

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
**(Care for the Infirm see page 9)**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <u>Detached Garage</u>			
Project Description: <u>Detached Garage, Laundry Room, office.</u>			
Project Address: <u>6000 Winnemucca Ranch Rd.</u>			
Project Area (acres or square feet): <u>2040 sq'</u>			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>07613035</u>	<u>38.752</u>		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <u>DAVID Dunham</u>		Name: <u>Al Salzano</u>	
Address: <u>6000 Winnemucca Ranch</u>		Address: <u>5935 Grass Valley Rd</u>	
<u>Reno, NV</u> Zip: <u>89510</u>		<u>Reno, NV</u> Zip: <u>89510</u>	
Phone: <u>775-690-7867</u> Fax: <u>N/A</u>		Phone: <u>775-233-1984</u> Fax: <u>475-0796</u>	
Email:		Email:	
Cell: <u>775-690-7867</u> Other:		Cell: <u>775-233-1984</u> Other:	
Contact Person: <u>DAVID</u>		Contact Person: <u>Al Salzano</u>	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: <u>Dunhams Commercial</u>		Name:	
Address: <u>6000 Winnemucca Ranch</u>		Address:	
<u>Reno, NV</u> Zip: <u>89510</u>		Zip:	
Phone: <u>775-690-7867</u> Fax: <u>N/A</u>		Phone: Fax:	
Email: <u>dunhamscommercial@gmail.com</u>		Email:	
Cell: <u>775-690-7867</u> Other:		Cell: Other:	
Contact Person: <u>DAVID Dunham</u>		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Property Owner Affidavit**

**Applicant Name:** DAVID W DUNHAM

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, DAVID W DUNHAM  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 07613035

Printed Name DAVID DUNHAM

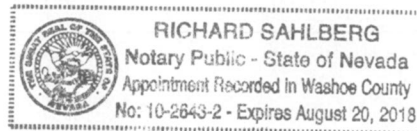
Signed [Signature]

Address 6000 Winnemucca Ranch RD  
RENO NV 89510

Subscribed and sworn to before me this 8 day of AUGUST, 2017.

(Notary Stamp)

[Signature]  
Notary Public in and for said county and state  
My commission expires: 8/20/2018



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 07613035  
 AIN:

<b>Balance Good Through:</b>	<b>08/08/2017</b>
<b>Current Year Balance:</b>	<b>\$0.00</b>
<b>Prior Year(s) Balance:</b> (see below for details)	<b>\$0.00</b>
<b>Total Due:</b>	<b>\$0.00</b>

AUTO  
 :895107:

DAVID W DUNHAM  
 6000 WINNEMUCCA RANCH RD  
 RENO NV 89510

Description:

Situs: 6000 WINNEMUCCA RANCH RD  
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2016	2016080110	1	08/15/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		2	10/03/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		3	01/02/2017	533.89	0.00	0.00	533.89	0.00
07613035	2016		4	03/06/2017	533.88	0.00	0.00	533.88	0.00
Current Year Totals					2,135.55	0.00	0.00	2,135.55	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 07613035  
 AIN:

<b>Balance Good Through:</b>	<b>08/08/2017</b>
<b>Current Year Balance:</b>	<b>\$2,099.34</b>
<b>Prior Year(s) Balance:</b> (see below for details)	<b>\$0.00</b>
<b>Total Due:</b>	<b>\$2,099.34</b>

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 :895107:

DAVID W DUNHAM  
 6000 WINNEMUCCA RANCH RD  
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Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2017	2017080000	1	08/21/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		2	10/02/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		3	01/01/2018	524.83	0.00	0.00	0.00	524.83
07613035	2017		4	03/05/2018	524.83	0.00	0.00	0.00	524.83
Current Year Totals					2,099.34	0.00	0.00	0.00	2,099.34

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

Residential detached garage

2. What currently developed portions of the property or existing structures are going to be used with this permit?

Existing house attached by breeze way to garage.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Residential detached garage tie in new electrical, plumbing and septic into existing

4. What is the intended phasing schedule for the construction and completion of the project?

1 yr from start to comp.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

6. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?



8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

n/a

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

n/a

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

n/a



12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Utilities:

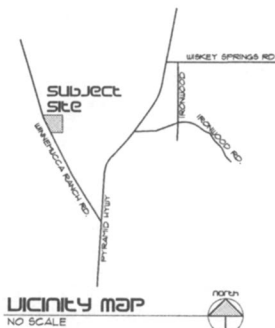
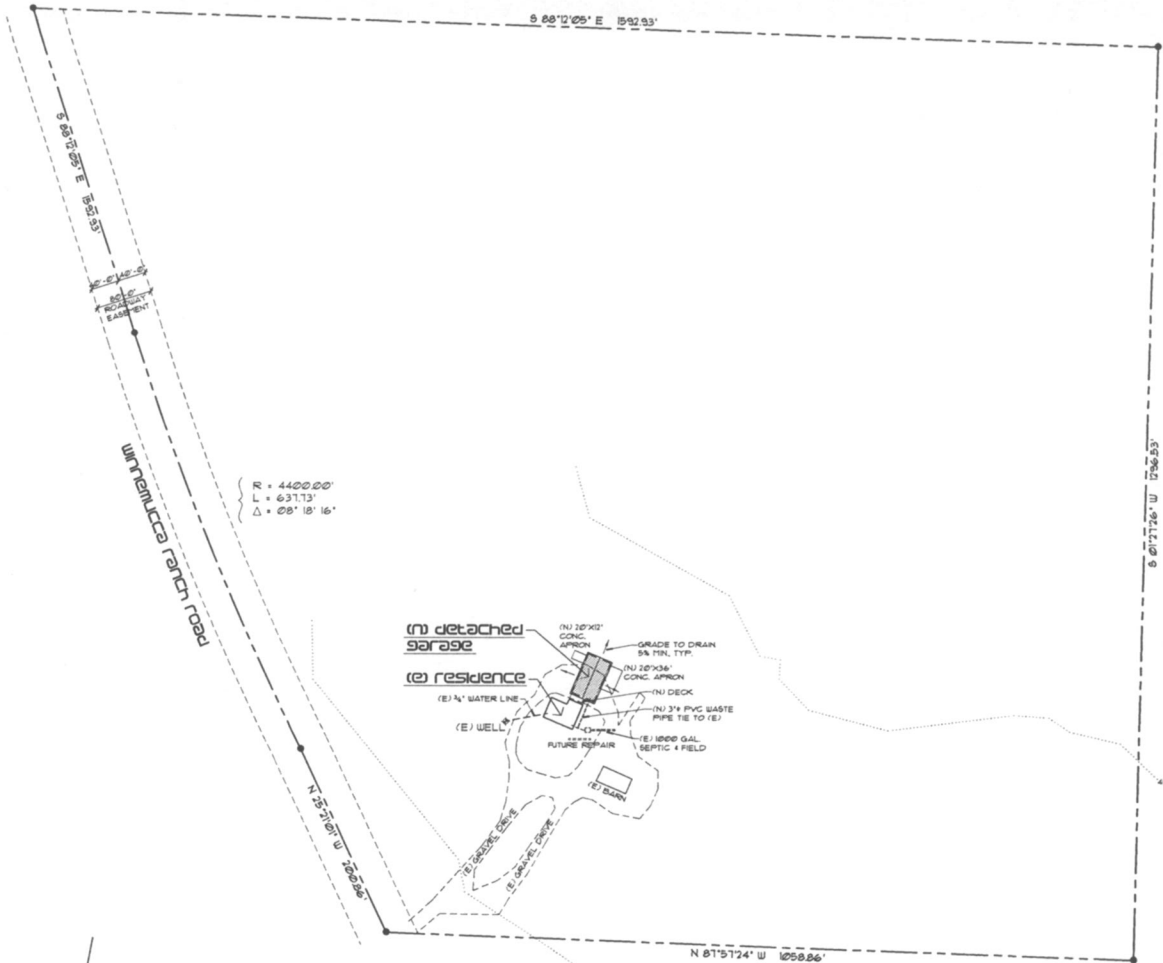
a. Sewer Service	Septic
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A
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**(E) Site Plan**  
 SCALE 1" = 80'-0"  
 APN 016-130-35  
 PALMCHINO VALLEY - UNIT 3  
 PARCEL #1-2-D-3

APPLICANT:  
 DAVID DUNHAM  
 6000 WINDERUCCA RANCH ROAD  
 RENO NV 89509  
 (775) 850-1661

NO SEWER WITHIN 400 FEET  
 3 BEDROOMS TOTAL - NO CHANGE  
 TOTAL LOT AREA APPROX 38.753 ACRES  
 NO WATERCOURSE OR DRAINAGE CHANNEL WITHIN 100 FT.  
 NO 100-YR FLOOD PLANS WITHIN 100 FT.  
 NO WELLS WITHIN 200 FT.

