

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>11910 Overland Rd ADU</b>			
Project Description: 30'x60' metal building divided into 521 sq ft wood framed apartment unit, 923 sq ft workshop and 235 sq ft garage.			
Project Address: 11910 Overland Rd, Reno NV 89506			
Project Area (acres or square feet): 1.032 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): Lemmon Valley, Heppner subdivision 4 AMD, Lot 7 Block 5, bordered by Oregon Blvd, Overland Road, Ohio Street and Fir Drive			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
080-385-13	1.032		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Eric & Gail Lieberman		Name:	
Address: 11910 Overland Rd		Address:	
Reno NV	Zip: 89506		Zip:
Phone: 530.412.2293	Fax:	Phone:	Fax:
Email: avalanche.eric@gmail.com		Email:	
Cell: 530.412.2293	Other:	Cell:	Other:
Contact Person: Eric Lieberman		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application  
for a Detached Accessory Dwelling  
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

1140 sq ft

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

521 sq ft

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

same paint scheme, grey with white trim

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

new gravel driveway, 2 off street parking spaces

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

There is no existing vegetation to be removed.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	septic tank with leach field	septic tank with leach field
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	on site well	on site well

# ACCEPTANCE OF CONDITIONS AND APPROVAL FOR DOMESTIC WATER WELL USE FOR AN ACCESSORY DWELLING

Physical Address of Domestic Well Parcel:

11910 Overland Rd, Reno NV 89506

Located in the County of: Washoe

County Assessor Parcel Number: 080-385-13


I, Eric Lieberman, the owner of the above-referenced parcel  
Please Print

of land, fully understand and accept the conditions listed below and upon which this approval is made.

1. The combined water use from the well for the main residence and any accessory dwelling shall not exceed two (2) acre-feet per year as provided in Chapter 534.180 of the Nevada Revised Statutes (NRS).
2. A totalizing meter shall be installed near the discharge of the well that provides water to the main residence and the accessory dwelling. This meter shall be easily accessible for meter reading by the DWR and maintained in good working order and shall be installed to measure all water pumped from the well for the purposes of this approval. No water shall be used by the accessory dwelling until the meter has been installed.
3. The main residence and any accessory dwelling shall remain on the same parcel as determined by the County Assessor records, or this authorization shall be rescinded.
4. Water usage measurements from the totalizing meter must be submitted by the parcel owner to DWR no later than January 31st of each calendar year.

**Pursuant to NRS 53.045, I hereby certify, under penalty of perjury of the laws of the State of Nevada, that the foregoing is true and correct.**

Signed

  
\_\_\_\_\_  
Owner

Address

11910 Overland Rd

Street Address or PO Box

Reno, NV 89506

City, State, ZIP Code

Phone

530.412.2293

E-mail

avalanche.eric@gmail.com



## Approval of Local Governing Body or Planning Commission

This request to allow an accessory building to be served by a domestic well is hereby approved subject to the attached notarized agreement.

County Assessor Parcel Number: 080-385-13

Owner Eric and Gail Lieberman

Signature

Print Name

Title

Agency

Date

Phone Number

**After approval, please send original to:**

**State Engineer  
Nevada Division of Water Resources  
901 South Stewart Street  
Suite 2002  
Carson City, NV 89701**



Washoe County  
COMMUNITY SERVICES DEPARTMENT  
Planning and Building Division

**Early Application Waiver**

I, \_\_\_\_\_ Applicant or Representative  
Print name (circle one)

Acknowledge and understand that for the privilege and convenience of submitting my application before the scheduled application date, I am waiving my right to claim that the county has failed to process my application in a timely manner, as required by NRS 278.02327. I understand that my application will be assigned to a staff planner and processed during the next application cycle and the County will conform to the State and Washoe County Development Code mandated processing requirements as of the date of that application cycle.

Application Type and Case Number: Dadar

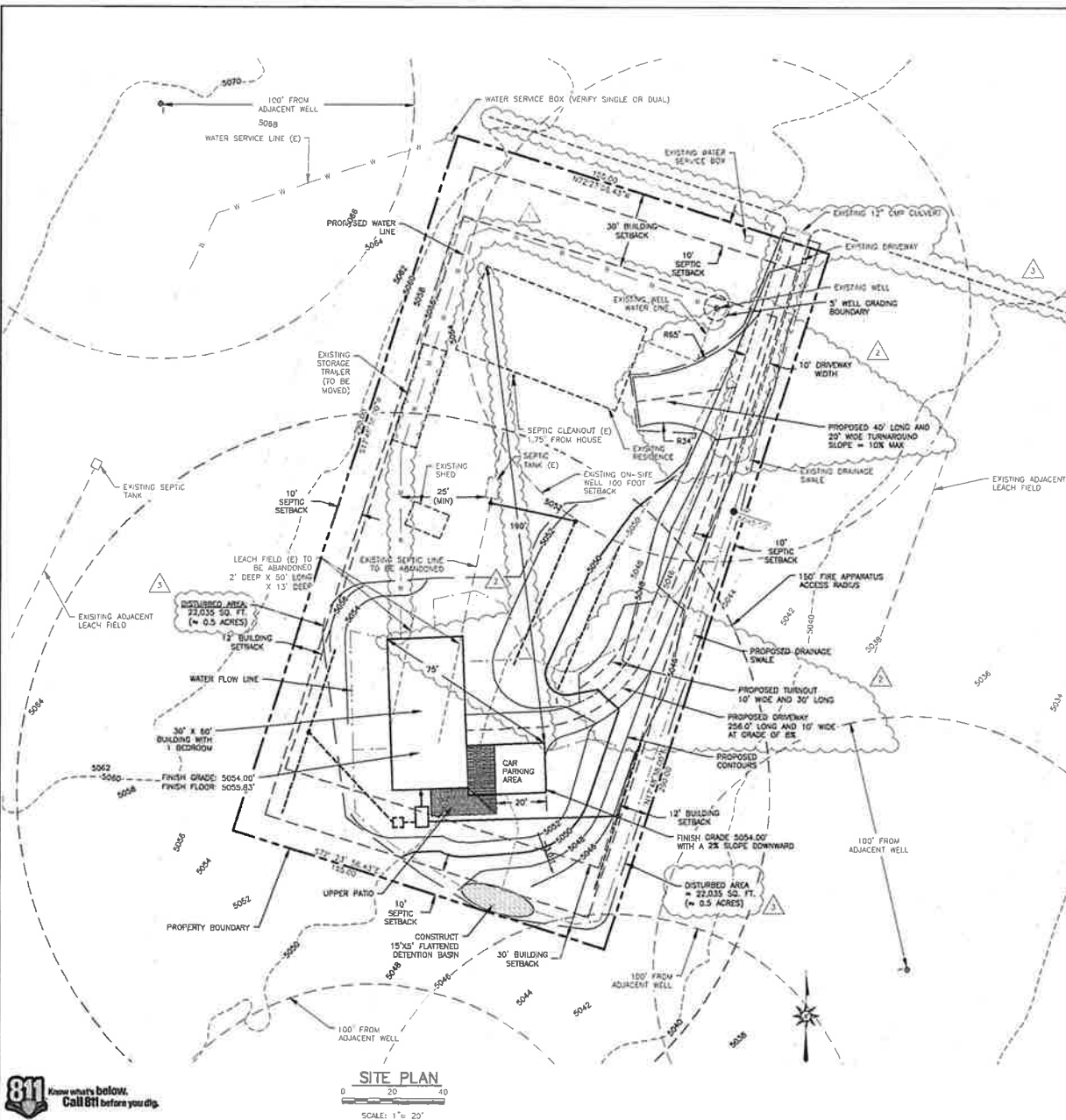
Property Address or APN: 080-385-13

Date Submitted: 08/4/23

Application Date: 08/08/23

Signature: [Handwritten Signature]

Print Name: Eric Lieberman



VICINITY MAP  
N.T.S.

**LOT INFORMATION:**

ADDRESS: 11910 OVERLAND DRIVE, WASHOE COUNTY, NEVADA 89506  
 ASSESSOR'S PARCEL: A.P.N. 080-385-13  
 LOT SIZE: SQUARE FEET (1032 ACRE)  
 ZONING: LOW DENSITY SUBURBAN (LDS)  
 FLOOD: ZONE X  
 FIRM PANELS: 32031C28500G

**LEGAL OWNER:**

ERIC AND GAIL LIEBERMAN  
 11810 OVERLAND DRIVE,  
 RENO, NEVADA 89508  
 PHONE: (530) 412-2233  
 E-MAIL: AVALANCHE.ERIC@GMAIL.COM

**DESIGN ENGINEER:**

CHAD E. CARRAS P.E.  
 RENO TANGEO CEO ASSOCIATES, INC.  
 P.O. BOX 1844  
 RENO, NEVADA 89511  
 CCARR@RTECO.COM  
 (775) 853-9100

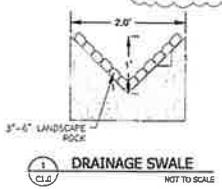
**SHEET INDEX**

- C1.0 - SITE & GRADING PLAN
- C2.0 - ON-SITE DISPOSAL PLAN

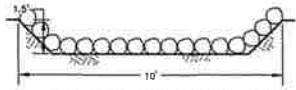
**GRADING NOTES:**

- CONTRACTOR SHALL MAINTAIN AN ADEQUATE DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS. THE CONTRACTOR SHALL MAINTAIN CONFORMITY WITH ALL APPLICABLE HEALTH AND AIR POLLUTION REGULATIONS.
- ALL GRADING WORK SHALL CONFORM TO CURRENT PROVISIONS OF THE WASHOE COUNTY GRADING ORDINANCE AND MAINTAIN CONFORMITY WITH ALL OTHER APPLICABLE AGENCIES.
- THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTION WITH ADJOINING PROPERTIES (PUBLIC OR PRIVATE).
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE PLANS. THIS RESPONSIBILITY INCLUDES CONTRACTING UTILITY COMPANIES FOR LOCATIONS OR POT HOLEING PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SLOPE AWAY FROM STRUCTURE IS REQUIRED TO BE 5% FOR 10 FEET MIN.
- SITE EARTHWORK: CUT=104 CUBIC YARDS; FILL=832 CUBIC YARDS; NET BALANCE = (832CY-104CY)=728CY OF FILL. STRUCTURAL FILL TO BE APPROVED BY THIS ENGINEER PRIOR TO USE.
- ALL DISTURBED AREAS WILL BE OCCUPIED BY PERMANENT STRUCTURES OR FLATWORK IMPROVEMENTS (DRIVEWAYS, ETC.) OR RECEIVE LOCALIZED LANDSCAPING. AREAS WHICH ARE NOT LANDSCAPED MAY BE REVEGETATED USING THE FOLLOWING SEED MIXTURES RECEIVED FROM COMstock SEED, LLC LISTED BELOW:

Comstock Seed, LLC	
Species	LBN PER ACRE
PERENNIAL RYEGRASS	700
BELT TALL FESCUE	200
PERENNIAL WHEATGRASS	100
HELMET FLUNGRASS	100
BEHCHAM WHEATGRASS	100
WHEATGRASS	200
BELT TALL FESCUE	100
PERENNIAL RYEGRASS	200
HELMET FLUNGRASS	100
BEHCHAM WHEATGRASS	100
WHEATGRASS	200
PERENNIAL RYEGRASS	200
BELT TALL FESCUE	100
PERENNIAL WHEATGRASS	100
HELMET FLUNGRASS	100



**1** DRAINAGE SWALE  
NOT TO SCALE



**2** DETENTION BASIN DETAIL  
NOT TO SCALE

**CONSTRUCTION NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE TO CALL USA NORTH, 811 OR OTHER ENTITIES AS REQUIRED TO ACCURATELY IDENTIFY LOCATION OF GAS LINE AND OTHER UTILITIES PRIOR TO CONSTRUCTION.
- THE DESIGN ENGINEER VERIFIES THAT THIS PLAN SET FOLLOWS THE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.

