

Community Services Department

Planning and Building

TENTATIVE PARCEL MAP

(see page 6)

PARCEL MAP WAIVER

(see page 11)

APPLICATION



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845

Telephone: 775.328.6100

## Tentative Parcel Map

Washoe County Code (WCC) Chapter 110, Article 606, Tentative Parcel Map, prescribes the requirements for and waiver of, parcel maps. A parcel map shall be required for all subdivisions, merger, and re-subdivision of existing lots, and common-interest communities consisting of four (4) or fewer units. The Parcel Map Review Committee shall approve, conditionally approve, or deny the tentative parcel map within sixty (60) days of the date that the application is determined to be complete. See WCC 110.606, for further information.

## Development Application Submittal Requirements

Applications are accepted on the 8<sup>th</sup> of each month. If the 8<sup>th</sup> falls on a non-business day, applications will be accepted on the next business day.

If you are submitting your application online, you may do so at [OneNV.us](https://www.onenv.us)

**This sheet must accompany the original application and be signed by the Professional Land Surveyor.**

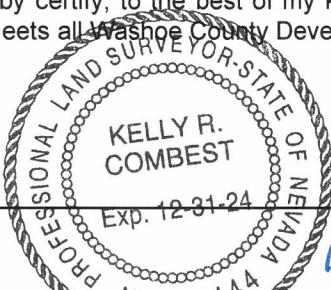
1. **Fees:** See Master Fee Schedule. **Most payments can be made directly through the OneNV.us portal.** If you would like to pay by check, please make the check payable to Washoe County and bring your application and payment to the Community Services Department (CSD). There may also be a fee due to Engineering and Capital Projects for Technical Plan Check.
2. **Development Application:** A completed Washoe County Development Application form.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Tentative Parcel Map Application materials.
6. **Title Report:** A preliminary title report, with an effective date of no more than one hundred twenty (120) days of the submittal date, by a title company which provides the following information:
  - Name and address of property owners.
  - Legal description of property.
  - Description of all easements and/or deed restrictions.
  - Description of all liens against property.
  - Any covenants, conditions and restrictions (CC&Rs) that apply.
7. **Development Plan Specifications:** (If the requirement is "Not Applicable," please check the box preceding the requirement.)
  - a. **Map to be drawn using engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500' unless a prior approval is granted by the County Surveyor) showing all streets and ingress/egress to the property and must meet NRS standards as specified in NRS 278.466.**
  - b. Property boundary lines, distances and bearings.
  - c. Contours at five (5) foot intervals or two (2) foot intervals where, in the opinion of the County Engineer, topography is a major factor in the development.
  - d. The cross sections of all right-of-ways, streets, alleys or private access ways within the proposed development, proposed name and approximate grade of each, and approximate radius of all curves and diameter of each cul-de-sac.
  - e. The width and approximate location of all existing or proposed easements, whether public or private, for roads, drainage, sewers, irrigation, or public utility purposes.

- f. If any portion of the land within the boundary of the development is subject to inundation or storm water overflow, as shown on the adopted Federal Emergency Management Agency's Flood Boundary and Floodway Maps, that fact and the land so affected shall be clearly shown on the map by a prominent note on each sheet, as well as width and direction of flow of each water course within the boundaries of the development.
  - g. The location and outline to scale of each existing building or structure that is not to be moved in the development.
  - h. Existing roads, trails or rights-of-way within the development shall be designated on the map.
  - i. Vicinity map showing the proposed development in relation to the surrounding area.
  - j. Date, north arrow, scale, and number of each sheet in relation to the total number of sheets.
  - k. Location of snow storage areas sufficient to handle snow removed from public and private streets, if applicable.
  - l. All known areas of potential hazard including, but not limited to, earth slide areas, avalanche areas or otherwise hazardous slopes, shall be clearly designated on the map. Additionally, active fault lines (post-Holocene) shall be delineated on the map.
8. **Street Names:** A completed "Request to Reserve New Street Name(s)" form (included in application packet). Please print all street names on the Tentative Map. Note whether they are existing or proposed.
9. **Submission Packets:** One (1) packet and a flash drive. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. **The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map.** Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. **Large format sheets should be included in a slide pocket(s).** Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

**Notes:**

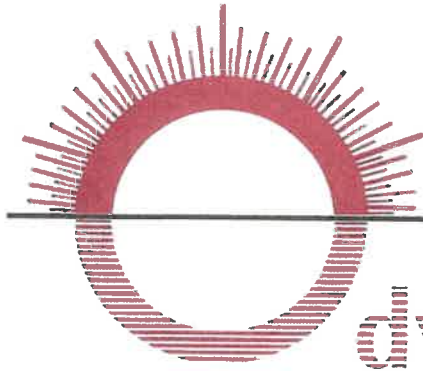
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
- (ii) Appropriate map engineering and building architectural scales are subject to the approval of the Planning and Building and/or Engineering and Capital Projects.
- (iii) **All oversized maps and plans must be folded to a 9" x 12" size.**
- (iv) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies that clarify the potential impacts and potential conditions of development in order to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
- (v) The Title Report should only be included in the one (1) original packet.

I hereby certify, to the best of my knowledge, all information contained in this application is correct and meets all Washoe County Development Code requirements.



*Kelly R. Combest*  
 \_\_\_\_\_  
 Professional Land Surveyor

12/18/23



895 Roberta Lane, Suite 104, Sparks, NV 89431  
(775) 359-3303 Fax (775) 359-3329

**odyssey** ENGINEERING  
INCORPORATED

#### PROJECT MAP PARCEL MAP NARRATIVE

Project Max Land, LLC and Utilities Inc of Nevada are the current owner of Assessor's Parcel Number (APN) 081-121-32, 081-121-43, 081-121-51, and 081-121-50 and is described in Deed Document Number 5297455, recorded April 22, 2022 and Deed Document Number 2228241 recorded July 6, 1998, of the Official Records of Washoe County. Said property contains approximately 59.30 acres and has no current buildings on site.

Said owners wish to merge and re-subdivide said property into two individual parcels, to accommodate future development. Parcel 1 will be 13.43 acres and Parcel 2 will be 45.87 and will be for future warehouses and industrial purposes.

The Washoe County Mater Plan shows the proposed parcel map as being zoned Industrial. The proposed parceling will remain consistent with the existing ordinances and meet current setbacks.