**general notes:**

1. ALL CONSTRUCTION SHALL MEET THE CURRENT REQUIREMENTS OF THE IBC, WASHOE COUNTY BUILDING & PLANNING DEPARTMENTS & ANY APPLICABLE C.C.A.R.'S WITHIN THIS DEVELOPMENT.
2. FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
3. FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
4. ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
5. PROPERTY IS LOCATED IN "HIGH FIRE HAZARD" UPLAND-UPLAND INTERFACE (UUI) ZONE SEE SHEET A-6 FOR UUI REQUIREMENTS & NOTES.

**Site Legend:**



**Site notes:**

1. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONC. FORMS. SOIL'S ENGINEER RECOMMENDATIONS CONCERNING FOOTING SIZE, DEPTH, COMPACTION, ETC. SHALL BE FOLLOWED.
2. ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE 4" CONC WITH FIBER FESH OVER 6" TYPE-II BASE COMPACTED TO 95%.
3. CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO (E) DRIVE AREA.
4. GRADE SITE TO DRAIN 2% MIN. FOR 10'-0" AWAY FROM RESIDENCE.

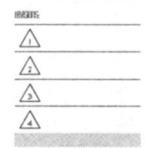
**drawing index**

A-1	(E) SITE PLAN DRAWING INDEX
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A-3	FLOOR PLAN
A-4	(E) UPPER FLOOR PLAN
A-5	ROOF FRAMING PLAN
A-6	EXTERIOR ELEV., BLDG. SECTION & W.U.I. NOTES
A-7	EXTERIOR ELEVATIONS
SD1	STRUCTURAL NOTES & SCHEDULES
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
ME-1	MECHANICAL/ELECTRICAL PLANS

**SALZANO**  
 ARCHITECT  
 5995 BRASS VALLEY ROAD  
 RENO, NEVADA 89510  
 775.293.1984 CELL  
 775.475.0796 FAX  
 A.SALZANO@AOL.COM  
 WWW.A.SALZANO.COM



7-17-17



**garage addition**  
 DAVID DUNHAM  
 6000 WINDERUCCA RANCH ROAD  
 WASHOE COUNTY, NEVADA

FOR:

ALL DESIGNS & DRAWINGS ARE INSULATIONS OF SERVICES ARE COMPARED BY THE CONTRACTOR UNDER PROVISIONS OF RES 223 UNAUTHORIZED EXERCISE OF DESIGN OR DISSEMINATION OF DRAWINGS IS PROHIBITED.

DATE:

(E) SITE PLAN DRAWING INDEX

DATE:

1749

**A-1**



7-17-17

REVISIONS

1	
2	
3	
4	

**garage addition**  
DAVID DUNHAM  
6000 WINNERMUDGE RANCH ROAD  
WASHOE COUNTY, NEVADA

FOI:

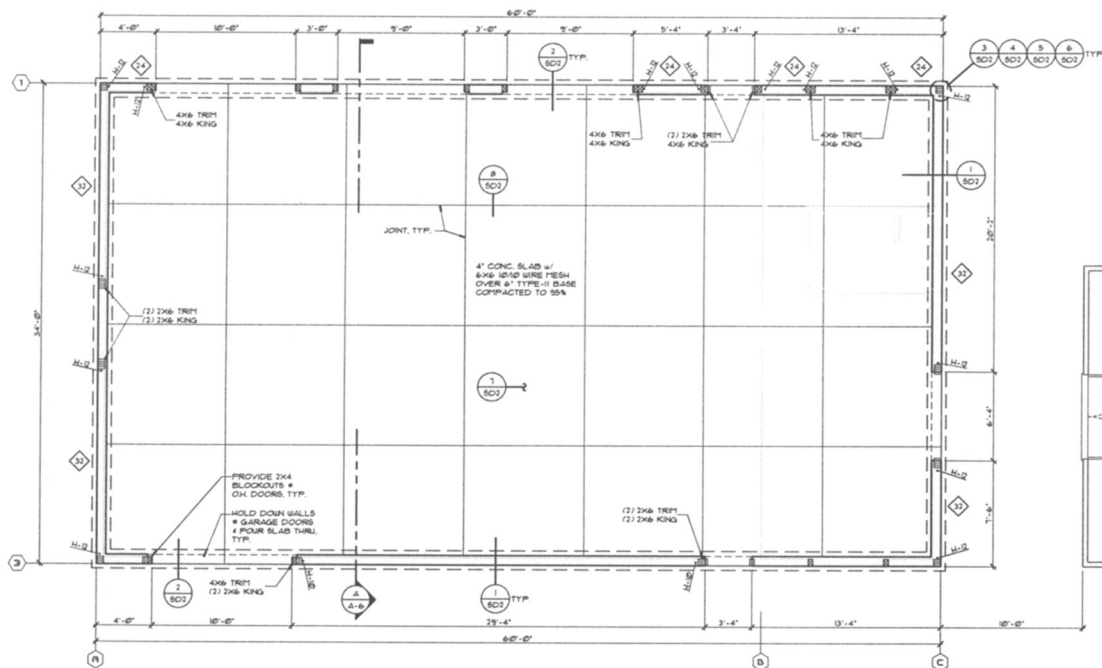
ALL DESIGNS & DRAWINGS ARE  
INSURANCES OF SALZANO ARCHITECTS  
OPERATING BY THE ARCHITECT,  
UNDER PROVISIONS OF NRS 624.  
UNLESS INDICATED OTHERWISE  
DESIGNS OR DISCONTINUATION OF  
DRAWINGS IS PROHIBITED.