**IWUIC NOTES:**

ERIC HAZARD CLASS-CA100 - MODERATE DEFENSIBLE SPACE, CONFORMING TO 50 FEET, MUST MAINTAIN 50' FIRE BREAK

WATER SUPPLY - NON-CONFORMING

SOIL RESISTANT CONSTRUCTION CLASSIFICATION: LR1 WITH NON-CONFORMING DEFENSIBLE SPACE PER TABLE 503.1 OF THE 2018 MIDLAND URBAN INTERFACE CODE

ACCESS SHALL BE PROVIDED PER SECTION 403 OF THE IUC CODE

**IFC NOTES:**

THE PROPOSED DRIVEWAY EXTENDS TO ALL EXTERIOR WALLS OF THE FIRST FLOOR WITHIN 150 FEET PER 2018 IFC 503.1.1

REV.	DATE	DESCRIPTION	BY	CHECKED

**Reno Tahoe Geo. Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS  
 1775/3053-8100  
 FAX: 1775/3053-8188  
 P.O. Box 1844  
 Reno, Nevada 89501

**SITE AND GRADING PLAN**  
**11910 OVERLAND ROAD**  
**APN: 080-385-13**  
 WASHOE COUNTY



DATE: FEB. 14, 2023  
 JOB NUMBER: 22108.001  
 DESIGNED BY: SEC  
 DRAWN BY: ZEN  
 CHECKED BY: SEC

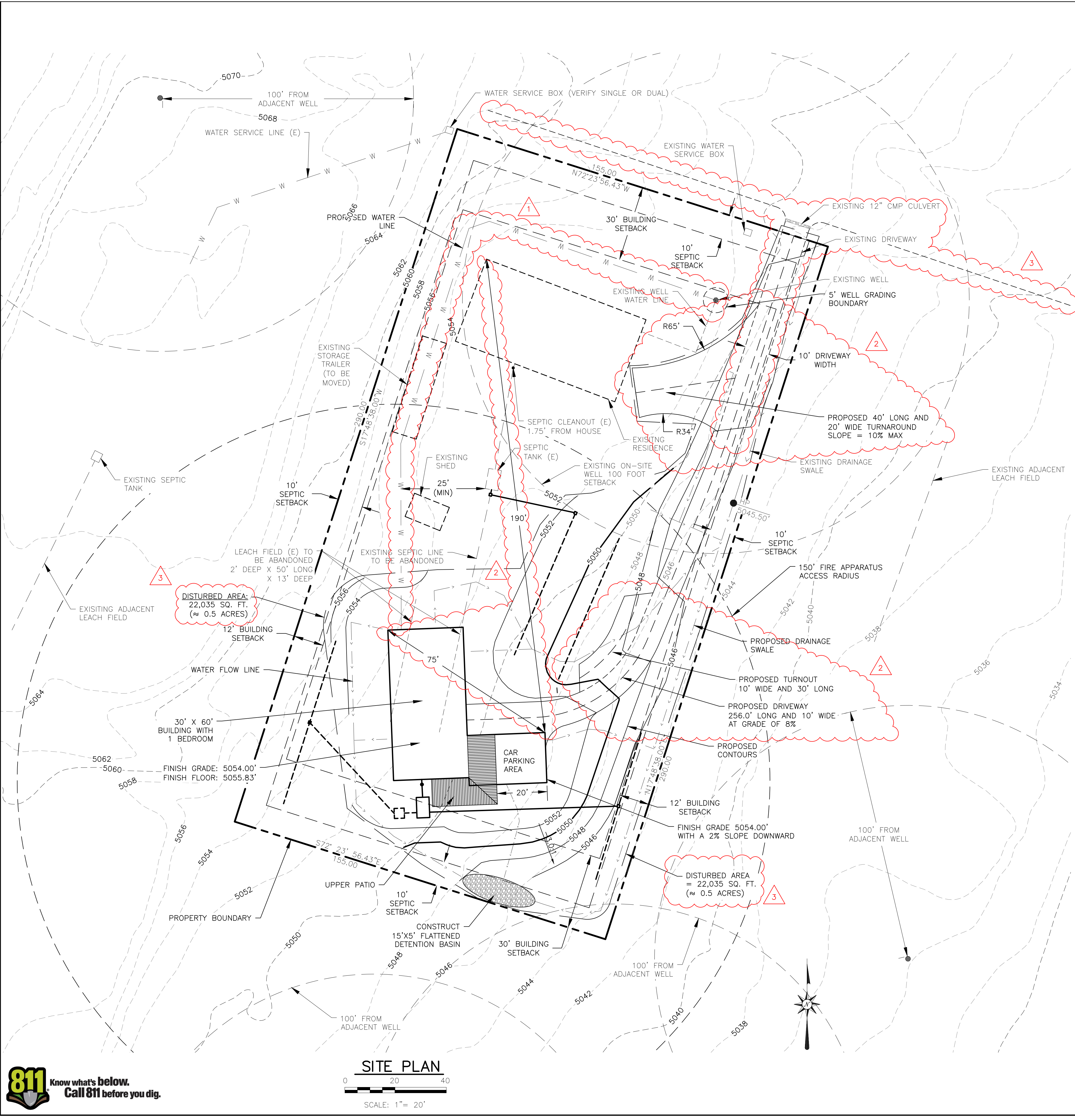
SHEET  
**C1.0**



3:30071(2)2108.001 - 11875 Overland Rd Grading and Plans (24 She) File Created: 2/10/23 11:08 am



J:\2022\22108.001 - 11910 Overland Rd\Drawings and Plans\Civil Site Plan Current.dwg 3/31/23 11:59 am



VICINITY MAP  
N.T.S.

**LOT INFORMATION:**

ADDRESS  
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WASHOE COUNTY, NEVADA 89506  
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A.P.N.: 080-385-13  
LOT SIZE  
~ SQUARE FEET (1.032 ACRE)  
ZONING  
LOW DENSITY SUBURBAN (LDS)  
FLOOD\_ZONE X  
FIRM PANELS: 32031C28550G

**LEGAL OWNER:**

ERIC AND GAIL LIEBERMAN  
11910 OVERLAND DRIVE  
RENO, NEVADA 89506  
PHONE: (530) 412-2293  
E-MAIL: AVALANCHE.ERIC@GMAIL.COM

**DESIGN ENGINEER:**

CHAD E. CARNES P.E.  
RENO TAHOE GEO ASSOCIATES, INC.  
P.O. BOX 18449  
RENO, NEVADA 89511  
CCARNES@RTGEO.COM  
(775) 853-9100

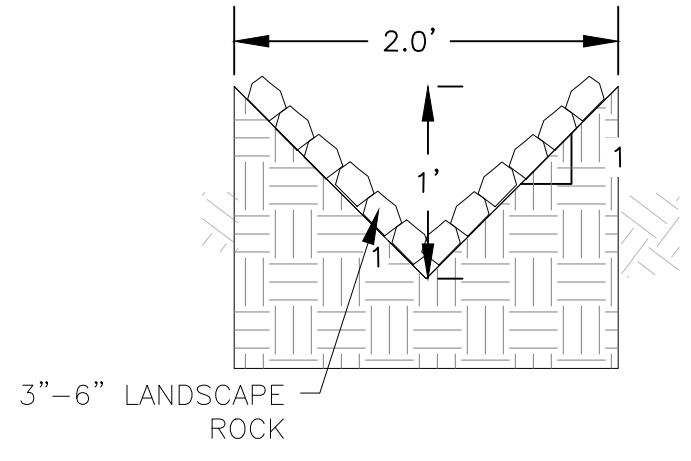
**SHEET INDEX**

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C2.0 - ON-SITE DISPOSAL PLAN

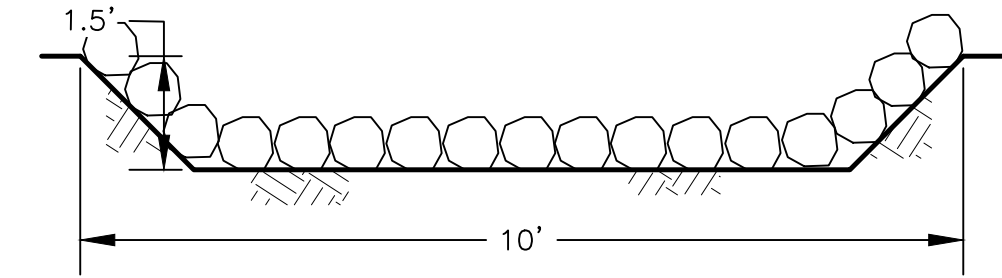
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Comstock Seed, LLC	
Species	LBS/ACRE
INDIAN RICEGRASS HIMROCK	2.00
WHEATGRASS SIBERIAN STABILI	4.00
BLUEGRASS SANDBERGHIGH PL	1.00
WILDRIE BASIN MAGNAR	1.00
RYEGRASS ANNUAL MADRONE	5.00
SAGEBRUSH WYOMING p	2.00
RABBITBRUSH RUBBER p	0.50
SALTBRUSH FOURWING	2.00
BITTERBRUSH	1.00
SPINY HOPSAGE	0.50
WILDFLOWER MIX DRYLAND	1.00



1 DRAINAGE SWALE  
C1.0 NOT TO SCALE



2 DETENTION BASIN DETAIL  
C1.0 NOT TO SCALE

**CONSTRUCTION NOTES:**

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- THE DESIGN ENGINEER VERIFIES THAT THIS PLAN SET FOLLOWS THE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.