Said property will be developed subject to Declarations of Covenants, Conditions and Restrictions as provided by the Owner of said property and will provide typical easements as shown below:

- Non-Exclusive Easements for ingress, egress, construction and maintenance over portions of the property as may be necessary.
- Non-Exclusive Drainage Easements for surface drainage over portions of the property, as specified by approved Civil Engineering plans.
- Non-Exclusive Utility Easements for installation and maintenance for sewer, cable TV, telephone, electric, water, telecommunication, water facilities and other utilities as necessary.

Access will be through Reno Park Boulevard as Shown on Parcel Map 1025, recorded January 18, 1980 as File Number 652842 of the said Official Records.

Prepared by  
Odyssey Engineering, Inc.  
Kelly R. Combest, P.L.S. 16444  
895 Roberta Lane, Suite 104  
Sparks, NV 89431



## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Project Max Merger and Resubdivision PM</b>			
Project Description: <b>Revert existing parcels into two separate parcels.</b>			
Project Address: <b>Reno Park Boulevard- No address has been issued.</b>			
Project Area (acres or square feet): <b>59.23 +/- ac</b>			
Project Location (with point of reference to major cross streets AND area locator): <b>Intersection of Whites Lake Rd &amp; Reno Park Boulevard</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
081-121-32	13.59 +/- ac	081-121-51	7.30 +/- ac
081-131-43	32.67 +/- ac	081-121-50	5.00 +/- sf
Indicate any previous Washoe County approvals associated with this application: Case No.(s). <b>WSUPP 22-0005</b>			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <b>Project Max Land LLC</b>		Name: <b>Kelly R Combest</b>	
Address: <b>980 Sandhill RD STE 100</b>		Address: <b>895 Roberta Lane, Suite 104</b>	
<b>RENO NV</b>	Zip: <b>89521</b>	<b>Sparks, NV</b>	Zip: <b>89431</b>
Phone: <b>775.327.6264</b>	Fax:	Phone: <b>775-236-0545</b>	Fax:
Email: <b>PKinne@panattoni.com</b>		Email: <b>rusty@odysseyreno.com</b>	
Cell: <b>775.742.0175</b>	Other:	Cell: <b>775-843-5394</b>	Other:
Contact Person: <b>Paul Kinney</b>		Contact Person: <b>Kelly R Combest PLS 16444</b>	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: <b>Kelly R Combest</b>		Name:	
Address: <b>895 Roberta Lane, Suite 104</b>		Address:	
<b>Sparks, NV</b>	Zip: <b>89431</b>		Zip:
Phone: <b>775-236-0545</b>	Fax:	Phone:	Fax:
Email: <b>rusty@odysseyreno.com</b>		Email:	
Cell: <b>775-843-5394</b>	Other:	Cell:	Other:
Contact Person: <b>Kelly R Combest PLS 16444</b>		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

## Tentative Parcel Map Application Supplemental Information

(All required information may be separately attached)

1. What is the location (address or distance and direction from nearest intersection)?

The location is approximately 2,560 feet south of the intersection of Reno Park Boulevard and FRWA23.

- a. Please list the following:

APN of Parcel	Land Use Designation	Existing Acres
081-121-50 / 081-121-51	150	5 AC / 7.3 AC
081-121-32 / 081-121-43	150 / 140	13.94 AC / 32.67 AC

2. Please describe the existing conditions, structures, and uses located at the site:

The site is raw land with no existing structures onsite. The parcels to be reverted are primarily zoned Industrial.

3. What are the proposed lot standards?

	Parcel 1	Parcel 2	Parcel 3	Parcel 4
Proposed Minimum Lot Area	13.43	45.80		
Proposed Minimum Lot Width	610	800		

4. For parcel with split zoning what is the acreage/square footage of each zoning in the new parcels?

	Parcel 1	Parcel 2	Parcel 3	Parcel 4
Proposed Zoning Area	INDUSTRIAL	INDUSTRIAL		
Proposed Zoning Area	SAME	SAME		

5. Was the parcel or lot that is proposed for division created (recorded) within the last 5 years? (If yes, public review of the parcel map will be required. See Planning and Building staff for additional materials that are required to be submitted.)

Yes  No

6. Utilities:

a. Sewer Service	Washoe County
b. Electrical Service/Generator	NV Energy
c. Water Service	Great Basin Water Company

7. Please describe the source of the water facilities necessary to serve the proposed tentative parcel map:

- a. Water System Type:

<input type="checkbox"/> Individual wells		
<input type="checkbox"/> Private water	Provider:	
<input checked="" type="checkbox"/> Public water	Provider:	Great Basin Water Company

b. Available:

<input checked="" type="checkbox"/> Now	<input type="checkbox"/> 1-3 years	<input type="checkbox"/> 3-5 years	<input type="checkbox"/> 5+ years
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c. Washoe County Capital Improvements Program project?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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8. What sewer services are necessary to accommodate the proposed tentative parcel map?

a. Sewage System Type:

<input type="checkbox"/> Individual septic		
<input checked="" type="checkbox"/> Public system	Provider:	Washoe County

b. Available:

<input type="checkbox"/> Now	<input checked="" type="checkbox"/> 1-3 years	<input type="checkbox"/> 3-5 years	<input type="checkbox"/> 5+ years
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c. Washoe County Capital Improvements Program project?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County when creating new parcels. Please indicate the type and quantity of water rights you have available should dedication be required:

a. Permit #	65056	acre-feet per year	
b. Certificate #	17996	acre-feet per year	
c. Surface Claim #		acre-feet per year	
d. Other, #	GREAT BASIN WATER	acre-feet per year	15.39

a. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Raymond G and Nancy S Gerdes. See document Number 2433901, recorded March 28, 2000 W.C.R.
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10. Does the property contain wetlands? (If yes, please attach a preliminary delineation map and describe the impact the proposal will have on the wetlands. Impacts to the wetlands may require a permit issued from the U.S. Army Corps of Engineers.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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11. Does property contain slopes or hillsides in excess of 15 percent and/or significant ridgelines? (If yes, and this is the second parcel map dividing this property, Article 424, Hillside Development of the Washoe County Development Code will apply.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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12. Does property contain geologic hazards such as active faults; hillside or mountainous areas; is it subject to avalanches, landslides, or flash floods; is it near a water body, stream, Significant Hydrologic Resource as defined in Article 418, or riparian area such as the Truckee River, and/or an area of groundwater recharge

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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13. Does the tentative parcel map involve common open space as defined in Article 408 of the Washoe County Development Code? (If so, please identify all proposed non-residential uses and all the open space parcels.)?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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14. If private roads are proposed, will the community be gated? If so, is a public trail system easement provided through the subdivision?