FOUNDATION  
PLAN

DATE:

1749

**A-2**



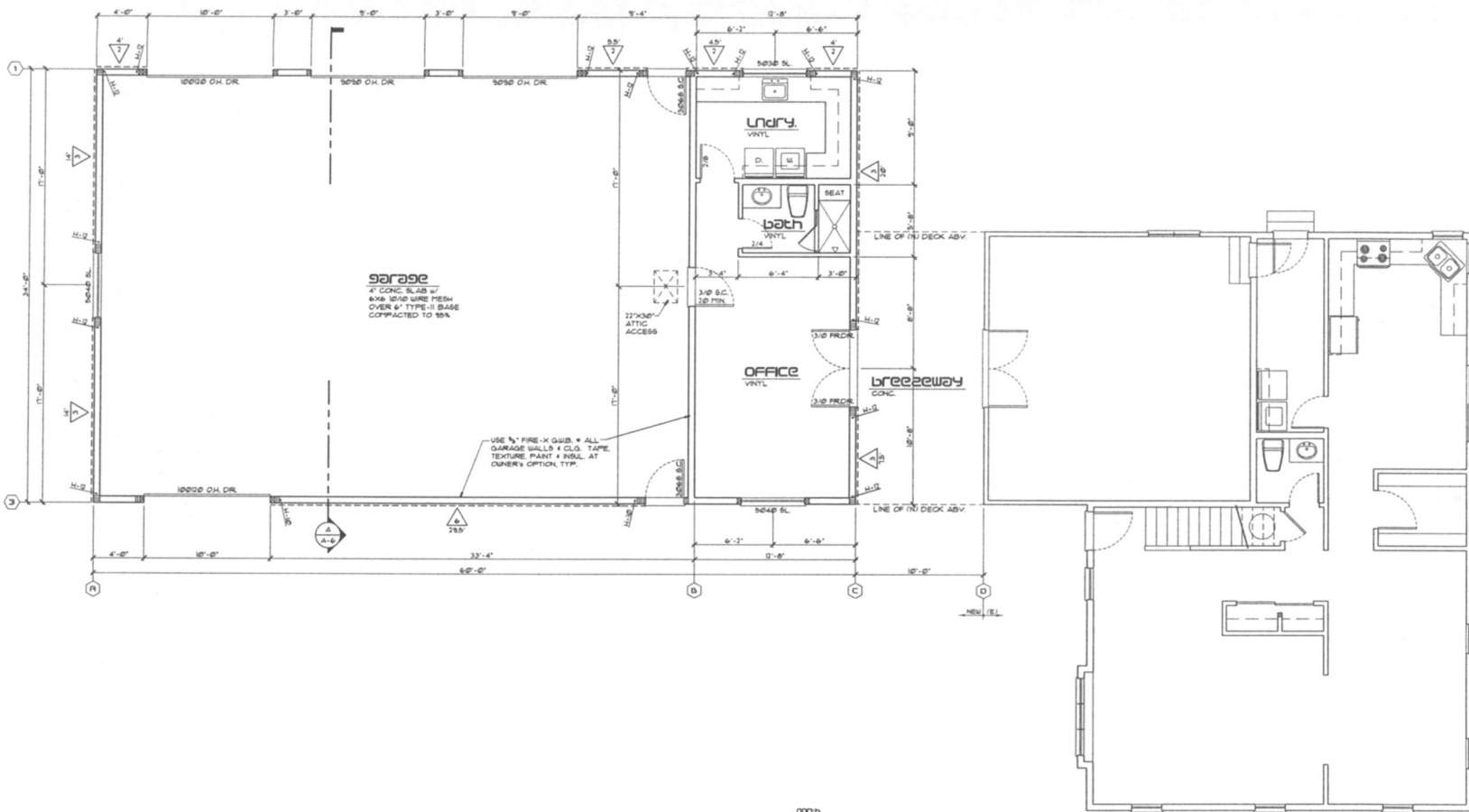
**Foundation Plan**

SCALE 1/4" = 1'-0"



**Foundation notes:**

1. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONCR. FORMS. SOIL'S ENGINEER RECOMMENDATIONS CONCERNING COVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.
2. CONCR. FOOTINGS 16" X 16" W/ 2-N REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. SEE EXTERIOR ELEV. FOR FOOTING & PIER DEPTHS (MIN. 2'-0"). FIELD VERIFY.
3. 8" CONCR. FOUNDATION WALL W/ 1-N TOP & 1-N VERT. # 2# 14' O.C. TYP. UNO. PROVIDE 1/2" X 17' AIS. # 48' O.C. UNO. TO 3/4" P.T. SILL UNO. IN SHEAR WALL PLAN. PROVIDE 3X6 P.T. SOLE IN # GARAGE.
4. ALL BRACING HARDWARE SHALL BE SIMPSON. INSTALL PER MANUF. REQUIREMENTS.
5. ALL SLABS TO BE 4" THICK CONCRETE W/ 6X6 10#10 WELDED WIRE FABRIC REINFORCING OR CONCRETE SHALL HAVE FIBERESH ACCITIVE & PLANT. SLAB SHALL BE PLACED OVER # TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL IF SATISF.
6. SEE SHEET 601 FOR ADDITIONAL STRUCT. NOTES & SCHEDULES.



**FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 (N) GARAGE AREA APPROX. 1592 SQFT.  
 (N) OFFICE/BATH/LAUNDRY APPROX. 448 SQFT.  
 TOTAL AREA APPROX. 2,040 SQFT.  
 (N) DECK AREA APPROX. 713 SQFT.

- FLOOR PLAN NOTES:**
- EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. w/ MIN 1/2" CDX PLTUD (OR EQUAL) SHEATHING 1/4" GAP @ ALL EDGES, VAPOR BARRIER & R-7.5 INSL. TYP. PROVIDE FOAM BULL SEAL @ ALL EXTERIOR WALLS.
  - 1/2" GWB @ WALLS & 5/8" GWB @ CEILINGS TYP. USE 1/2" FIRE-X GWB IN GARAGE & TILE BACKER DO IN SET AREAS. FINISH CRITICAL PER OWNER.
  - TYPICAL PLATE HEIGHT IS 0'-1" AFF. (UNO.) WINDOW HEADER HEIGHT IS 6'-8" AFF. (UNO.) DOOR HEIGHT IS 6'-8" AFF. (UNO.)
  - ALL CEILING FRAMING SHALL BE @ 24" O.C. AS FOLLOWS:  
 2X6'S MAX SPAN 9'-0"  
 2X8'S MAX SPAN 11'-0"  
 2X8'S MAX SPAN 13'-0"
  - SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS. ALL GLAZING SHALL BE LOW-E COATED, DUAL GLAZED.
  - PROVIDE SILL PANS @ ALL EXTERIOR DOORS & WINDOWS.
  - PROVIDE FIRE BLOCKING @ MAX 12'-0" O.C. HORIZ AT ANY WALL(S) THAT EXCEED 12'-0" IN HEIGHT.
  - SEE SDI FOR ADDITIONAL STRUCT. NOTES & SCHEDULES.

**SALZANO**  
 ARCHITECT  
 5995 BRASS VALLEY ROAD  
 RENO, NEVADA 89510  
 775.239.1984 CELL  
 775.475.0796 FAX  
 @SALZANO @ AOL.COM  
 WWW.SALZANO.COM



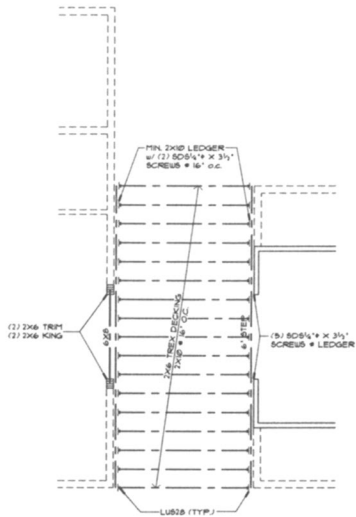
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REVISIONS

