

Grading Special Use Permit Application **Reno Tahoe Business Gateway**

Submitted to Washoe County

February 8, 2022

Prepared for

S3 Development

1 East Liberty St, Ste 444

Reno, NV 89501

Prepared by



WOOD RODGERS

DEVELOPING INNOVATIVE DESIGN SOLUTIONS

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Section 1

- k. Vicinity map showing the proposed development in relation to Interstate 80, Highway 395, I-580, or a major arterial. The vicinity map shall also include a north arrow.
- l. Date, scale, and number of each sheet in relation to the total number of sheets, and the name of the person preparing the plans.
- m. Location of snow storage areas sufficient to handle snow removed from public and private street, if above 5,500 feet.
- n. All known areas of potential hazard (and the basis for delineation) shall be clearly designated on the map. Additionally, active fault lines (post-Holocene) shall be delineated on the map.
- o. Location of areas with slopes greater than fifteen percent (15%) and thirty percent (30%).
- p. Boundary of any wetland areas and/or floodplains within the project site.
- q. Note by the project engineer or design professional indicating compliance with all applicable provisions of the Washoe County Development Code.
- r. Significant Hydrological Resources. Indicate the critical and sensitive buffer zones according to Article 418 of the Washoe County Development Code.

✓7. **Site Plan Specifications for Grading:**

- a. Location and limits of all work to be done.
- b. Existing contours and proposed contours.
- c. Location of any structures on adjacent parcels that are within fifteen (15) feet of the work site's parcel boundary.
- d. Existing draining (natural and man-made) and proposed drainage patterns.
- e. Sufficient elevation data to show the drainage will work as proposed.
- f. Quantities of excavation fill and disturbed surface area shall be calculated and shown on the site plan. **Areas under buildings and pavement need not be included in these calculations.**
- g. Quantities of material proposed to be removed from the site must be shown. The proposed disposal area and the disposition of fill must be noted on the plan.
- h. Limiting dimensions of cut and fill.
- i. Proposed BMPs (Best Management Practices) for controlling water and wind erosion if a disturbed area is left undeveloped for more than thirty (30) days.
- j. Cut and fill slopes setback from the property boundary.
- k. Structure setbacks from a slope.

- ✓8. **Grading:** In accordance with the grading provisions of Washoe County Code, Article 438, if the thresholds for a grading permit are met or exceeded, the grading plans shall indicate the existing and proposed grades, slope treatments (i.e. rip rap, erosion control, etc.) and drainage channels and the direction of flow. **Cross sections must be provided at a minimum of two key locations.**

- N/A 9. **Traffic Impact Report (Special Use Permit and Stables):** Traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition Institute of Transportation Engineers (ITE) trip generation rates or other such sources as may be accepted by Washoe County Engineering. Projects with less than 200 peak hour trips may not need to perform an impact analysis for future years. Traffic consultants are encouraged to contact Washoe County Engineering and Capital Projects staff prior to preparing a traffic impact report.

- N/A 10. **Landscaping:** Landscape plans may be required, for **stables**. Landscape plans may include: a soils evaluation; color and type of building material, such as fencing material; type of plant material; location of plant material and proposed maintenance schedule; size of plant material at planting and size of plant material at full maturation; type and amount of mulch material; and an irrigation plan.

- a. **Planting Plan Specifications:** The planting plan must include all necessary information to satisfy Washoe County Code Section 110.412.60, Planting Standards.
- Proposed Tree Locations. Individual trees shall be graphically depicted in the proposed locations; trees shall be identified as either evergreen or deciduous; trees shall be individually labeled or coded and cross referenced to the proposed plant species in the plant legend.
 - Proposed Plant Material. The preliminary plan must identify where, and a square footage amount for, one or all of the following items: trees, mulch (rock, DG or bark), seeded areas, etc.
 - Existing On-Site Vegetation. In the case of large strands of trees and shrubs, individual locations may be identified with a revision cloud symbol. Smaller numbers or strands of trees (six (6) inch caliper and greater) shall be identified individually. Shrub areas and other forms of vegetation such as grasses shall be identified with a revision cloud symbol.
 - Plant Legend. Legend shall include all proposed plant material, including the following: common name, botanical name, size at planting, spacing and quantity (of trees only).
 - Landscape Area Legend. A summary of proposed areas and their square footages shall include: lawn, existing and or proposed paving, existing trees to be preserved, existing trees to be removed and the amount of proposed shrubs.
- b. **Irrigation Plan Specifications:** The irrigation plan must include all necessary information to satisfy Washoe County Code Section 110.412.65, Irrigation Standards.
- Location, size, and specifications of water source(s), water mains, meter(s), valves, and the controller.
 - Temporary or permanent water irrigation systems.
 - Specifications of irrigation equipment identified by manufacturer's name and equipment identification number.
 - An approved backflow prevention device is required on all landscape irrigation systems.
- ~~N/A~~ 11. **Signage Plan:** The signage plans shall include sign elevations and delineate location, height, style, dimensions, intensity of sign lighting and finish of any proposed signage:
- ~~N/A~~ 12. **Lighting Plan:** Show the location and configuration of all proposed exterior lighting including a detail of the parking lot light fixtures, pole heights, security lighting, and wall mounted illumination fixtures. Parking lot areas shall be depicted showing lumen isolines demonstrating compliance with the provisions of the Washoe County Development Code.
- ~~N/A~~ 13. **Building Elevations:** All buildings and structures including fences, walls, poles and monument signs proposed for construction within the project shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented.
14. **Packets:** Six (6) packets and a flash drive - any digital documents need to have a resolution of 300 dpi. One (1) packet must be labeled "Original" and contain a signed and notarized Owner Affidavit. Each packet shall include an 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. These materials must be readable. Labeling on these reproductions should be no smaller than 8 point on the 8½ x 11" display. Four (4) of the application packets shall include large format maps; the rest of the packets shall include either 8.5" x 11" or 11" x 17" maps. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

- Notes:
- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
 - (ii) Appropriate map engineering and building architectural scales are subject to the approval of Planning and Building and/or Engineering and Capital Projects.
 - (iii) All oversized maps and plans must be folded to a 9" x 12" size.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Reno Tahoe Business Gateway			
Project Description: This request includes a Special Use Permit to allow for Major Grading per Section 110.438.35 in anticipation of future development.			
Project Address: 0 Interstate 80 West			
Project Area (acres or square feet): ~27.9 acres			
Project Location (with point of reference to major cross streets AND area locator): Project site is located on south side of Interstate 80, off Exit 7 and north of Mogul Road.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
038-172-14	26		
038-181-01	1.9		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Riverview Estates Properties LLC		Name: Wood Rodgers, Inc	
Address: 7641 W Post Road		Address: 1361 Corporate Blvd	
Las Vegas, NV	Zip: 89113	Reno, NV	Zip: 89502
Phone: 702-326-7102	Fax:	Phone: 775-823-5258	Fax:
Email: chichib@bentar.com		Email: shuggins@woodrodgers.com	
Cell:	Other:	Cell: 775-250-8213	Other:
Contact Person: Amador "ChiChi" Bengochea		Contact Person: Stacie Huggins	
Applicant/Developer:		Other Persons to be Contacted:	
Name: S3 Development Company		Name:	
Address: 1 East Liberty St, Ste 444		Address:	
Reno, NV	Zip: 89501		Zip:
Phone:	Fax:	Phone:	Fax:
Email: blakejr@s3devco.com & blake@s3devco.com		Email:	
Cell: 775-287-7595	Other:	Cell:	Other:
Contact Person: Blake Smith		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: S3 Development Company, LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Ammon Bengochea
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 038-172-14 and 038-181-01

Printed Name Ammon Bengochea

Signed [Signature]

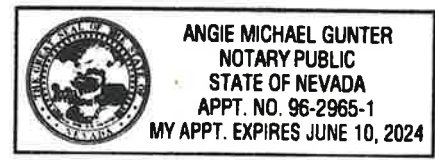
Address 7641 W. Foss Rd. CV-NO 89115

Subscribed and sworn to before me this 6th day of JANUARY, 2022.

[Signature]
Notary Public in and for said county and state

My commission expires: June 10, 2024

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A SUP to allow Major Grading per Section 11.438.35 resulting in super pads for future development.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

See attached preliminary site/grading plan.

