

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: Goodwin Personal Storage			
Project Description: Personal Storage Mini Warehouse			
Project Address: 0 Reno Park Blvd (TBD)			
Project Area (acres or square feet): 53,950 square feet.			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): The northwest corner of this parcel is located at the intersection of S Reno Park Blvd and N Virginia St			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
081-140-19	5.35		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Goodwin and Sons, Inc		Name: Robison Engineering	
Address: 24089 Lake Gregory Dr Crestline, Ca Zip: 92325		Address: PO Box 1505 Sparks, NV Zip: 89432	
Phone: (775) 283-8496 Fax:		Phone: (775) 852-2251 Fax:	
Email: goodwin.martin@gmail.com		Email: eric@robisoneng.com	
Cell: Other:		Cell: (775) 336-8528 Other:	
Contact Person: Martin Goodwin		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: -SAME AS PROPERTY OWNER-		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A personal storage mini warehouse facility

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached

3. What is the intended phasing schedule for the construction and completion of the project?

The construction and competition will be done in one phase.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The subject site has challenging topography and has not been developed to date as a result. Mini storage units are shallower than most commercial buildings and allow adaptation to the site.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

There is an increasing number of residents in the area who could benefit from a personal storage facility. Development of this parcel will reduce the risk of wildfire in the neighborhood.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

Any commercial development may add traffic and impermeable coverage; storage access is infrequent and minimizes traffic. The public zone portion of the site is ideal for local stormwater mitigation and infiltration enhancement.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

See attached

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	No municipal sewer available - septic system proposed.
b. Electrical Service	Single phase power off existing power pole located onsite.
c. Telephone Service	TBD
d. LPG or Natural Gas Service	N/A
e. Solid Waste Disposal Service	N/A
f. Cable Television Service	N/A
g. Water Service	No municipal water available - domestic well proposed.

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

--

10. Community Services (provided and nearest facility):

a. Fire Station	Truckee Meadows Fire Station 42 in Cold Springs
b. Health Care Facility	Renown Health Urgent Care North Hills in Golden Valley
c. Elementary School	Nancy Gomes Elementary School in Cold Springs
d. Middle School	Cold Springs Middle School in Cold Springs
e. High School	North Valleys High School in Golden Valley
f. Parks	Cold Springs Park in Cold Springs
g. Library	North Valleys Library in Golden Valley
h. Citifare Bus Stop	On Moya Blvd. in Stead between Echo Ave. and Lear Blvd.

**Special Use Permit Application  
for Grading  
Supplemental Information**  
(All required information may be separately attached)

1. What is the purpose of the grading?

The majority of the existing subject site has slopes of 30-50% and is currently not practical for building. The proposed grading and imported material for fill shall reform the site to allow for construction.

2. How many cubic yards of material are you proposing to excavate on site?

Currently, proposed cut is 1,100 cubic yards

3. How many square feet of surface of the property are you disturbing?

53,950 square feet.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Current earthwork estimate: 1,100 CY cut, 5,300 CY fill - approximately 4,200 CY of material expected as needed import.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

It is most likely not possible to avoid surpassing the grading thresholds given the challenging topography of the subject property. However, a Special Use Permit is required in Washoe County anyway regardless for storage facilities.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No grading has been done.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

All areas of expected to be disturbed by grading are shown on the plan.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Disturbed area can be seen from Reno Park Blvd as it traverses through the subject property, and the development will be visible from the properties to the north, and from Virginia Street.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Given the nature and location, the development will not directly serve neighboring properties.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

All proposed graded slopes will be 3:1 max. Revegetation will be performed as soon as practical, and beforehand, the contractor shall adhere to the erosion and sediment control plan provided with this submission.

11. Are you planning any berms?

Yes	<input checked="" type="radio"/> No	If yes, how tall is the berm at its highest?
-----	-------------------------------------	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls are required. Currently, the max wall height is 6.0ft and will be concrete.

13. What are you proposing for visual mitigation of the work?

Dedicated landscaped areas are included with this proposed development. All graded slopes shall be revegetated with native plant species. The proposed buildings shall be architecturally attractive in nature and the development should improve the visual appeal of this property.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No trees exist onsite.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

The exact type of seed mix and density of said mix is to be decided, but the eventual mix shall comply with any requirements put specified by Washoe County and Washoe County code.

16. How are you providing temporary irrigation to the disturbed area?

Temporary irrigation will not be necessary.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	<input checked="" type="radio"/> No	If yes, please attach a copy.
-----	-------------------------------------	-------------------------------

**PROJECT AUTHORITY**  
 OWNER: GOODWIN & SONS  
 24089 LAKE GREGORY DR  
 CRESTLINE, CA 92325  
 (775) 283-8496  
 goodwin.martin@gmail.com

CIVIL ENGINEER: ROBISON ENGINEERING COMPANY  
 NATHAN ROBISON, PE  
 848 VICTORIAN AVE, STE 20  
 SPARKS, NV 89431  
 (775) 852-2251 x700  
 (775) 852-9736 fax  
 nathan@robisoneng.com

LANDSCAPE ARCHITECT: ATOMIC LANDSCAPE DESIGN, LLC  
 ROB KOCHER, RLA  
 RENO, NV 89523  
 (775) 742-1637  
 robert2975@gmail.com

**SHEET INDEX**  
 C1 SITE & GRADING PLAN  
 C2 EROSION & SEDIMENT CONTROL PLAN  
 A1 ELEVATIONS

**ABBREVIATIONS**

APN	ASSESSOR'S PARCEL NO.
CY	CUBIC YARDS
(E)	EXISTING
EG	EXISTING GRADE
OHE	OVERHEAD ELECTRICAL
OSDS	ONSITE SEWAGE DISPOSAL SYSTEM
(P)	PROPOSED
PP	POWER POLE
PCC	PORTLAND CEMENT CONCRETE
SF	SQUARE FEET
SVC	SERVICE
TYP.	TYPICAL