**IWUIC NOTES:**

FIRE HAZARD CLASSIFICATION: MODERATE  
DEFENSIBLE SPACE: CONFORMING TO 50 FEET, MUST MAINTAIN 50' FIRE BREAK  
WATER SUPPLY: NON-CONFORMING  
IGNITION RESISTANT CONSTRUCTION CLASSIFICATION: IR1 WITH NON-CONFORMING DEFENSIBLE SPACE PER TABLE 503.1 OF THE 2018 WILDLAND URBAN INTERFACE CODE  
ACCESS SHALL BE PROVIDED PER SECTION 403 OF THE WUI CODE

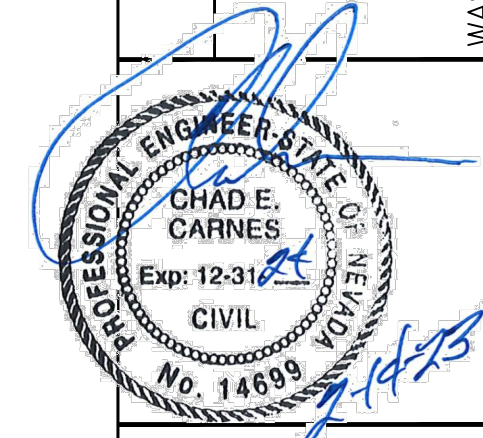
**IFC NOTES:**

THE PROPOSED DRIVEWAY EXTENDS TO ALL EXTERIOR WALLS OF THE FIRST FLOOR WITHIN 150 FEET PER 2018 IFC 503.1.1

REV.	DATE	BY	APPD
1	02.02.2023	CEC	CEC
2	02.09.2023	ZRI	ZRI
3	03.31.2023	MEM	MEM

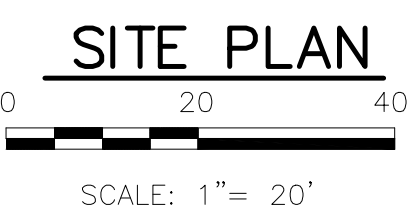
**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449  
Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

**SITE AND GRADING PLAN**  
11910 OVERLAND ROAD  
APN: 080-385-13  
NEVADA  
WASHOE COUNTY



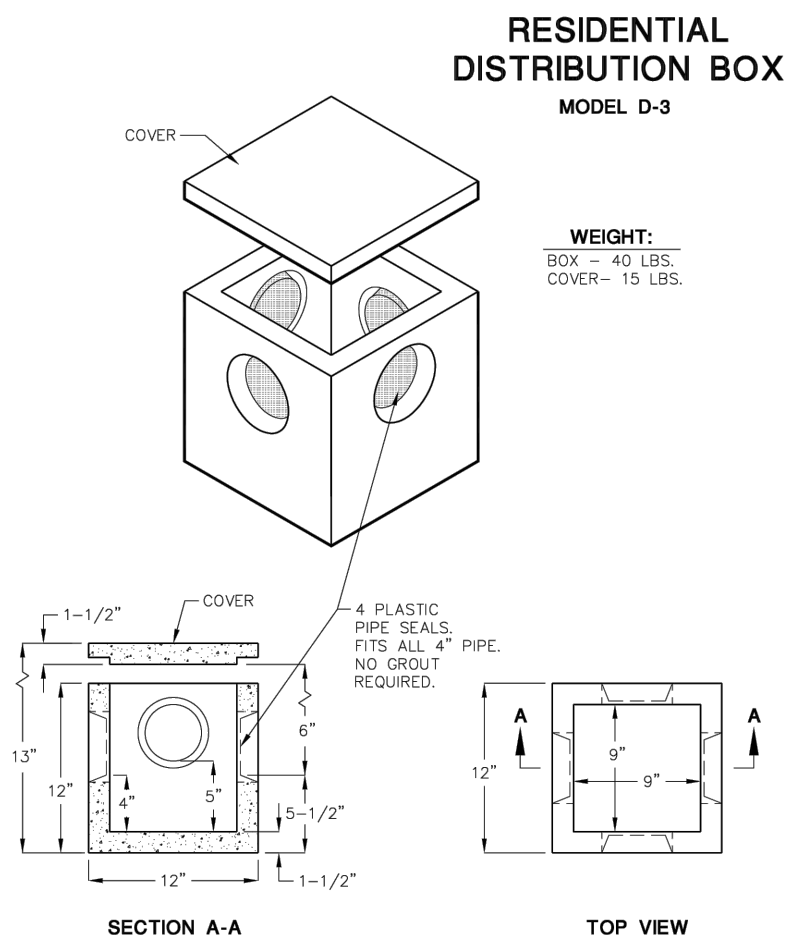
DATE: FEB. 14, 2023  
JOB NUMBER: 22108.001  
DESIGNED BY: CEC  
DRAWN BY: ZRI  
CHECKED BY: CEC

SHEET  
**C1.0**

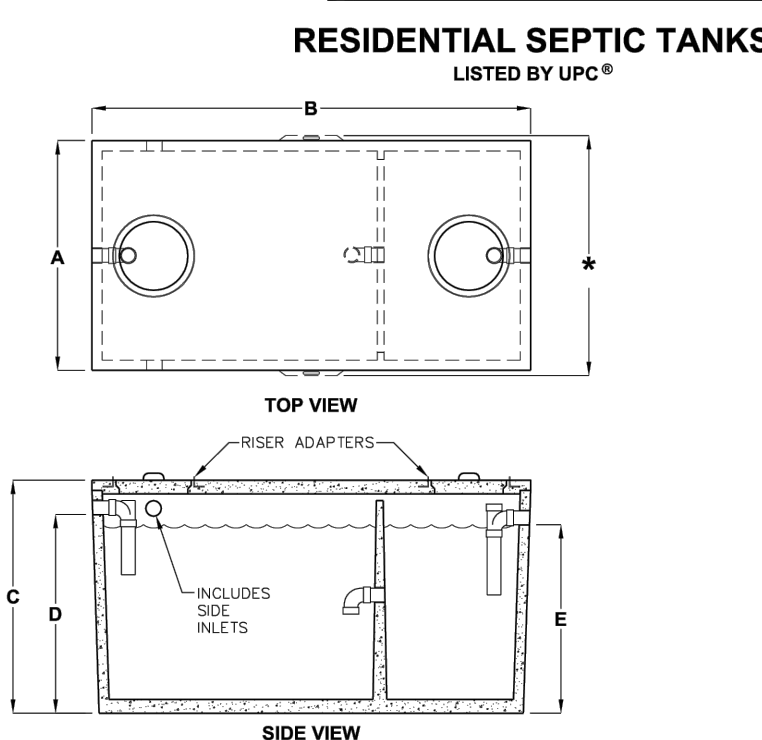




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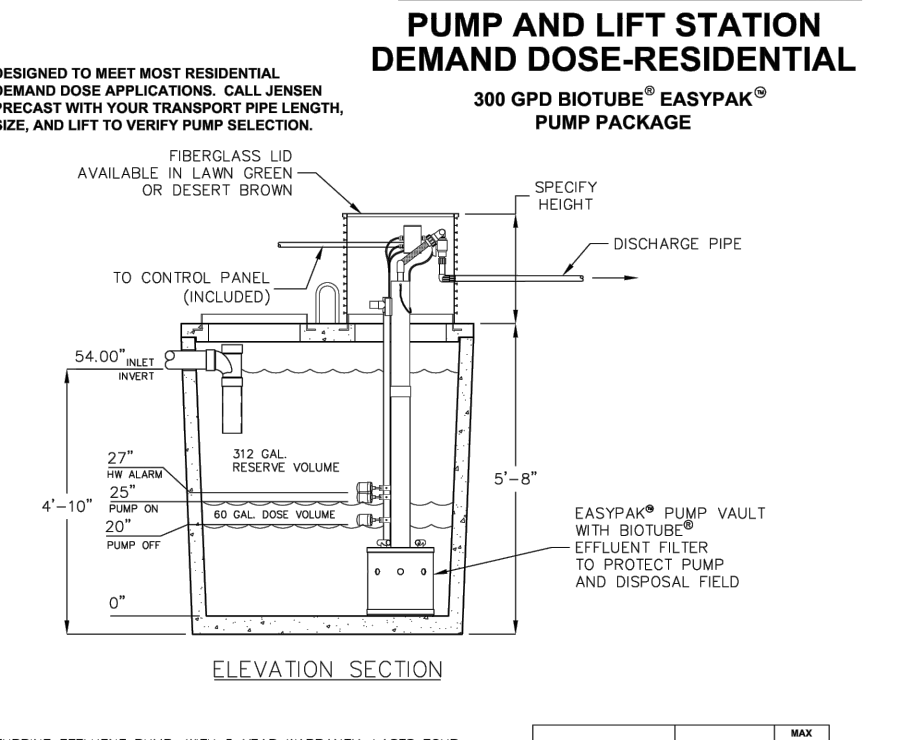
**JENSEN D3 DISTRIBUTION BOX**  
NOT TO SCALE



MODEL NUMBER	LIQUID CAPACITY (GALLONS)	DIM A	DIM B	DIM C	DIM D	DIM E	MINIMUM EXCAVATION WIDTH*	MINIMUM EXCAVATION LENGTH*
JS-1000	1000	3'-1"	6'-2"	5'-8"	4'-10"	4'-7"	6'-10"	6'-2"
JS-2000	2000	5'-2"	8'-6"	8'-8"	4'-10"	4'-7"	7'-8"	9'-5"
JS-3000	3000	5'-2"	10'-8"	8'-8"	4'-10"	4'-7"	7'-8"	11'-5"
JS-2500	2500	4'-11"	12'-11"	8'-8"	4'-10"	4'-7"	8'-8"	10'-11"
JS-2500	2500	5'-9"	16'-10"	8'-8"	4'-10"	4'-7"	7'-8"	17'-10"
JS-3000	3000	5'-9"	18'-10"	8'-8"	5'-7"	5'-4"	7'-8"	17'-10"

\*OVERALL WIDTH CAN VARY WITH TANK MODEL. USE EXCAVATION WIDTH FOR SITE PLANNING.  
DESIGN LOAD: NON-TRAFFIC WITH 3" EARTH COVER MAXIMUM AT 500 PSF.  
FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

