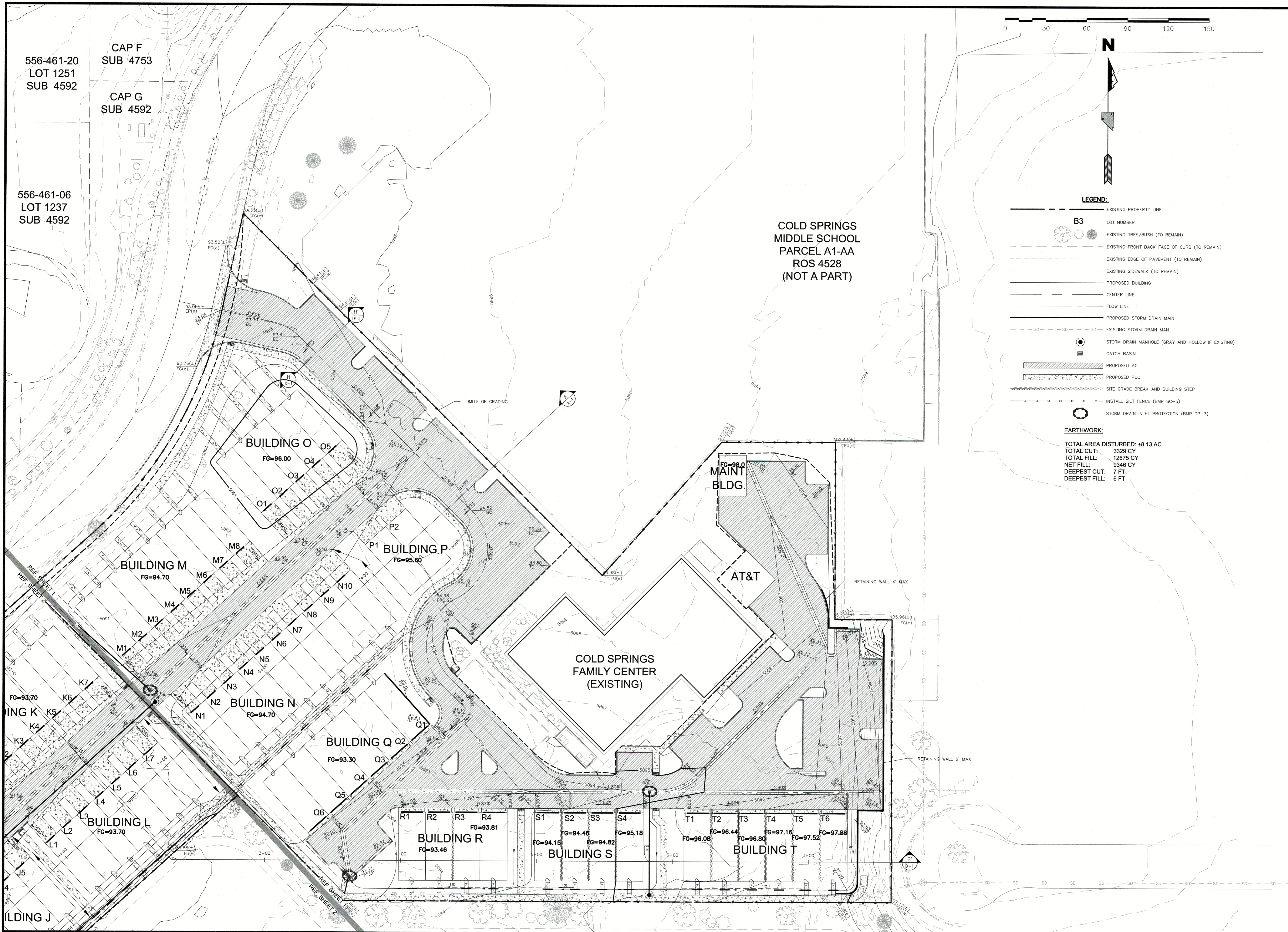
SCALE
 HORIZ: 1"=60'
 VERT:

JOB NO: 31069

11-5-2020

SHEET S-1 OF 12





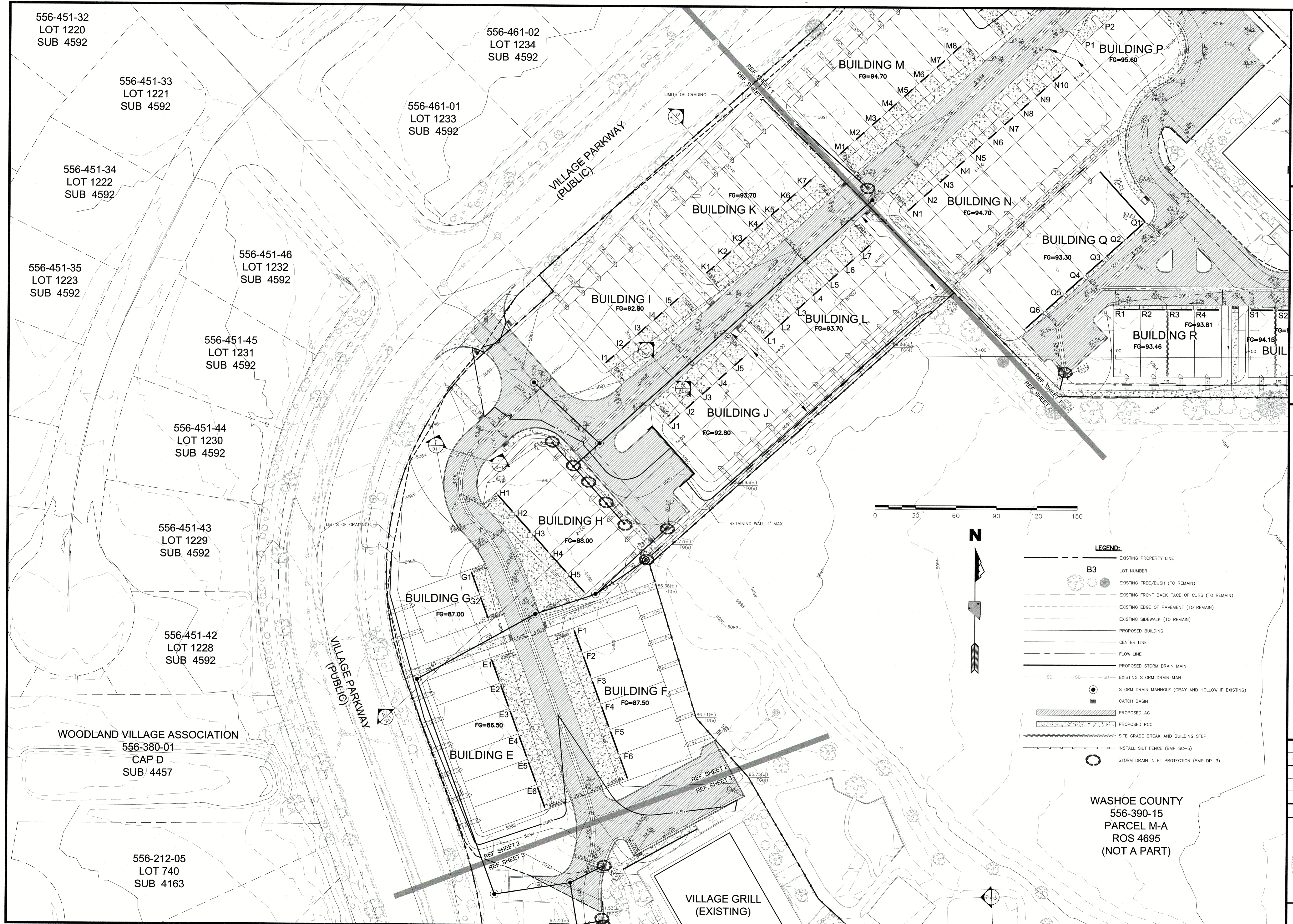
REV.	DATE	DESCRIPTION	BY	APP'D

**TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 PRELIMINARY GRADING PLAN**

NEVADA
 WASHOE COUNTY
 COLD SPRINGS

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069
SHEET G-1 OF 12

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556-451-32
LOT 1220
SUB 4592

556-451-33
LOT 1221
SUB 4592

556-451-34
LOT 1222
SUB 4592

556-451-35
LOT 1223
SUB 4592

556-451-46
LOT 1232
SUB 4592

556-451-45
LOT 1231
SUB 4592

556-451-44
LOT 1230
SUB 4592

556-451-43
LOT 1229
SUB 4592

556-451-42
LOT 1228
SUB 4592

WOODLAND VILLAGE ASSOCIATION
556-380-01
CAP D
SUB 4457

556-212-05
LOT 740
SUB 4163

556-461-02
LOT 1234
SUB 4592

556-461-01
LOT 1233
SUB 4592

SUMMIT
ENGINEERING CORPORATION
5405 MAE ANNE AVENUE, RENO, NV, 89523
PHONE: (775) 747-8550 FAX: (775) 747-8559
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TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY GRADING PLAN
COLD SPRINGS WASHOE COUNTY NEVADA