3. What is the intended phasing schedule for the construction and completion of the project?

Pad grading is anticipated to begin in mid-2022 with vertical construction to follow.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The subject site has been significantly disturbed over the years from improvements related to the railroad, I-80 corridor, and various utility projects in the immediate vicinity. The request for major grading of the site will actually reduce the long term impact by grading all at once rather than on a building by building basis.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

By mass grading the site (rather than grading on a building by building case) the Developer can reduce noise and traffic impacts on the overall area. Additionally, by mass grading the site, the earthwork will balance.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

Given that the site is flanked by Interstate 80 to the north and UPRR to the south, negative impacts associated with the proposed mass grading will be minimal.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

As this request is limited to grading, landscaping and parking will be addressed with future permits that will include retaining walls and backbone infrastructure (ie - main road and landscaping).

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	TMWRF
b. Electrical Service	NV Energy
c. Telephone Service	AT&T
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter/Spectrum
g. Water Service	Truckee Meadows Water Authority

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	TMFPD Station 40
b. Health Care Facility	Saint Mary's Northwest Urgent Care
c. Elementary School	Winnemucca
d. Middle School	Billinghurst
e. High School	McQueen
f. Parks	Canepa Ranch Open Space/Mogul Park
g. Library	Northwest Reno Library
h. Citifare Bus Stop	N/A

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

1. What is the purpose of the grading?

Grading will be used to establish building pads, parking, and driveways for future development in accordance with WC Development Code.

2. How many cubic yards of material are you proposing to excavate on site?

Approximately 127,400 cubic yards

3. How many square feet of surface of the property are you disturbing?

Approximately 1,184,832 square feet

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

We anticipate approximately 23,260 cubic yards of excess cut. A portion of that is expected to be oversized rocks and boulders that cannot be used in fill areas but will be processed for use on-site as rockery walls. A portion will be true off-haul for existing debris and large brush that can't be placed in fills.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. Due to the slopes on the property and the amount of excavation required to create buildable pads an SUP is required.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No, however, the site has been disturbed in the past and has numerous stockpiles and dirt roadways from both UPRR and Interstate 80 construction that will be removed as part of the mass grading operation proposed.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, the site plan includes all areas that are planned to be disturbed as a part of this effort.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the site is currently visible from Interstate 80 to the north and Mogul Road to the south.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

The available access points to the site are very limited as they are contained within existing public access easements granted over the adjacent UPRR parcels between the project site and Mogul Road.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Cut and fill areas will have a maximum slope of 3:1. All disturbed areas will be landscaped and/or revegetated with native vegetation. Erosion control measures will be provided on the final improvement plans.

11. Are you planning any berms?

Yes	No X	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls will be required, and are proposed as dry-stack rockery walls at a maximum height of 8' for single walls and 6' for tiered walls.

13. What are you proposing for visual mitigation of the work?

The perimeter areas of the site will be landscaped in accordance with WC Development Code requirements with a future civil improvements permit submitted for the project.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Areas to be revegetated will include a native seed mix approved by Washoe County.

16. How are you providing temporary irrigation to the disturbed area?

If required, temporary irrigation can be provided at revegetation locations.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

The revegetation plan has not been reviewed with the Washoe Storey Conservation District at this time.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes <input type="checkbox"/>	No X <input checked="" type="checkbox"/>	If yes, please attach a copy.
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Section 2

Project Description

Background

On December 9, 2021, the Truckee Meadows Regional Governing Board (RGB) adopted a resolution regarding a mapping amendment to remove the subject site (~27.9± acres) from the City of Reno's Sphere of Influence and into Washoe County's jurisdiction. Following detachment, Washoe County indicated they would respect the existing Industrial zoning and submit a Master Plan Amendment to designate the land use as Industrial once the parcels are reverted fully to Washoe County. Pending adoption of the MPA, the master plan and zoning will both reflect Industrial designations and therefore be in conformance.

Location

The project is located at on the south side of Interstate 80 off Exit 7 and north of Mogul Road (*refer to Vicinity Map, Assessor's Parcel Map and Site Aerial in Section 3 of this submittal packet*). The property includes two parcels, identified by the Washoe County Assessor as APN's 038-172-14 & 038-181-01. To the north is Interstate 80, to the east is an existing self-storage facility, to the south is Union Pacific Railroad and Open Space, and to the west is Union Pacific Railroad land. Zoning surrounding the site includes Low Density Suburban (LDS) & Medium Density Suburban (MDS) to the north, Industrial (I) to the east, and Public/Semi-Public (PSP) to the south and west.

Current Request

The request includes:

- A **Special Use Permit** to allow for Major Grading that includes disturbance of approximately 1,184,832 square feet (27.2 acres) of the project and approximately 127,400 cubic yards of cut and 104,040 cubic yards of fill. It is anticipated that a large portion of the approximately 23,360 cubic yards of excess cut will consist of oversized rocks that will be processed and utilized on-site for dry stacked rockery wall construction. The remaining portion of excess cut is expected to include vegetation and unsuitable material that will be exported from the site.

This request will allow the developer to create super pads that can be developed with a mix of industrial/flex/self-storage uses as permitted in the Industrial zoning district.

Project Details

Layout

A preliminary site plan demonstrating future parcel boundaries for the super pads is located in Section 4 of this submittal packet. Any future buildings on this site will require a building permit, site improvement permit, and/or other entitlement permits that require review by Washoe County staff for compliance with the Washoe County Development Code.

It is worth noting that Interstate 80 is approximately 40 feet higher at the western end of the site and tapers to approximately 10 feet above the eastern end of the site. It is anticipated that buildings will front Interstate 80 and all truck loading and unloading will generally occur on the interior of the site in order to limit impacts on the surrounding area. These large grade changes and the existing interstate creates a natural buffer between the existing built environment north of the Interstate and the proposed project site.

Mix of Uses

The project outlined in this application would commonly be referred to as a “flex space Industrial Park”. Specially, the request for grading will allow the Developer to create super pads, which will then be developed with a mix of flex space industrial buildings that can be used for industrial commercial type uses. Although it is uncertain what the precise uses will be for the future flex space buildings, a wide range of uses are allowed by right or with entitlements within the Industrial zoning district. For the purposes of this submittal and associated technical engineering studies, a mix of 70 percent industrial park uses and 30 percent self storage use is assumed and felt to be market feasible for this area.

It is worth noting that the Developer hosted a virtual neighborhood meeting on September 14, 2021, to share plans for the site and solicit community feedback. Notices were sent to nearby property owners and over 40 people participated in the meeting. Attendees voiced concerns regarding traffic and 18 wheel trucks utilizing the Mogul Interchange. It is worth noting that while the proposed site plan is substantially the same as what was presented at the neighborhood meeting, the Developer has reduced the “flex” space product by approximately 34 percent than what was presented at the Neighborhood meeting.

Landscaping

Landscaping throughout the site will conform to standards within Section 110.412.25 of the Development Code. As designed, landscaping will primarily be provided along streets and roadways within and around the development.

Any disturbed areas outside of this application will be landscaped at the time of future development and reviewed with the associated entitlement request or revegetated if left vacant for an extended period of time after grading.

Lighting

This project involves major grading and infrastructure improvements to facilitate development of the property in the future. As such, no buildings are currently proposed for this site. Any future lighting requirements will follow code requirements outlined in Section 114.414.21 of the Development Code.

Site Circulation

As designed, Mogul Road will provide access to the site via one of two driveways on either side of the existing self-storage. The driveways are planned to be 30’ wide and will connect to drive aisles designed to “loop” through the site. At the western terminus, the drive-aisle includes a cul-de-sac designed to meet fire truck turn around requirements. All drive aisles shown internal to the site are intended to be conceptual and will be formally designed in accordance with typical Washoe County standards as individual projects are developed.

Public Services

Washoe County Sheriff and Truckee Meadows Fire Protection District will serve the subject site. TMFPD Station 40 is located approximately 1 mile from the project site. The Truckee River corridor and Canepa Ranch Open Space provide community recreation opportunities south of the subject site.

Utilities

Utilities that will serve the project are summarized as follows:

- Water – Truckee Meadows Water Authority (TMWA) will serve the project. Water rights to accommodate the project will be dedicated prior to the issuance of building permit.

- Sewer – The project will be served by a private sewer network that connects to an existing 30-inch public (City of Reno) sewer main within Mogul Road. Existing 8” sanitary stubs from the 30” public main have been extended to the site to aid in development at a number of locations. The Truckee Meadows Water Reclamation Facility (TMWRF) will provide treatment. Proposed 8” private sewer mains will be constructed within the backbone roads of the development to serve each of the areas of the proposed project.
- Gas and Electricity – Natural gas and electricity are provided by NV Energy.