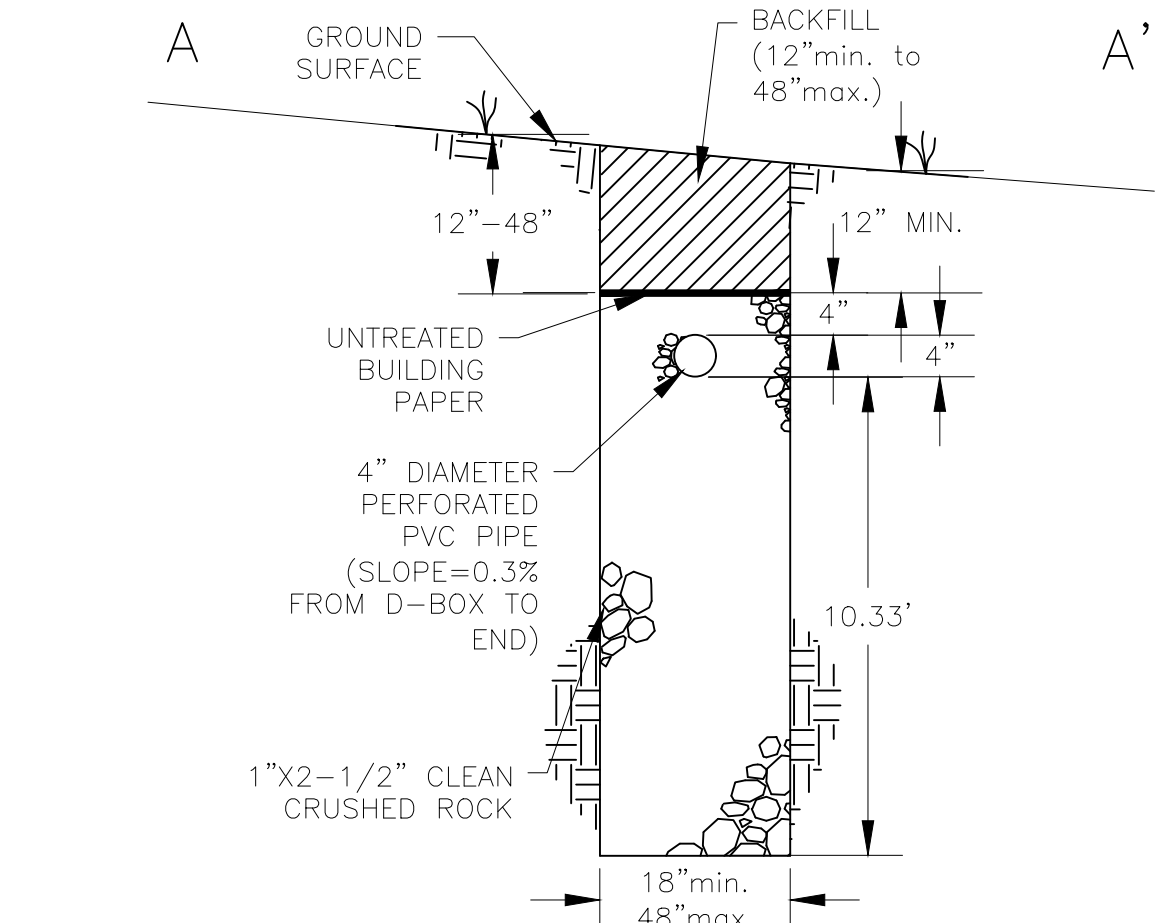
**JENSEN SEPTIC TANK**  
NOT TO SCALE



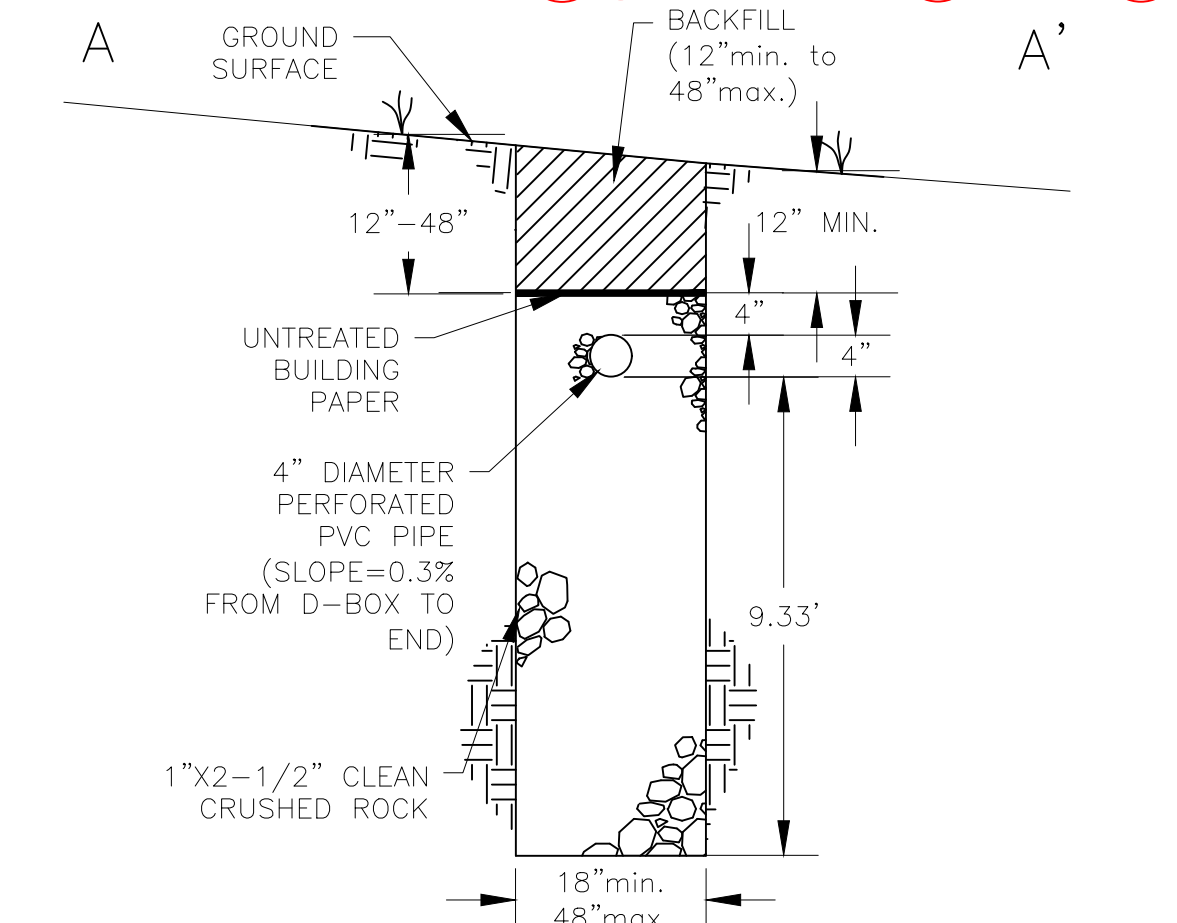
MODEL	DISCHARGE	MAX. HEAD
PK300-200-1000	STANDARD	10'
PK300-200-1000-10'	SPRAY NOZZLE	10'
PK300-200-1000-10'	COLD WEATHER	10'
PK300-200-1000	STANDARD	15'
PK300-200-1000-15'	SPRAY NOZZLE	15'
PK300-200-1000-15'	COLD WEATHER	15'
PK300-200-2000	STANDARD	20'
PK300-200-2000-10'	SPRAY NOZZLE	20'
PK300-200-2000-10'	COLD WEATHER	20'

\*MINIMUM EXCAVATION WIDTH IS 6" OVER THE TANK WIDTH. \*MINIMUM EXCAVATION LENGTH IS 6" OVER THE TANK LENGTH. \*FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT JENSEN PRECAST.

**JENSEN PUMP STATION**  
NOT TO SCALE



**DISPOSAL TRENCH (REPLACEMENT FIELDS AND PROPOSED PRIMARY FIELD)**  
NOT TO SCALE



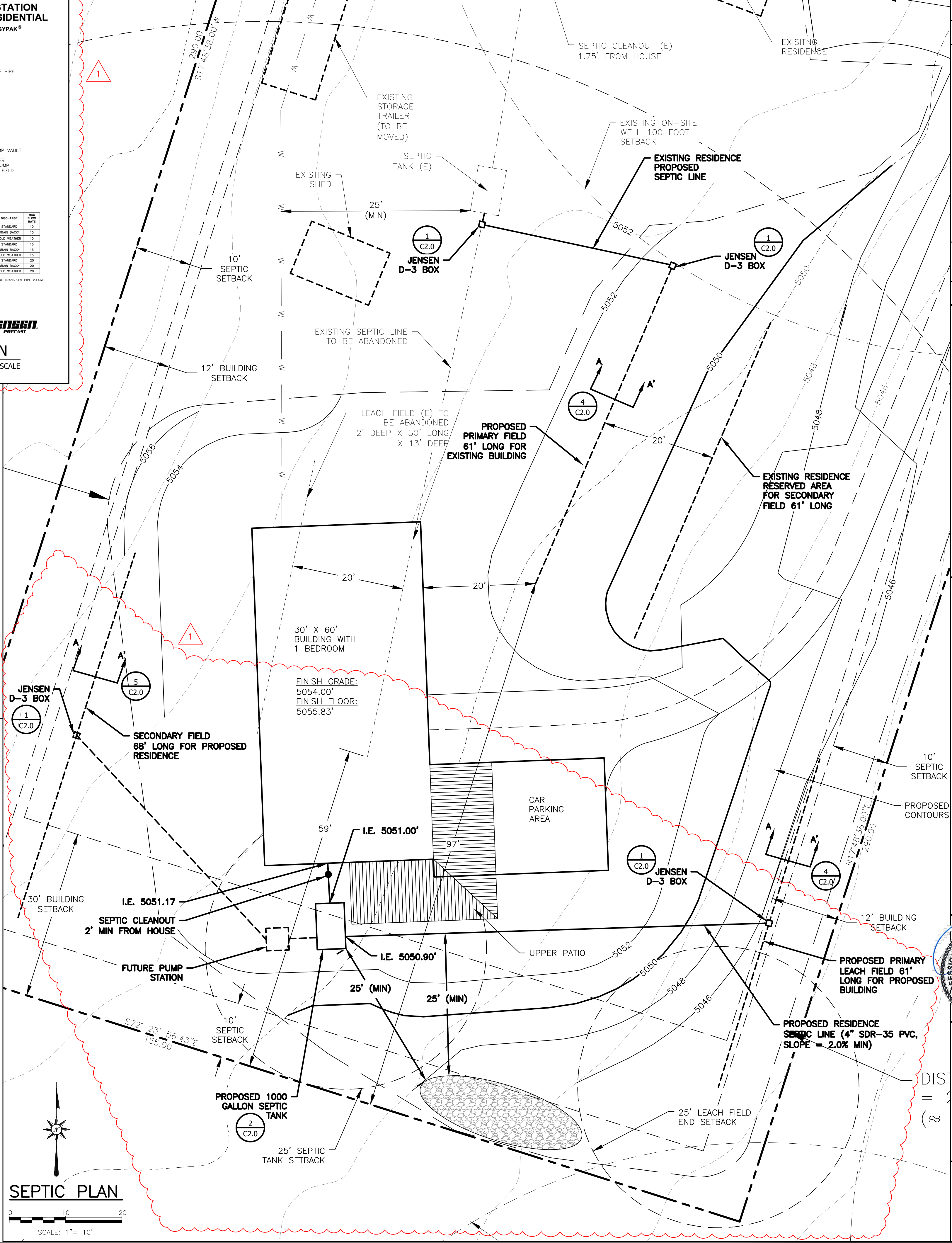
**DISPOSAL TRENCH DETAIL (PROPOSED SECONDARY FIELD)**  
NOT TO SCALE

**DESIGN CALCULATIONS:**

RESIDENCE: 1 BEDROOM RESIDENCE REQUIRED 1,000 GALLON SEPTIC TANK.  
SOIL TYPE: SILTY SAND (SM)  
DESIGN PERCOLATION RATE: 40 minutes/inch  
LEACH FIELD TYPE: STANDARD DISPOSAL TRENCH (12' DEEP)  
DESIGN:  
 $Q = \frac{5}{\sqrt{t}}$  WHERE Q = APPLICATION RATE (gpd/sq. ft.)  
t = DESIGN PERCOLATION RATE (minutes/inch)  
 $Q = \frac{5}{\sqrt{40}} = 0.791$  gpd/sq. ft.  
REQUIRED AREA =  $\frac{\text{TANK CAPACITY (gpd)}}{Q} = \frac{1000 \text{ gpd}}{0.791 \text{ gpd/sq. ft.}} = 1265$  sq. ft.  
LENGTH OF TRENCH =  $\frac{\text{REQUIRED AREA}}{2 \times \text{AVAILABLE SIDEWALL}}$   
NEW PRIMARY AND EXISTING REPLACEMENT DISPOSAL TRENCHES:  
USE 12' DEEP DISPOSAL TRENCHES PROVIDING 10.33' AVAILABLE SIDEWALL  
LENGTH OF TRENCH =  $\frac{1265 \text{ sq. ft.}}{2 \times 10.33 \text{ ft.}} = 61$  feet  
USE 1 TRENCH - 61' LONG  
EXISTING LEACH FIELD IS 1133 SQ. FT. ==> 1265 > 1133 'OK'  
NEW SECONDARY DISPOSAL TRENCH:  
USE 11' DEEP DISPOSAL TRENCHES PROVIDING 9.33' AVAILABLE SIDEWALL  
LENGTH OF TRENCH =  $\frac{1265 \text{ sq. ft.}}{2 \times 9.33 \text{ ft.}} = 68$  feet  
USE 1 TRENCH - 68' LONG  
THIS TRENCH SIDEWALL DEPTH IS REDUCED TO PROVIDE FOR ADDITIONAL BACKFILL DUE TO EXISTING CONTOURS

**DESIGN AND CONSTRUCTION NOTES:**

- NO PUBLIC SEWER IS AVAILABLE.
- NO DOMESTIC WELLS ARE LOCATED WITHIN 100' OF THE PROPOSED SYSTEM OTHER THAN THOSE WHICH ARE SHOWN.
- WATER SUPPLY WILL BE BY PRIVATE WELL.
- DESIGN PERCOLATION RATE IS 40 minutes/inch (CALCULATED FROM EXISTING FIELD SIZE).
- THERE ARE NO WATERCOURSES WITHIN 500' OF THE PROPOSED SYSTEM.
- MINIMUM SLOPES OF SERVICE LINES FROM BUILDING TO SEPTIC FIELD ARE TO BE MAINTAINED AND SET UNIFORM.
- DISTRIBUTION BOX SHALL BE SET LEVEL TO PROVIDE EQUAL DISTRIBUTION OF EFFLUENT TO EACH DISPOSAL FIELD TRENCH.
- ALL PIPE BENDS TO BE 45° OR LESS.
- WHEN PURCHASING SEPTIC TANK, NOTE IF SIDE ENTRY PROTRUSION IS NEEDED.
- PLACE 6" DRAIN ROCK LEVELING COURSE PRIOR TO SETTING OF SEPTIC TANK.
- BACKFILLING OF SEPTIC TANK AND TRENCHES SHALL BE DONE WITH CARE AS TO PREVENT DAMAGE TO TANK OR DISPOSAL LINES. BACKFILL MATERIAL SHALL BE 3" DIAMETER OR SMALLER.
- THE SEPTIC FIELD IS NOT LOCATED IN A CURRENTLY DESIGNATED FLOOD PLAIN PER COMMUNITY PANEL #32031C2850G (ZONE X).