**PROJECT SUMMARY**

JURISDICTION: WASHOE COUNTY  
 COUNTY: WASHOE COUNTY, NEVADA  
 ASSESSORS' PARCEL: 081-140-19  
 ADDRESS: 0 RENO PARK BLVD (TBD)  
 ZONING: PSP 24% / NC 42% / GR 34%  
 FEMA FLOOD ZONES: X; FIRM MAP NO. 32031C2825H, REVISED JUNE 18, 2013  
 SUMMARY OF WORK: CONSTRUCTION OF NEW SELF-STORAGE FACILITY AND OFFICE BUILDING. SPECIAL USE PERMIT REQUIRED FOR THE PROPOSED STORAGE FACILITY AND FOR PROPOSED GRADING OVER 5,000 CUBIC YARDS

**LEGEND**

	PROPERTY BOUNDARY
	ADJOINING PROPERTY BOUNDARY
	SETBACK
	EASEMENT
	(E) ROAD CENTERLINE
	(E) APPROX. ZONING BOUNDARY
	(E) FLOW LINE
	(E) CONTOUR
	(P) CONTOUR
	(P) FLOW LINE
	(P) LIMITS OF DISTURBANCE / MATCH EG
	(P) GRADE BREAK
	(P) BUILDING
	(P) RETAINING WALL
	(P) RETAINING CURB
	(P) ROAD CENTERLINE

**EARTHWORK SUMMARY:**

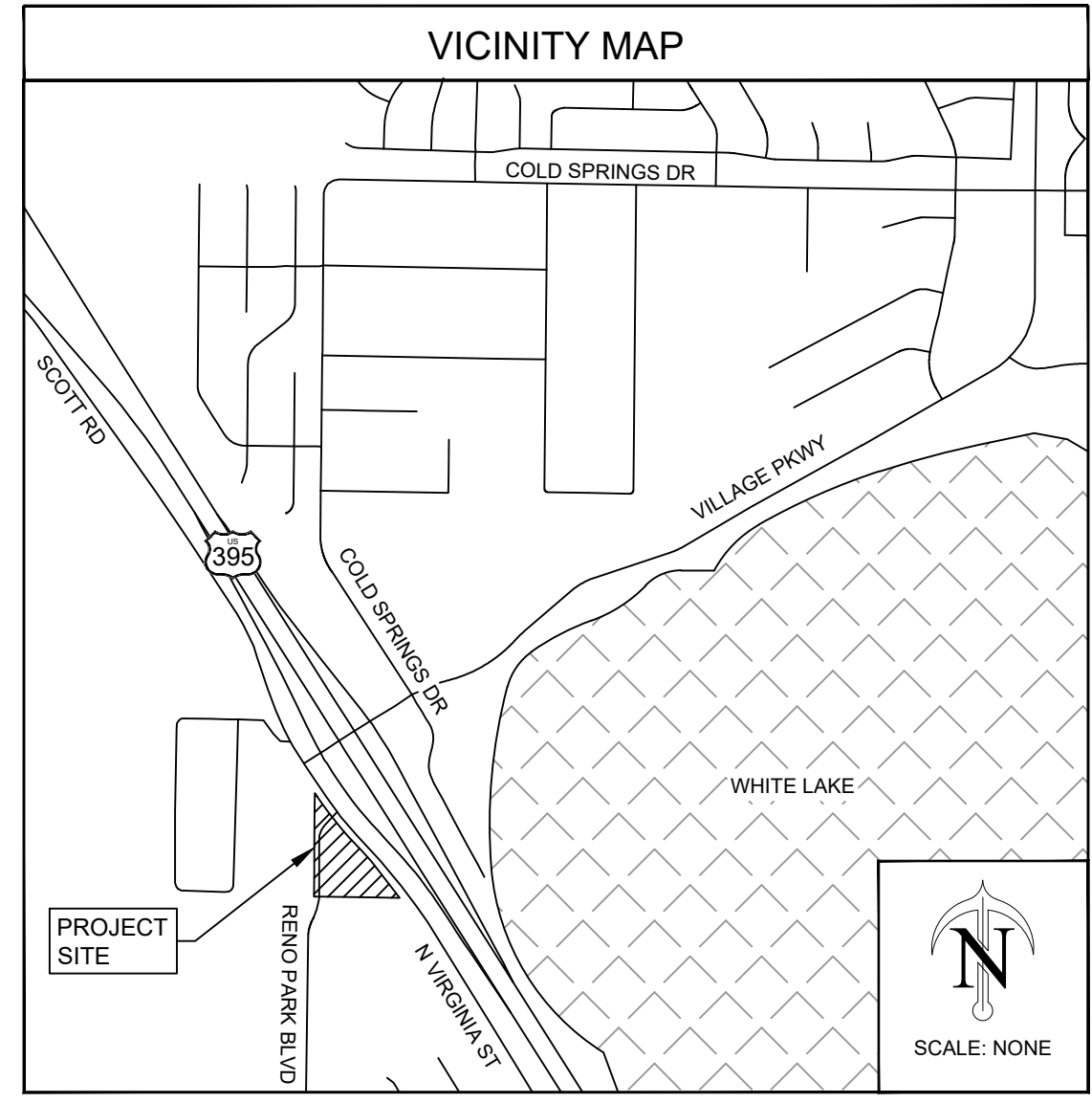
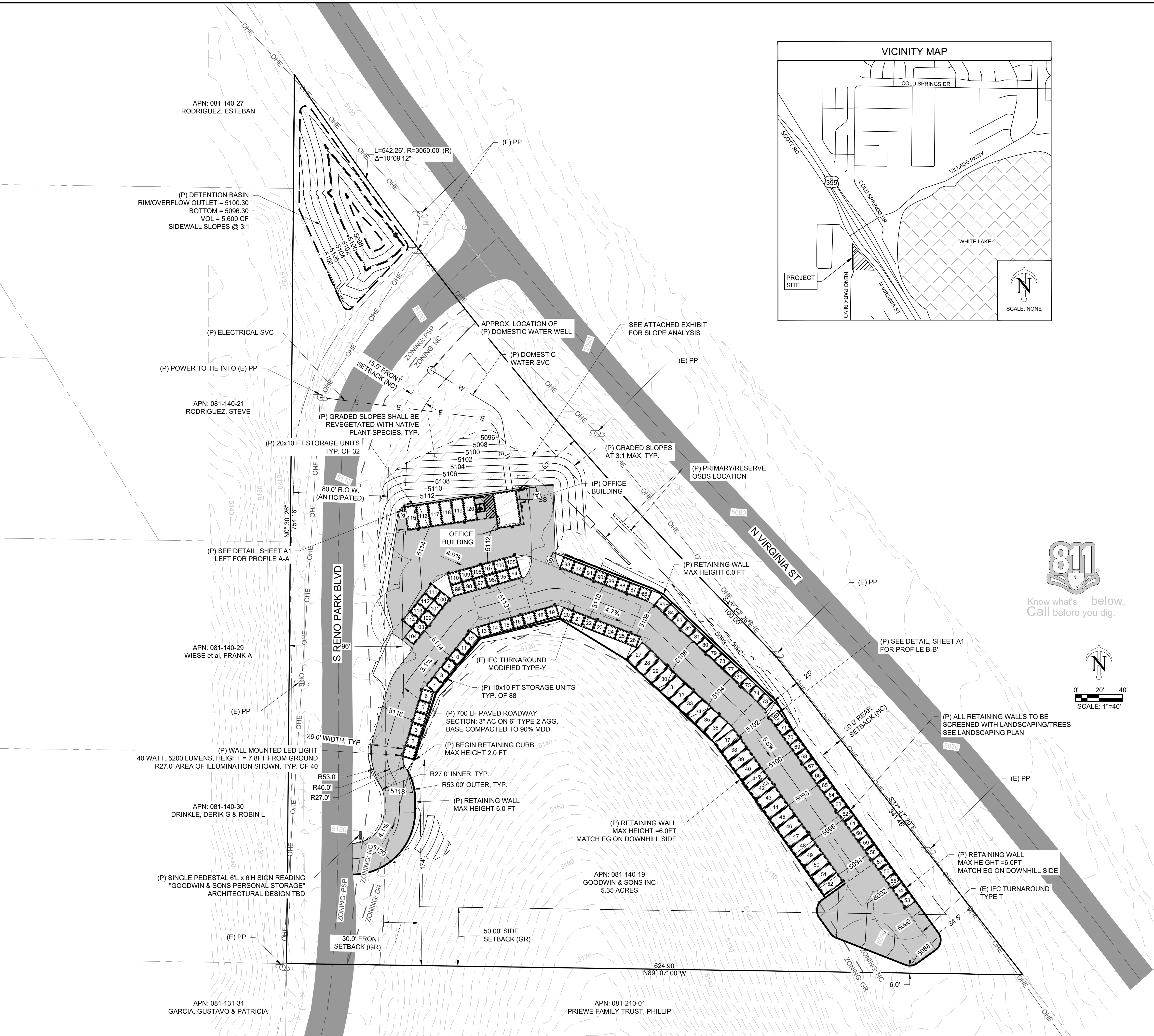
DISTURBED AREA:	1.33	ACRES
CUT:	2,240	CY
FILL:	5,290	CY
NET FILL:	3,050	CY