Grading

The ground surface at the site slopes gently downward to the east/northeast. The majority (84%) of slopes contained on the site range from 0 – 15%. The areas identified as greater than 20% on the slope analysis included in Section 3 are a result of stockpiles placed on the site (by other) for previous work associated with Interstate 80 and the adjacent railroad.

Earthwork is expected to largely balance at time of final design. Based on the geotechnical studies for the project, the grading design does anticipate the generation of oversized rocks that will be processed and used on-site for dry stacked rockery retaining walls. The presence of large brush and debris from previous activities on-site is noted in the geotechnical studies as well. While final quantities are unknown at this time, a portion of the overall excess cut volume (approximately 23,360 cubic yards) is expected to be exported from the site as a result. Retaining walls and slopes of 3(H):1(V) will be utilized throughout the site. Visual impacts from the proposed grading will be limited.

In order to best utilize the oversized rocks and boulders that are present on-site, the proposed retaining walls are to be constructed as dry stacked rockery walls. The maximum retained height is 8’ for single wall applications, and 6’ with 6’ of bench width between walls for tiered wall applications.

Findings

Special Use Permit

Below is a summary of the required findings for a special use permit, the Planning Commission, Board of Adjustment, or a hearing examiner shall find that all of the following are true:

Finding (a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

Response: The request to allow major grading to support future development of building pads meets all applicable goals and policies of the Washoe County Master Plan and the Verdi Area Plan.

Finding (b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Response: The proposed grading plan has been completed with an eye towards the future development of the site as an industrial park type use, and as such, has provided for appropriate roadway access and circulation, storm water management, and utility design. Specifically, the grading plan provides for roadway connection points at two locations along Mogul Road where allowable by the existing public access easements that benefit the project site. In addition, the grading plan provides for appropriate storm water management, with an on-site system of open air and piped systems that are designed to capture, convey, and

detain post development flows. While the grading plan does not provide for utility connections that are not necessary for grading alone, the grading plan anticipates utility connection points at the roadway connection points, which is intended to include sanitary sewer, water, gas, electric, and communication services. The project will be served by Truckee Meadows Water Authority for domestic water, and will sewer to the Truckee Meadows Water Reclamation Facility. Electric and gas will be provided by NV Energy, and communications facilities will be provided by AT&T and Charter.

Although this project is not for a particular development, it is intended to facilitate the development of an industrial park type use that includes office, commercial, industrial, and self-storage uses. Future development of individual buildings will be required to provide plans and final reports in accordance with Washoe County Development Code requirements.

Finding (c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

Response: The project site and surrounding area has been significantly disturbed by the adjacent railroad, I-80 corridor and various utility projects as well as onsite fill piles and cuts (by others) over the course of several years. Physically, although the site requires major grading to accommodate development, the site is relatively flat with over 80 percent of the site having a slope of 15% or less as indicated on the included slope analysis. The grading design includes a maximum depth of cut of approximately 25', and a maximum depth of fill of approximately 22', however those maximum depths are localized to a few areas on-site. The majority of the site has depths of cuts and fills that are considerably shallower at approximately 6.1' and 4.7' respectively.

In terms of future development, the site is bound by the Union Pacific Railroad and Interstate 80. Future development of the site in accordance with the Industrial zoning is not anticipated to have increased impacts over the already present vehicular traffic.

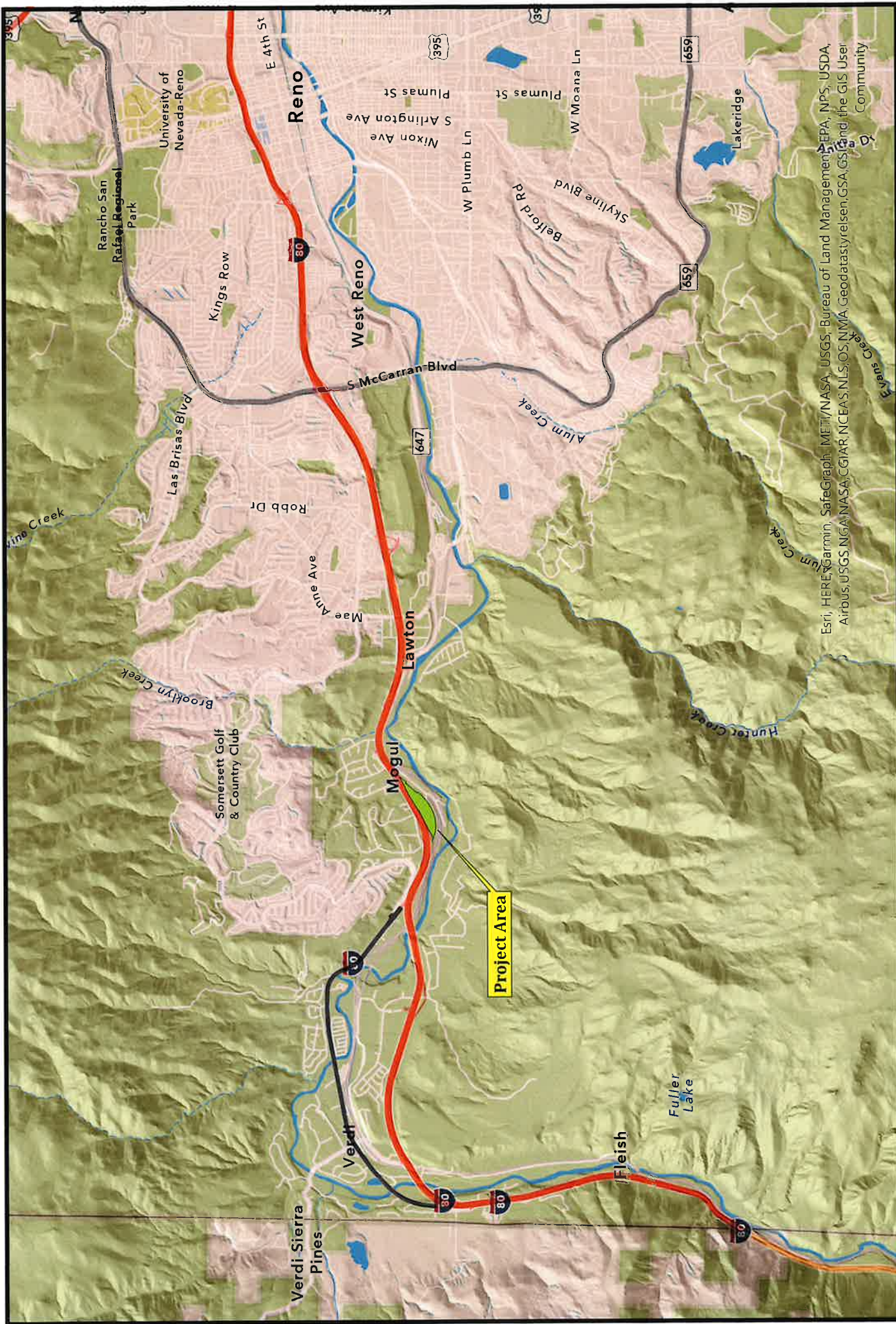
Finding (d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

Response: The request to allow major grading associated with future development of the subject site will not be detrimental to public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area. The request to allow major grading of the site allows the Developer to balance the site and minimize the duration of road and noise impacts on the surrounding area. Based on the major grading, it is anticipated that future development of the site will be consistent with the existing Industrial zoning.

Finding (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Response: Not applicable to the project.