BY: APPD  
DATE: 01.31.2023  
REV: 02.09.2023  
03.31.2023

REVISIONS: PUMP STATION, SEPTIC LINE ENDINGS, RETURN BASIN LOCATION, WATER LINE ZRI, CAR PARK DIMENSIONS, ZRI, COMMENT CORRECTIONS

**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449  
Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

**ON-SITE SEWAGE DISPOSAL PLAN**  
11910 OVERLAND DRIVE  
APN: 080-385-13

NEVADA  
WASHOE COUNTY

DATE: FEB. 14, 2023  
JOB NUMBER: 22108.001  
DESIGNED BY: CEC  
DRAWN BY: ZRI  
CHECKED BY: CEC

SHEET  
**C2.0**





1 PROPOSED 3D RENDERING



**GENERAL NOTES:**

TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND OR UTILITY EASEMENTS, ALL UTILITIES SHALL BE LOCATED BY PLAT PROVIDED BY LAND DEVELOPER.

ANY SURVEY MONUMENTS BETWEEN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.

ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

**SECURITY NOTES:**

- ALL ENTRY DOORS TO DWELLING UNITS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOORVIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.
- BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR ACCESS STRUCTURES.
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES).

**SCOPE OF WORK**

PROPOSED 1-STORY SINGLE FAMILY RESIDENCE WITH GARAGE AND WORKSHOP WITH MEZZANINE FLOOR.

**BUILDING CODES**

2018 INTERNATIONAL BUILDING CODE (IBC)  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2017 NATIONAL ELECTRICAL CODE – NFPA 70  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL FIRE CODE

N/B: the 2018 IWUIC will be complied with

**GENERAL NOTES**

- AT TIME OF ISSUANCE, CONTRACTOR SHALL SHOW THEIR VM..10 WORKERS COMPENSATION INSURANCE CERTIFICATE.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF CITY REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRUCKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
- ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- TRANS AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL. FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
- SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY'S PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.

**GENERAL NOTES**

- ALL CONCRETE AND/OR DECORATIVELY PAVED WALKS SHALL SLOPE AWAY FROM BUILDING 1/8" PER FOOT OF WIDTH MINIMUM.
- SITE DRAINAGE TO BE MIN. SLOPE OF 1/4" PER FT. AND TO BE DRAIN TO STREET.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEARANCE UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONTRACTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONTRACTION DELAYS AND/OR ADDITIONAL EXPENSES.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEG. AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (2016 CRC R303.9)
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FROM THE PROPERTY. (R319)
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED I SECTION 4 OF AWPA U1.

**ZONING INFORMATION**

**GENERAL BUILDING INFORMATION**

TOTAL BUILDING AREA:	2732.00 SQ.FT
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**PROJECT DIRECTORY**

ARCHITECT / CONTACT:

CIVIL:

LANDSCAPE:

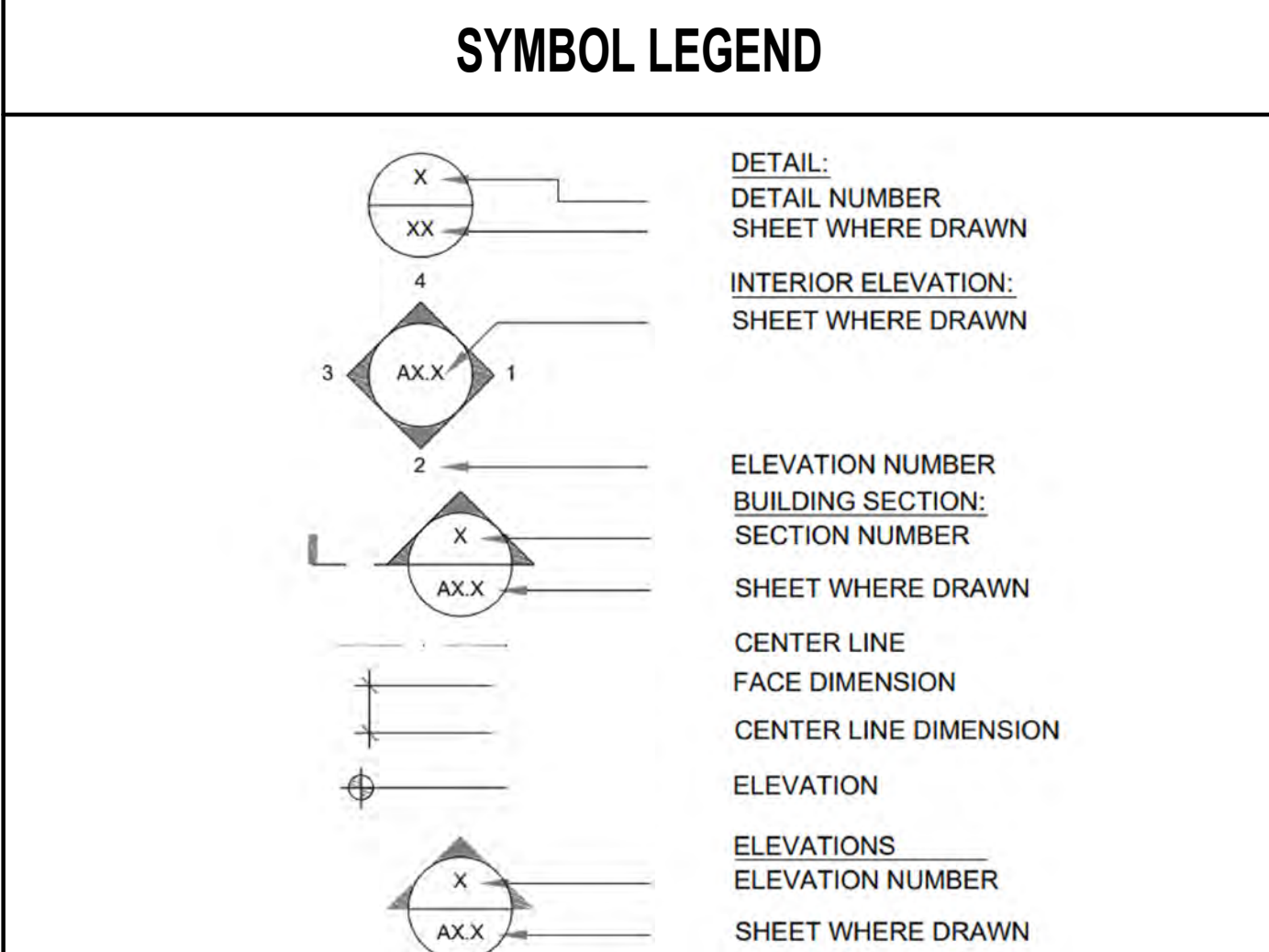
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MECHANICAL/ PLUMBING:

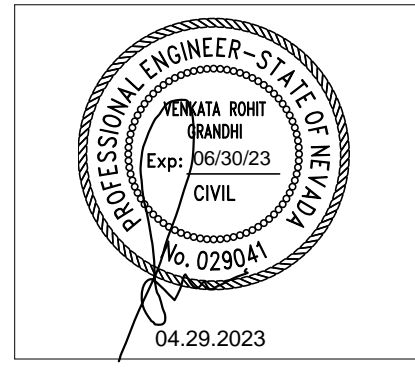
ELECTRICAL:

**SHEET LIST**

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A00	COVER PAGE/ PAGE INDEX
A01	SITE PLAN
A02	FIRST FLOOR PLAN
A03	MEZZANINE FLOOR
A04	ROOF PLAN
A05	ELEVATION
A06	ELEVATION
A07	BUILDING SECTION / WALL SECTIONS
A08	INTERIOR ELEVATION
Grand total: 9	



ENGINEER OF RECORD:  
 VENKATA ROHIT GRANDHI, P.E.  
 7823 Boxwood Ct,  
 Highland, CA 92346  
 rohith.grandi@gmail.com



REVISION: 3  
 DATE: 3/29/23

PROJECT TITLE: SINGLE FAMILY RESIDENCE  
 PROJECT ADDRESS: 11910 Overland rd, Nevo, NV 89506

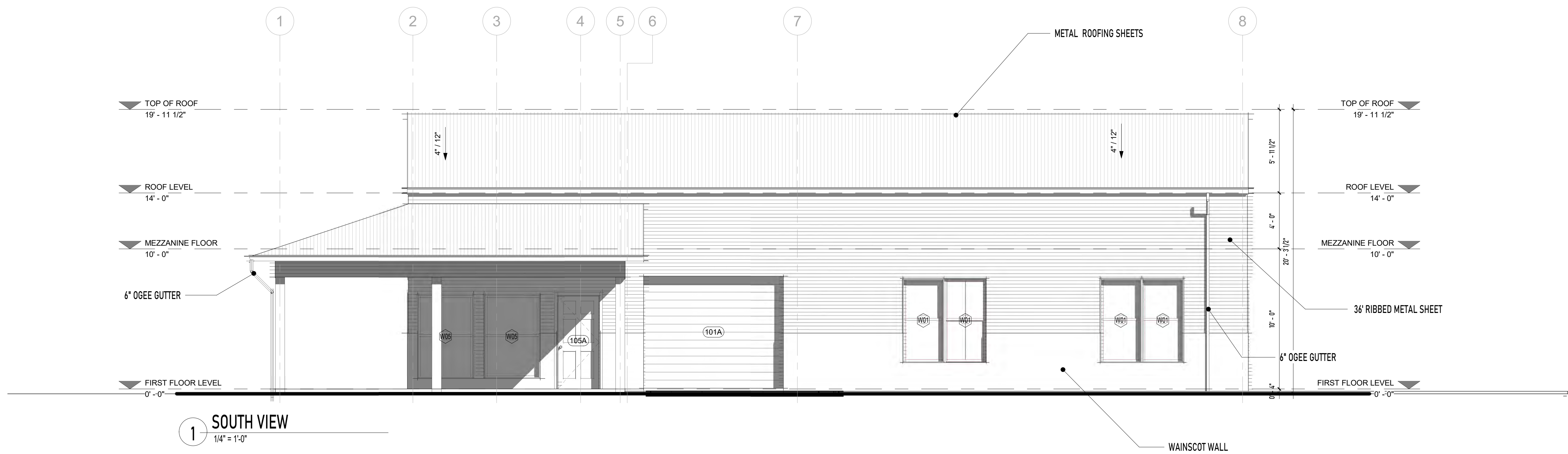
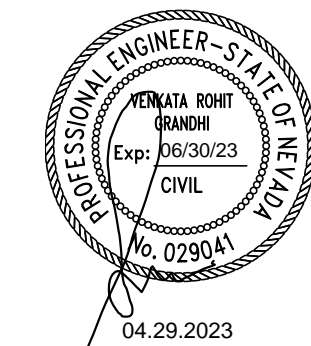
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**SHEET NUMBER**