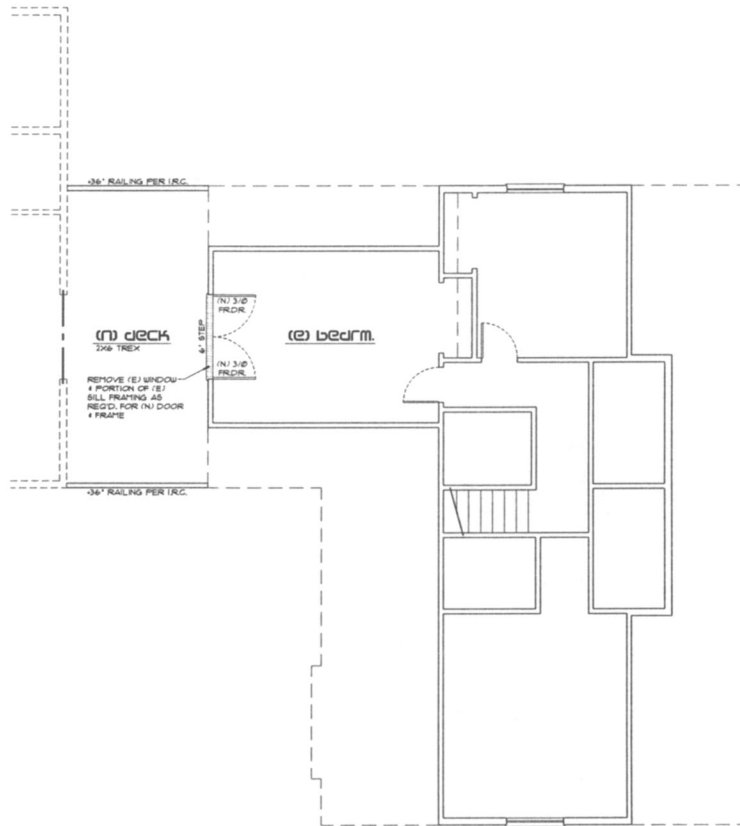
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2	
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**Garage Addition**  
 DAVID DUNHAM  
 6000 WINNEMUCCA RANCH ROAD  
 WASHOE COUNTY, NEVADA

FOI:  
 9881128  
 FLOOR PLAN



deck Framing Plan  
SCALE 1/4" = 1'-0"



UPPER FLOOR/DECK PLAN  
SCALE 1/4" = 1'-0"



**SALZANO**  
ARCHITECT

5995 BRASS VALLEY ROAD  
RENO, NEVADA 89510  
775.238.1994 CELL  
775.475.0796 FAX  
AJSALZANO@aol.com  
WWW.SALZANO.COM



7-17-17

- REVISIONS
- △
  - △
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**garage addition**  
DAVID DUNHAM  
6000 WINNEMUCCA RANCH ROAD  
WASHOE COUNTY, NEVADA

POI:

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INSTRUMENTS OF SERVICE AND  
COPYRIGHT BY THE ARCHITECT.  
UNAUTHORIZED REPRODUCTION,  
REPRODUCTION OR DISSEMINATION OF  
DRAWINGS IS PROHIBITED.

DATE: 02/17/17

(E) UPPER FLOOR  
PLAN

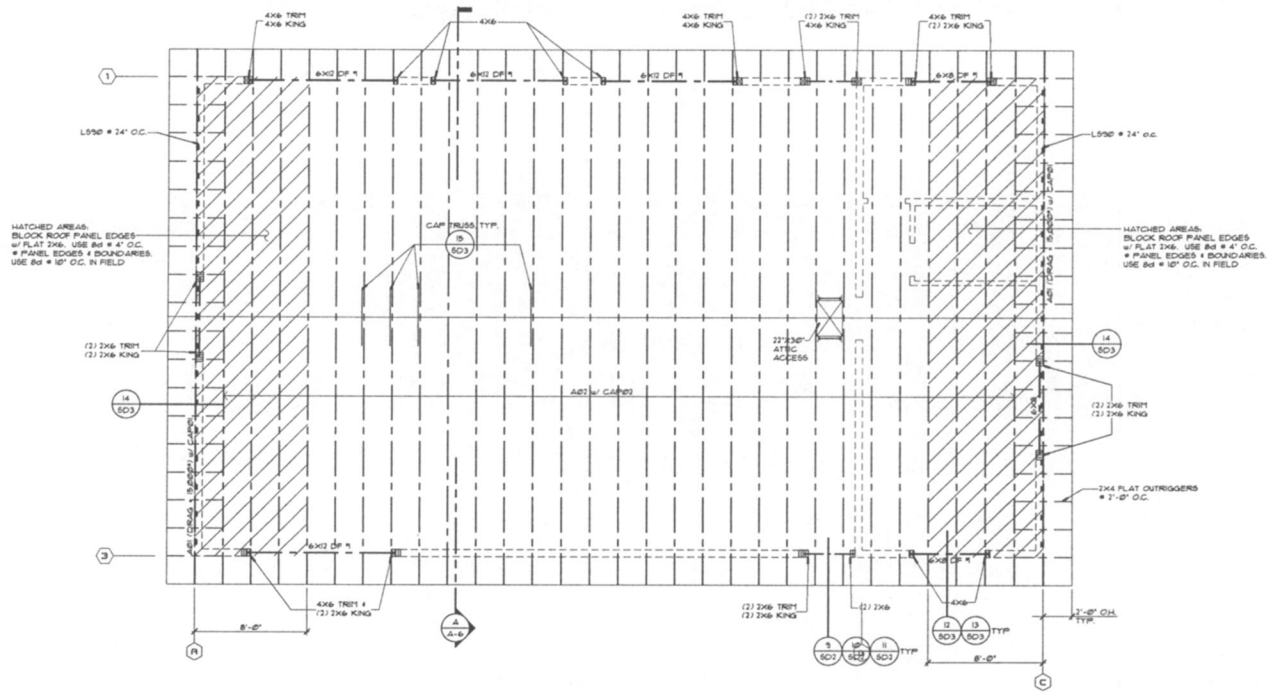
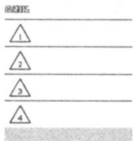
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1749

**A-4**



7-17-17



**ROOF FRAMING PLAN**  
 SCALE 1/4" = 1'-0"

**Attic Ventilation Calc's:**

IRC SECTION R806.2:

TOTAL ATTIC AREA:	182 SQFT.
OPENING AREA = 1/200 (182 / 300)	361 SQFT.
50% RIDGES + 50% EAVES:	130 SQFT. EACH
MIN. 2 LF. RIDGE VENT REQD.	
EAVE VENTING (TOTAL PERIMETER):	68 LF.
(4) 7x4 HOLES PER VENT BLK.	2081 SQFT. EACH
VENTING BLOCKS = 4'-0" O.C.	
68 LF. / 4 LF. = 17 BLK'S. X 0.281 SF/BLK =	148 SQFT. > 130 SQFT.

**Pre-fabricated truss notes:**

- TRUSS MANUF. SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN THE ARCHITECT'S DRAWINGS, TRUSS MANUF. INFORMATION, ANY REQD. FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & IT'S COMPLIANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.
- USE PRE-ENGINEERED MANUFACTURED TRUSSES = 24" O.C. SOLID BLOCK & SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIPPHON H-1 & EA. SUPPORT WALL/BEAM TO EA. TRUSS & H-5 & EA. SUPPORT WALL/BEAM TO EA. GIRDER TRUSS. HANG TRUSSES & GIRDER TRUSSES W/ SIPPHON H-226 OR AS SPECIFIED ON PLAN.

**Roof Framing Notes:**

- ROOF LOADS: SHOW 2" SO. FT. DEAD 24" SO. FT.
- ALL FRAMING HARDWARE NOTED SHALL BE "SIPPHON" INSTALL PER MANUF. REQUIREMENTS.
- TYP. ROOF SHEATHING SHALL BE MIN. (5/32") STRUCT. II CDX PLYUD. OR OSB. PL. 1/2" W/ 8d # 6" O.C. BOUNDARY & EDGES, 4" O.C. # CHAD TRUSSES & 1" O.C. # FIELD. SEE STRUCT. DRAWINGS FOR UPLIFT NAILING ZONES. LAY PLYUD. PERP. TO SUPPORTS & STAGGER ALL JOINTS. TYP.
- 4x6 DFN TYP. HEADER UNO.
- PROVIDE 2x6 FASCIA W/ SHEET METAL DRIP FLASHING. TYP.
- PROVIDE ROOF VENTILATION PER IRC (1 SQFT. PER EA. 300 SQFT. OF ATTIC AREA) SEE ATTIC VENTILATION CALC'S. PROVIDE R-38 INSUL. THROUGHOUT ATTIC W/ INAL. BARRIERS & EAVE VENTS. TYP.
- USE 24-18-0 BETWEEN TOP PLATE (T.C.) SPLICES W/ MIN. 6'-0" LAP. TYP. UNO.
- USE 2x4 PLAT W/ 2x6 STRONGBACK = 24" O.C. = GABLE END FRAMING.
- SEE SHEET SO-1 FOR ADDITIONAL STRUCTURAL NOTES & SCHEDULES.
- SEE TRUSS CALC'S & DETAIL (S03) FOR PERMANENT LATERAL TRUSS BRACING SPEC'S.