DESIGNED BY: SD
CHECKED BY: RG

SCALE
HORIZ: 1"=30'

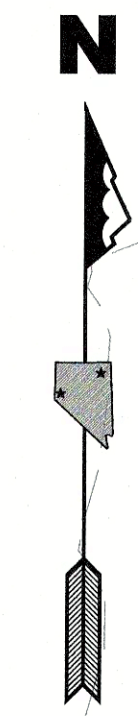
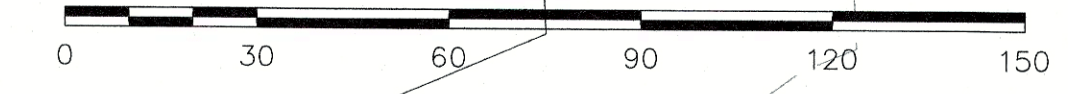
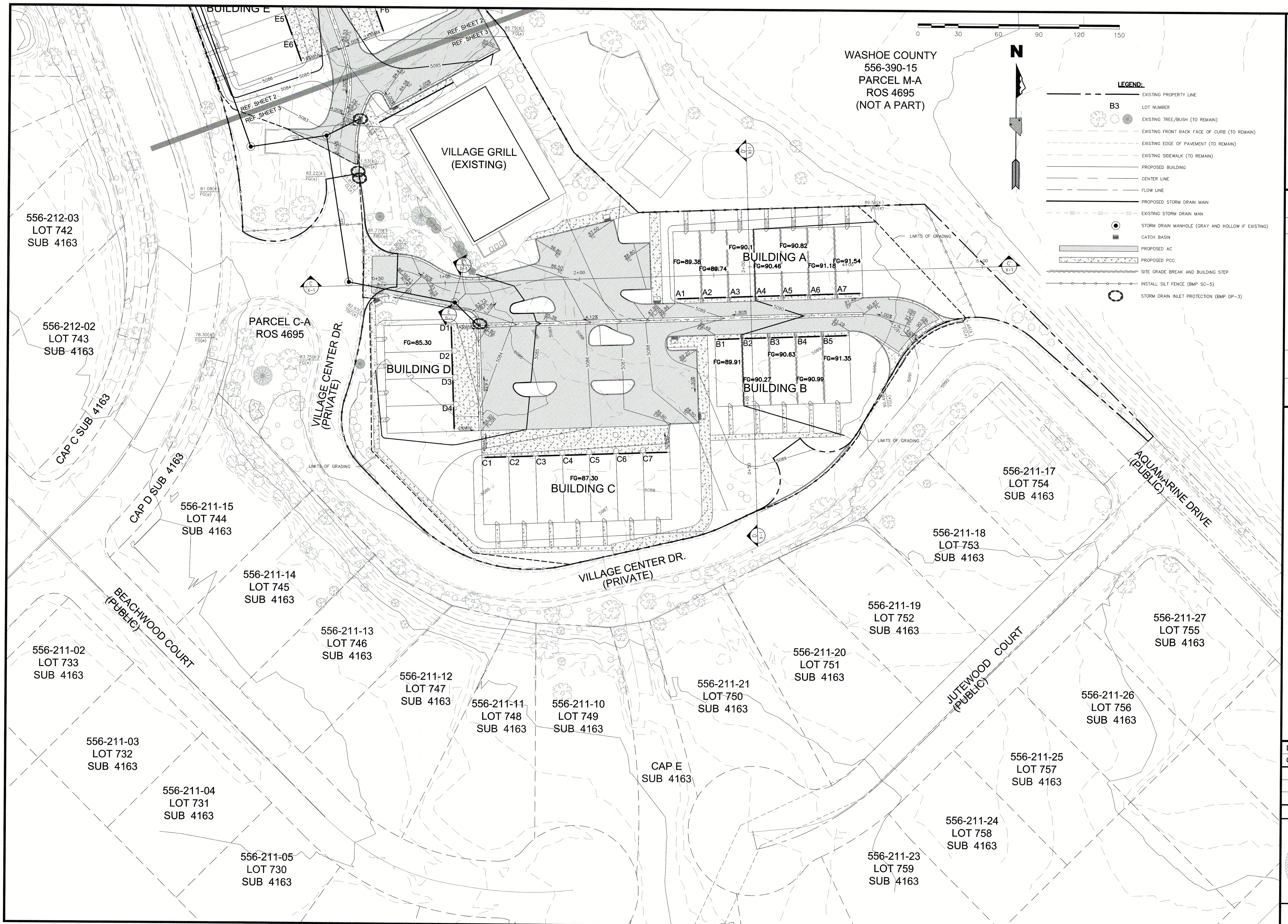
VERT:

JOB NO: 31069

WASHOE COUNTY
556-390-15
PARCEL M-A
ROS 4695
(NOT A PART)

PROFESSIONAL ENGINEER
ROBERT GELU
Exp. 6-30-21
CIVIL
11-5-2020

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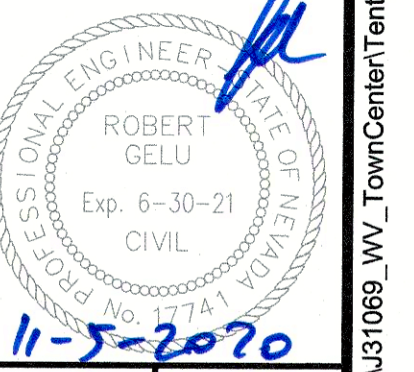
- EXISTING PROPERTY LINE
- LOT NUMBER
- EXISTING TREE/BUSH (TO REMAIN)
- EXISTING FRONT BACK FACE OF CURB (TO REMAIN)
- EXISTING EDGE OF PAVEMENT (TO REMAIN)
- EXISTING SIDEWALK (TO REMAIN)
- PROPOSED BUILDING
- CENTER LINE
- FLOW LINE
- PROPOSED STORM DRAIN MAIN
- EXISTING STORM DRAIN MAIN
- STORM DRAIN MANHOLE (GRAY AND HOLLOW IF EXISTING)
- CATCH BASIN
- PROPOSED AC
- PROPOSED PCC
- SITE GRADE BREAK AND BUILDING STEP
- INSTALL SILT FENCE (BMP SC-5)
- STORM DRAIN INLET PROTECTION (BMP DP-3)