Section 3





Vicinity Map

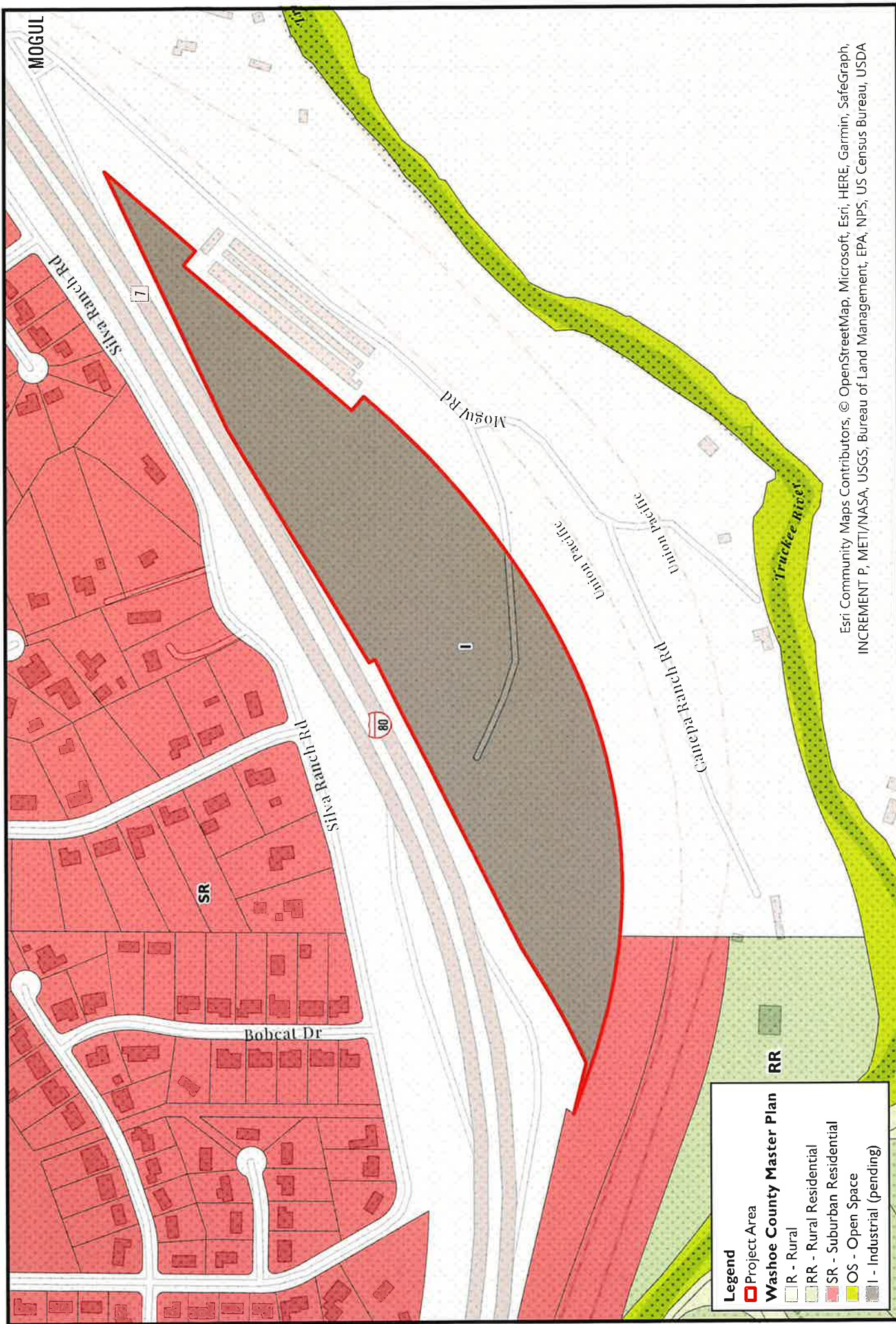
Reno Tahoe Business Gateway

January 2022



WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
1381 Corporate Boulevard
Reno, NV 89502
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Esri, HERE, Garmin, SafeGraph, MET/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Airbus, USGS, NGA, NASA, CGIAR, NCEAS, NLS, OS, NIMA, Geodatastyrelsen, GSA, GIS, and the GIS User Community



Legend

- █ Project Area
- █ Washoe County Master Plan
- █ R - Rural
- █ RR - Rural Residential
- █ SR - Suburban Residential
- █ OS - Open Space
- █ I - Industrial (pending)

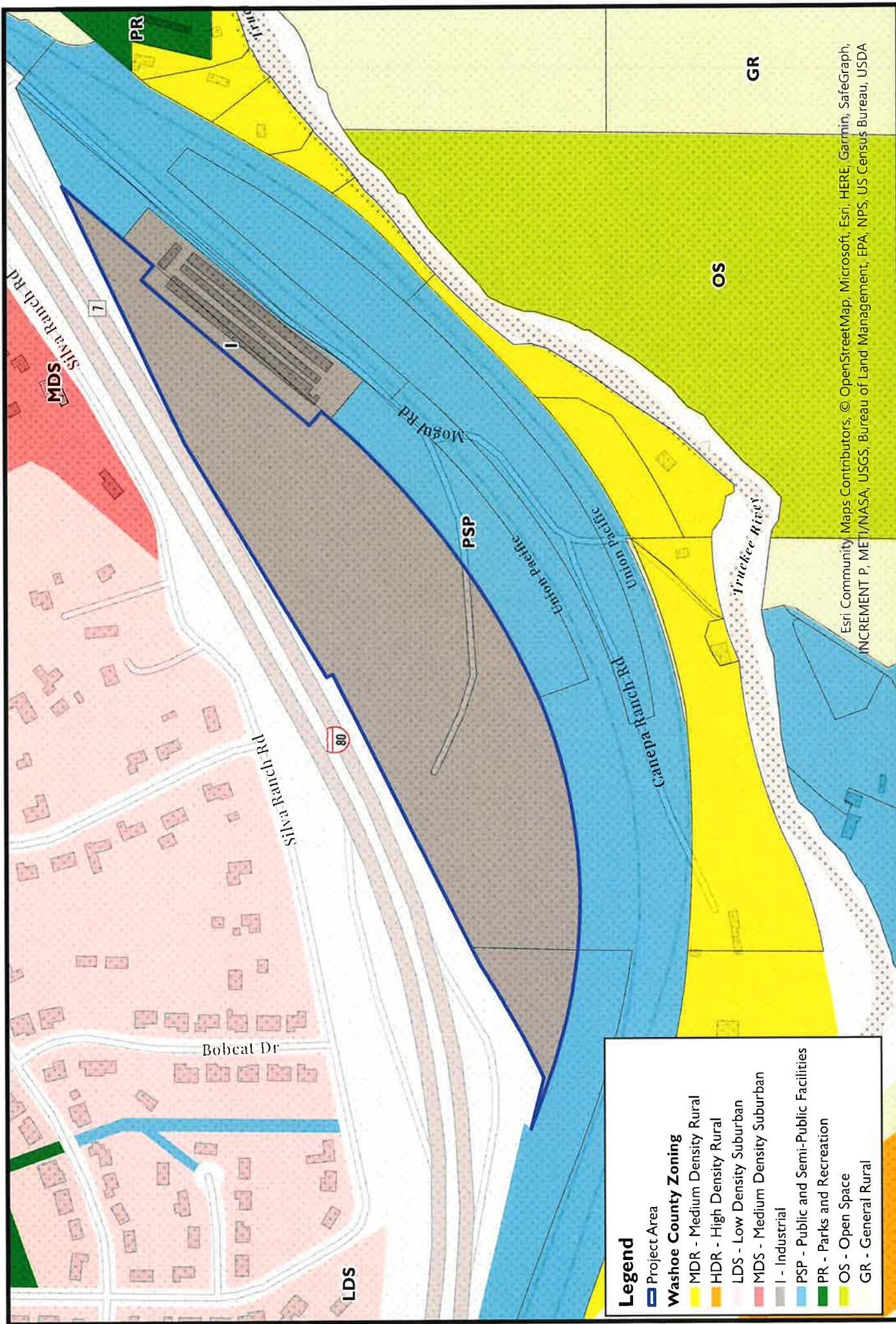


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Master Plan

Reno Tahoe Business Gateway

January 2022



Legend

- Project Area
- Washoe County Zoning**
- MDR - Medium Density Rural
- HDR - High Density Rural
- LDS - Low Density Suburban
- MDS - Medium Density Suburban
- I - Industrial
- PSP - Public and Semi-Public Facilities
- PR - Parks and Recreation
- OS - Open Space
- GR - General Rural



Zoning
Reno Tahoe Business Gateway
January 2022

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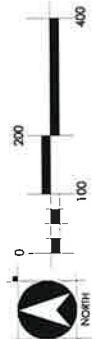
EXISTING SLOPES ANALYSIS

RENO TAHOE BUSINESS GATEWAY

WASHOE COUNTY, NEVADA
NOVEMBER, 2021

Slopes Table

Number	Minimum Slope	Maximum Slope	Percentage	Area	Color
1	0.00%	15.00%	84.12%	1016319.64	Green
2	15.00%	20.00%	4.79%	57832.71	Light Green
3	20.00%	25.00%	3.12%	37702.72	Yellow
4	25.00%	30.00%	2.23%	26949.11	Orange
5	30.00%	>30.00%	5.74%	69254.45	Red



