



Board of Adjustment Staff Report

Meeting Date: May 2, 2024

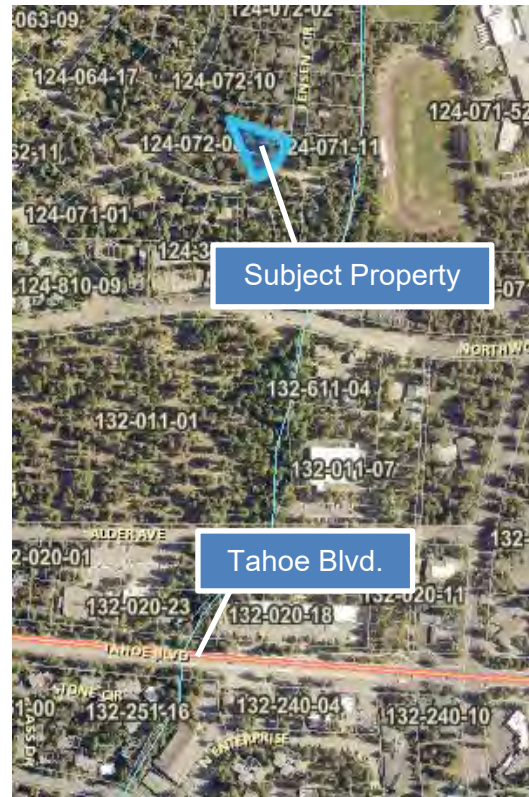
Agenda Item: 8B

VARIANCE CASE NUMBER:	WPVAR24-0003 (Marelich)
BRIEF SUMMARY OF REQUEST:	Request to vary fence height from four and one-half feet (4.5) to six (6) feet
STAFF PLANNER:	Tim Evans, Planner Phone Number: 775.328.2314 E-mail: TEvans@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a variance to vary the fence height along the front property line from four and one-half (4.5) feet to six (6) feet for security and aesthetic purposes.

Applicant/Owner:	Mark & Megan Marelich
Location:	511 Jensen Circle
APN:	124-072-06
Parcel Size:	0.42 acres
Master Plan:	Wood Creek
Regulatory Zone:	Wood Creek
Area Plan:	Tahoe
Development Code:	Authorized in Article 804, Variances
Commission District:	1 – Commissioner Hill



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment deny Variance Case Number WPVAR24-0003 for Mark and Megan Marelich, having been unable to make all four (4) required findings in accordance with Washoe County Development Code Section 110.804.25. Specifically, the Board is unable to make a finding of special circumstances either due to the exceptional property dimensions or shape, extraordinary topographical features, or an extraordinary and exceptional situation specific to the property.

(Motion with Findings on Page 13)

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Agency Comments..... Exhibit A