• EARTHWORK SUMMARY INCLUDES EXCAVATED VOLUME OF ENTIRE DETENTION BASIN.  
 • PER WASHOE COUNTY GUIDELINES, EARTHWORK ESTIMATE OMITTS AREAS WHERE THERE ARE PROPOSED BUILDINGS.

**PARKING ANALYSIS (WC DEVELOPMENT CODE CHAPTER 110, DIVISION 4, ARTICLE 410)**

SPACES REQUIRED:  
 110.410.10.3 - 1 SPACE / EMPLOYEE DURING PEAK EMPLOYMENT SHIFT: 2 SPACES (EXPECTED EMPLOYEES AT PEAK: 2)  
 - 1 SPACE FOR LOADING PER 2000 SF BUILDING FOOTPRINT: 8 SPACES (TOTAL BUILDING FOOTPRINT: 15,800 SF)  
 110.410.15.1 - 1 HANDICAPPED ACCESSIBLE SPACE FOR 1-25 REQUIRED: 1 SPACE

TOTAL REQUIRED: 10 SPACES w/ 1 HANDICAPPED ACCESSIBLE SPACE  
 PROVIDED PARKING: 3 STRIPED SPACES w/ 1 HANDICAPPED ACCESSIBLE SPACE, AND APPROXIMATELY 41 ADDITIONAL UNSTRIPED PARALLEL PARKING SPACE AREAS IN FRONT OF THE PROPOSED STORAGE UNITS FOR LOADING.



