

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Wyndham Shop</b>			
Project Description: 40x60 foot shop in the backyard - Steel building with red iron posts			
Project Address: 11675 Mistletoe St. Reno, NV 89506			
Project Area (acres or square feet): 2400 sqft			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): Lemmon Valley in Reno with Lemmon Valley Dr. and Idaho St. as cross streets			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
080-332-07	1		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Wyndham, Paul & Gail		Name:	
Address: 11675 Mistletoe St.		Address:	
Reno, NV	Zip: 89506		Zip:
Phone: 425-248-8243	Fax:	Phone:	Fax:
Email: paulw@builditgarage.com		Email:	
Cell: 425-248-8243	Other:	Cell:	Other:
Contact Person: Paul Wyndham		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Paul Wyndham		Name:	
Address: 11675 Mistletoe St.		Address:	
Reno, NV	Zip: 89506		Zip:
Phone:	Fax:	Phone:	Fax:
Email: paulw@builditgarage.com		Email:	
Cell: 425-248-8243	Other:	Cell:	Other:
Contact Person: Paul Wyndham		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application  
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

Shop/Garage for personal projects

2. What section of the Washoe County code requires the Administrative permit required?

WCC 110.306.01 (d)

3. What currently developed portions of the property or existing structures are going to be used with this permit?

This permit is for a new structure on an unused portion of the property

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New metal building in the backyard with a new electrical connection. The expected completion would be within the 18 months of the building permit - by end of June 2024

5. Is there a phasing schedule for the construction and completion of the project?

We would build the foundation/slab and then proceed erecting the building

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Several of the properties around us have shops and the should structure would allow me to work in there instead of outside.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

This project will allow me to use the backyard and move my project vehicles into the shop. This will increase the street appeal and the building will increase property value.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

The shop will be insulated to help reduce any sounds from my project work

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.



10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

There are 3 existing parking spots in the driveway. There could be a couple extra gravel spots in the backyard in front of building.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Building will be Grey with Blue trim. No new fencing, trees or shrubs are planned.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signs will be included in this project, so no lighting of signs either.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes  No