**Garage Addition**  
 DAVID DUNHAM  
 6000 WINTERMUCKER RANCH ROAD  
 WASHOE COUNTY, NEVADA

P.O.:

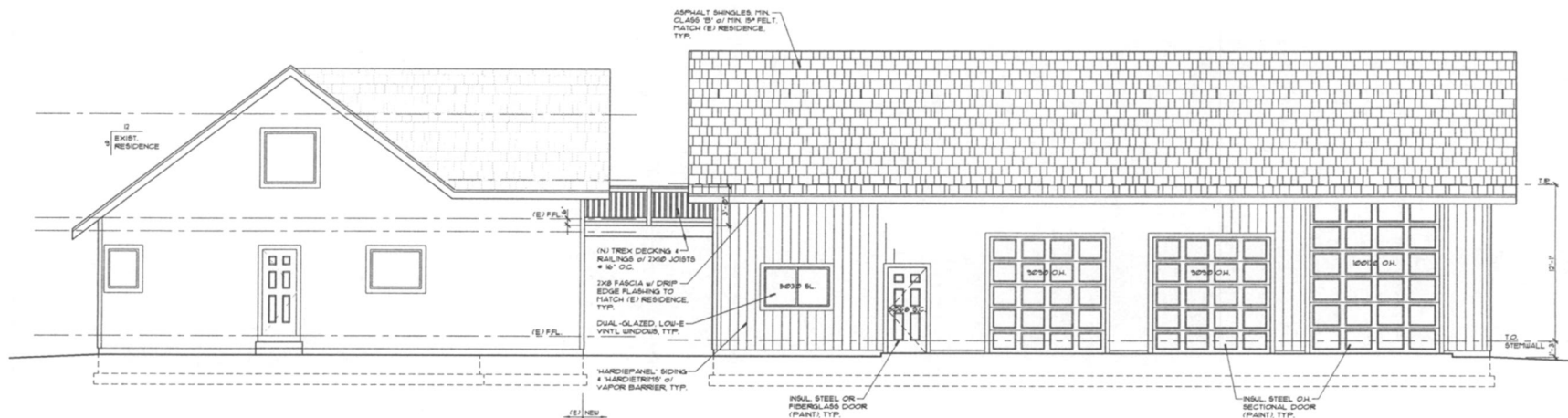
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ROOF FRAMING PLAN

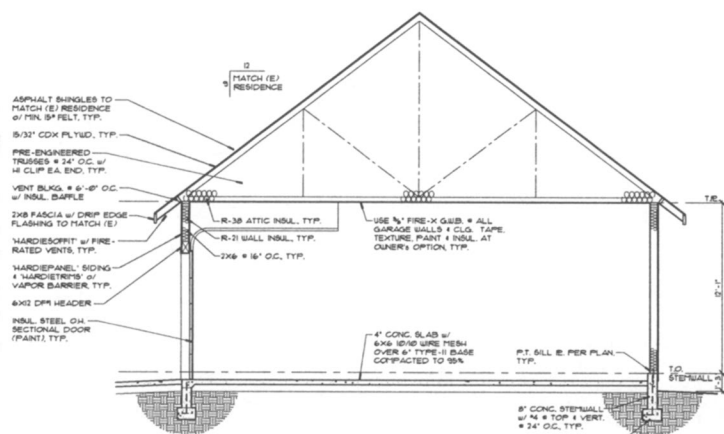
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7-17-17



**South Elevation**  
SCALE 1/4" = 1'-0"



**building section 17**  
SCALE 1/4" = 1'-0"

**Wildland Urban Interface notes:**

**GENERAL (WUI) NOTES:**

1. ALL EXTERIOR BUILDING MATERIALS MUST COMPLY w/ 2012 WILDLAND URBAN INTERFACE (WUI) CODE FOR NEW CONSTRUCTION.
2. ALL BUILDING MATERIAL MUST BE INSTALLED PER MANUF. DETAILS & SPEC'S. SEE EXTERIOR ELEVATIONS & BUILDING SECTIONS FOR LOCATION & DETAILS OF BUILDING MATERIALS LISTED BELOW.
3. PROPERTY IS DESIGNATED AS "HIGH FIRE HAZARD" (WUI TABLE 903) w/ DEFENSIBLE SPACE & NON-COMFORMING WATER SUPPLY & IIR (CLASS 2) CONSTRUCTION REQ'D.

**PROPOSED (WUI) BUILDING STANDARDS:**

**ROOFING:**

**ROOFING MATERIAL:**  
ASPHALT ROOF SHINGLES CLASS 'B' FIRE-RESISTIVE. INSTALL PER MANUF. & CHAPTER 3 OF THE IRC.

**ROOF COVERINGS:**  
NO SPACE BETWEEN ROOF COVERING & ROOF DECKING.

**ROOF VALLEYS:**  
FIN. 60"X NO. 26 GA. GALV. SHEET METAL. INSTALLED OVER NOT LESS THAN ONE (1) LAYER OF FIN. 12" MINERAL SURFACED NONPERFORATED CAP SHEET. FIN. 24" WIDE RAINING THE FULL VALLEY LENGTH.

**ROOF GUTTERS:**  
MUST BE NON-COMBUSTIBLE MATERIAL & PROVIDED w/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.

**VENTS:**  
EAVE VENTS SHALL BE FIRE-RATED, "VULCAN INDUSTRIES" OR EQUAL. INSTALL PER MANUF.

**EXTERIOR COVERINGS:**

**EXTERIOR WALL MATERIAL:**  
JAMES HARDIE "HARDIPANEL" SIERRA 8 SIDING w/ "HARDITRIP" OR EQUAL APPROVED NON-COMBUSTIBLE MATERIAL.

**EXTENT OF COVERING:**  
EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF. & TERMINATE AT 3" NOM. SOLID WD. BLOCKING BETWEEN RAFTERS & ALL ROOF OVERHANGS.

**EAVE PROTECTION:**  
EAVES & SOFFITS SHALL BE PROTECTED ON EXPOSED UNDERSIDES BY IGNITION-RESISTANT MATERIALS - JAMES HARDIE "HARDISOFT" NON-VENTED CEDARELL OR EQUAL, APPROVED NON-COMBUSTIBLE MATERIAL.

**EXTERIOR WINDOWS & DOORS:**

**EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES:**  
EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES SHALL BE CONST. OF MULTI-PANE GLAZING OR TIPPENED GLASS.

**EXTERIOR DOORS:**  
EITHER EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, OR CONSTRUCTED OF SOLID CORE WD. OF NOT LESS THAN 1" THICKNESS.

**DEFENSIBLE SPACE:**

1. PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE w/ THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN W.U.C. SECTION 603 & 604 "DEFENSIBLE SPACE".
2. THE ENFORCEMENT OF DEFENSIBLE SPACE & INSPECTION SHALL BE PERFORMED BY THE LOCAL JURISDICTION HAVING AUTHORITY.