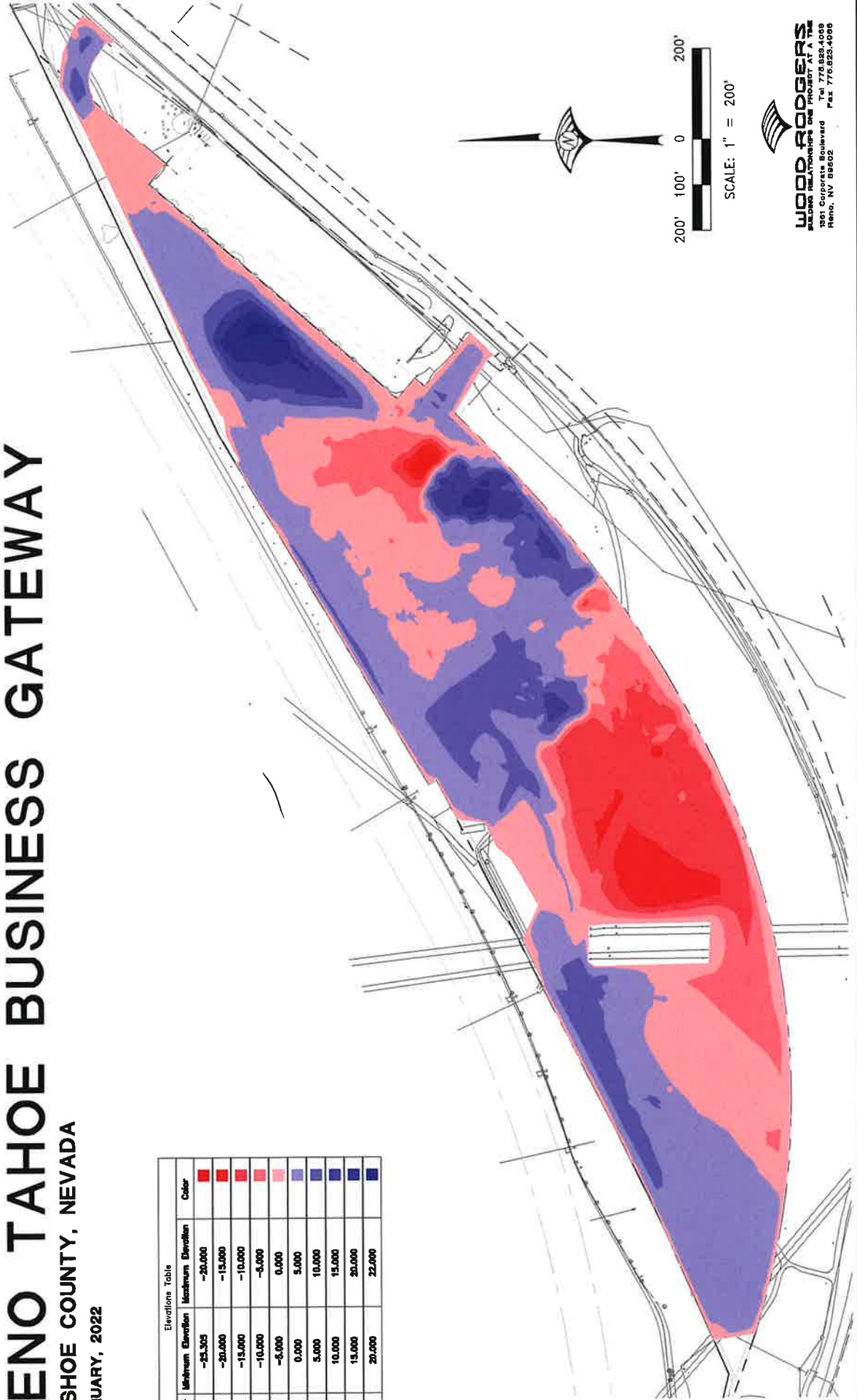
RENO TAHOE BUSINESS GATEWAY

PRELIMINARY CUT-FILL EXHIBIT RENO TAHOE BUSINESS GATEWAY

WASHOE COUNTY, NEVADA
FEBRUARY, 2022

Elevations Table

Number	Minimum Elevation	Maximum Elevation	Color
1	-25,000	-20,000	Red
2	-20,000	-15,000	Red
3	-15,000	-10,000	Red
4	-10,000	-5,000	Red
5	-5,000	0,000	Light Red
6	0,000	5,000	Light Blue
7	5,000	10,000	Blue
8	10,000	15,000	Blue
9	15,000	20,000	Blue
10	20,000	22,000	Blue



SCALE: 1" = 200'

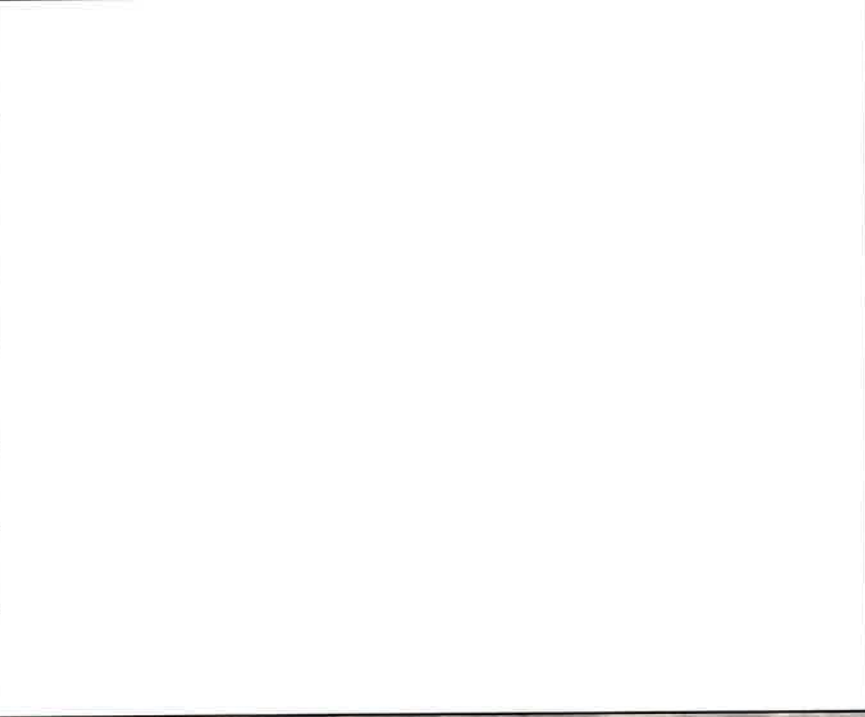
WOOD ROGERS
 ENGINEERS, ARCHITECTS AND PLANNERS
 1901 Corporate Boulevard
 Reno, NV 89502
 Tel: 775.823.4000
 Fax: 775.823.4000



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus/USDA, USDA, AeroGRID, IGN, and the GIS User Community

Existing Hydrologic Basins
 Reno Tahoe Business Gateway
 Washoe County
 FEBRUARY 2022

Basin Name	Area (ac.)	C _{5yr}	C _{100yr}	I _{5yr}	I _{100yr}	Q _{5yr}	Q _{100yr}
E-01	2.75	0.20	0.50	1.55	3.81	0.9	5.2
E-02	25.48	0.20	0.50	1.17	2.88	6.0	36.7

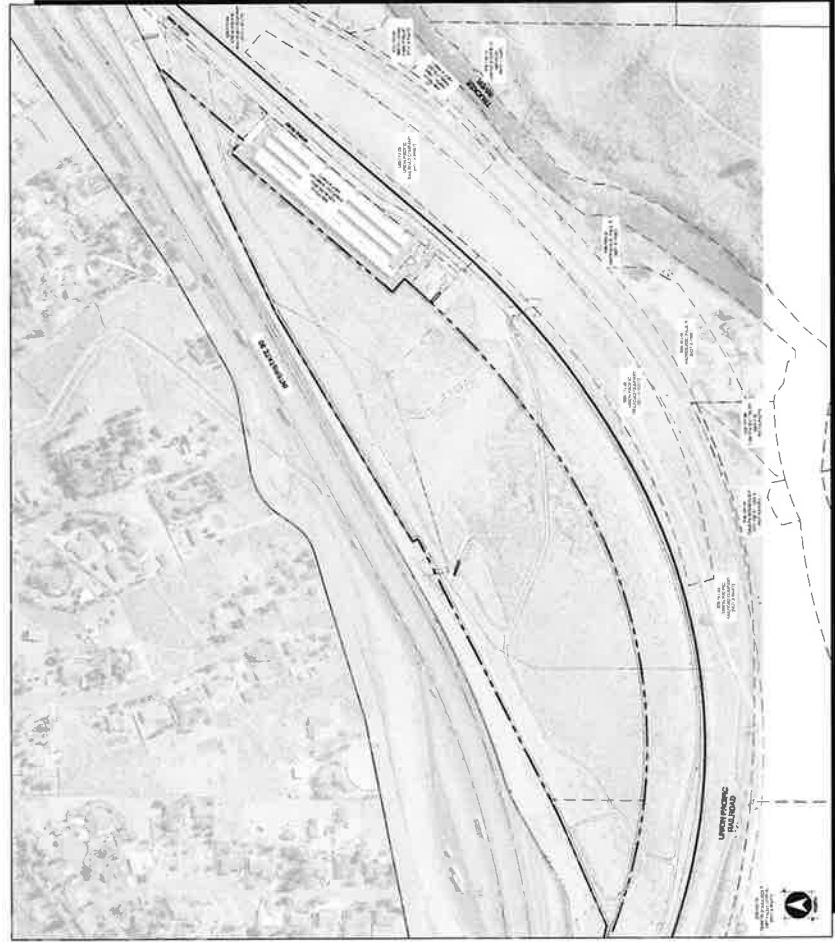
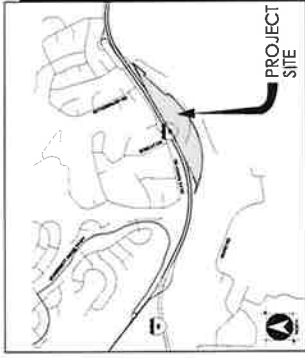