This will be an industrial business park and will not be be gated.
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15. Are there any applicable policies of the adopted area plan in which the project is located that require compliance? If so, which policies and how does the project comply.

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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16. Are there any applicable area plan modifiers in the Development Code in which the project is located that require compliance? If so, which modifiers and how does the project comply?

N/A
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17. Is the project subject to Article 418, Significant Hydrologic Resources? If yes, please address Special Review Considerations within Section 110.418.30 in a separate attachment.

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, include a separate set of attachments and maps.
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## Grading

**Please complete the following additional questions if the project anticipates grading that involves: (1) Disturbed area exceeding twenty-five thousand (25,000) square feet not covered by streets, buildings and landscaping; (2) More than one thousand (1,000) cubic yards of earth to be imported and placed as fill in a special flood hazard area; (3) More than five thousand (5,000) cubic yards of earth to be imported and placed as fill; (4) More than one thousand (1,000) cubic yards to be excavated, whether or not the earth will be exported from the property; or (5) If a permanent earthen structure will be established over four and one-half (4.5) feet high. If your project exceeds any of the above criteria, you shall either provide a preliminary grading and roadway design plan for review OR if these criteria are exceeded with the final construction drawings and not disclosed at the Tentative Parcel Map Application, you shall be required to apply for a special use permit for grading and you will be delayed up to three months, if approved.**

18. How many cubic yards of material are you proposing to excavate on site?

See WSUP22-0005 (attached).
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19. How many cubic yards of material are you exporting or importing? If exporting of material is anticipated, where will the material be sent? If the disposal site is within unincorporated Washoe County, what measures will be taken for erosion control and revegetation at the site? If none, how are you balancing the work on-site?

**No export or import of material is expected. Excess material from mass grading maybe be used onsite in landscape berms.**

20. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways? What measures will be taken to mitigate their impacts?

**Yes, grading on the property will be visible primarily from the east. The actual graded area is temporary because all of it will be re-landscaped by either revegetation or full landscaping.**

21. What is the slope (Horizontal/Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

**Proposed slope is 3:1 and targeted areas with 2:1 slopes. Methods to prevent erosion include hydroseeding, landscaping and riprap armoring.**

22. Are you planning any berms and, if so, how tall is the berm at its highest? How will it be stabilized and/or revegetated?

**Some berming maybe necessary. Any berms will be stablized with full landscaping.**

23. Are retaining walls going to be required? If so, how high will the walls be, will there be multiple walls with intervening terracing, and what is the wall construction (i.e. rockery, concrete, timber, manufactured block)? How will the visual impacts be mitigated?

**No retaining walls will be required as the intent is to provide more naturalistic grading of the site.**

24. Will the grading proposed require removal of any trees? If so, what species, how many, and of what size?

**No trees will be removed, only native vegetation, mostly typical Northern Nevada cover.**

25. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

**The type of seed mix will be developed based on site-specific conditions and appropriate for Northern Nevada upland conditions.**

26. How are you providing temporary irrigation to the disturbed area?

N/A
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27. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

N/A
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28. Surveyor:

Name	KELLY R COMBEST
Address	895 Roberta Lane, Suite 104 Sparks Nevada 89431
Phone	775-236-0545
Cell	775-843-5394
E-mail	rusty@odysseyreno.com
Fax	
Nevada PLS #	16444

**PROJECT MAX LAND LLC**  
**PARCEL MAP MATH CHECKS**



Prepared by:

**Odyssey Engineering, Inc.**  
895 Roberta Lane, Suite 104  
Sparks, NV 89431

## PARCEL 1

### Segment# 1: Curve

Length: 673.21'

Delta: 57°15'18"

Chord: 645.55'

Course In: S75° 49' 41"E

RP North: 14,909,418.1132'

End North: 14,908,957.9440'

Radius: 673.69'

Tangent: 367.73'

Course: S14° 27' 20"E

Course Out: S46° 55' 01"W

East: 2,219,687.5692'

East: 2,219,195.5301'

### Segment# 2: Curve

Length: 19.27'

Delta: 5°31'41"

Chord: 19.26'

Course In: S26° 02' 32"W

RP North: 14,908,778.4924'

End North: 14,908,948.6621'

Radius: 199.73'

Tangent: 9.64'

Course: S61° 11' 38"E

Course Out: N31° 34' 13"E

East: 2,219,107.8420'

East: 2,219,212.4094'

### Segment# 3: Line

Course: S60° 08' 41"E

North: 14,908,905.6264'

Length: 86.45'

East: 2,219,287.3862'

### Segment# 4: Line

Course: N89° 45' 17"W

North: 14,908,909.0461'

Length: 798.83'

East: 2,218,488.5636'

### Segment# 5: Line

Course: N1° 06' 49"E

North: 14,909,931.1030'

Length: 1,022.25'

East: 2,218,508.4309'

### Segment# 6: Line

Course: S88° 53' 11"E

North: 14,909,919.2290'

Length: 610.96'

East: 2,219,119.2755'

### Segment# 7: Line

Course: S14° 10' 19"W

North: 14,909,583.0516'

Length: 346.73'

East: 2,219,034.3847'

Perimeter: 3,557.69'  
Error Closure: 0.0035  
Error North : -0.00291

Area: 585,175.45Sq.Ft.  
Course: S34° 11' 46"E  
East: 0.00198

Precision 1: 1,016,485.71

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## PARCEL 2

Segment# 1: Curve

Length: 545.11'

Delta: 66°13'00"

Chord: 515.27'

Course In: S38° 38' 09"W

RP North: 14,907,899.4174'

End North: 14,907,778.5135'

Radius: 471.67'

Tangent: 307.58'

Course: S18° 15' 21"E

Course Out: S75° 08' 51"E

East: 2,219,984.4186'

East: 2,220,440.3296'

Segment# 2: Line

Course: S14° 51' 09"W

North: 14,907,653.5432'

Length: 129.29'

East: 2,220,407.1885'