**garage addition**  
DAVID DUNHAM  
6000 WINTERMOUNT RANCH ROAD  
WASHOE COUNTY, NEVADA

POI:

ALL DESIGNS & DRAWINGS ARE INSURANCES OF SERVICE AND COVERS BY THE ARCHITECT UNDER PROVISIONS OF NRS 624. UNAUTHORIZED DUPLICATION OF DESIGNS OR DISSEMINATION OF DRAWINGS IS PROHIBITED.

DATE:

**EXTERIOR ELEVATION, BLDG. SECTION 4 (WUI) NOTES**

DATE:

1745

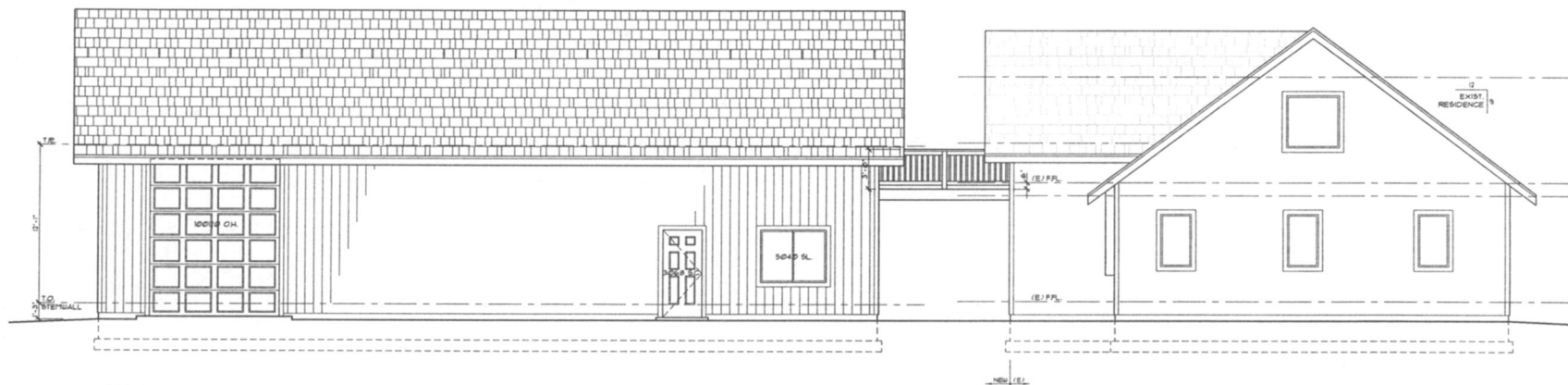


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 5995 GRASS VALLEY ROAD  
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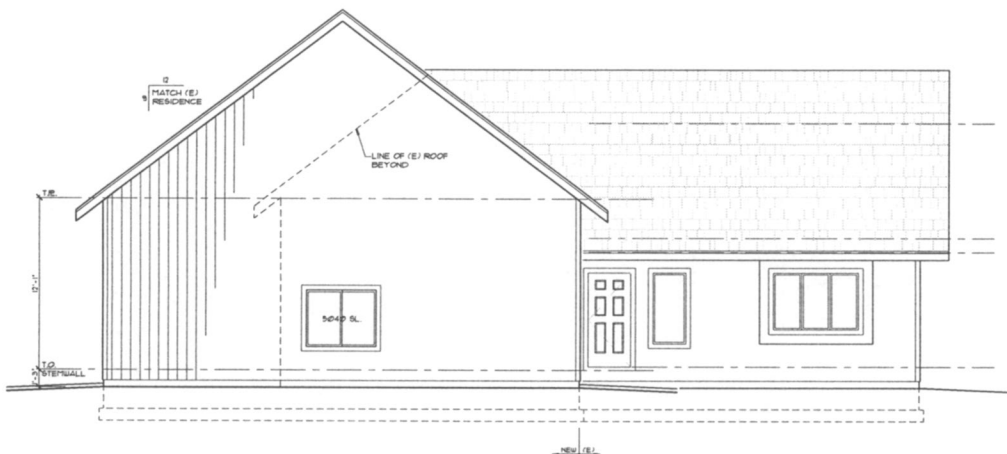
7-17-17

- REVISIONS
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**North Elevation**  
 SCALE 1/4" = 1'-0"

NOTE:  
 SEE SHEET A-6 FOR MATERIAL  
 CALL-OUTS



**East Elevation**  
 SCALE 1/4" = 1'-0"

**Garage Addition**  
 DAVID DUNHAM  
 6000 WINTERMOUNT RANCH ROAD  
 WASHOE COUNTY, NEVADA

POI:

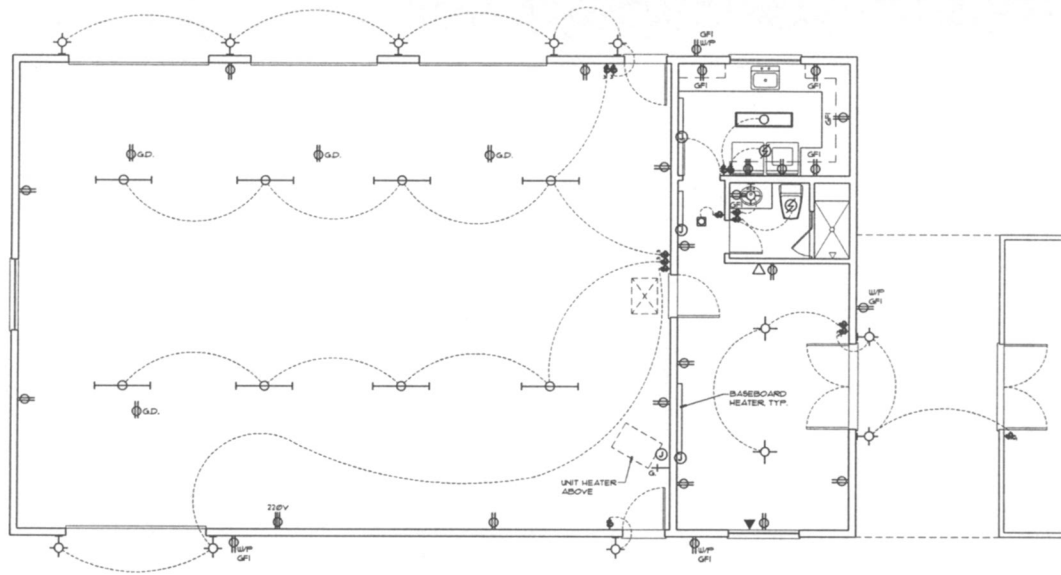
ALL DESIGNS & DRAWINGS ARE  
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 DESIGNS OR REPRODUCTION OF  
 DRAWINGS IS PROHIBITED.

DATE: 7-17-17  
 EXTERIOR  
 ELEVATIONS

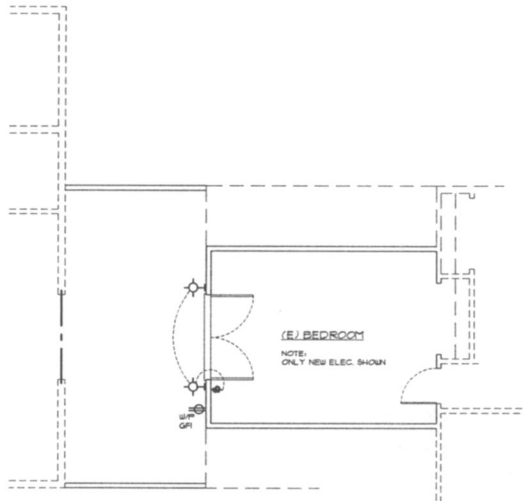
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1749

**A-7**



Mech/Elec. Plan  
SCALE 1/4" = 1'-0"



UPPER FLOOR Mech/Elec. Plan  
SCALE 1/4" = 1'-0"



Mech/Elec. Legend:

- ⊕ 110 V. DUPLEX OUTLET - GFI WHERE NOTED
- ⊕ 220 V. OUTLET (PROVIDE DISCONNECT & A/C CONDENSER)
- ⊕ 110 V. 1/2" BOX
- ⊕ SWITCH - DIFFER (D) 3-WAY (3) PILOT LIGHT (P.L.) AS NOTED
- ⊕ RECESSED LIGHT - PROVIDE DIFFERS & ALL CIRCUITS & LENSES IN WATER AREAS, CLOSETS & EXTERIOR. FIXTURES INSTALLED IN SET LOCATIONS SHALL BE MARKED AS SUCH.
- ⊕ SURFACE MOUNTED LIGHT - CHANDELIER (CH)
- ⊕ WALL MOUNTED LIGHT
- ⊕ FAN OR FAN/LIGHT - V.T.O.
- ⊕ TELEPHONE - CATEGORY 5 WIRING
- ⊕ CABLE T.V. - RG 6 WIRING
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ GAS STUB (G.) - WATER STUB (W.)