14. Utilities:

a. Sewer Service	Not connected to sewer
b. Water Service	Not connected to water

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

**GENERAL NOTES:**

PROPERTY IS A CONSTANT ELEVATION AND RELATIVELY FLAT

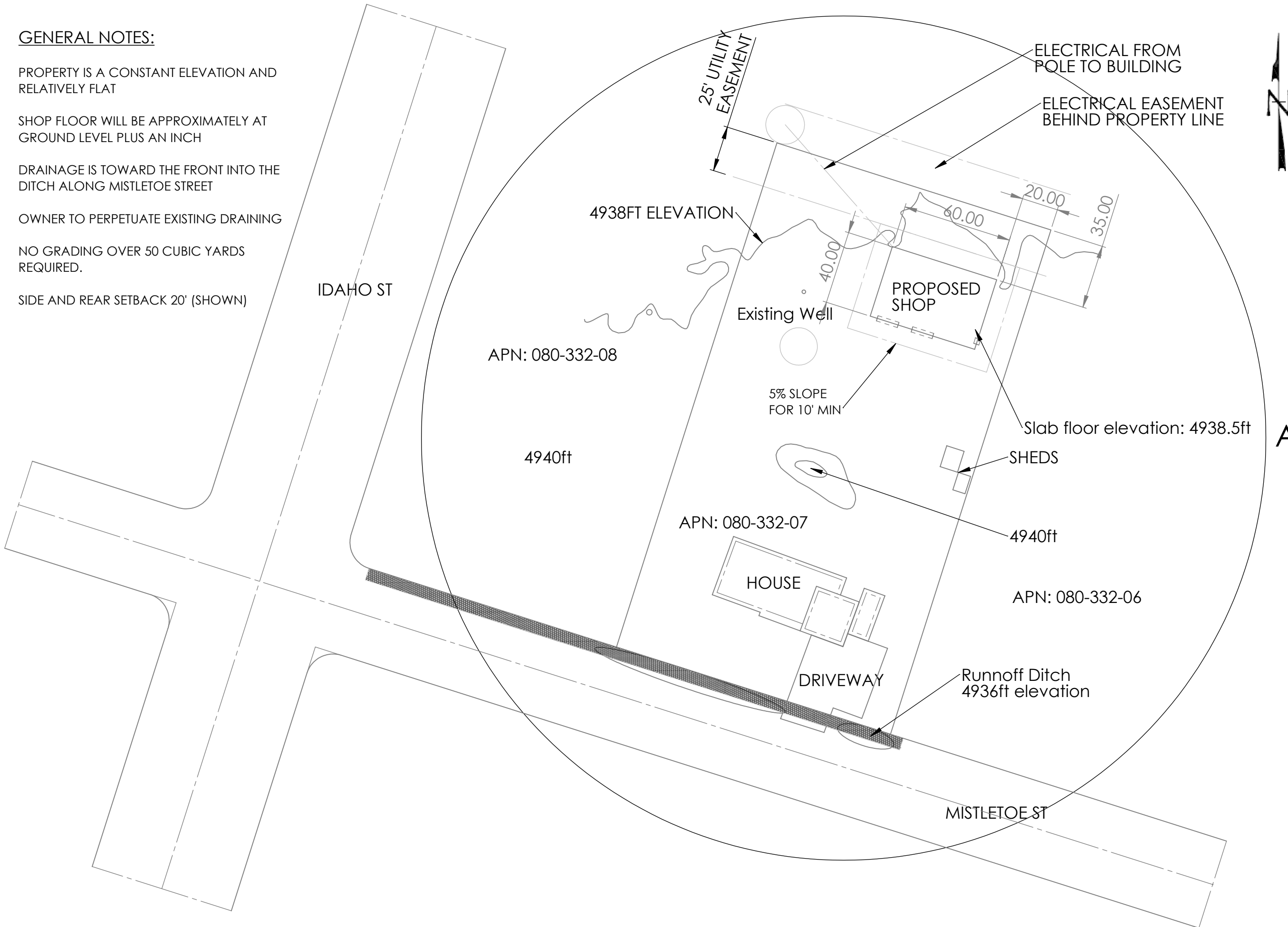
SHOP FLOOR WILL BE APPROXIMATELY AT GROUND LEVEL PLUS AN INCH

DRAINAGE IS TOWARD THE FRONT INTO THE DITCH ALONG MISTLETOE STREET

OWNER TO PERPETUATE EXISTING DRAINING

NO GRADING OVER 50 CUBIC YARDS REQUIRED.

SIDE AND REAR SETBACK 20' (SHOWN)



PREPARER:  
PAUL WYNDHAM  
11675 MISTLETOE ST  
RENO, NV 89506

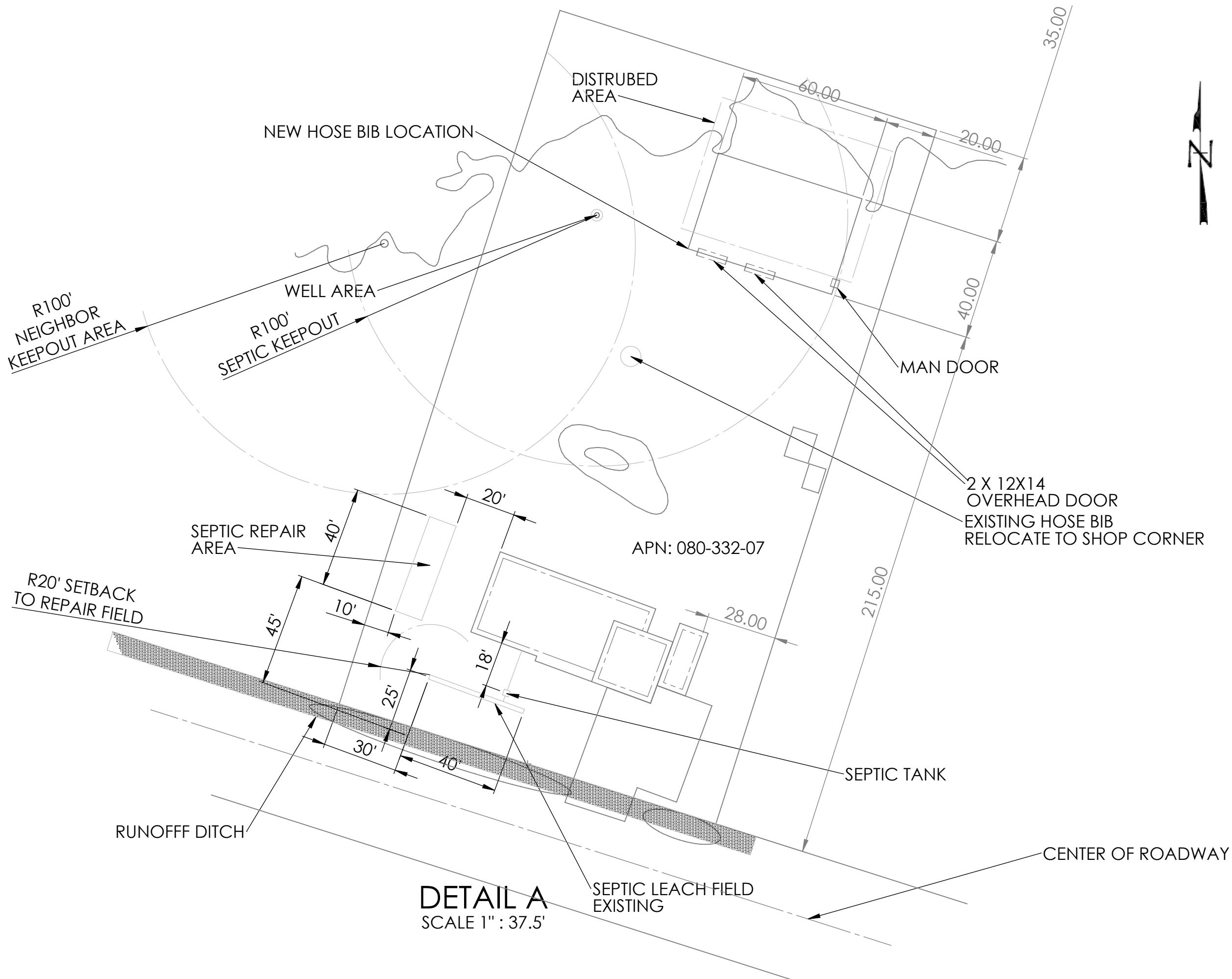
OWNER:  
PAUL & GAIL  
WYNDHAM  
11675 MISTLETOE ST  
RENO, NV 89506

PROJECT SITE:  
11675 MISTLETOE ST  
RENO, NV 89506  
A.P.N: 080-332-07

# SITE PLAN

SHEET 1 OF 2  
10/19/2022

SCALE 1" = 50'



PREPARER:  
 PAUL WYNDHAM  
 11675 MISTLETOE ST  
 RENO, NV 89506

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 PAUL & GAIL  
 WYNDHAM  
 11675 MISTLETOE ST  
 RENO, NV 89506

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# SITE PLAN

SHEET 2 OF 2

**DETAIL A**  
 SCALE 1" : 37.5'