REV.	DATE	DESCRIPTION	BY	APPD

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY GRADING PLAN

WASHOE COUNTY NEVADA
COLD SPRINGS

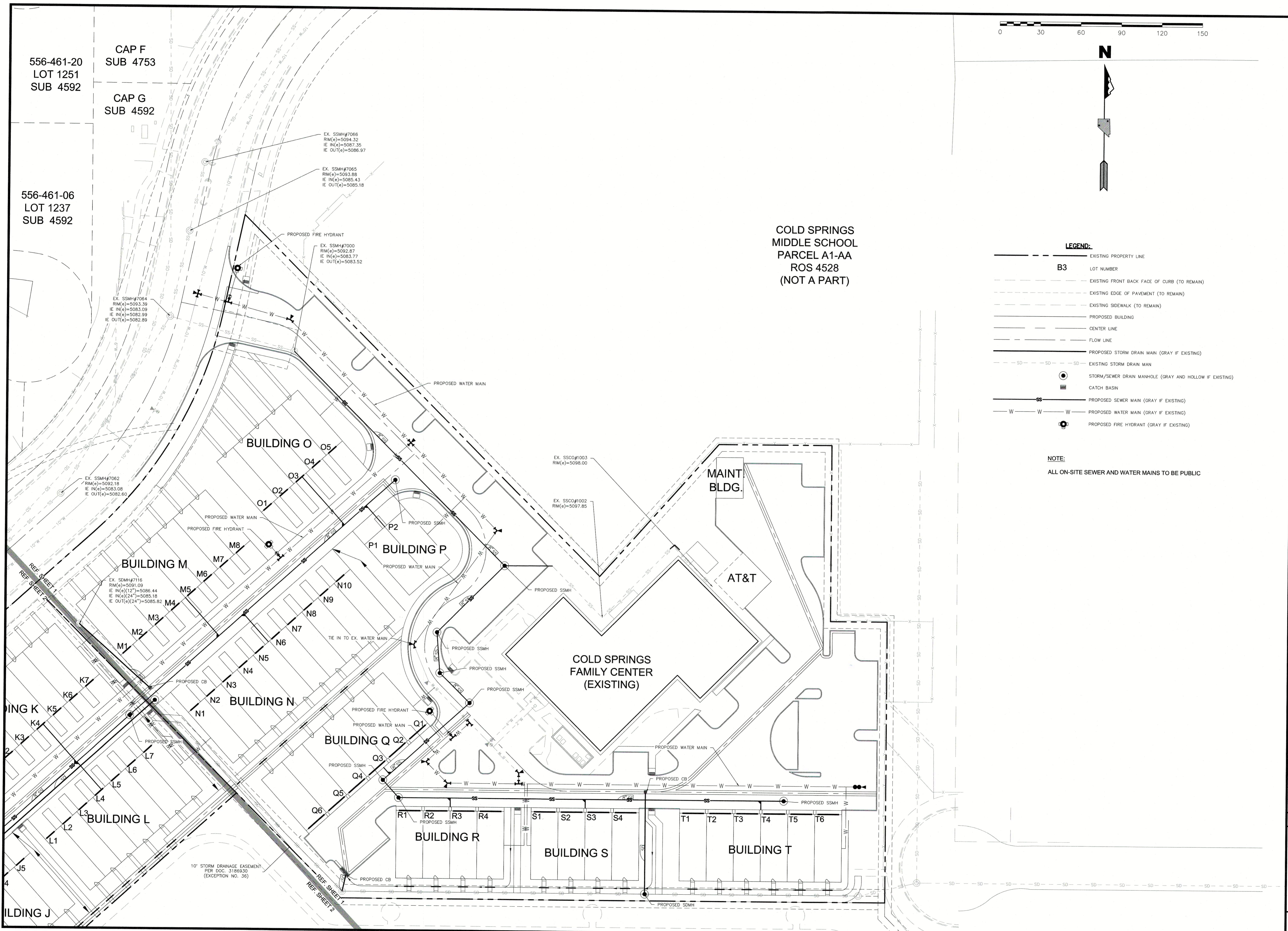
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VERT:
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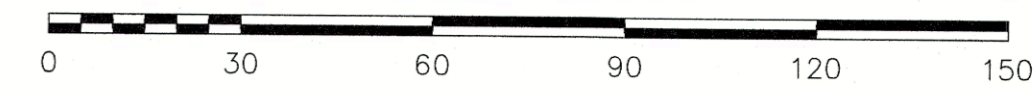
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COLD SPRINGS
MIDDLE SCHOOL
PARCEL A1-AA
ROS 4528
(NOT A PART)



- LEGEND:**
- EXISTING PROPERTY LINE
 - B3** LOT NUMBER
 - - - EXISTING FRONT BACK FACE OF CURB (TO REMAIN)
 - - - EXISTING EDGE OF PAVEMENT (TO REMAIN)
 - - - EXISTING SIDEWALK (TO REMAIN)
 - PROPOSED BUILDING
 - CENTER LINE
 - FLOW LINE
 - PROPOSED STORM DRAIN MAIN (GRAY IF EXISTING)
 - - - SD - - - EXISTING STORM DRAIN MAIN
 - STORM/SEWER DRAIN MANHOLE (GRAY AND HOLLOW IF EXISTING)
 - CATCH BASIN
 - SS - - - PROPOSED SEWER MAIN (GRAY IF EXISTING)
 - W - - - PROPOSED WATER MAIN (GRAY IF EXISTING)
 - ⊙ PROPOSED FIRE HYDRANT (GRAY IF EXISTING)

NOTE:
ALL ON-SITE SEWER AND WATER MAINS TO BE PUBLIC



REV.	DATE	DESCRIPTION	BY	APPD

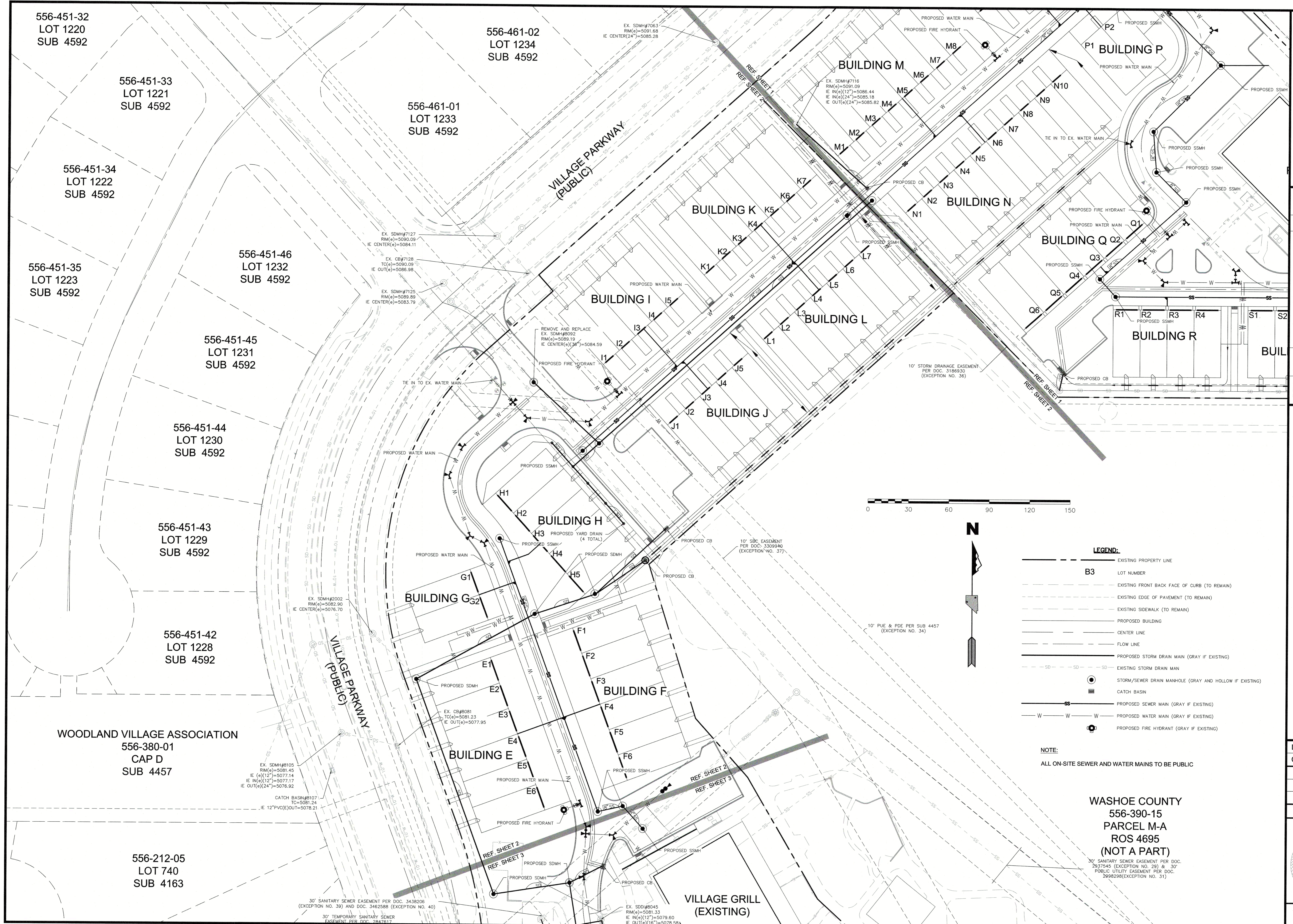
TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 PRELIMINARY UTILITY PLAN
 WASHOE COUNTY
 COLD SPRINGS
 NEVADA

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
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 VERT:
 JOB NO: 31069



SHEET
 U-1 OF 12

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556-451-32
LOT 1220
SUB 4592

556-451-33
LOT 1221
SUB 4592

556-451-34
LOT 1222
SUB 4592

556-451-35
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WOODLAND VILLAGE ASSOCIATION
556-380-01
CAP D
SUB 4457