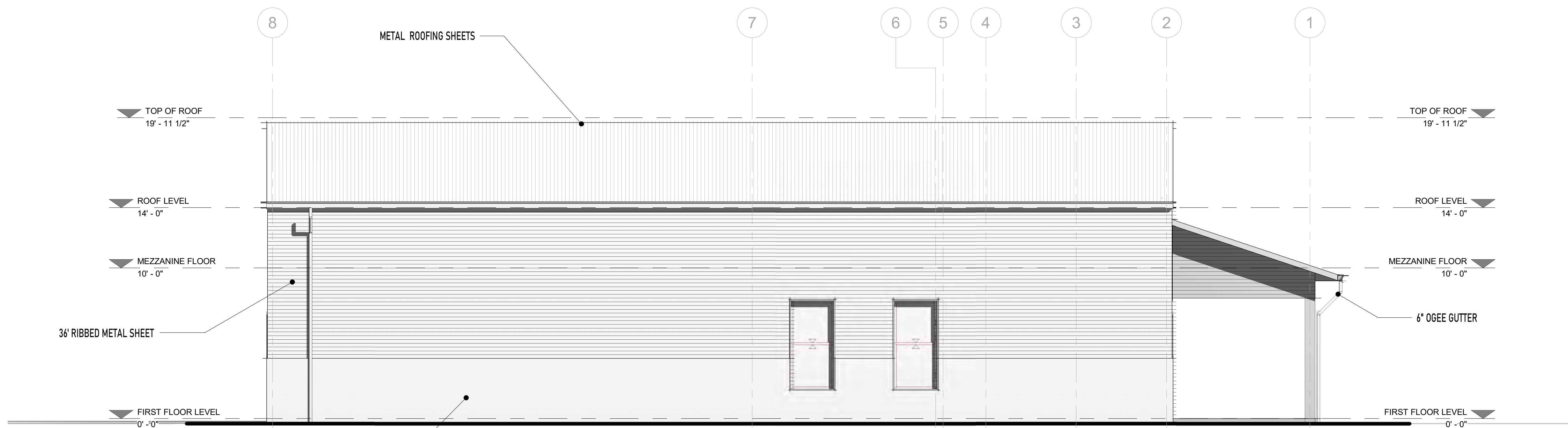
A00



ENGINEER OF RECORD:  
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 7823 Boxwood Ct.  
 Highland, CA 92346  
 rohit.grandi@gmail.com



1 SOUTH VIEW  
 1/4" = 1'-0"



2 NORTH VIEW  
 1/4" = 1'-0"

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 SINGLE FAMILY RESIDENCE

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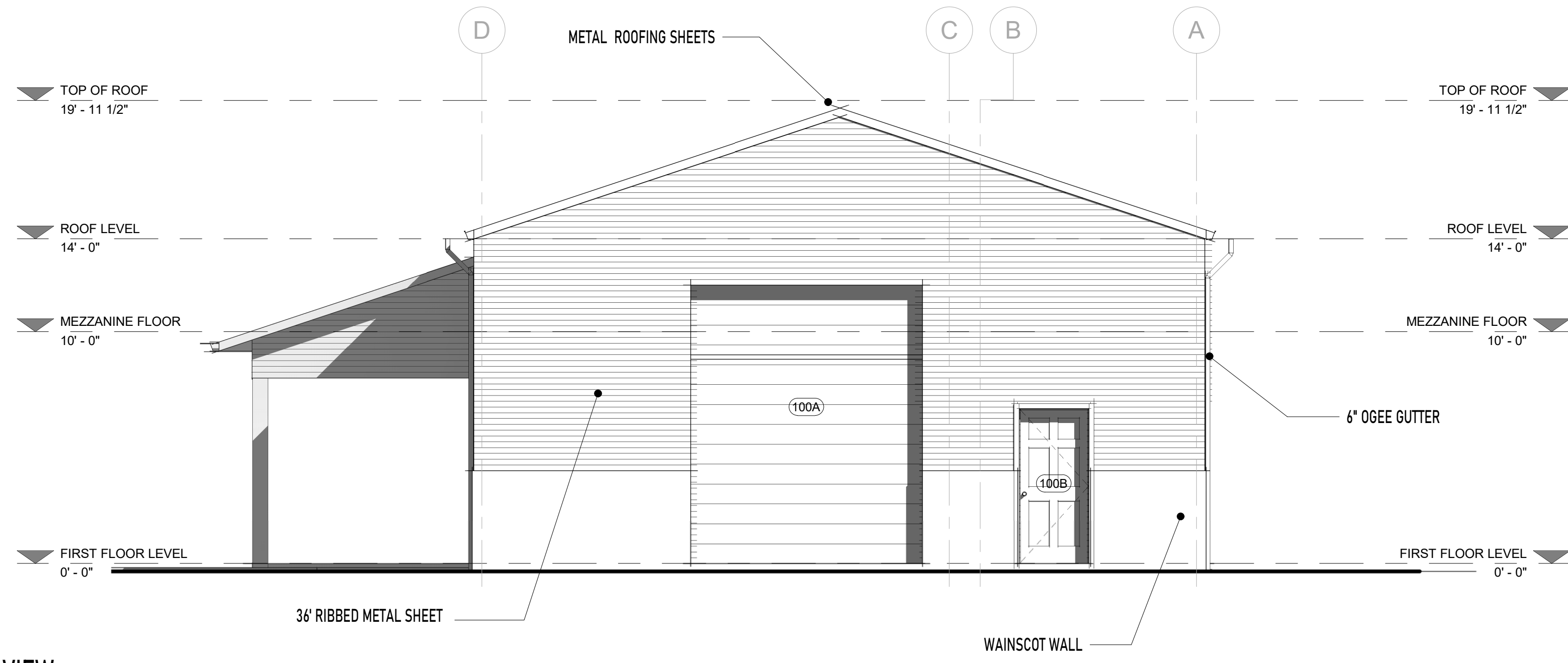
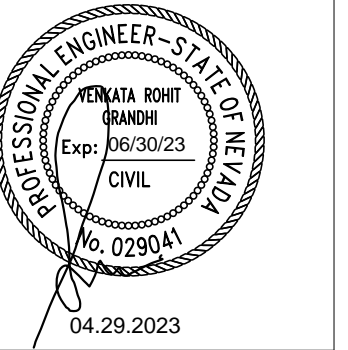
11910 Overland rd, Nevo, NV 89506

SHEET TITLE:  
 ELEVATION

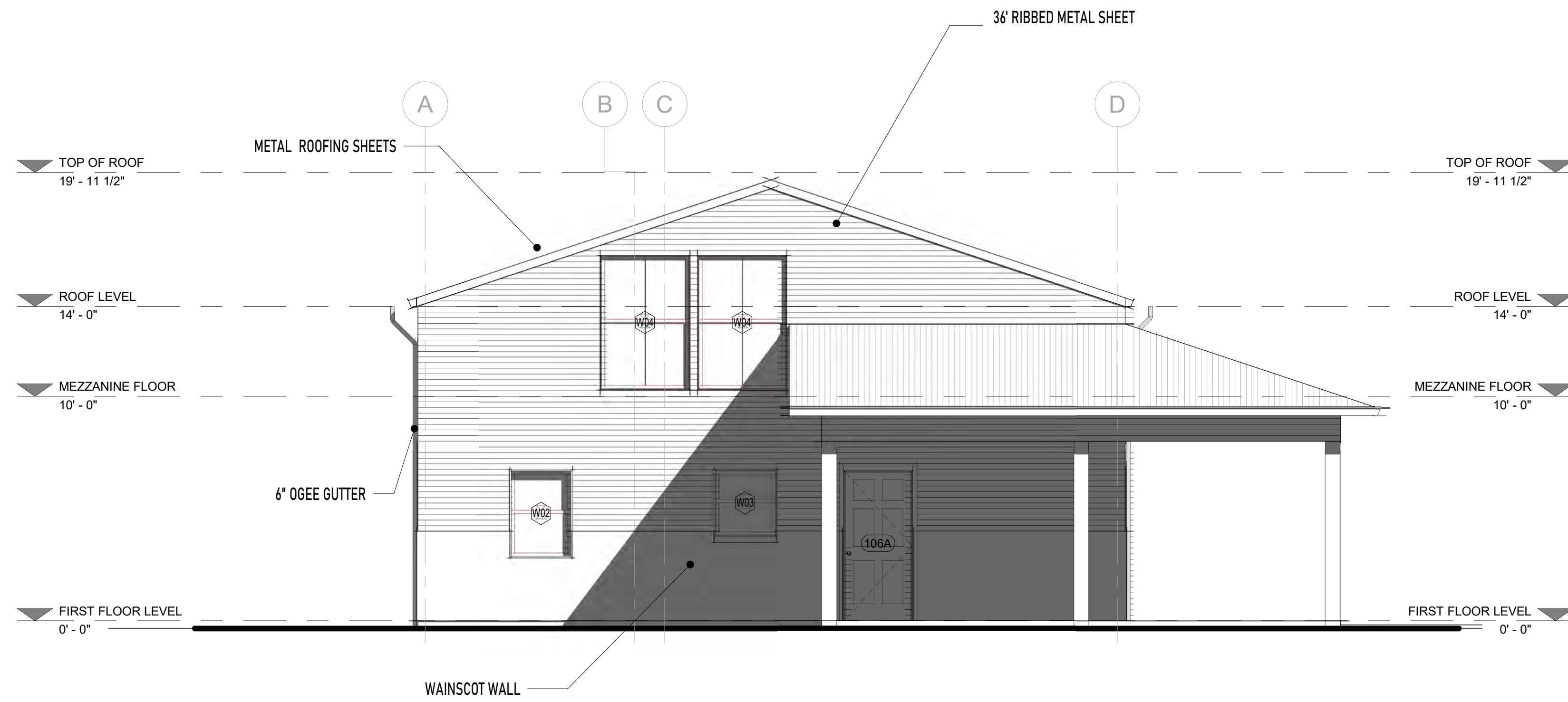
SHEET SCALE:  
 1/4" = 1'-0"

SHEET NUMBER

A05



**1 EAST VIEW**  
 1/4" = 1'-0"



**2 WEST VIEW**  
 1/4" = 1'-0"

REVISION:

3

DATE:

3/29/23

PROJECT TITLE:  
**SINGLE FAMILY RESIDENCE**

PROJECT ADDRESS

11910 Overland rd, Nevo, NV 89506

SHEET TITLE:  
**ELEVATION**

SHEET SCALE:

1/4" = 1'-0"