WOOD RODGERS
 BUILDING RELATIONSHIPS AND PROJECTS AT THE
 INTERSECTION OF COMMUNITY AND ENVIRONMENT
 1000 West Boulevard
 Reno, NV 89502
 Tel: 775 823 4000
 Fax: 775 823 4008

0 100 200 Feet

RENO TAHOE BUSINESS GATEWAY GRADING SPECIAL USE PERMIT TITLE SHEET

APPLICANT:
S3 DEVELOPMENT COMPANY LLC,
1 EAST LIBERTY STREET, SUITE 444
RENO, NV 89501



SITE INFORMATION:
ASSessor PARCEL NUMBER: 0817914 (RMP# 4)
SITE AREA: 27.7 ACRES
PROJECT NUMBER: 2022-0029
OWNER: S3 DEVELOPMENT COMPANY LLC
DESIGNED BY: WOOD RODGERS
ESTIMATED START DATE: 03/01/2022
ESTIMATED END DATE: 06/30/2022
FOR POST-CONSTRUCTION MONITORING AND REPORTING TO BE SUBMITTED TO THE STATE

ENGINEER'S STATEMENT:
I, WOOD RODGERS, DO HEREBY CERTIFY THAT THE PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEVADA.

MAPLE COUNTRYSIDE #18174

SHEET INDEX

SHEET NO.	SHEET TITLE	DATE
1	TITLE SHEET	02/01/2022
2	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022
3	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022
4	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022
5	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022
6	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022
7	PRELIMINARY GRADING PLAN (GENERAL)	02/01/2022

RENO TAHOE BUSINESS GATEWAY
TITLE SHEET



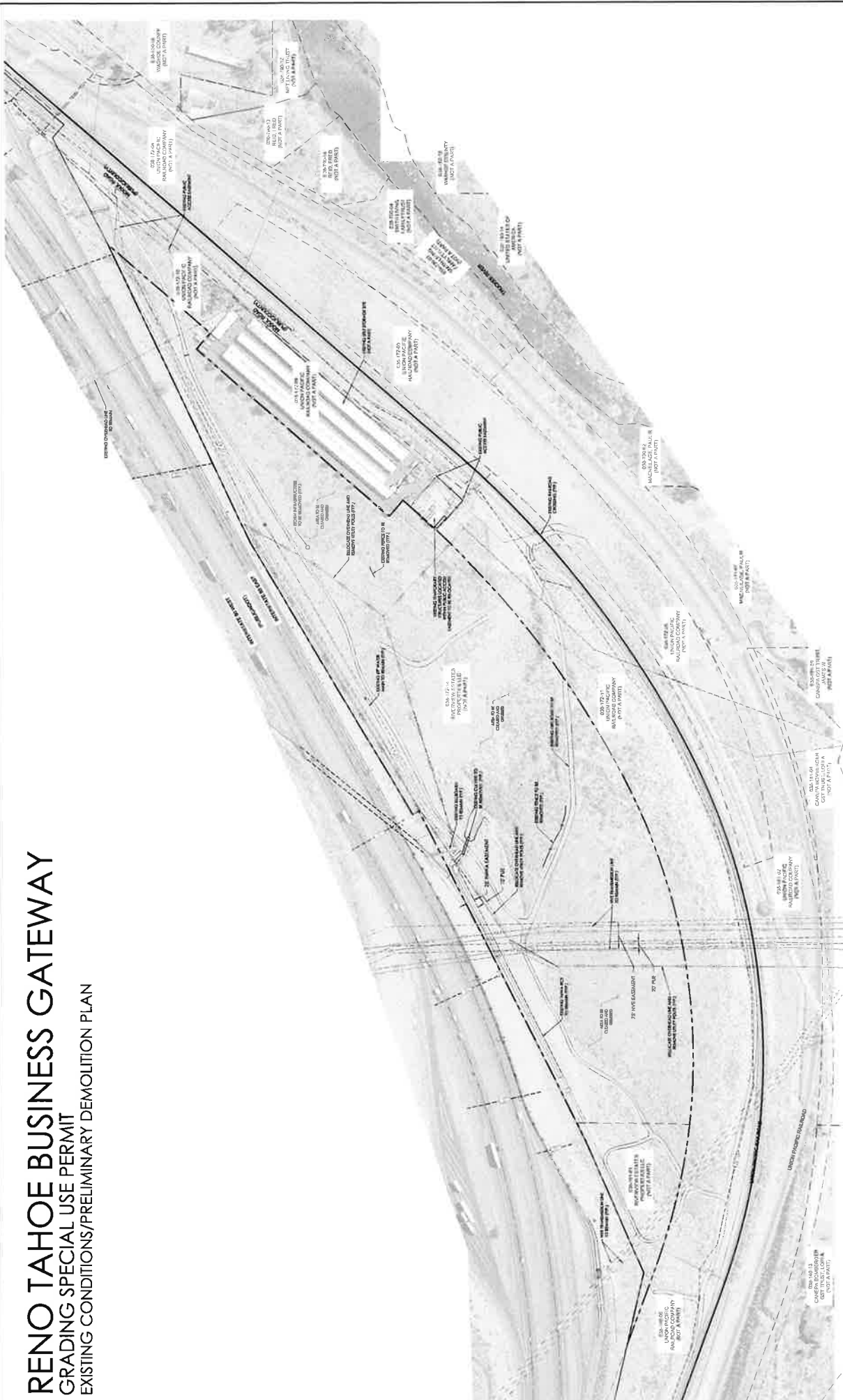
WOOD RODGERS
LAND SURVEYING AND ENGINEERING
2000 UNIVERSITY AVENUE
RENO, NV 89502
PHONE: 775.853.4088
FAX: 775.853.4088

JOB NO. 4039.002 FEBRUARY, 2022

SHEET 1-1 OF 7

RENO TAHOE BUSINESS GATEWAY

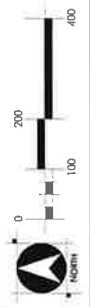
GRADING SPECIAL USE PERMIT EXISTING CONDITIONS/PRELIMINARY DEMOLITION PLAN



RENO TAHOE BUSINESS GATEWAY
EXISTING CONDITIONS/DEMOLITION PLAN

WOOD BOGERS
BUILDING REGULATIONS ONE PROJECT
1951 Corporate Boulevard
Reno, NV 89502
Tel: 775.823.4088
Fax: 775.823.4088