556-212-05
LOT 740
SUB 4163

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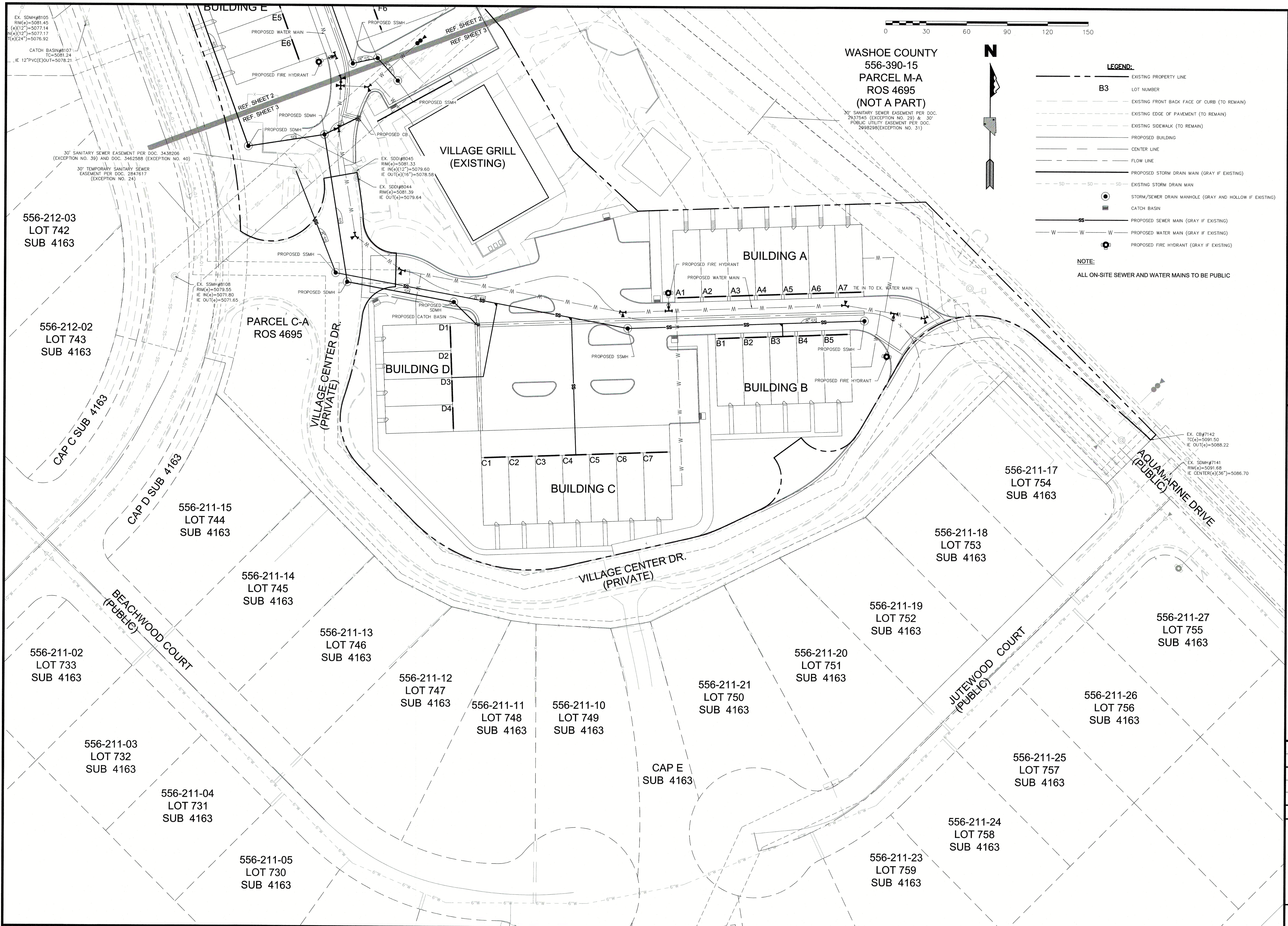
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WOODLAND VILLAGE TOWN CENTER
PRELIMINARY UTILITY PLAN
COLD SPRINGS WASHOE COUNTY NEVADA

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069

WASHOE COUNTY
556-390-15
PARCEL M-A
ROS 4695
(NOT A PART)
30' SANITARY SEWER EASEMENT PER DOC. 2937545 (EXCEPTION NO. 29) & 30' PUBLIC UTILITY EASEMENT PER DOC. 2998298 (EXCEPTION NO. 31)

11-5-2020
SHEET U-2 OF 12

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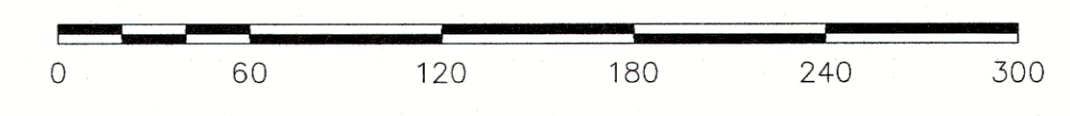
REV.	DATE	DESCRIPTION

**TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 PRELIMINARY UTILITY PLAN**

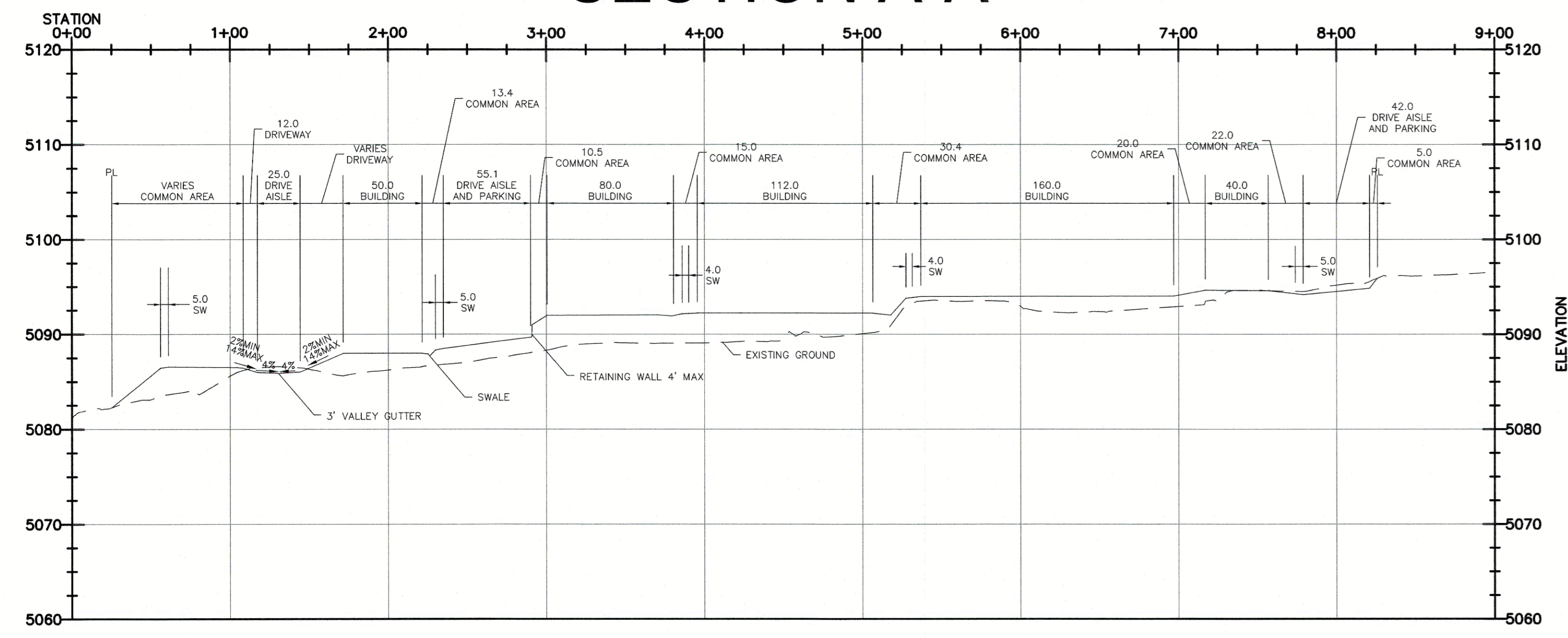
WASHOE COUNTY NEVADA
 COLD SPRINGS

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VERT:
JOB NO: 31069
SHEET U-3 OF 12