Segment# 3: Line

Course: N89° 08' 21"W

North: 14,907,661.2686'

Length: 514.21'

East: 2,219,893.0365'

Segment# 4: Line

Course: N0° 51' 39"E

North: 14,907,861.2461'

Length: 200.00'

East: 2,219,896.0413'

Segment# 5: Line

Course: N89° 08' 21"W

North: 14,907,864.2508'

Length: 200.00'

East: 2,219,696.0638'

Segment# 6: Line

Course: S0° 51' 39"W

North: 14,907,664.2734'

Length: 200.00'

East: 2,219,693.0591'

Segment# 7: Line

Course: N89° 08' 21"W                      Length: 85.27'  
North: 14,907,665.5545'                      East: 2,219,607.7987'

Segment# 8: Line

Course: S89° 43' 18"W                      Length: 1,143.53'  
North: 14,907,659.9994'                      East: 2,218,464.2822'

Segment# 9: Line

Course: N1° 06' 49"E                      Length: 1,249.29'  
North: 14,908,909.0535'                      East: 2,218,488.5621'

Segment# 10: Line

Course: S89° 45' 17"E                      Length: 798.83'  
North: 14,908,905.6338'                      East: 2,219,287.3848'

Segment# 11: Line

Course: S60° 08' 41"E                      Length: 384.10'  
North: 14,908,714.4246'                      East: 2,219,620.5092'

Segment# 12: Line

Course: N0° 41' 39"E                      Length: 18.83'  
North: 14,908,733.2532'                      East: 2,219,620.7373'

Segment# 13: Line

Course: S60° 11' 51"E                      Length: 201.99'  
North: 14,908,632.8618'                      East: 2,219,796.0129'

Segment# 14: Curve

Length: 213.17'                      Radius: 1,382.69'  
Delta: 8°50'00"                      Tangent: 106.80'  
Chord: 212.96'                      Course: S55° 46' 51"E  
Course In: S29° 48' 09"W                      Course Out: N38° 38' 09"E  
RP North: 14,907,433.0411'                      East: 2,219,108.7996'  
End North: 14,908,513.1020'                      East: 2,219,972.1073'

Segment# 15: Line

Course: S51° 21' 51"E                      Length: 392.78'  
North: 14,908,267.8626'                      East: 2,220,278.9196'

Perimeter: 6,276.39'  
Error Closure: 0.0109  
Error North : 0.00954

Area: 2,000,412.30Sq.Ft.  
Course: N28° 49' 42"E  
East: 0.00525

Precision 1: 575,816.51

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**APN 081-121-42**

Segment# 1: Line

Course: S0° 14' 43"W	Length: 50.00'
North: 14,908,782.7755'	East: 2,218,191.8074'

Segment# 2: Line

Course: N89° 45' 17"W	Length: 50.00'
North: 14,908,782.9895'	East: 2,218,141.8079'

Segment# 3: Line

Course: N0° 14' 43"E	Length: 25.00'
North: 14,908,807.9893'	East: 2,218,141.9149'

Segment# 4: Line

Course: N0° 14' 43"E	Length: 25.00'
North: 14,908,832.9891'	East: 2,218,142.0219'

Segment# 5: Line

Course: S89° 45' 17"E	Length: 50.00'
North: 14,908,832.7750'	East: 2,218,192.0214'

Perimeter: 200.00'  
Error Closure: 0.0000  
Error North : 0.00000

Area: 2,500.00Sq.Ft.  
Course: N14° 02' 10"E  
East: 0.00000

Precision 1: 200,000,000.00

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**APN 081-121-44**

Segment# 1: Line

Course: S1° 06' 48"W

North: 14,908,554.0322'

Length: 50.00'

East: 2,218,195.7160'

Segment# 2: Line

Course: N88° 53' 12"W

North: 14,908,555.0037'

Length: 50.00'

East: 2,218,145.7254'

Segment# 3: Line

Course: N1° 06' 48"E

North: 14,908,579.9990'

Length: 25.00'

East: 2,218,146.2112'

Segment# 4: Line

Course: N1° 06' 48"E

North: 14,908,604.9943'

Length: 25.00'

East: 2,218,146.6969'

Segment# 5: Line

Course: S88° 53' 12"E

North: 14,908,604.0228'

Length: 50.00'

East: 2,218,196.6875'

Perimeter: 200.00'

Error Closure: 0.0000

Error North : 0.00000

Area: 2,500.00Sq.Ft.

Course: N0° 00' 00"E

East: 0.00000

Precision 1: 200,000,000.00



**OWNER'S CERTIFICATE**

THIS IS TO CERTIFY THAT THE UNDERSIGNED, PROJECT MAX LAND, LLC, A DELAWARE LIMITED LIABILITY COMPANY ARE THE OWNER OF THE TRACT OF LAND REPRESENTED ON THIS PLAT AND HAS CONSENTED TO THE PREPARATION AND RECORDED OF THIS PLAT AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF N.R.S. 278. THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY GRANTED TOGETHER WITH THE RIGHT OF ACCESS TO ALL PUBLIC UTILITIES AND CABLE TV COMPANIES THEIR SUCCESSORS AND ASSIGNS. THE OWNER AND ITS ASSIGNS AGREE TO THE USE OF WATER METERS.

PROJECT MAX LAND, LLC \_\_\_\_\_ DATE \_\_\_\_\_  
A DELAWARE LIMITED LIABILITY COMPANY

**NOTARY PUBLIC CERTIFICATE**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_ WHO ACKNOWLEDGED THAT HE IS THE \_\_\_\_\_ OF UTILITIES INC OF NEVADA, A NEVADA CORPORATION, AND IN SAID REPRESENTATIVE CAPACITY HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED SO TO DO.

WITNESS MY HAND AND SEAL AT OFFICE IN \_\_\_\_\_, THIS DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

**NOTARY PUBLIC CERTIFICATE**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_ WHO ACKNOWLEDGED THAT HE IS THE \_\_\_\_\_ OF UTILITIES INC OF NEVADA, A NEVADA CORPORATION, AND IN SAID REPRESENTATIVE CAPACITY HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED SO TO DO.

WITNESS MY HAND AND SEAL AT OFFICE IN \_\_\_\_\_, THIS DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

**NOTARY PUBLIC CERTIFICATE**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_ WHO ACKNOWLEDGED THAT HE IS THE \_\_\_\_\_ OF UTILITIES INC OF NEVADA, A NEVADA CORPORATION, AND IN SAID REPRESENTATIVE CAPACITY HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED SO TO DO.