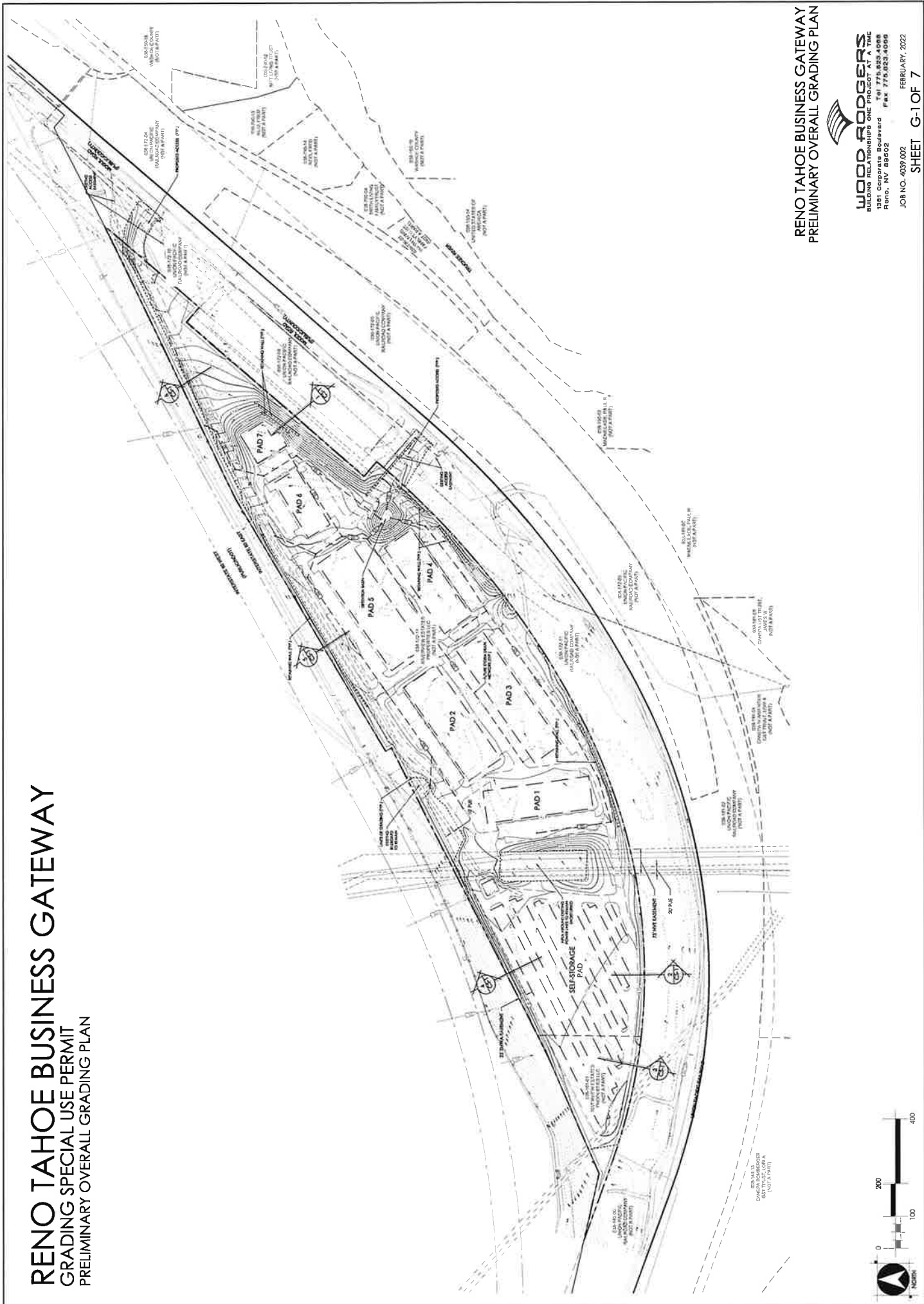
JOB NO. 4039.002
FEBRUARY, 2022
SHEET DM-TOF 7



RENO TAHOE BUSINESS GATEWAY

GRADING SPECIAL USE PERMIT

PRELIMINARY OVERALL GRADING PLAN



RENO TAHOE BUSINESS GATEWAY
PRELIMINARY OVERALL GRADING PLAN

WOOD ROGERS
ARCHITECTS ENGINEERS PLANNERS
1885 G STREET, SUITE 200
RENO, NV 89502 PH: 775.853.4088
FAX: 775.853.4086

JOB NO. 4039.002 FEBRUARY, 2022
SHEET G-1 OF 7

RENO TAHOE BUSINESS GATEWAY

GRADING SPECIAL USE PERMIT

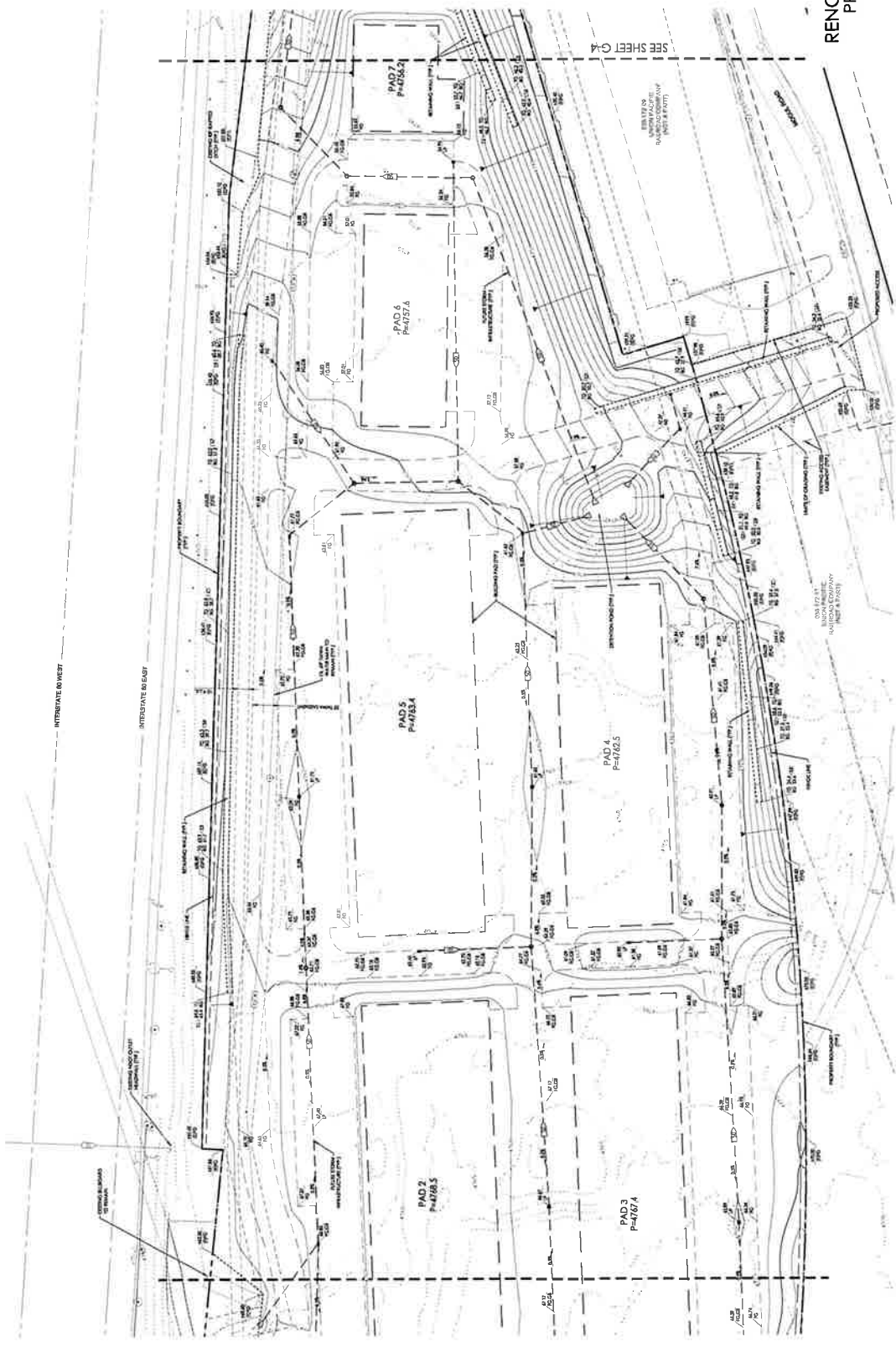
PRELIMINARY GRADING PLAN



RENO TAHOE BUSINESS GATEWAY
PRELIMINARY GRADING PLAN

WOOD BOGERS
LANDSCAPE ARCHITECTURE
1981 Corporate Boulevard Reno, NV 89502
Tel: 775.823.4088 Fax: 775.823.4088
JOB NO. 4039.002 FEBRUARY, 2022
SHEET G-2 OF 7