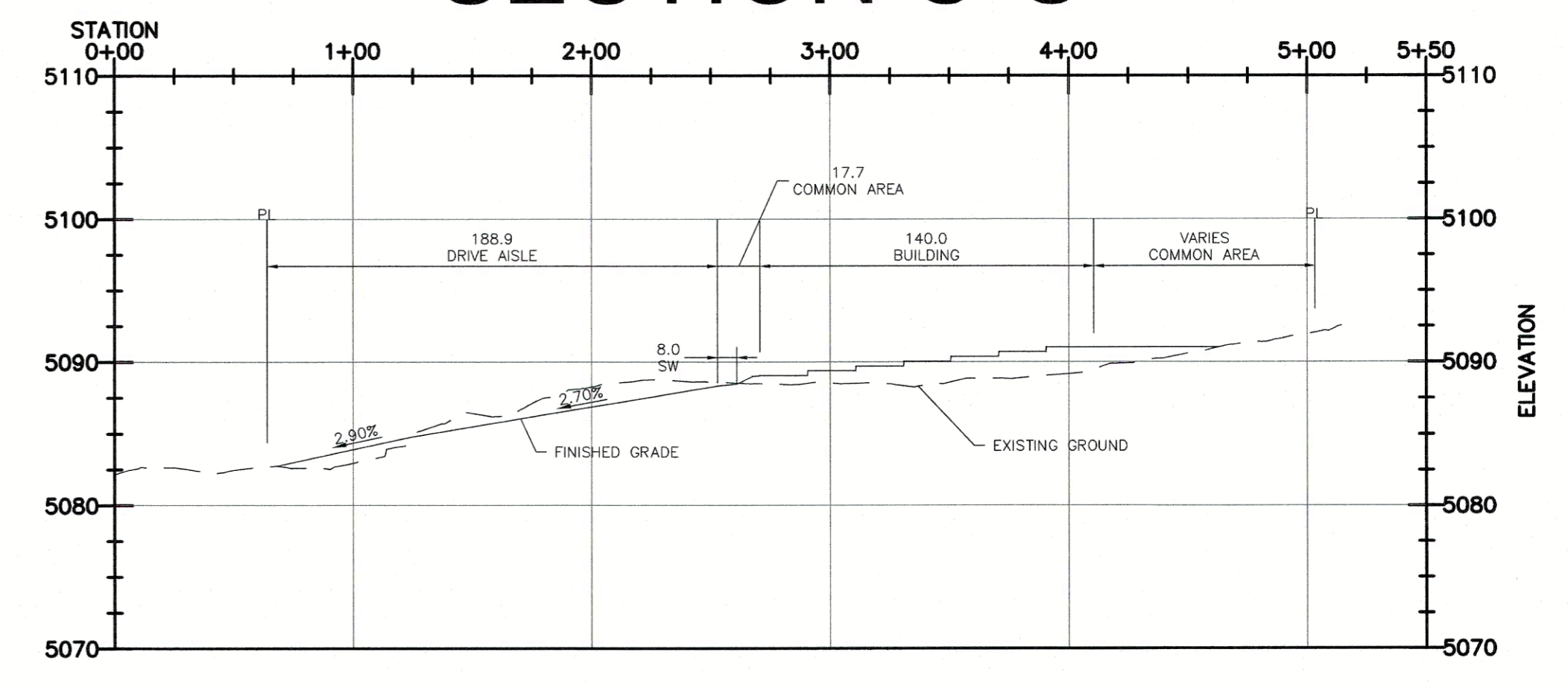
Copyright SUMMIT ENG 2020
 N:\DWGS\31069_WV_TownCenter\Tent_Map\Civil\WV_TC_Base.DWG - 12:48 PM - 05-NOV-2020



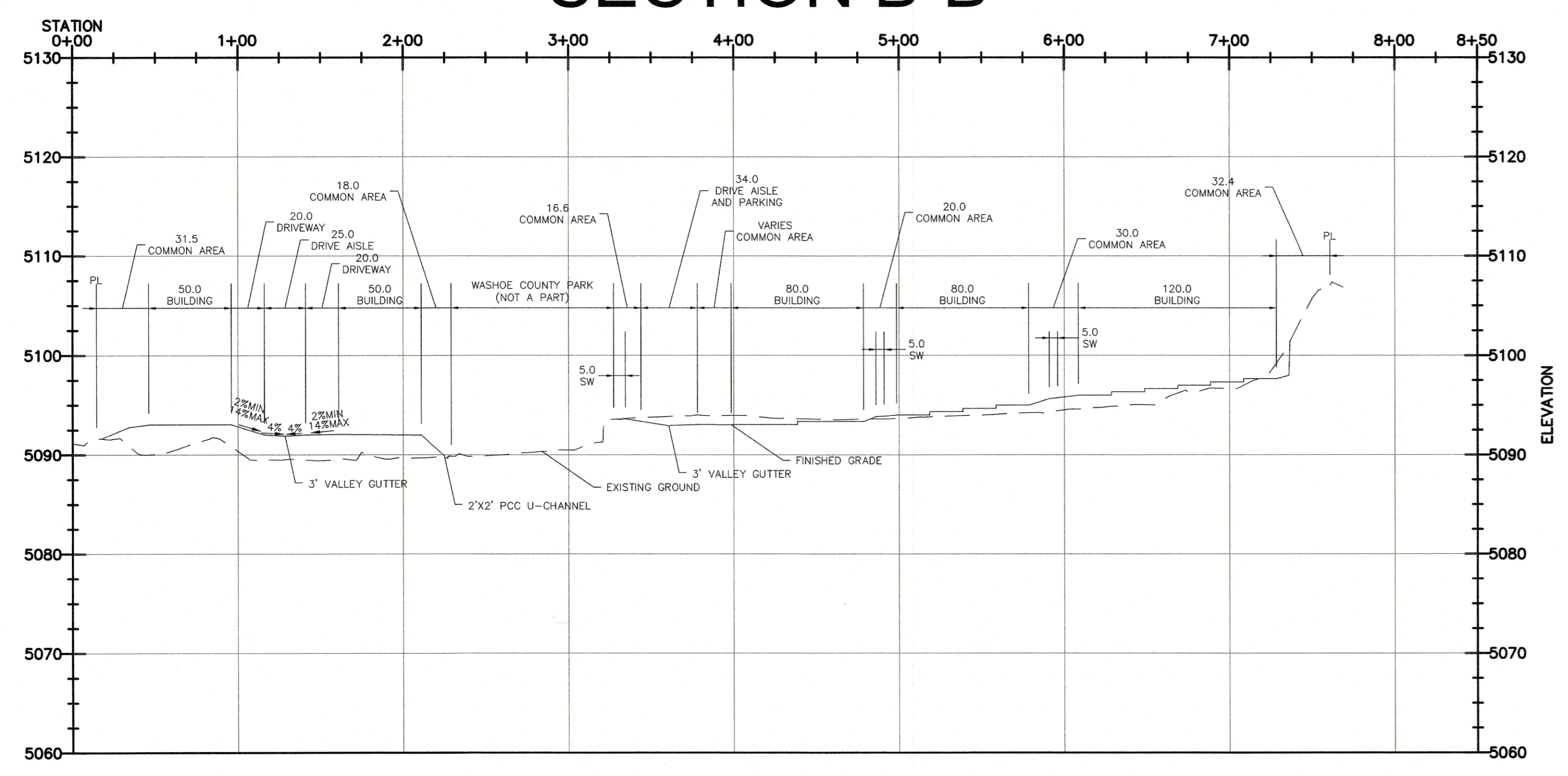
SECTION A-A'



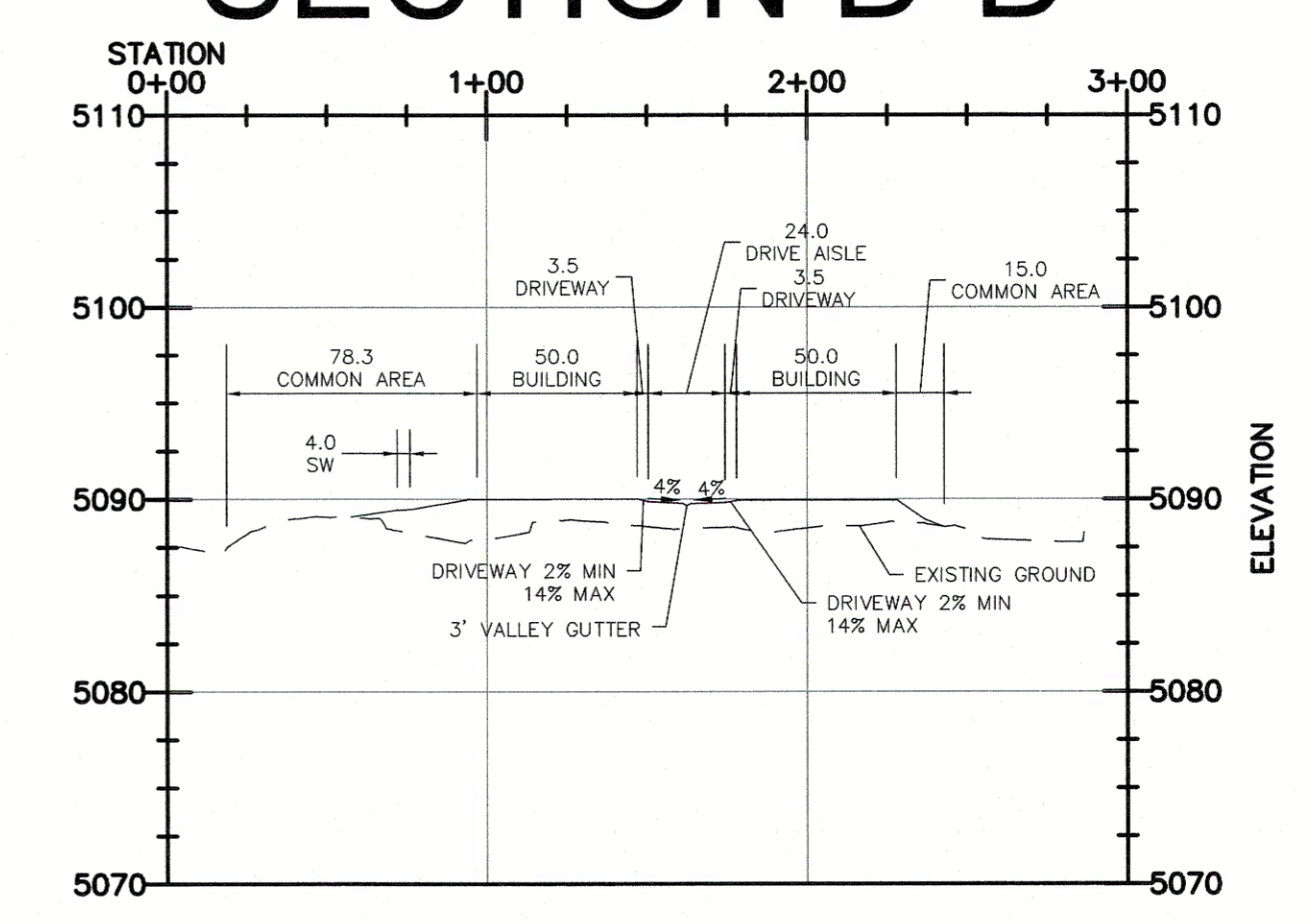
SECTION C-C'