THE SEAL, STAMP AND SIGNATURE OF THE ENGINEER OR ARCHITECT ARE REQUIRED FOR ALL PERMITS AND CONTRACTS. THIS PLAN IS VOID WITHOUT THEM.	
<b>0 RENO PARK BLVD STORAGE SPECIAL USE PERMIT</b>	WASHOE COUNTY PROJECT NO: 1-221F-01.001
PREPARED FOR: <b>GOODWIN &amp; SONS LLC</b> 24089 LAKE GREGORY DR CRESTLINE, CA 92325 (775) 283-8496	DATE: PENDING
	DRAWN: LJD
<b>REFERENCES</b>	
NO. 0 DESCRIPTION: WASHOE COUNTY S.U.P. (REJECTED) DATE: 2022-12-08 BY: LJD LID: NER	NO. 1 DESCRIPTION: WASHOE COUNTY S.U.P. (RESUBMISSION) DATE: 2023-01-09 BY: LJD LID: NER
<b>REVISIONS</b>	
<b>APPROVALS</b> C1	
SHEET 1 OF 3	

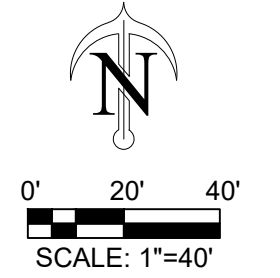
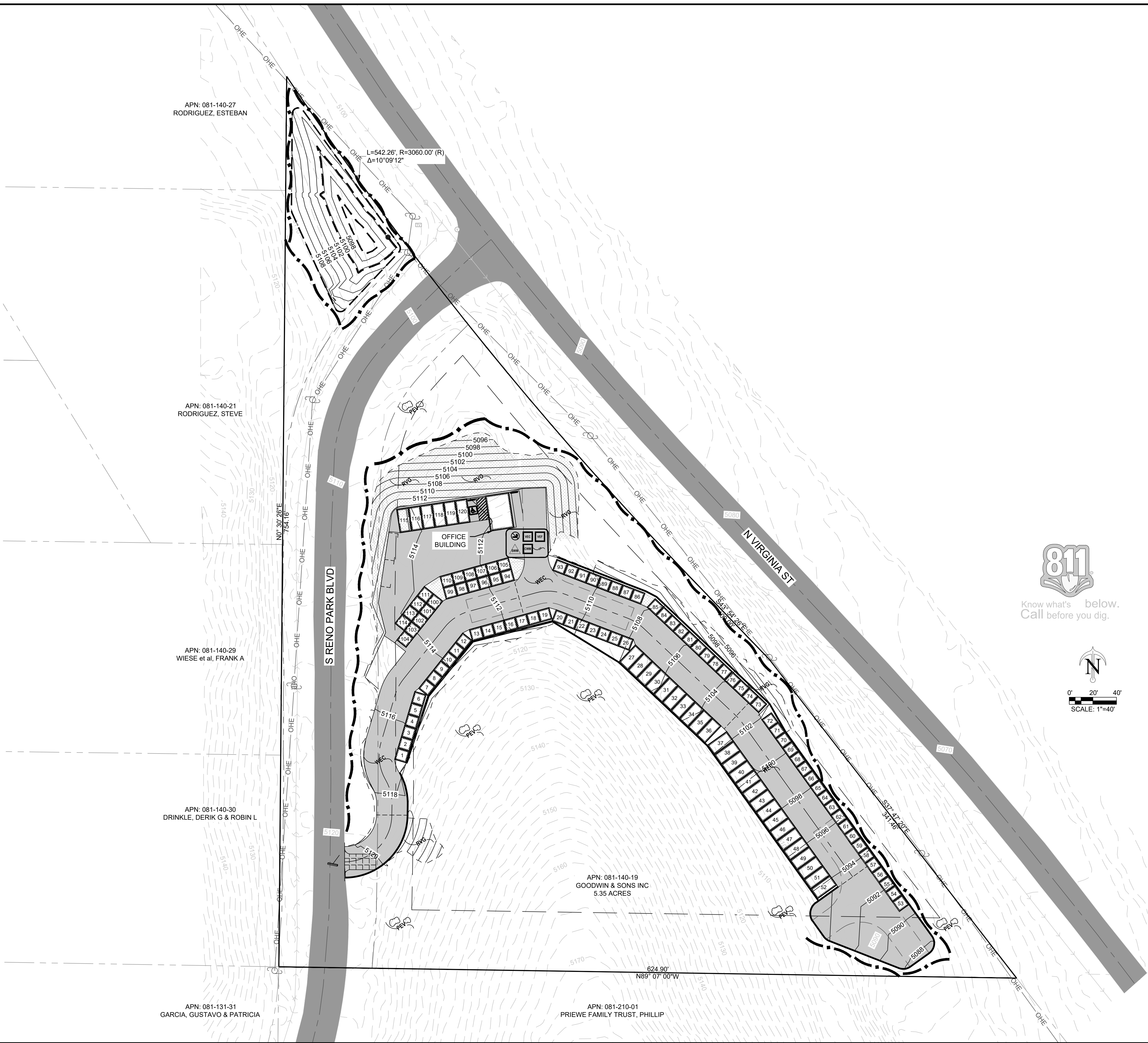
BMP NAME	BMP NUMBER	MAP SYMBOL	
TEMPORARY DIVERSION DIKES AND DITCHES	RC-2	TDD	
CHECK DAMS	RC-3		
TEMPORARY SLOPE DRAINS	RC-4	TSD	
PRESERVING EXISTING VEGETATION	EC-1		USE
SLOPE TERRACING AND TRACKING	EC-2	SIT	
MULCHING	EC-3		
SOIL BINDERS	EC-4	SB	
WIND EROSION AND DUST CONTROL	EC-5	WEC	USE
ROLLED EROSION CONTROL PRODUCTS	EC-6	RECP	
RIP RAP	EC-7		
SAND BAG BARRIERS	SC-3	SB	
GRAVEL FILTER BERM	SC-4	GB	
SILT FENCES	SC-5		USE
TEMPORARY SEDIMENT TRAPS	SC-6		
SEDIMENT RETENTION BASINS	SC-7		
CONSTRUCTION SITE ENTRANCES AND EXITS	SC-8		USE
CONSTRUCTION EXIT TIRE WASH	SC-9		
STABILIZED CONSTRUCTION ROADWAY	SC-10		
TEMPORARY STREAM CROSSING	DP-1		
SOLID AND DEMOLITION WASTE MANAGEMENT	GM-3	SWM	USE
DEWATERING OPERATIONS	GM-4	DW	
STREET SWEEPING	GM-5		USE
SPILL PREVENTION AND CONTROL	GM-6		USE
VEHICLE AND EQUIPMENT	GM-7	VEC	USE
VEHICLE AND EQUIPMENT MAINTENANCE AND FUELING	GM-8	VEF	USE
HANDLING AND DISPOSAL OF CONCRETE AND CEMENT	GM-9	CWM	USE
MATERIAL DELIVERY, HANDLING, STORAGE AND USE	GM-10	MS	USE
STORMDRAIN OUTLET PROTECTION	DP-2		
STORMDRAIN INLET PROTECTION	DP-3		
STOCKPILE MANAGEMENT	GM-2	SM	USE
REVEGETATION	EC-8	RVG	USE
FIBER ROLLS	SC-1	FR	
BRUSH AND ROCK FILTERS	SC-2	RF	