Public Notice Exhibit B

Project Application Exhibit C

Corrections Narrative for WBLD20-104675..... Exhibit D

Site Plan Approved for WBLD20-104675..... Exhibit E

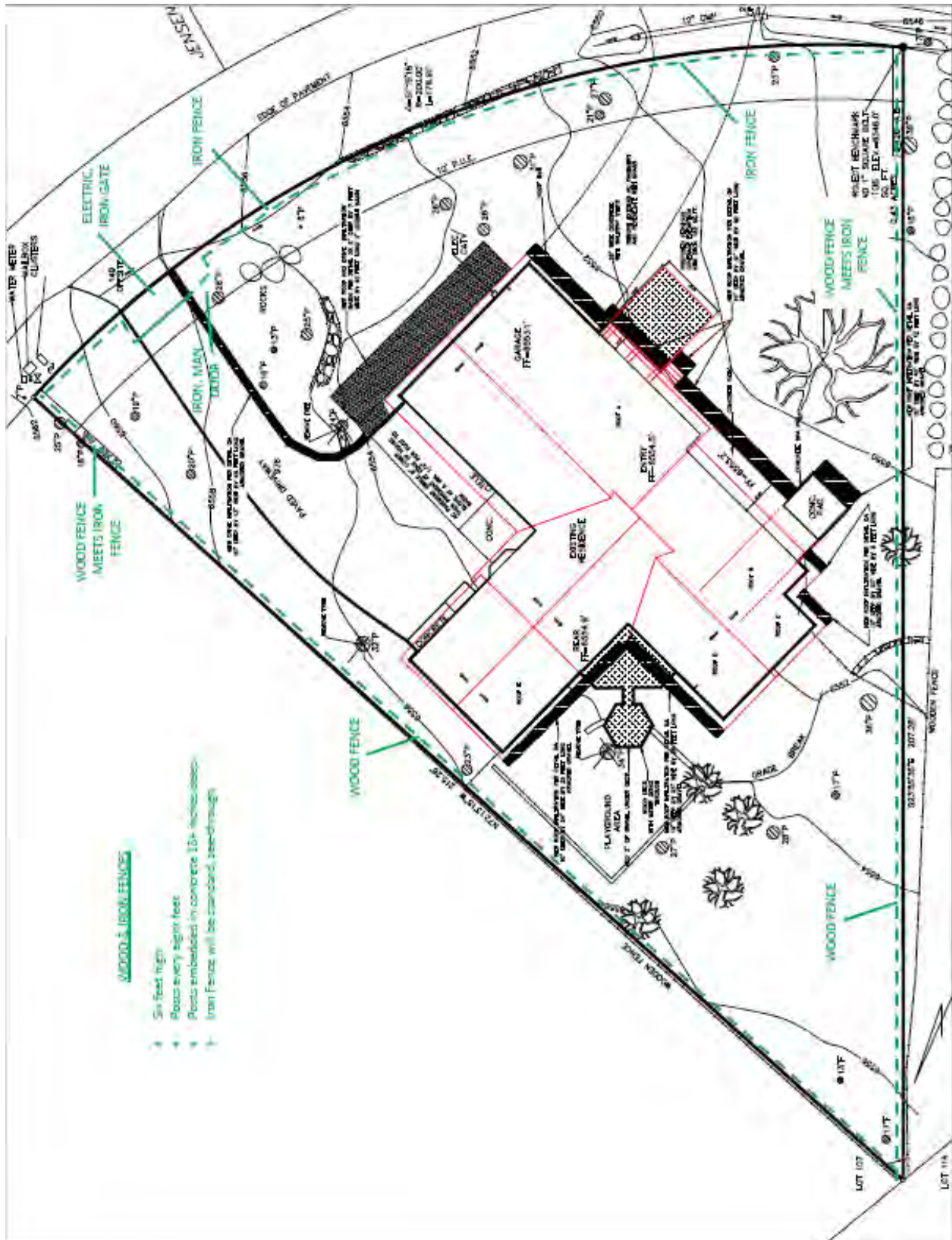
Administrative Waiver..... Exhibit F

Variance Definition

The purpose of a variance is to provide a means of altering the requirements in specific instances where the strict application of those requirements would deprive a property of privileges enjoyed by other properties with the identical regulatory zone because of special features or constraints unique to the property involved; and to provide for a procedure whereby such alterations might be permitted by further restricting or conditioning the project so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the variance, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., a grading permit, a building permit, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure.
- Prior to the issuance of a business license or other permits/licenses.
- Some conditions of approval are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the business or project.

The subject property has a regulatory zone of TA_WC (Wood Creek) and the parcel size is 0.42 acres. Pursuant to Article 220.1, *Tahoe Design Standards*, Chapter 3, *Setbacks of Structures*, Section I, *Visual Obstructions*, the maximum height allowed for a fence within the front yard setback is four and one-half (4.5) feet. As shown on the site plan on page 4, the proposed six (6) foot fence will be located within the front yard setback of the parcels, necessitating the request for a variance.



Site Plan

Project Evaluation

The applicant is requesting to increase the maximum fence height limit from four and one-half (4.5) feet to six (6) feet to allow the construction of a six (6) foot tall wrought iron fence along the front property line adjacent to Jensen Circle.

As detailed on the site plan on page 4 of this staff report, the property has a dwelling on the property and an existing six (6) foot wood fence along the side (northern and southern) property lines.

Pursuant to Article 220.1, *Tahoe Design Standards*, Chapter 3, *Setbacks of Structures*, Section I, *Visual Obstructions*, “Walls, fences, planting and other visual obstructions not over six (6) feet in height may be erected, placed or grown on lot lines, except in required front yard areas. Walls, fences, planting and other visual obstructions not over four-and-one-half (4-1/2) feet in height may be erected, placed or grown anywhere on the lot except as provided in Section F, Front Yards.”