SECTION B-B'



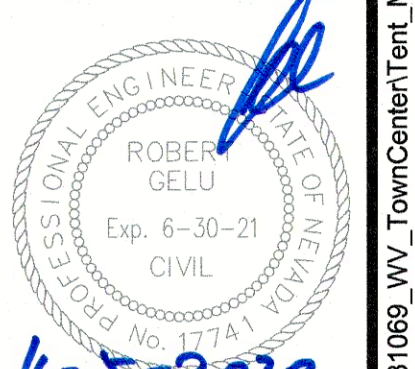
SECTION D-D'



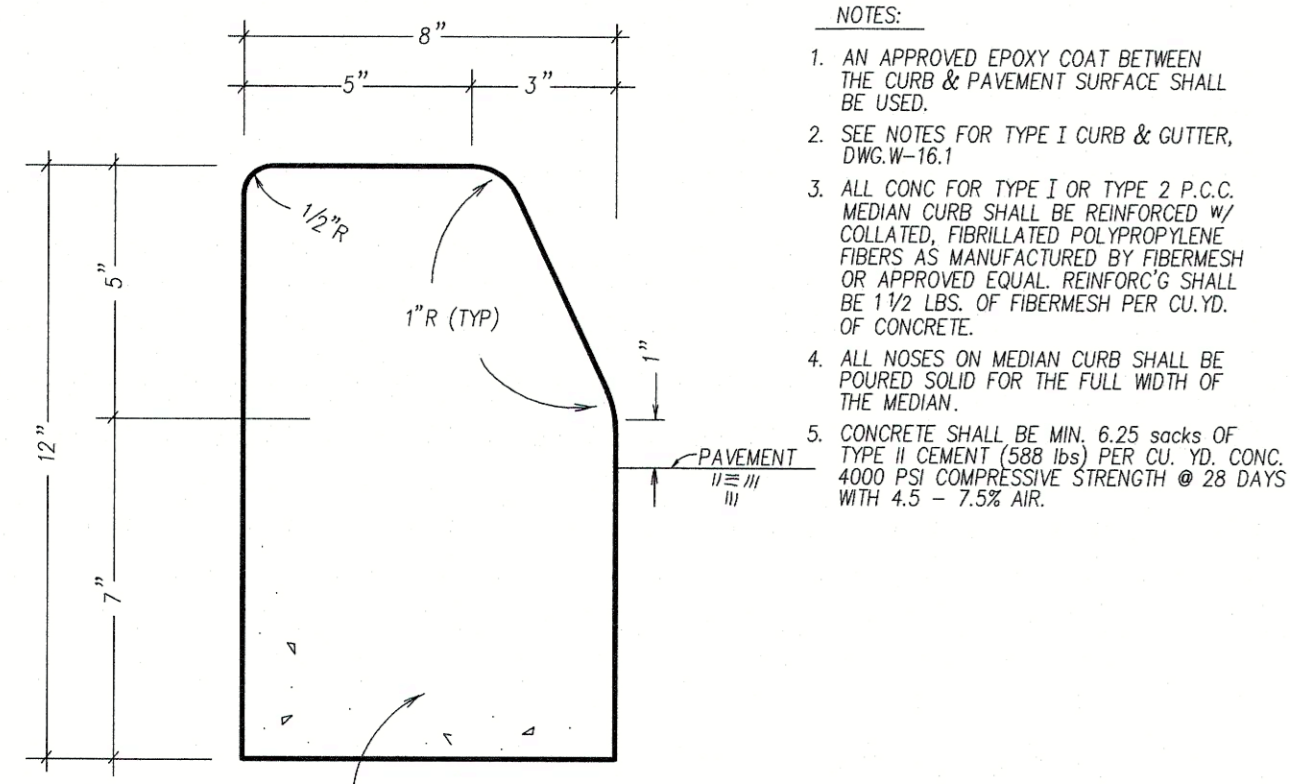
REV.	DATE	DESCRIPTION	BY	APP'D

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
CROSS SECTIONS
COLD SPRINGS WASHOE COUNTY NEVADA

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=60'
VERT: 1"=10'
JOB NO: 31069