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEC & IRC, AS AMENDED BY THE LOCAL GOVERNING AUTHORITY.
2. ALL SWITCHES SHALL BE LOCATED CLEAR OF DOOR SWINGS.
3. SEE SHEET A-3 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.
4. ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF.
5. ALL GARAGE OUTLETS SHALL BE GFI & MTD. # 20' AFF. MIN.
6. A MIN. OF 2% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH EFFICACY LAMPS.

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7-17-17

REVISIONS

- 1
- 2
- 3
- 4

**Garage Addition**  
DAVID DUNHAM  
6000 WINTERMUNDO RANCH ROAD  
WASHOE COUNTY, NEVADA

POI:

ALL DESIGNS & DRAWINGS ARE INSTRUMENTS OF SERVICE AND COMPARE TO THE ARCHITECT UNDER PROVISIONS OF THE LOCAL UNAUTHORIZED DUPLICATION OF DESIGNS OR INSTRUMENTS OF SERVICE IS PROHIBITED.

DATE: 12/28

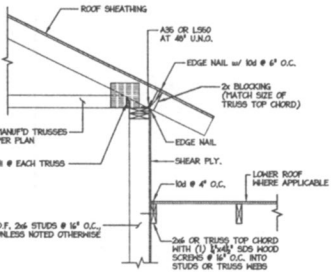
MECH/ELEC. PLANS

NO. 11

1749

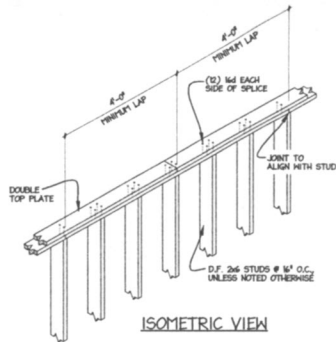
**ME-1**





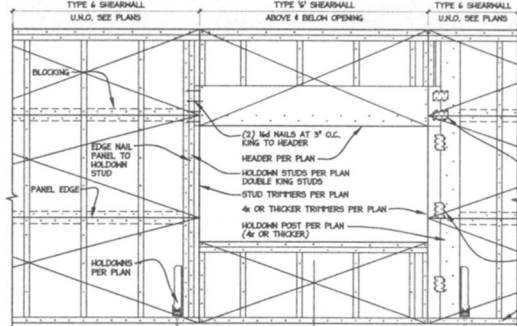
SCALE: 1/2" = 1'-0"

11 Typical Truss @ Eave



SCALE: N.T.S.

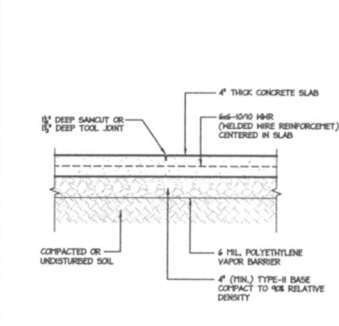
10 Top Plate Splice



SCALE: N.T.S.

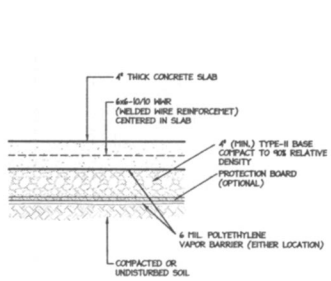
9 Typical Shearwall / Header

**NOTES:**  
 1. SHEAR PANEL THICKNESS, GRADE, AND NAILING PER SHEARWALL SCHEDULE.  
 2. PANELS MAY BE INSTALLED VERTICALLY OR HORIZONTALLY.  
 3. INSTALL BLOCKING AT ALL PANEL EDGES PER SHEARWALL SCHEDULE.  
 4. EDGE NAILING PER SCHEDULE.  
 5. LOCATE HOLDOWN BOLT AS SHOWN, DO NOT LOCATE AT FIRST INTERIOR STUD.  
 6. PANEL SIZE SHALL NOT BE LESS THAN 2'-0" x 4'-0".  
 LTR# 4" x 4" O.C. AT 4x OR THICKER KING POST  
 LTR# 4" x 4" O.C. AT 4x OR THICKER HOLDOWN / KING POST  
 PT SILL PL. RECEIVING SHEAR NAILING OR BOTTOM PL. (AT RPT) RECEIVING FIELD NAILING



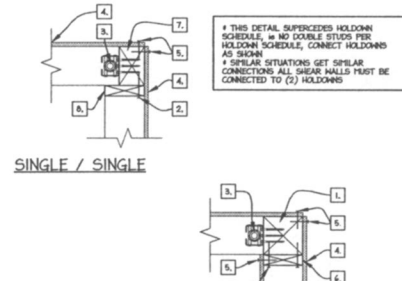
SCALE: 1/2" = 1'-0"

8 Typ. Saw Joint (S.J.)



SCALE: 1/2" = 1'-0"

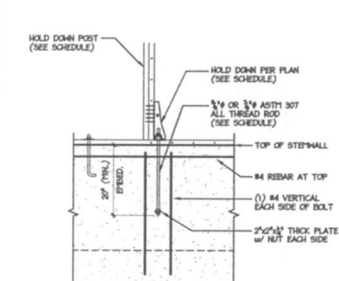
7 Concrete Slab (on grade)



SCALE: 1/2" = 1'-0"

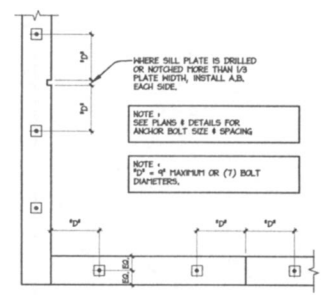
6 Interior Shear Transfer And Interrupting Shearwall

**NOTES:**  
 1. THIS DETAIL SUPERCEDES HOLDOWN SCHEDULE. IF NO DOUBLE STUDS PER HOLDOWN SCHEDULE, CONNECT HOLDOWNS AS SHOWN.  
 2. SIMILAR SITUATIONS GET SIMILAR CONNECTIONS. ALL SHEAR WALLS MUST BE CONNECTED TO (2) HOLDOWNS.  
 3. 2x OR 3x RECEIVING SHEARWALL, EDGE NAIL (SEE SHEARWALL SCHEDULE).  
 4. FOR SHEAR WALL 6 AND 4 USE (2) 1/4" AT 3' O.C. ALL OTHER SHEAR WALLS USE 500 1/4" x 5/8" HOOK SCREWS AT 4' O.C. STAGGERED ABOUT CENTERLINE.  
 5. HOLDOWN.  
 6. SHEATHING, TYPICAL.  
 7. EDGE NAILING.  
 8. SOLID FRAMING.  
 9. HOLDOWN POSTS / STUDS PER PLAN.  
 10. 2x STUD CONNECTED TO HOLDOWN POST OR STUD WITH 1/4" NAILS AT 3' O.C.  
 11. CROSS WALL INTERRUPTING SHEARWALL.  
 NOTE: EVERY EXTERIOR / PERIMETER / LOAD BEARING CORNER GETS PERIMPT (2) STUDS OR (1) HOLDOWN POST AND (1) STUD