WITNESS MY HAND AND SEAL AT OFFICE IN \_\_\_\_\_, THIS DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_

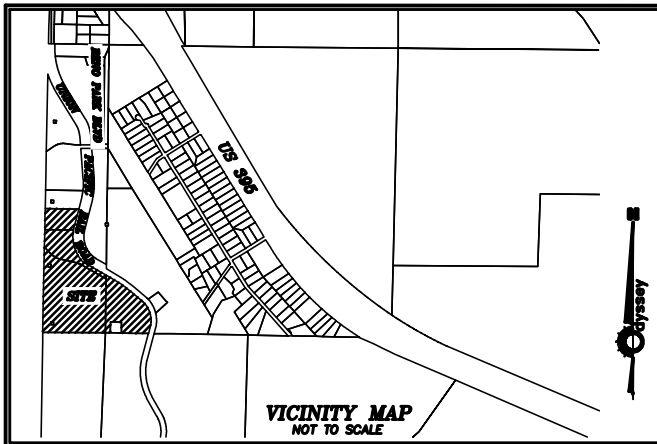
**NOTARY PUBLIC CERTIFICATE**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, WITHIN MY JURISDICTION, THE WITHIN NAMED \_\_\_\_\_ WHO ACKNOWLEDGED THAT HE IS THE \_\_\_\_\_ OF UTILITIES INC OF NEVADA, A NEVADA CORPORATION, AND IN SAID REPRESENTATIVE CAPACITY HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED SO TO DO.

WITNESS MY HAND AND SEAL AT OFFICE IN \_\_\_\_\_, THIS DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_



**TITLE COMPANY CERTIFICATE**

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THE OWNER SHOWN HEREON IS THE RECORDED OWNER OF SAID LAND; THAT NO ONE HOLDS OF RECORD A SECURITY INTEREST IN THE LANDS AND THERE ARE NO LIENS OF RECORD AGAINST THE OWNERS FOR DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL OR LOCAL TAXES COLLECTED AS TAXES OR SPECIAL ASSESSMENTS.

FIRST AMERICAN TITLE INSURANCE COMPANY

BY \_\_\_\_\_ TITLE \_\_\_\_\_ DATE \_\_\_\_\_

**UTILITY COMPANIES' CERTIFICATE**

THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN CHECKED, ACCEPTED AND APPROVED BY THE UNDERSIGNED CABLE TV AND PUBLIC UTILITY COMPANIES.

CHARTER COMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

SIERRA PACIFIC POWER COMPANY \_\_\_\_\_ DATE \_\_\_\_\_  
D/B/A/ NV ENERGY  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

NEVADA BELL TELEPHONE COMPANY \_\_\_\_\_ DATE \_\_\_\_\_  
D/B/A AT&T NEVADA  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

**DISTRICT BOARD OF HEALTH CERTIFICATE**

THIS MAP IS APPROVED BY THE WASHOE COUNTY DISTRICT BOARD OF HEALTH. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES. THIS MAP HAS BEEN FOUND TO MEET ALL APPLICABLE REQUIREMENTS AND PROVISIONS OF THE ENVIRONMENTAL HEALTH SERVICES DIVISION OF THE WASHOE COUNTY HEALTH DISTRICT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FOR THE DISTRICT BOARD OF HEALTH

**COUNTY SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE EXAMINED THE PLAT CONSISTING OF TWO SHEETS, AND THAT I AM SATISFIED SAID PLAT IS TECHNICALLY CORRECT.

WAYNE HANDBRICK P.L.S. 20464  
WASHOE COUNTY SURVEYOR

**CITY CERTIFICATE**

THE UNDERSIGNED CERTIFIES THAT THIS MAP HAS BEEN APPROVED AND ACCEPTED BY THE COMMUNITY DEVELOPMENT DEPARTMENT OF THE CITY OF RENO, WASHOE COUNTY, STATE OF NEVADA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

COMMUNITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

**TAX CERTIFICATE**

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO NRS 361A.265.

APHS 081-121-32, 081-121-43, 081-121-50, 081-121-51

WASHOE COUNTY TREASURER \_\_\_\_\_ DATE \_\_\_\_\_  
NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, KELLY R. COMBEST, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, CERTIFY THAT:

1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF PROJECT MAX LAND, LLC
2. THE LANDS SURVEYED LIE WITHIN THE S 1/2 OF SECTION 30 AND SW 1/4 SECTION 29 T21N, R18E, M.D.M., AND THE SURVEY WAS COMPLETED ON OCTOBER 8, 2023.
3. THIS PLAT COMPLIES WITH ALL OF THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.
4. THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED AND ARE OF SUFFICIENT NUMBER AND DURABILITY.

KELLY R. COMBEST, P.L.S.  
NEVADA CERTIFICATE NO. 18444



12/8/23

PARCEL MAP <b>PROJECT MAX LAND LLC</b> BEING A MERGER AND RESUBDIVISION OF PARCELS 1, 2, AND 4C OF DOC #3307455 SITUATE IN THE S 1/2 OF SEC. 30 & SW 1/4 OF SEC. 29 T.21N., R.18E., M.D.M.	
WASHOE COUNTY	NEVADA
888 ROBERTA LANE, SUITE 104, SPANISH LAY 89431 (775) 329-3303	SHEET <b>1</b> OF <b>2</b>
dyssey ENGINEERING INCORPORATED	

PARCEL MAP  
**PROJECT MAX LAND LLC**  
 BEING A MEMORANDUM AND RECONSTRUCTION OF PARCELS 1, 2,  
 AND 4C OF DOC 48974888  
 SITUATE IN THE S 1/2 OF SEC. 30 & SW 1/4 OF SEC. 20  
 T.21N., R.10E., M.D.M.