SHEET NUMBER

A06









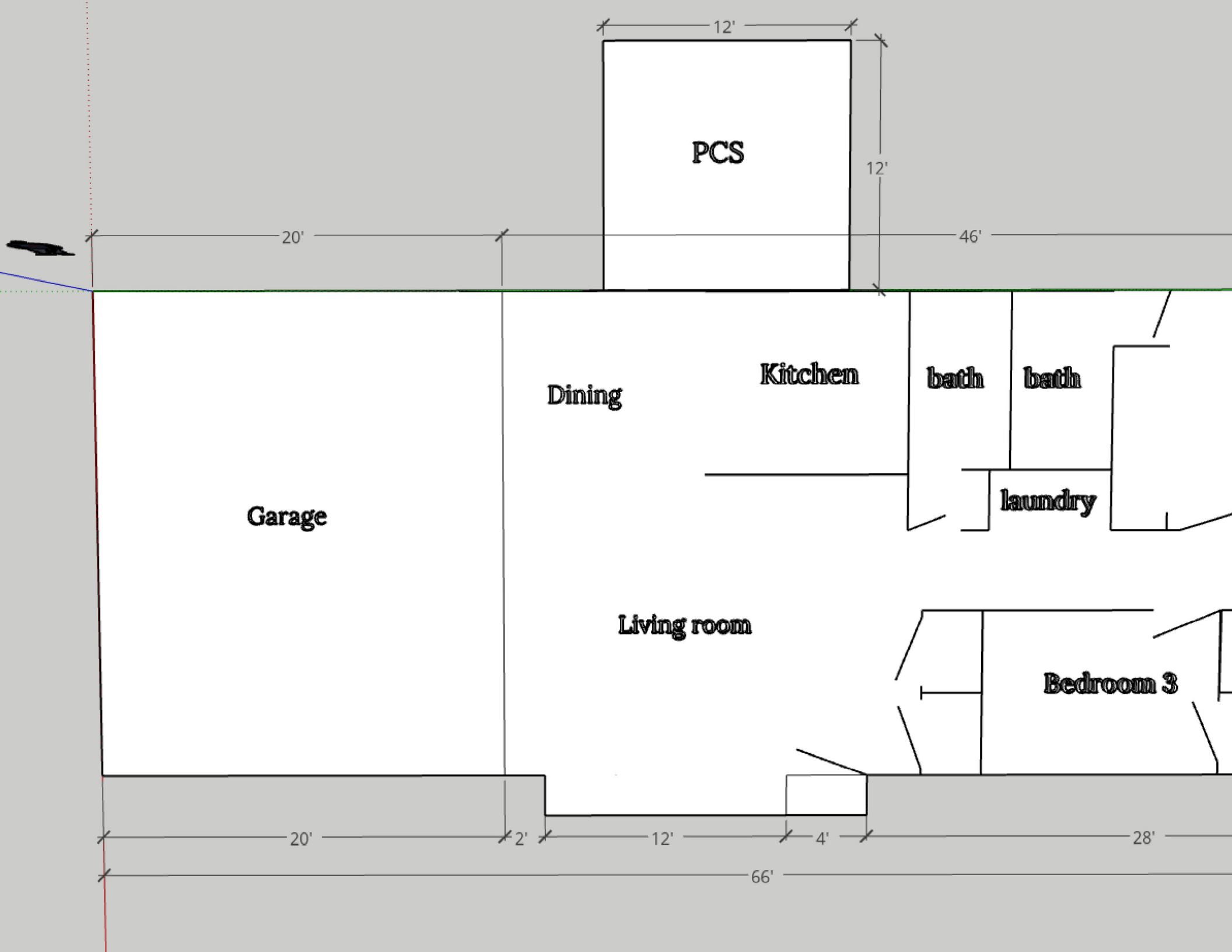


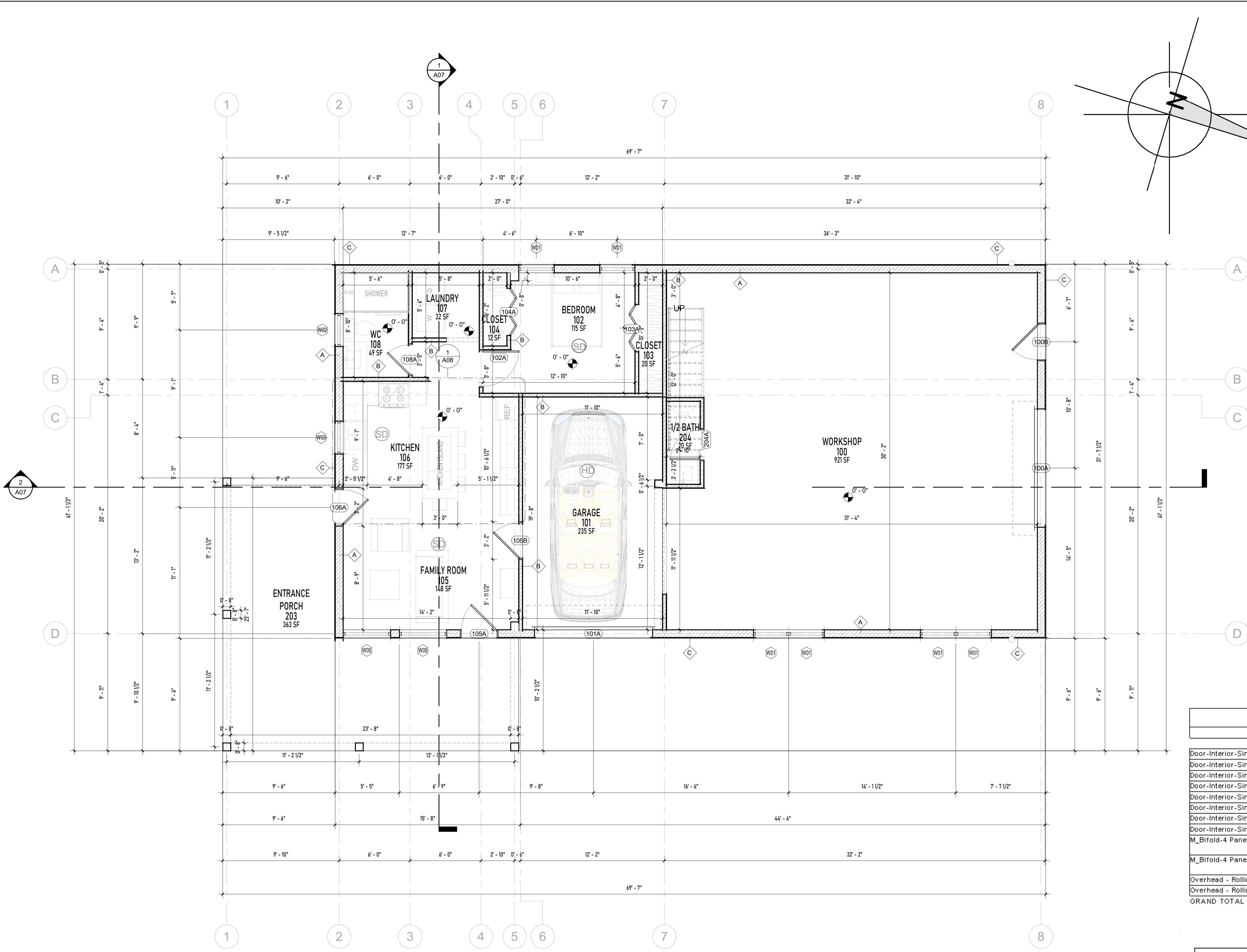
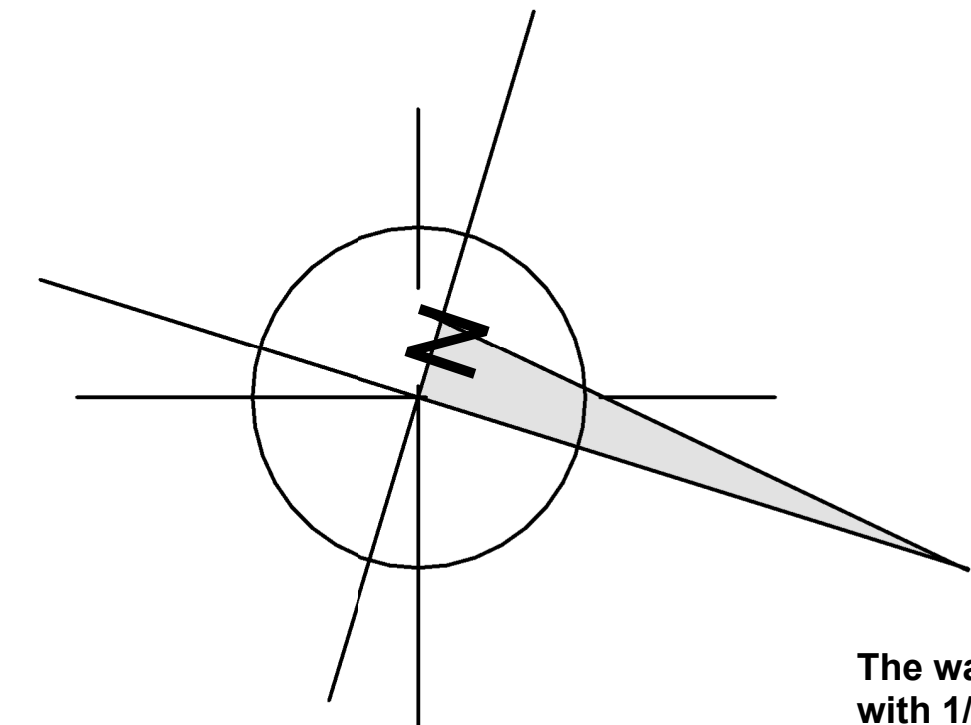
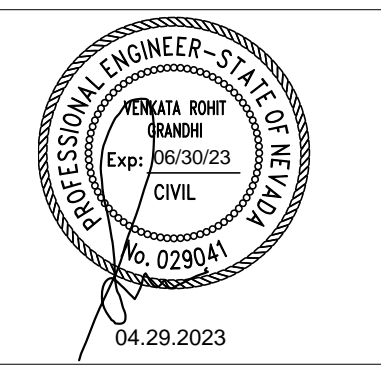












The walls and Ceilings of the Garage are protected with 1/2" Type-X gypsum board to comply with R302.6 of the 2018 IRC.

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.

Other openings between the garage and residence are equipped with a solid wood door not less than 13/8" (35mm) in thickness and equipped with a self-closing or automatic-closing device.

The garage shall be separated as required, and constructed with not less than a 1-Hour fire resistance rating.

Openings in the garage walls shall comply with section R302.5. Door 105b shall comply with R302.5.1 of the 2018 IRC.