**EROSION AND SEDIMENT CONTROL NOTES**

1. TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:

- THE STATE OF NEVADA GENERAL PERMIT NVR100000
- THE "TRUCKEE MEADOWS HANDBOOK"
- WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS

2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.



**0 RENO PARK BLVD STORAGE SPECIAL USE PERMIT**  
 EROSION & SEDIMENT CONTROL PLAN  
 WASHOE COUNTY  
 PROJECT NO: 1-2212-01-001

THE WETSTAMPED AND SIGNED COPY OF THIS PLAN SHALL BE KEPT ON THE JOB SITE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

PREPARED FOR:  
**GOODWIN & SONS LLC**  
 24081 LAKE GREGORY DR  
 CRESTLINE, CA 92325  
 (775) 283-9496

**Robinson Engineering**  
 848 VICTORIAN AVENUE  
 WASHINGTON, NV 89015  
 (775) 852-2251  
 www.robsoneng.com  
 DRAWN: LJD  
 DATE: PENDING

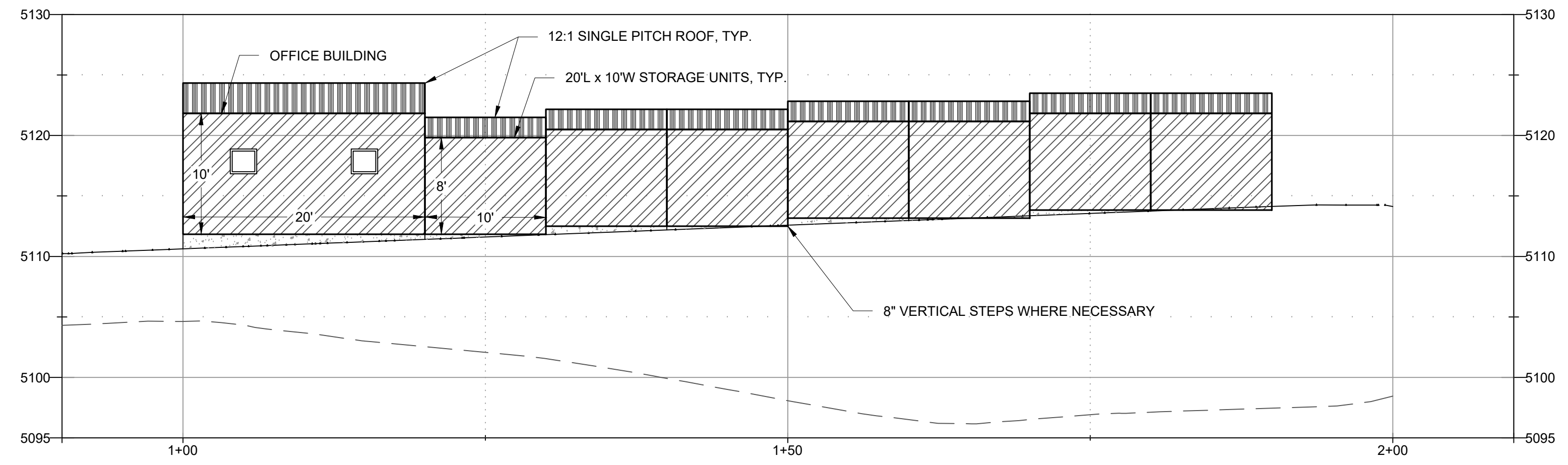


NO	DESCRIPTION	DATE	BY	CHK'D
1	WASHOE COUNTY S.U.P. (REJECTED)	2022-12-08	LJD	NER
2	SITE PLAN REVIEW	2022-12-22	LJD	NER
3	WASHOE COUNTY S.U.P. (RESUBMISSION)	2023-01-09	LJD	NER