WASHOE COUNTY NEVADA

800 ROBERTA LANE, SUITE 104, SPARKS, NV 89431  
 (775) 398-3355

**dyssey** ENGINEERING INCORPORATED

SHEET  
 2  
 OF  
 2

**REFERENCES**

1. PARCEL MAP 97, RECORDED AUGUST 27, 1974, AS FILE NUMBER 338885
2. PARCEL MAP 651, RECORDED SEPTEMBER 6, 1978 AS FILE NUMBER 558085
3. PARCEL MAP 1025 RECORDED JANUARY 18, 1980 AS FILE NUMBER 652842
4. PARCEL MAP 2558 RECORDED OCTOBER 25, 1991 AS FILE NUMBER 1518008
5. GRANT, BARGAIN AND SALE DEED, RECORDED AS FILE NUMBER 5297465, APRIL 22, 2022
6. GRANT, BARGAIN AND SALE DEED, RECORDED AS FILE NUMBER 2228241, JULY 6, 1998
7. GRANT, BARGAIN AND SALE DEED, RECORDED AS FILE NUMBER 740353, MAY 26, 1981
8. DEED DOCUMENT RECORDED AS FILE NUMBER 13326, FEBRUARY 16, 1918
9. TRACT MAP 537, RECORDED AUGUST 27, 1956 AS FILE NUMBER 264116
10. DEED DOCUMENT RECORDED AS FILE NUMBER 8413309, OCTOBER 19, 2023

ALL RECORD DOCUMENTS HAVE BEEN FILED IN THE OFFICIAL RECORDS OF WASHOE COUNTY, STATE OF NEVADA.

**BASIS OF BEARINGS:**

THE BASIS OF BEARING FOR THIS SURVEY IS BASED ON THE NEVADA STATE PLANE COORDINATE SYSTEM OF 1983, WEST ZONE, NAD 83/94. DISTANCES SHOWN ARE GROUND DISTANCES USING A PROJECT COMBINED GRID TO GROUND SCALE FACTOR OF 1.000107930.

**AREA:**

PARCEL 1: 13.43 ± ACRES  
 PARCEL 2: 45.80 ± ACRES  
 TOTAL AREA: 59.23 ± ACRES

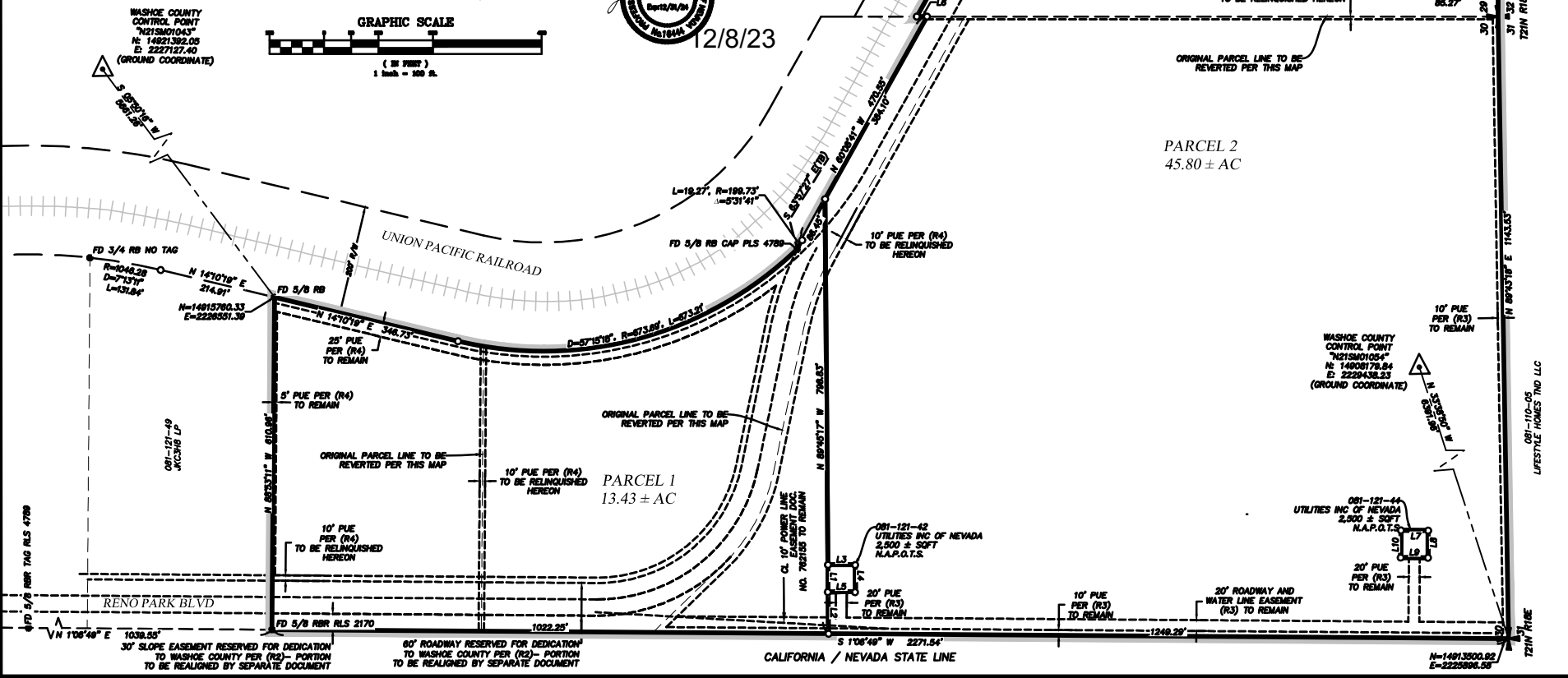
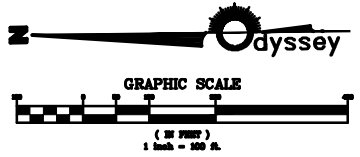
**NOTES:**