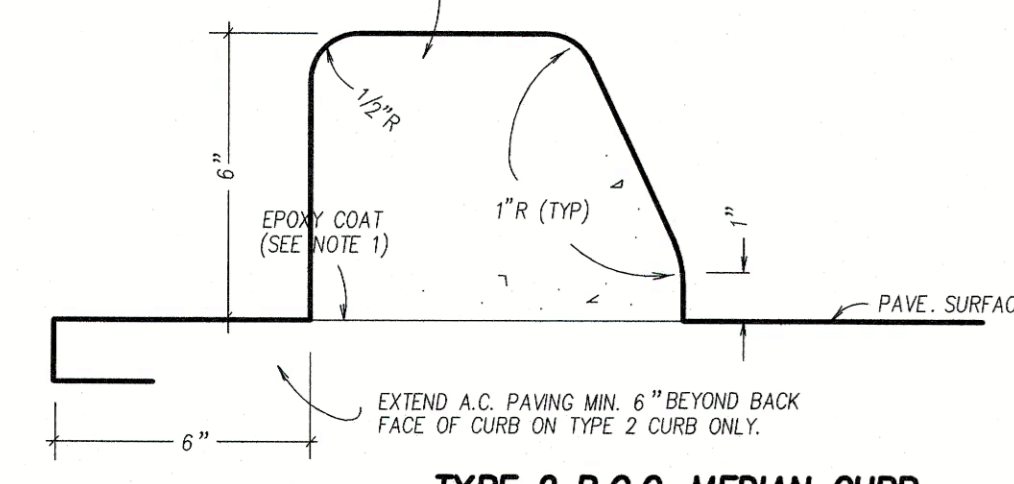


11-5-2020
SHEET X-1 OF 12



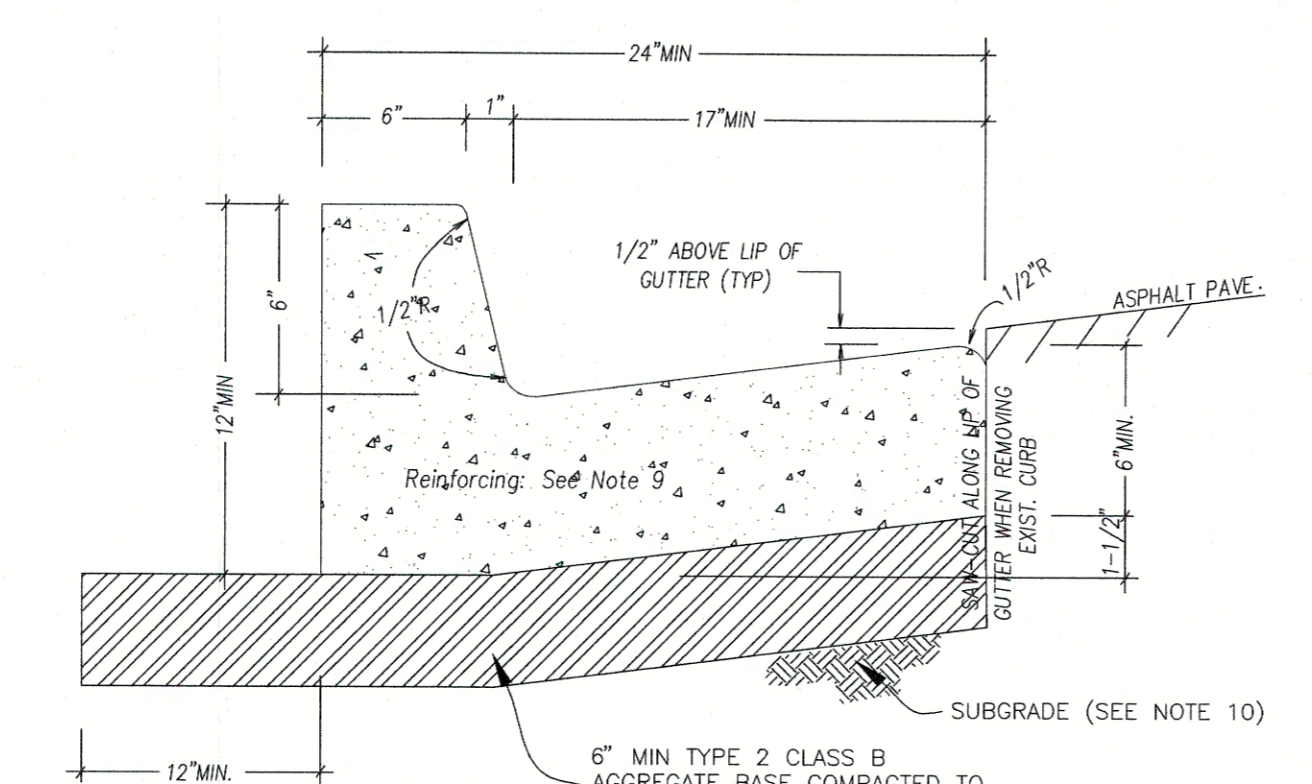
- NOTES:
1. AN APPROVED EPOXY COAT BETWEEN THE CURB & PAVEMENT SURFACE SHALL BE USED.
 2. SEE NOTES FOR TYPE I CURB & GUTTER, DWG. W-16.1.
 3. ALL CONC FOR TYPE I OR TYPE 2 P.C.C. MEDIAN CURB SHALL BE REINFORCED W/ COLLATED, FIBRILLATED POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL. REINFORC'G SHALL BE 1/2 LBS. OF FIBERMESH PER CU.YD. OF CONCRETE.
 4. ALL NOSES ON MEDIAN CURB SHALL BE FORMED SOLID FOR THE FULL WIDTH OF THE MEDIAN.
 5. CONCRETE SHALL BE MIN. 6.25 SACKS OF TYPE II CEMENT (588 lbs) PER CU. YD. CONC. 4000 PSI COMPRESSIVE STRENGTH @ 28 DAYS WITH 4.5 - 7.5% AIR.

TYPE 1 P.C.C. MEDIAN CURB



TYPE 2 P.C.C. MEDIAN CURB

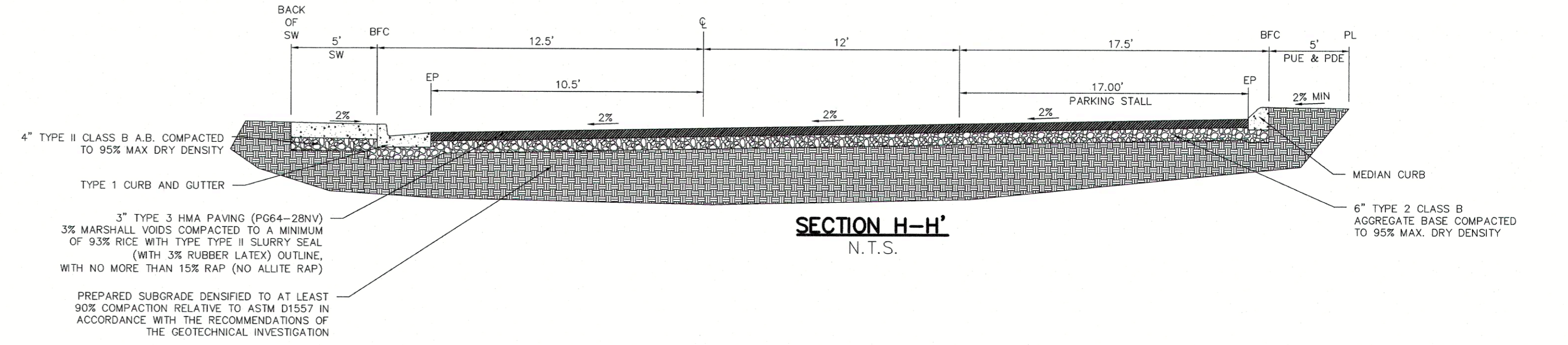
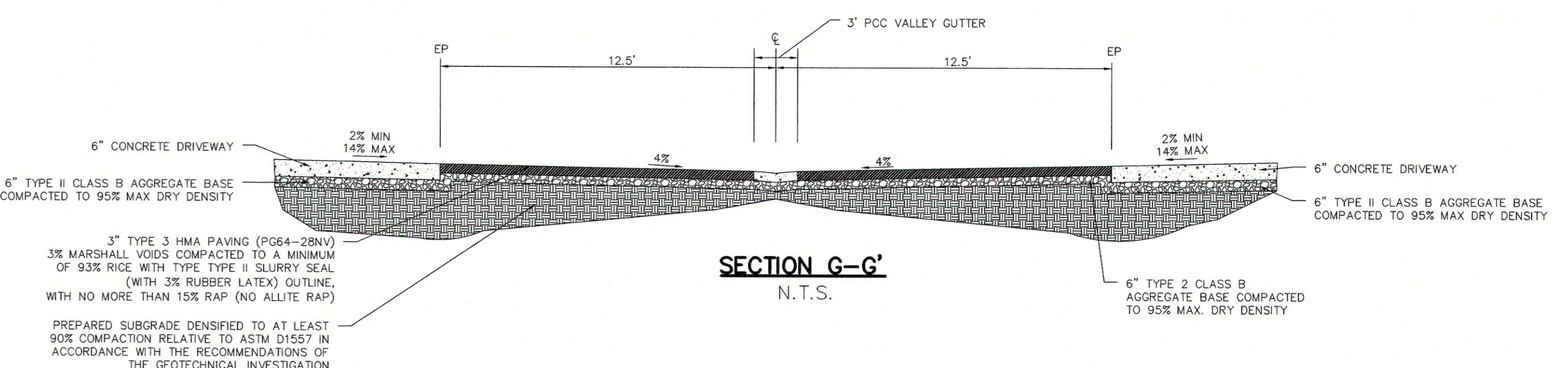
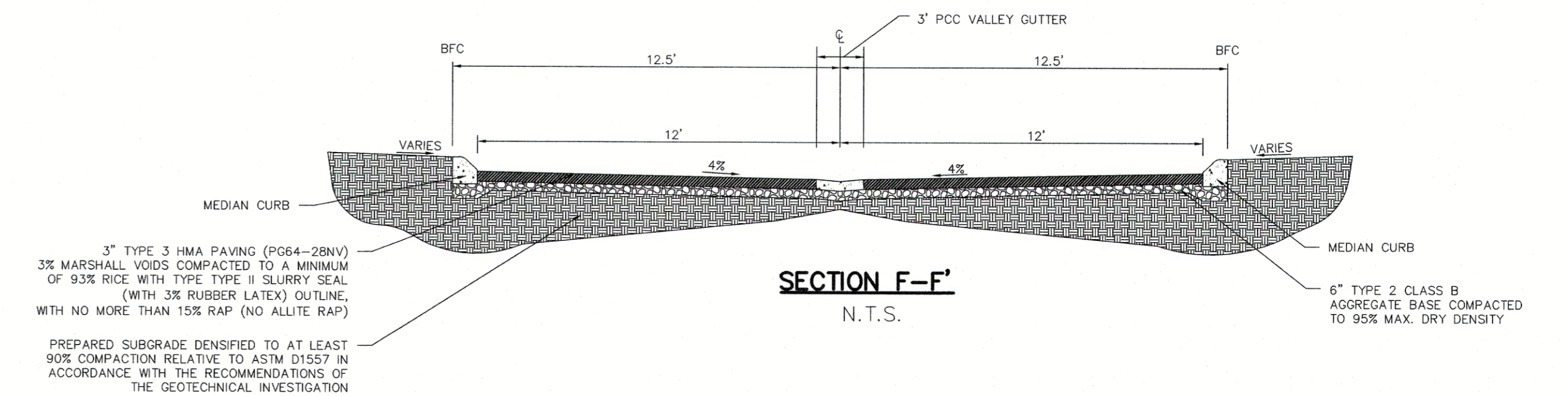
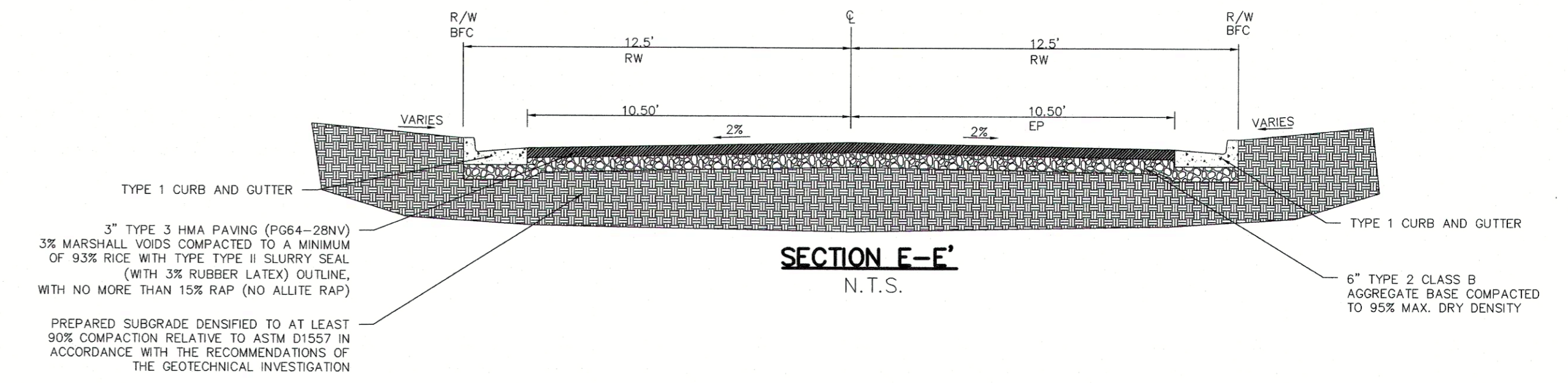
NO.	REVISIONS	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	REDRAW	11/92sp	P.C.C. MEDIAN CURB	WASHOE
2	Add notes	2/94sp		W-17
3	Add note 5	12/11sw		