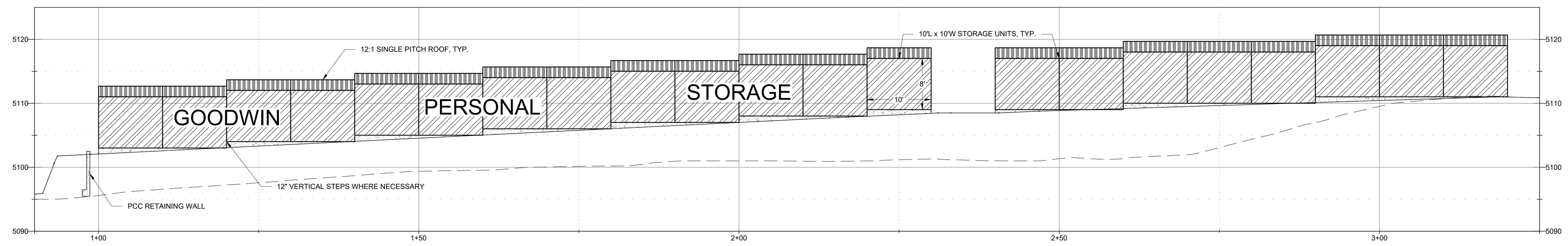
NO	DESCRIPTION	DATE	BY	CHK'D
1	WASHOE COUNTY S.U.P. (REJECTED)	2022-12-08	LJD	NER
2	SITE PLAN REVIEW	2022-12-22	LJD	NER
3	WASHOE COUNTY S.U.P. (RESUBMISSION)	2023-01-09	LJD	NER

APPROVALS  
**C2**  
 SHEET 2 OF 3





PROFILE A-A'  
VERTICAL/HORIZ. SCALE: 1"=8'  
(NO EXAGGERATION)



PROFILE B-B'  
VERTICAL/HORIZ. SCALE: 1"=8'  
(NO EXAGGERATION)

0 RENO PARK BLVD STORAGE  
SPECIAL USE PERMIT  
ELEVATIONS  
WASHOE COUNTY  
PROJECT NO: 1-2212-01.001

THE WET STAMPED AND  
SIGNED COPY OF THIS PLAN  
SHEET IS THE ONLY VALID  
COPY FOR CONSTRUCTION.  
ALL OTHER COPIES ARE VOID.  
FOR MORE INFORMATION,  
CONTACT THE ENGINEER.  
NOTES AND CONTRACT  
AGREEMENT.  
0" 1/2" 1" 1"  
INCH@FULL SCALE

PREPARED FOR:  
**GOODWIN & SONS LLC**  
24081 LAKE GREGORY DR  
CRESTLINE, CA 92325  
(775) 283-5496

**Robinson Engineering**  
846 VICTORIAN AVENUE  
WASHOE COUNTY, NV 89415  
WWW.ROBINSONENGINEERING.COM  
(775) 852-2251  
DRAWN: LJD  
DATE: PENDING



REFERENCES

NO	DESCRIPTION	DATE	BY	CHK'D
0	WASHOE COUNTY S.U.P. (REJECTED)	2022-12-08	LJD	NER
	SITE PLAN REVIEW	2022-12-22	LJD	NER
1	WASHOE COUNTY S.U.P. (RESUBMISSION)	2023-01-09	LJD	NER

REVISIONS

NO	DESCRIPTION	DATE	BY	CHK'D

APPROVALS

**A1**  
SHEET 3 OF 3



C:\Users\dmccarthy\OneDrive\Documents\221201.001\_00\RenParkBlvd\DWG\Civil\01\RenParkBlvd\_SUP\_Civil.dwg 10/2023 2:35:39 PM LDOYLE

Robison Engineering Company, Inc  
846 Victorian Ave, Suite 20, 89431

www.robisoneng.com



Washoe County  
1001 E Ninth St  
Reno, NV 89501

Date: 2022-12-08

**SUBJECT:** 0 Reno Park Blvd  
APN 081-140-19  
Special Use Permit – Goodwin Personal Storage  
Traffic Impact Statement

**RENG Project #**  
1-2212-01.001

To Washoe County Planning,

Per the Washoe County Special Use Permit application, any development that is expected to generate 80 or more weekday peak hour trips shall require a traffic impact report to be completed.

This development is proposing 87 individual storage units. Though estimates for mini-storage vary fairly widely (from approximately 17 trips per day at 2 trips per 1000 sf per ASTE general factors, to approximately 6 trips per day per 100 units, per other sources). All references indicate far fewer than 80 weekday peak hour trips, therefore we request that a formal traffic study be excluded from requirements for the SUP and future building permit submittals.






Please contact us with any questions regarding this permit.

Sincerely,  
ROBISON ENGINEERING COMPANY






Nathan Earl Robison  
Principal Engineer  
(775) 852-2251 x 700  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)