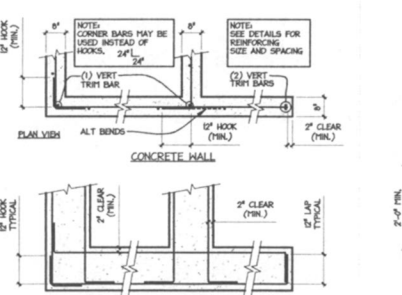
SCALE: 1/2" = 1'-0"

5 Holdown Embedment Detail



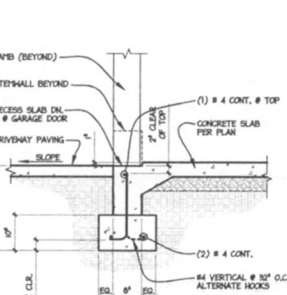
SCALE: N.T.S.

4 Sill Plate Bolting



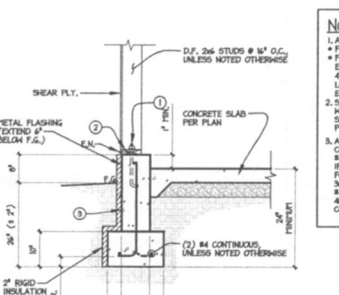
SCALE: N.T.S.

3 Rebar Reinf. Placement



SCALE: 1/2" = 1'-0"

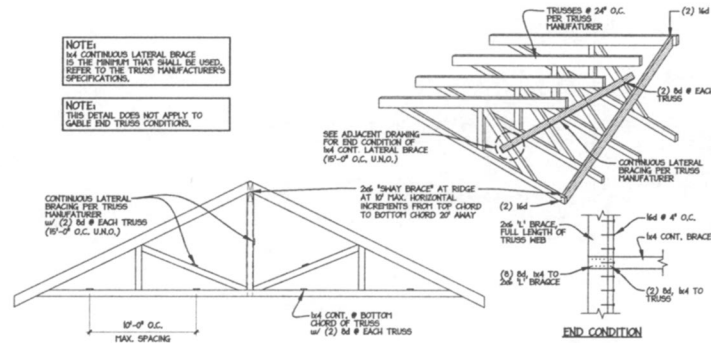
2 Slab Detail @ Garage Door



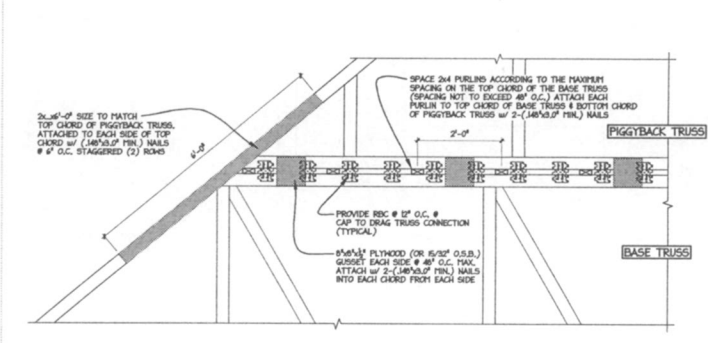
SCALE: 1/2" = 1'-0"

1 Garage Footing

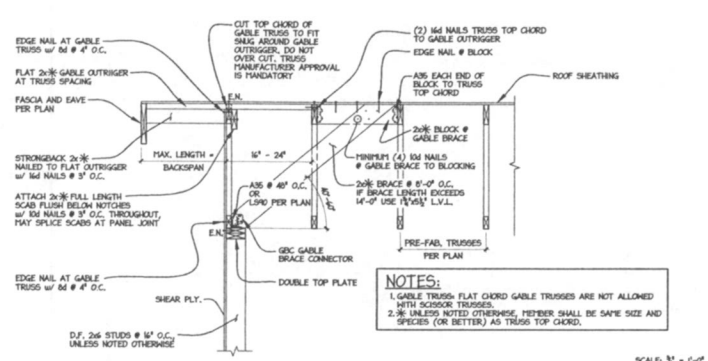
**NOTES:**  
 1. ANCHOR BOLTS.  
 2. FOR 2x SILL PLATE, USE 5/8" x 4' A.B. EXTEND SILL BOLTS 7" INTO FOUNDATION MINIMUM. MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (7) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (2) INCH LESS THAN (7) BOLT DIAMETERS FROM EACH END OF SILL BOARD. MINIMUM 5/8" x 4' PLATE HARDWARE SHALL BE USED.  
 3. SILL PLATES: USE FOUNDATION GRADE REDWOOD OR FIBERSTRAND LVL TREATED WITH ZINC BORATE OR PRESURE TREATED DOUGLASS FIR PULCEL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.  
 4. AN IF MORE x 3/4" HIGH CONCRETE FOUNDATION WALL SHALL BE CENTERED ON CONTINUOUS FOOTING BELOW W/ (1) 1/4" CONTINUOUS AT TOP OF WALL AND 1/4" VERTICALS @ 5' O.C. NAIL ANCHORED AT FOOTING (ALTERNATE HOOKS). IF HEIGHT OF STEPSHALL IS REQUIRED TO BE BETWEEN 20" AND 40" ABOVE TOP OF FOOTING AND NO RETAINING WALL DETAIL IS AVAILABLE, INCREASE FOOTING TO 3/4" HIGH x 12" DEEP AND USE 1/4" x 5" O.C. CONTINUOUS (HORIZONTAL AND 1/4" TIGHT TO HORIZ. @ 12" O.C. (VERTICAL). IF HEIGHT OF STEPSHALL EXCEEDS 40" ABOVE TOP OF FOOTING AND NO RETAINING WALL DETAIL IS AVAILABLE, CONTACT AESTHETIC ENGINEERING IMMEDIATELY.



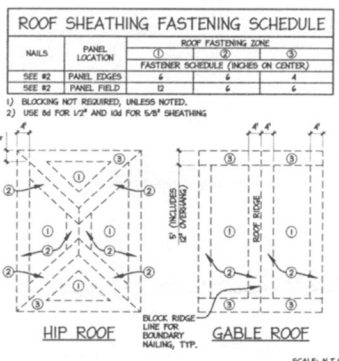
16 Permanent Lateral Truss Bracing



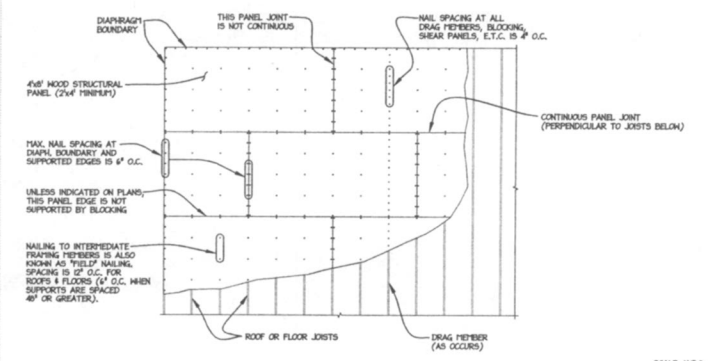
15 PIGGYBACK TRUSS CONNECTION



14 Gable Wall Bracing



13 Roof Fastening Zones



12 Unblocked Diaphragm Nailing

Revisions


Date: 6/13/2017  
 Drawn: JMT  
 Checked: TJS  
 Project No. 17034  
 Structural Details