- NOTES:
1. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL MEET THE FOLLOWING SPECIFICATIONS; 4,000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS W/ MIN. 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE; WATER/CEMENT RATIO 0.45 MAX; AIR ENTRAINMENT SHALL BE 4.5% - 7.5%; SLUMP SHALL RANGE FROM 1" MIN TO 4" MAX. ALL MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
 2. CURB AND GUTTER SHALL HAVE WEAKENED PLANE JOINTS ON 10' CENTERS (MAX)
 3. AGGREGATE BASE SHALL BE TYPE 2 CLASS B COMPACTED TO 95% MINIMUM RELATIVE COMPACTION PER ASTM D-1557.
 4. EVAPORATION REDUCERS (SUCH AS CONFLIM) SHALL BE APPLIED IMMEDIATELY AFTER INITIAL CURING.
 5. FINISHING AND CURING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 6. TESTING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 7. CURB REMOVAL SHALL BE TO NEAT SAW-CUT-LINES
 8. NO EQUIPMENT SHALL BE PERMITTED ADJACENT TO OR ACROSS THE CURB UNTIL THE FOURTH DAY FOLLOWING PLACEMENT OF THE CONCRETE OR UNTIL THE CONCRETE HAS REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 9. REINFORCING SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL AND SHALL BE ADDED AT A RATE OF 1/2 LBS PER CUBIC YARD OF CONCRETE.
 10. CURB AND GUTTER SUBGRADE SHALL BE COMPACTED TO 90% MIN RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY WASHOE COUNTY PRIOR TO PLACEMENT OF AGGREGATE BASE.
 11. CURB AND GUTTER SHALL RECEIVE A LIGHT BROOM FINISH PARALLEL TO FLOW.

TYPE I P.C.C. CURB & GUTTER

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	REDRAW	11/92sp	TYPE I P.C.C. CURB & GUTTER	WASHOE
2	NOTE 2a	1/94sp		W-16.1
3	NOTE 1	12/11sw		
4	Revisions	08/16sw		DATE: 08/16sw PAGE: 29



REV.	DATE	DESCRIPTION	BY	APPD

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
 DETAILS
 WASHOE COUNTY
 COLD SPRINGS
 NEVADA

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: N.T.S.
 VERT:
 JOB NO: 31069



11-5-2020
 SHEET D-1 OF 12

LANDSCAPE DATA

SITE AREA = 242,673 SQ FT (5.6 ACRES)
 DEVELOPABLE SITE AREA = 221,929 SQ FT (5.1 ACRES)

ZONING: NC (NEIGHBORHOOD COMMERCIAL 10,000 SQ FT)

REQUIRED LANDSCAPE AREA = 44,386 SQ FT
 (20% OF DEVELOPABLE SITE AREA)



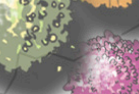



PROPOSED LANDSCAPE AREA = 44,386 SQ FT MIN.
 • PROVIDED LANDSCAPE AREA
 • EXISTING LANDSCAPE AREA

REQUIRED TREES = 162
 • 1 TREE PER 300 SQ FT OF REQUIRED LANDSCAPE AREA = 148
 • PARKING TREES = 14
 1 TREE PER 10 PARKING SPACES (136 SPACES PROVIDED)

PROPOSED TREES = 162
 • PROVIDED TREES = 135
 • EXISTING ONSITE TREES TO REMAIN = 27+/-

SHRUBS = 972
 6 SHRUBS PER REQUIRED TREE


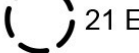
PLANT LEGEND

-  EXISTING TREES TO REMAIN
-  DECIDUOUS SHADE TREE
-  FLOWERING TREE
-  EVERGREEN TREES
-  LANDSCAPE AREA
-  EXISTING LANDSCAPE AREA

TREE PRESERVATION AND DEMOLITION NOTES

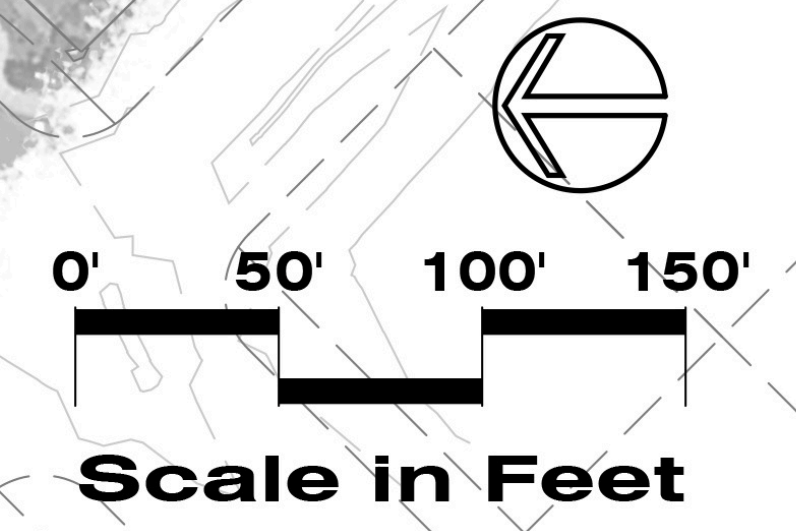
1. TREES TO REMAIN SHALL BE PRESERVED ACCORDING TO A TREE MITIGATION PLAN DEVELOPED BY A LANDSCAPE ARCHITECT OR CERTIFIED ISA ARBORIST IN ACCORDANCE WITH WASHOE COUNTY DEVELOPMENT CODE SECTION 110.412. 25 EXISTING VEGETATION (C) PRESERVATION OF SIGNIFICANT TREES.

2. 27 TREES WITH A DIAMETER OF 6" OR GREATER AT 54" HT. ARE TO BE REMOVED.

-  6 DECIDUOUS
-  21 EVERGREEN

GENERAL NOTES

1. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
2. TREES
 - DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES.
 - 50% OF EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF 7 FEET, THE REMAINDER SHALL HAVE A MIN. HEIGHT OF 5 FEET.
 - TREES SHALL BE A MIXTURE OF CONIFEROUS AND DECIDUOUS VARIETIES.
3. FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1990).
4. ALL SHRUB BEDS WILL RECEIVE 3" DEPTH MULCH WITH WEED CONTROL.
5. ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.
6. PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER CITY OF RENO CODE REQUIREMENTS. PLANT LOCATIONS, FINAL SPECIES SELECTION, AND SIZE AT PLANTING SHALL BE DETERMINED DURING DEVELOPMENT OF THE FINAL CONSTRUCTION DOCUMENTS.



No.	Revision	Date

LA No: 082-512-04--20
 Designed: KRD
 Drawn: LA
 Checked: KRD
 Date: 11/9/2020