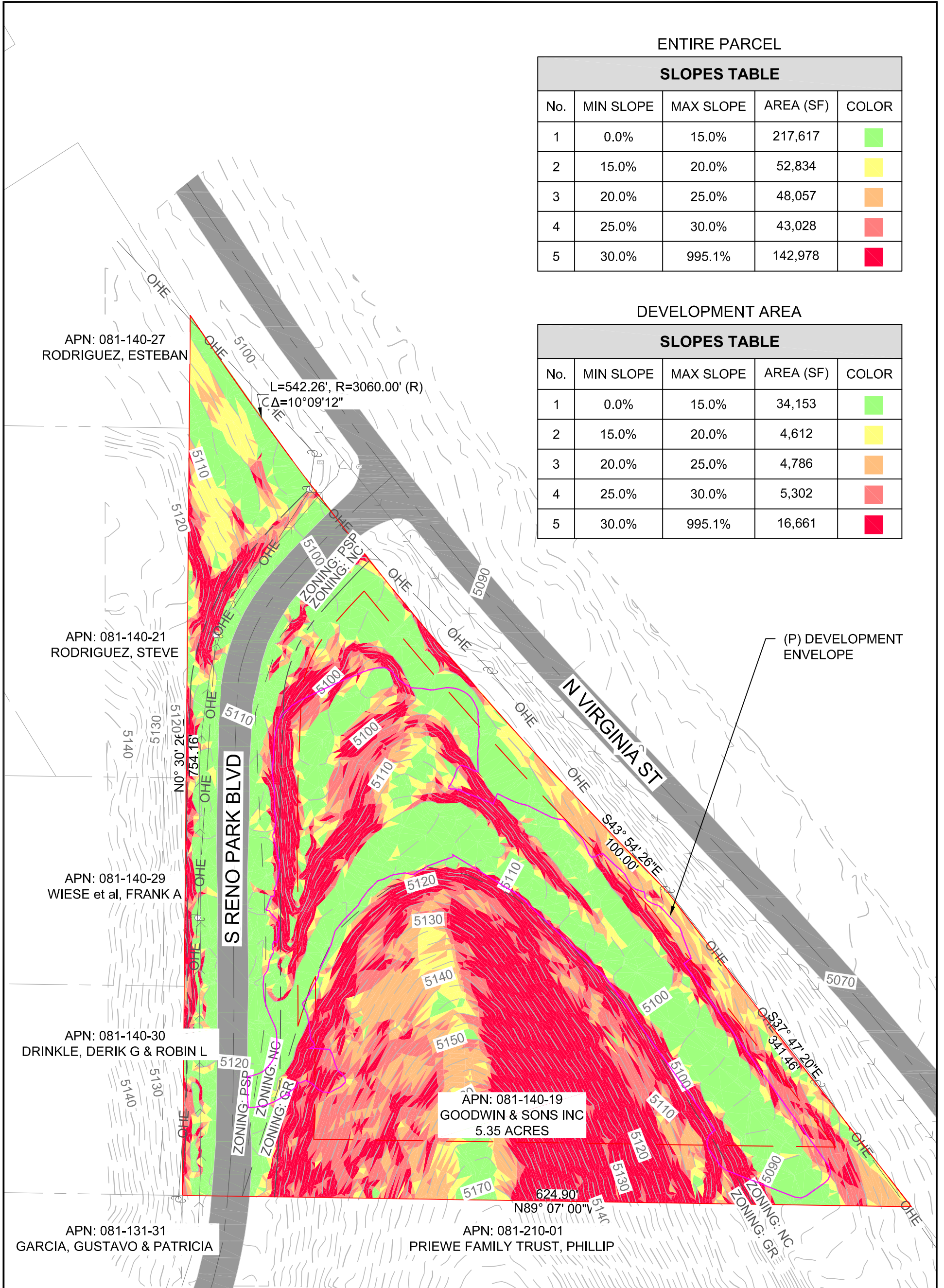


ENTIRE PARCEL

SLOPES TABLE				
No.	MIN SLOPE	MAX SLOPE	AREA (SF)	COLOR
1	0.0%	15.0%	217,617	
2	15.0%	20.0%	52,834	
3	20.0%	25.0%	48,057	
4	25.0%	30.0%	43,028	
5	30.0%	995.1%	142,978	

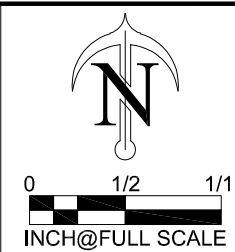
DEVELOPMENT AREA

SLOPES TABLE				
No.	MIN SLOPE	MAX SLOPE	AREA (SF)	COLOR
1	0.0%	15.0%	34,153	
2	15.0%	20.0%	4,612	
3	20.0%	25.0%	4,786	
4	25.0%	30.0%	5,302	
5	30.0%	995.1%	16,661	