ROOM SCHEDULE	
NAME	AREA
<b>FIRST FLOOR</b>	
LAUNDRY	32 SF
W/C	49 SF
BEDROOM	115 SF
GREAT ROOM	148 SF
KITCHEN/ ISLAND	177 SF
WORKSHOP	923 SF
GARAGE	235 SF
<b>FIRST FLOOR</b>	<b>1679 SF</b>
<b>MEZZANINE FLOOR</b>	
MEZZANINE FLOOR	239 SF
STORAGE	259 SF
MEZZANINE FLOOR	498 SF
<b>GRAND TOTAL</b>	<b>2177 SF</b>

DOOR SCHEDULE					
FAMILY	MARK	WIDTH	HEIGHT	COUNT	
Door-Interior-Single-6_Panel-Wood	204A	2' - 4"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	108A	2' - 6"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	102A	3' - 0"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	106A	3' - 0"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	105A	3' - 0"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	105B	3' - 0"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	100B	3' - 0"	6' - 8"	1	
Door-Interior-Single-6_Panel-Wood	201A	3' - 0"	6' - 8"	1	
M_Bifold-4 Panel	103A	4' - 0 1/32"	7' - 0 1/32"	1	
M_Bifold-4 Panel	104A	4' - 0 1/32"	7' - 0 1/32"	1	
Overhead - Rolling (M).rfa.midlet	101A	10' - 0"	8' - 0"	1	
Overhead - Rolling (M).rfa.midlet	100A	10' - 0"	12' - 0"	1	
<b>GRAND TOTAL</b>				<b>12</b>	

WINDOW SCHEDULE				
FAMILY	TYPE MARK	WIDTH	HEIGHT	COUNT
Double Hung - 1L.rfa.midlet	W01	2' - 9 15/32"	3' - 11 1/4"	7
Double Hung - 1L.rfa.midlet	W02	2' - 9 15/32"	3' - 11 1/4"	1
Double Hung - 1L.rfa.midlet	W04	3' - 0"	4' - 0"	2
Double Hung - 1L.rfa.midlet	W05	2' - 9 15/32"	3' - 11 1/4"	2
<b>GRAND TOTAL:</b>				<b>12</b>

**HEAT DETECTOR SPECIFICATION:**  
 Brand Kidde  
 Style Hardwired Heat Detector  
 Power Source Battery Powered  
 Item Dimensions 6 x 5 x 2 inches  
 L x W x H  
 Item Weight 0.01 Ounces  
 Alarm Audible

**CONNECTION INFOMATON:**  
 Connected to each other with 15 amp circuit ( 15 gauge minimum cable) or 20 amp circuit (12 gauge minimum cable), such that an alarm in one detector activates every other detectors, simultaneously

**FIRST FLOOR LEVEL**  
 1/4" = 1'-0"

REVISION: 3

DATE: 3/29/23

PROJECT TITLE: SINGLE FAMILY RESIDENCE

PROJECT ADDRESS

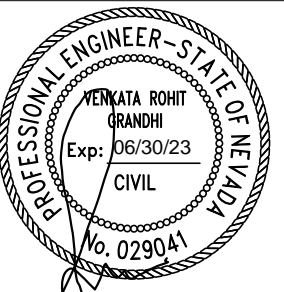
11910 Overland rd, Nevo, NV 89506

SHEET TITLE: FIRST FLOOR PLAN

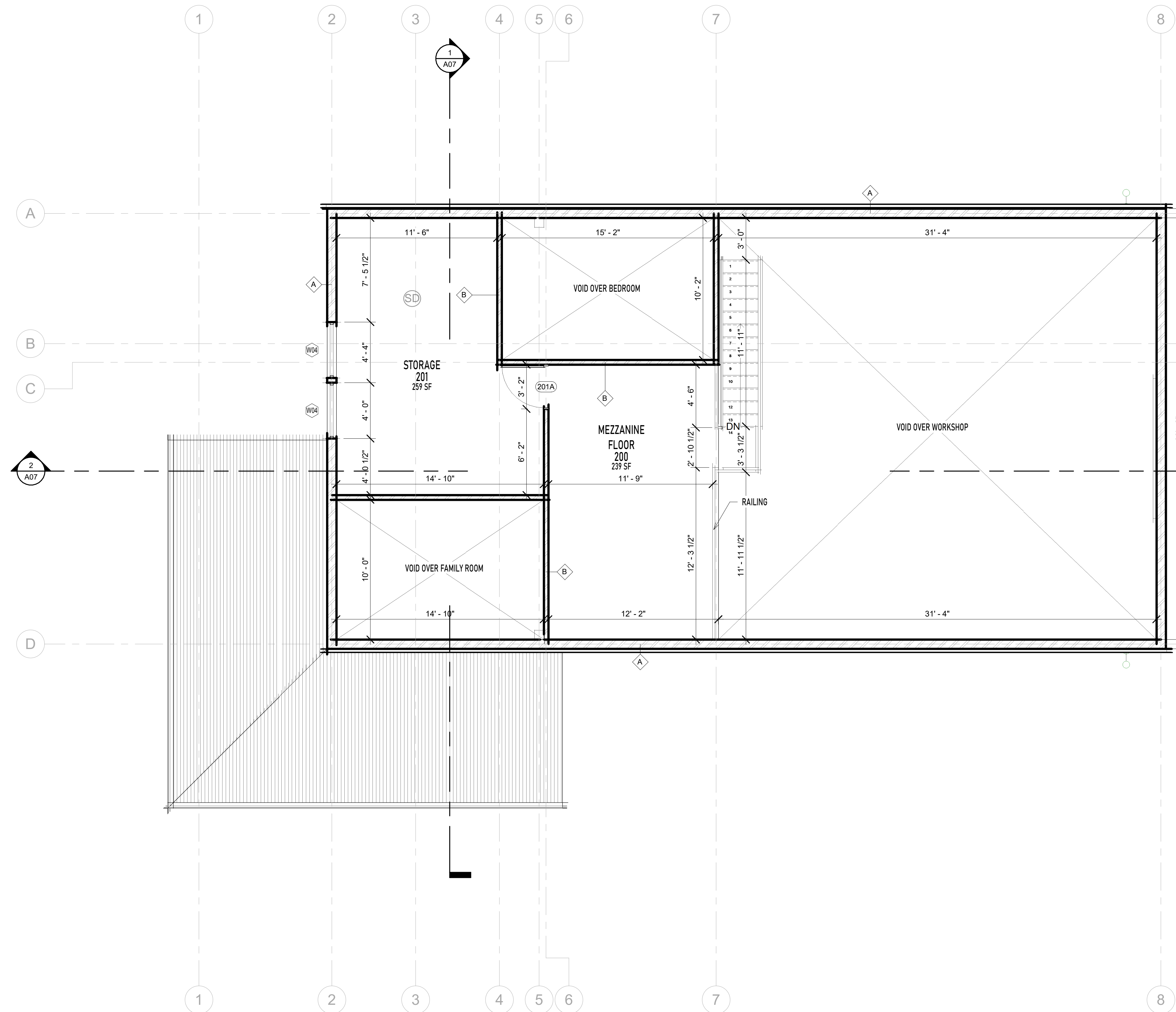
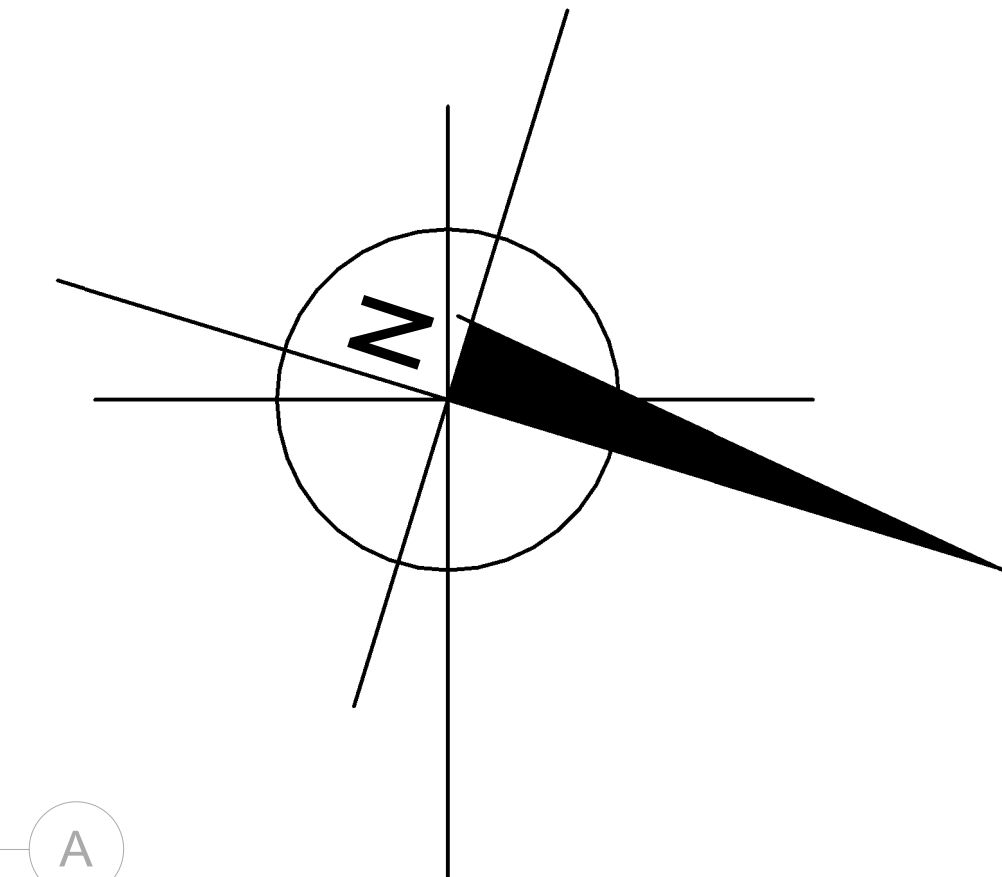
SHEET SCALE: 1/4" = 1'-0"

SHEET NUMBER

A02



04.29.2023



ROOM SCHEDULE	
NAME	AREA
FIRST FLOOR	
LAUNDRY	32 SF
W/C	49 SF
BEDROOM	115 SF
GREAT ROOM	148 SF
KITCHEN/ ISLAND	177 SF
WORKSHOP	923 SF
GARAGE	235 SF
FIRST FLOOR	1679 SF
MEZZANINE FLOOR	
MEZZANINE FLOOR	239 SF
STORAGE	259 SF
MEZZANINE FLOOR	498 SF
GRAND TOTAL	2177 SF

DOOR SCHEDULE				
FAMILY	MARK	WIDTH	HEIGHT	COUNT
Door-Interior-Single-6_Panel-Wood	204A	2'- 4"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	108A	2'- 6"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	102A	3'- 0"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	106A	3'- 0"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	105A	3'- 0"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	105B	3'- 0"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	100B	3'- 0"	6'- 8"	1
Door-Interior-Single-6_Panel-Wood	201A	3'- 0"	6'- 8"	1
M_Bifold-4 Panel	103A	4'- 0 1/32"	7'- 0 1/32"	1
M_Bifold-4 Panel	104A	4'- 0 1/32"	7'- 0 1/32"	1
Overhead - Rolling (M).rfa.midlet	101A	10'- 0"	8'- 0"	1
Overhead - Rolling 1(M).rfa.midlet	100A	10'- 0"	12'- 0"	1
GRAND TOTAL				12

WINDOW SCHEDULE				
FAMILY	TYPE MARK	WIDTH	HEIGHT	COUNT
Double Htg - 1L.rfa.midlet	WD1	2 - 9 15/32"	3 - 11 1/4"	7
Double Htg - 1L.rfa.midlet	WD2	2 - 9 15/32"	3 - 11 1/4"	1
Double Htg - 1L.rfa.midlet	WD4	3'- 0"	4'- 0"	2
Double Htg - 1L.rfa.midlet	WDS	2 - 9 15/32"	3 - 11 1/4"	2
GRAND TOTAL:				12

1 MEZZANINE FLOOR  
1/4" = 1'-0"

REVISION: 3  
DATE: 3/29/23

PROJECT TITLE: SINGLE FAMILY RESIDENCE  
PROJECT ADDRESS: 11910 Overland rd, Nevo, NV 89506

SHEET TITLE: MEZZANINE FLOOR  
SHEET SCALE: 1/4" = 1'-0"

SHEET NUMBER: A03