1. PUBLIC UTILITY EASEMENTS ARE HEREBY GRANTED, TEN FEET IN WIDTH CENTERED ABOUT ALL INTERIOR LOT LINES, FIVE FEET IN WIDTH CONCURRENT WITH THE REAR LOT LINE AND FIVE FEET IN WIDTH CONCURRENT WITH THE EXTERIOR BOUNDARIES AND TEN FEET ALONG PARKER PLACE.
2. A PUBLIC UTILITY EASEMENT IS ALSO HEREBY GRANTED WITHIN EACH PARCEL FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICE FACILITIES AND CATCH TO THAT PARCEL AND THE RIGHT TO EXIT THAT PARCEL WITH SAID UTILITY FACILITIES FOR THE PURPOSE OF SERVING OTHER PARCELS AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THAT TIME, AND THE UTILITY COMPANY.
3. THE UTILITY EASEMENTS SHOWN AND NOTED ON THIS PLAT SHALL INCLUDE USE FOR THE INSTALLATION AND MAINTENANCE OF CABLE TELEVISION FACILITIES.
4. THE NATURAL DRAINAGE WILL NOT BE IMPEDED DURING THE DEVELOPMENT OR IMPROVEMENT OF THESE PARCELS.
5. FEES FOR IMPROVEMENT PLAN CHECKING AND CONSTRUCTION INSPECTION SHALL BE IN ACCORDANCE WITH WASHOE COUNTY ORDINANCE AND SHALL BE PAID PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
6. EACH PARCEL CREATED BY THIS MAP IS REQUIRED TO HAVE A SEPARATE WATER METER AND WATER SERVICE LINE. DISTRICT SHALL HAVE THE RIGHT TO INSTALL A WATER METER WITHIN THE PUBLIC UTILITY EASEMENTS SHOWN HEREIN FOR THE PURPOSE TO SERVE EACH PARCEL RESPECTIVELY.
7. WASHOE COUNTY WILL PRE-ASSIGN ADDRESSES TO BE RELEASED ONCE AN ASSESSOR'S PARCEL NUMBER HAS BEEN ESTABLISHED. IF STRUCTURE PLACEMENT DOES NOT REFLECT THE STREET ON WHICH THE PRE-ASSIGNED ADDRESS IS ISSUED, THE DEVELOPER WILL REQUEST A NEW ADDRESS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
8. ALL THE PARCELS CREATED ON THIS MAP SHALL HAVE SEPARATE SEWER LINES TO BE CONNECTED AND SERVED BY SUN VALLEY GENERAL IMPROVEMENT DISTRICT.
9. FOR EACH PARCEL CREATED BY THIS MAP, ACCESS AND DRAINAGE IMPROVEMENTS MEETING THE REQUIREMENTS OF WASHOE COUNTY DEVELOPMENT CODE ARE REQUIRED WITH SAID IMPROVEMENTS.
10. NO HABITABLE STRUCTURE SHALL BE LOCATED ON A FAULT THAT WAS ACTIVE DURING THE HOLOCENE EPOCH OF GEOLOGICAL TIME.
11. FIRE HYDRANTS SHALL BE INSTALLED AS PER FIRE DEPARTMENT REQUIREMENTS WITH THE ISSUANCE OF BUILDING PERMITS.

**LEGEND:**

- FOUND PROPERTY CORNER AS NOTED
- SET 5/8" REBAR W/CAP PLS 16444
- FOUND 3" BRASS CAP BUREAU OF LAND MANAGEMENT CORNER OR AS NOTED
- WASHOE COUNTY GPS CONTROL STATION
- PARCEL MAP
- PUBLIC UTILITY EASEMENT
- RECORD OF SURVEY
- FOUND
- TANGENT BEARING
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PARCEL LINE TO BE REVERTED
- EASEMENT LINE
- CENTERLINE
- SURVEY TIE
- GRAPHIC BORDER

LINE #	DIRECTION	LENGTH
L1	S89°45'17"E	50.00'
L2	N89°45'17"W	76.67'
L3	S07°43'3"W	50.00'
L4	N89°45'17"W	50.00'
L5	N07°44'3"E	25.00'
L6	S0°41'39"W	18.83'
L7	S10°6'48"W	50.00'
L8	N88°53'12"W	50.00'
L9	N10°6'48"E	25.00'
L10	S88°53'12"E	50.00'



WASHOE COUNTY CONTROL POINT  
 "7215801054"  
 N: 14808178.84  
 E: 2229438.23  
 (GROUND COORDINATE)

081-121-42 UTILITIES INC OF NEVADA  
 2,500 ± SQFT  
 N.A.P.O.T.S.

081-121-44 UTILITIES INC OF NEVADA  
 2,500 ± SQFT  
 N.A.P.O.T.S.

N=14813500.92  
 E=2225886.58

**SECOND ADDENDUM TO Raymond and Nancy Gerdes Permit 65059**

**Subject:** April 15, 2022 Addendum to update:

**5. WATER RIGHTS.**

On April 13, 2022, PROJECT MAX LAND, LLC ("PML"), developer of an industrial, manufacturing and distribution complex (the "Project"), requested that 7 AFA be dedicated to parcels 081-131-24, 081-121-32, 39, 43, 46, 50 & 51 from rights previously held by Raymond G. and Nancy S. Gerdes (collectively "Gerdes"). This dedication was under Recorded Document 2433901, recorded in the office of the Washoe County Recorder, State of Nevada, on March 28, 2000. Our records indicate that Gerdes previously had (and KPI now has) 7 AFA remaining under Permit No. 65059 on file in the office of the Nevada State Engineer.

Gerdes quitclaimed the 7 AFA to KP Investors LLC ("KPI") by way of an original Addendum dated on or about March 1, 2022, and KPI now intends to convey the 7 AFA of water to PML.

PML is developing the Project and has requested that the 7 AFA be specifically dedicated to that project.

By execution of this Second Addendum, KPI assigns, transfers and forever quitclaims, and does release unto PML and to its heirs, successors and assigns forever, all of KPI's right, title and interest in and to its beneficial interest in the 7 acre-feet of water rights under Permit No. 65059.


The Utility will move these 7 acre-feet of Water Rights to support water service to the Project as provided for in this Agreement.

**6. FEES.**

Developer, PML, will advance \$250 to Utility as a deposit towards 3rd party fees associated with the review, transfer, and GIS work of the Water Rights for this Agreement.

IN WITNESS WHEREOF, this Agreement is executed on the date above first written.