RENO TAHOE BUSINESS GATEWAY GRADING SPECIAL USE PERMIT PRELIMINARY GRADING PLAN

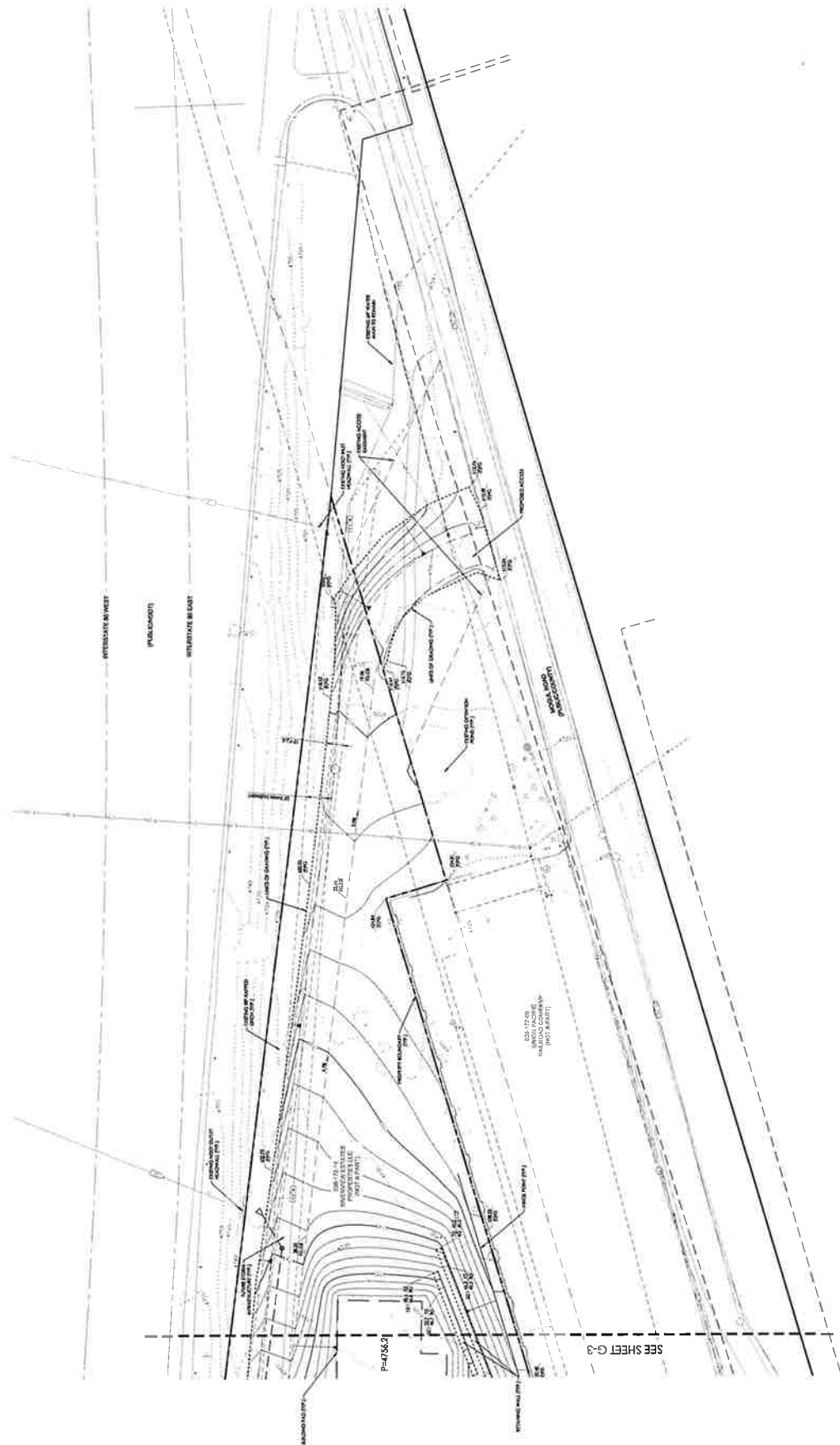


RENO TAHOE BUSINESS GATEWAY
PRELIMINARY GRADING PLAN

WOOD ROGERS
 1800 RICHMOND ONE CENTER DRIVE
 988 COLLETT AVENUE
 RENO, NV 89502 TEL: 775.853.4088
 FAX: 775.853.4088

JOB NO. 4039.002 FEBRUARY, 2022
 SHEET G-3 OF 7

RENO TAHOE BUSINESS GATEWAY GRADING SPECIAL USE PERMIT PRELIMINARY GRADING PLAN



RENO TAHOE BUSINESS GATEWAY
PRELIMINARY GRADING PLAN

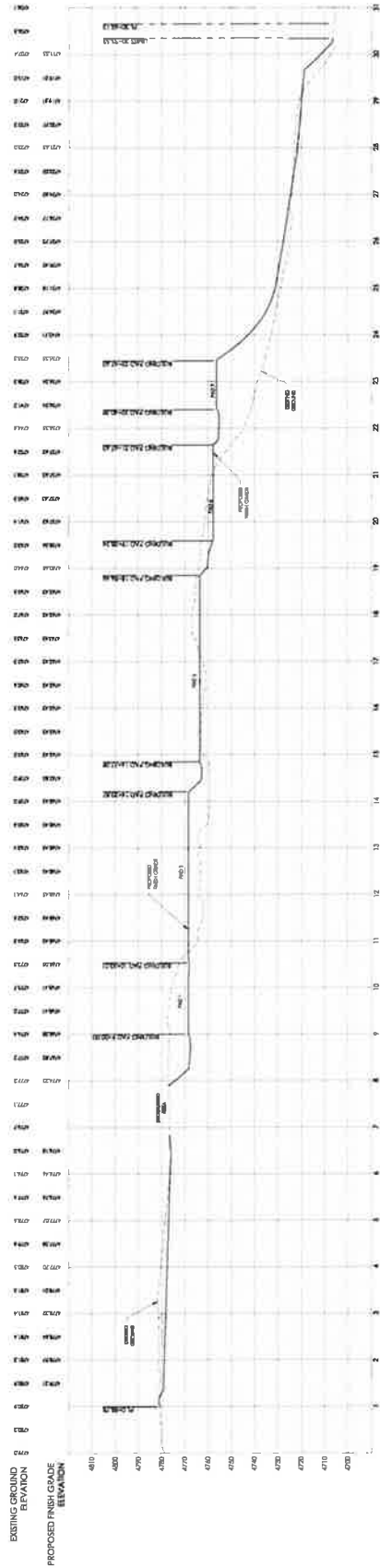
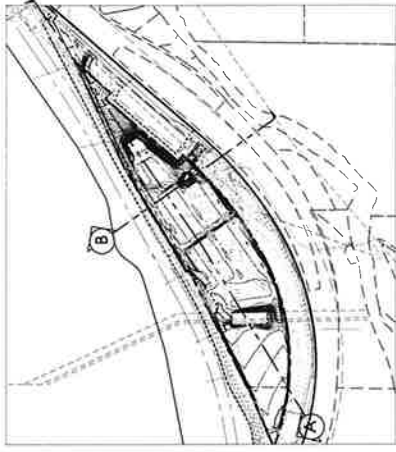
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
1000 S. UNIVERSITY BLVD. SUITE 200
RENO, NV 89502 PH: 775-823-4000

JOB NO. 4039.002 FEBRUARY, 2022
SHEET G-4 OF 7

RENO TAHOE BUSINESS GATEWAY

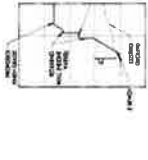
GRADING SPECIAL USE PERMIT

PRELIMINARY CROSS SECTIONS



CROSS SECTION A
SCALE: HORIZ. 1"=100'
VERT. 1"=20'

DETAIL 1
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



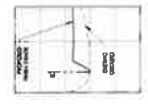
DETAIL 2
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



DETAIL 3
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



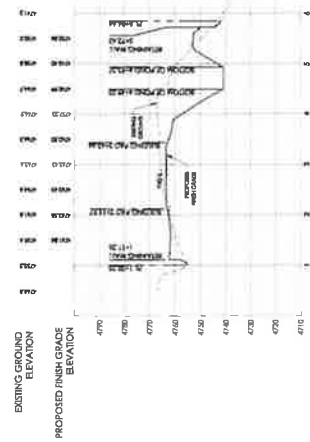
DETAIL 4
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



DETAIL 5
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



DETAIL 6
SCALE: HORIZ. 1"=100'
VERT. 1"=20'



CROSS SECTION B
SCALE: HORIZ. 1"=100'
VERT. 1"=20'

RENO TAHOE BUSINESS GATEWAY
PRELIMINARY CROSS SECTIONS

WOOD RODGERS
SURVEYING AND RELATIONSHIPS ONE PROGRESS AVE
SUITE C, CHURCHVILLE NV 89030
RENO, NV 89502 FAX: 775.853.4088

JOB NO. 4039.002 FEBRUARY, 2022
SHEET CS-1 OF 7