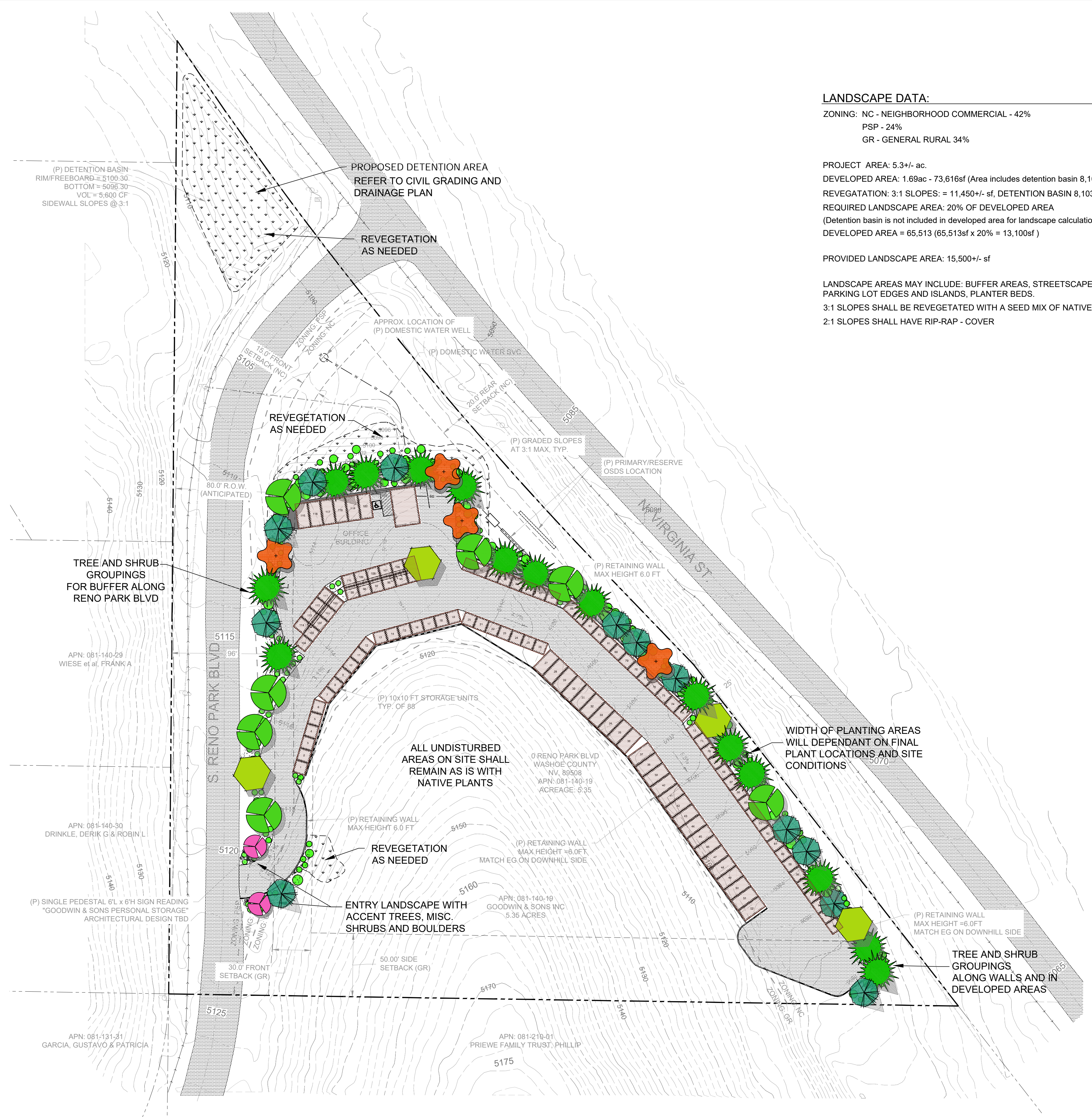


DRAWN: LJD  
DATE: PENDING

PREPARED FOR:  
**GOODWIN & SONS LLC**  
24089 LAKE GREGORY DR  
CRESTLINE, CA 92325  
(775) 283-8496



**0 RENO PARK BLVD STORAGE SPECIAL USE PERMIT**  
EXHIBIT A  
SLOPE ANALYSIS  
WASHOE COUNTY  
PROJECT NO: 1-2212-01.001



**LANDSCAPE DATA:**

ZONING: NC - NEIGHBORHOOD COMMERCIAL - 42%  
 PSP - 24%  
 GR - GENERAL RURAL 34%

PROJECT AREA: 5.3+/- ac.  
 DEVELOPED AREA: 1.69ac - 73,616sf (Area includes detention basin 8,103sf)  
 REVEGETATION: 3:1 SLOPES: = 11,450+/- sf, DETENTION BASIN 8,103sf  
 REQUIRED LANDSCAPE AREA: 20% OF DEVELOPED AREA  
 (Detention basin is not included in developed area for landscape calculations)  
 DEVELOPED AREA = 65,513 (65,513sf x 20% = 13,100sf)

PROVIDED LANDSCAPE AREA: 15,500+/- sf

LANDSCAPE AREAS MAY INCLUDE: BUFFER AREAS, STREETSCAPES,  
 PARKING LOT EDGES AND ISLANDS, PLANTER BEDS.  
 3:1 SLOPES SHALL BE REVEGETATED WITH A SEED MIX OF NATIVE PLANTS.  
 2:1 SLOPES SHALL HAVE RIP-RAP - COVER

**PLANT LEGEND**

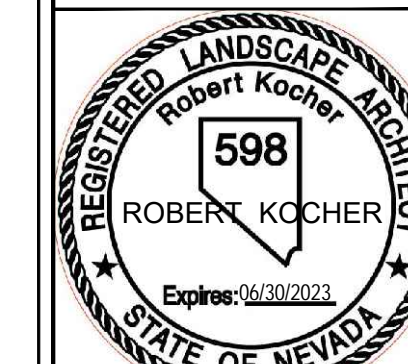
- DECIDUOUS SHADE TREES
- FLOWERING OR COLUMNAR DECIDUOUS TREES
- EVERGREEN TREES
- SHRUB PLANTINGS
- AREAS OF PLANTING

TOTAL AREA FOR LS CALCULATIONS = 13,100+/- sf  
 TREES REQUIRED: 44 ea.  
 (1 TREE PER 300 SF OF REQ. LS AREA)  
 (13,100/300 = 43.7)  
 TREES PROPOSED: 44 ea.  
 SHRUBS REQUIRED: 262 ea.  
 (6 SHRUBS PER 300 SF OF REQ. LS AREA) = 262 ea.  
 (13,100/300 = 43.7 x 6 = 262)  
 SHRUBS PROPOSED: 262 ea.

PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER WASHOE COUNTY CODE REQUIREMENTS. PLANT LOCATIONS AND SPECIES SELECTION SHALL BE DETERMINED UPON DEVELOPMENT OF THE FINAL CONSTRUCTION DOCUMENTS. EXISTING TREES ON SITE THAT ARE OUTSIDE OF CONSTRUCTION LIMITS AND CAN BE PROTECTED DURING CONSTRUCTION SHALL REMAIN.

**GENERAL NOTES**

- 1) ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
- 2) FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. PLANT SIZES SHALL BE PER CODE. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- 3) ALL SHRUB BEDS AND/OR TREE WELLS WILL RECEIVE 4" DEPTH MULCH WITH WEED CONTROL.
- 4) ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.



REVISIONS

APPROVALS

File: 2534-01  
 Design: RK  
 CK: RK  
 Date: 01/09/2023

SHEET

L1