**PROJECT MAX LAND, LLC**

By:   
Name: DOUG ROBERTS  
Title: MANAGER

**GREAT BASIN WATER CO.**

By:   
Name: James Eason  
Its: Director of NV Operations 4/18/22

**KP INVESTORS LLC**

By:   
Name: Pat Owens  
Title: Manager



**Great Basin Water Co. Service Inquiry  
COLD SPRINGS – SPANISH SPRINGS**

INQUIRER INFORMATION	
NAME: <u>DAVE SIMONSEN</u>	DATE: <u>10/26/21</u>
PHONE: <u>775-232-9822</u>	
EMAIL (print clearly): <u>DAVE.SIMONSEN@NWRK.COM</u>	
PROPERTY INFORMATION	
APN: <u>131.3 ACRES OF LAND w/ APN 081-121-32, 39, 43, 46,</u>	
SERVICE ADDRESS: <u>50 &amp; 51 AND 081-131-24</u>	

**INQUIRY REPLY – to be completed by GBWC**

WATER	
WATER SERVICE AVAILABLE:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ESTIMATED DISTANCE:	<u>see attached maps</u>
ENGINEERING REQUIRED:	<input type="checkbox"/> YES <input type="checkbox"/> NO
Due to the enactment 12/22/17 of the Federal Tax Cuts and Job Act a <b>23.45% Tax Gross Up</b> pursuant to NAC 704.6532 will apply to actual costs for meter & connection, capacity, and supply fees. This % is subject to change semi-annually.	
COMMENTS:	
<input checked="" type="checkbox"/>	This parcel is located within the Great Basin Water Co. service tariff area.
<input type="checkbox"/>	This parcel is not located within the Great Basin Water Co. service tariff area.
<input checked="" type="checkbox"/>	This parcel has water rights allocated.

15.39 AFA are noted in the Ledger as being associated with these parcels in aggregate being Washoe County APNs 081-121-32, 39, 43, 50, 51 and 081-131-24. This allocation is known as the "Glendale" dedication; all the parcels are within the tariff defined service area with the PUCN and all are within the Water Right place of use as permitted by the Nevada State Engineer.

The dedicated 15.39 AFA are allocated between the parcels on a pro-rata basis solely for the purpose of tracking as no known official parcel specific allocation is on file.

**The following items must be submitted in order to receive a more comprehensive cost estimate:**

- 1) Detailed description of the proposed project (include square footage of building(s) and square footage of common areas to be irrigated).
- 2) Engineered plans of the onsite layout and interior plumbing design (include the number of water meters and their size(s) & sewer service line size(s).
- 3) Engineer's estimate of daily water usage (gallons per day demand).

JG & DL 11/1/21

### Untitled Map

Write a description for your map

### Legend

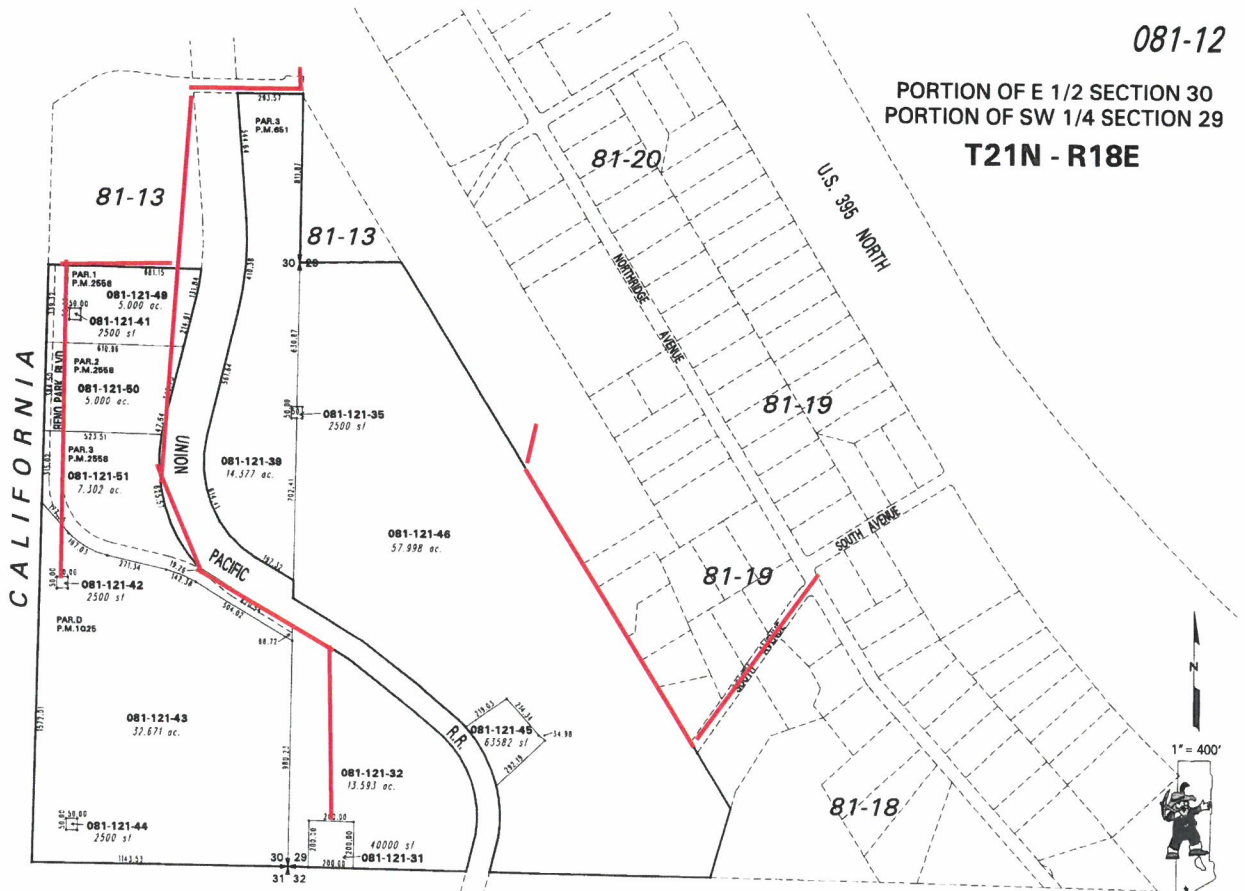
- 📍 ? ?Comfy Homes Cleaning Service
- 📍 ? ?Lakeview 74
- 📍 ? ?NVE Bordertown Substation



Google Earth

081-12

PORTION OF E 1/2 SECTION 30  
PORTION OF SW 1/4 SECTION 29  
**T21N - R18E**



NOTE: This map is prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or the accuracy of the data delineated hereon.

Office of Washoe County Assessor, Nevada - Joshua G. Wilson

81-11

This area previously shown on 80-14, 81-11

NOTE: Areas of parcels which are less than 2 acres are shown in square feet.

Drawn by	_CFR_6/8/01
Revised	

ARC/INFO 8.1 WINDOWS 3000 B.G.