Assessor Parcel Number	Required Front Yard Setback Pursuant to WCC Sec. 110.220.55
124-072-06	20 feet

Therefore, as the proposed fence will be located along the front property line, it will be within the front yard setback and cannot be taller than four and one-half (4.5) feet.

As stated in the variance application (Exhibit C), the applicant provides the following rationale for requesting the variance:

“The arc of our pie-shaped parcel is already restricted an average of 8’ from the road, so the Code greatly diminishes usage and security of our property.”

“It would allow us to construct a strong retaining wall and fence across the property line, to which the 8’ of county property can be better utilized in snow plowing and storage.”

“The other properties included in our findings have full (or nearly) use and enjoyment of the entirety of the property they pay to own.”

Approval of a variance is limited to special circumstances. Nevada Revised Statutes (NRS 278.300) limits the power of the Board of Adjustment to grant variances and only under particular circumstances. The applicant has the responsibility to demonstrate that the subject property exhibits one or more of the following characteristics to demonstrate a hardship:

- 1) exceptional narrowness, shallowness, or shape of a specific piece of property; or
- 2) by reason of exceptional topographic conditions; or
- 3) other extraordinary and exceptional situation or condition of the piece of property.

If such a finding of fact can be made, then the Board must determine that the strict application of the regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the subject property.

Building Permit WBLD20-104675

On December 19, 2020, a building permit application was submitted for the remodel and an addition to the existing dwelling built in 1964, which included the following:

- Expand south and southwest walls
- Redesigned front entry
- Addition of a full bathroom to loft bedroom
- Remodel/relocation of pantry, kitchen, mechanical room, and master bathroom

- Existing patios to decks
- Redirect garage to newly designed driveway
- Four and one-half (4.5) foot wrought iron fence

On January 2, 2020, Planning staff conducted an initial review of the building plans for the building permit WBLD20-104675 and requested the following corrections:

1. Call out require building setbacks on all sides of parcel.
2. Fence height is limited to 4 ½ feet within front yard setback.
3. Call out distance from closest point of dwelling to each property line.

Corrections and a narrative (Exhibit D) detailing the corrections made to the plans by the applicant's engineer was submitted on March 3, 2020, which stated that the fence height of four and one-half (4.5) feet was noted on the plans.

The Planning review was subsequently approved by Planning staff on March 4, 2020, as the corrections were addressed and the fence height was indicated on the site plan (Exhibit E) that the height of the proposed wrought iron fence was four and one-half (4.5) feet.

The building permit for the remodel, which included the four and one-half (4.5) foot wrought iron fence, was issued on October 6, 2021.

Tahoe Area Plan

The following section of the Tahoe Area Plan are applicable to the requested variance.

Article 220.1, *Tahoe Area Design Standards*, Chapter 1, *Site Design*, Section 25, *Landscaping*:

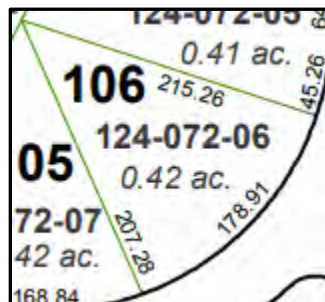
“All fences, walls and other structural landscape features should be accompanied by landscaping to better integrate the structures with the site and to reduce their visual impacts. An exception to this is in urban areas where the wall is to be used as an architectural feature. See Chapter 6, *Landscaping*, for guidelines regarding landscaping.”

Staff Comment: The Code section is a recommendation and the applicant is not proposing a landscape buffer along with the fence to address the Code section.

Hardships

Exceptional narrowness and shape of the property

The fence is proposed along the front property line, which has a width of 178.91 feet (as detailed in the figure below). The minimum parcel width required by WCC Section 110.220.55 for a parcel of 18,295 square feet (0.42 acres) is 60 feet.

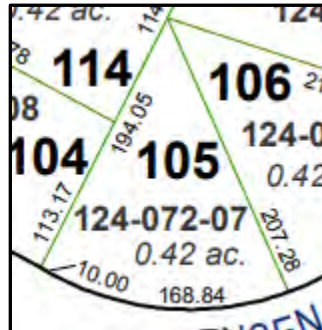


Narrowness of a parcel is not a limiting factor in the applicant being able to construct a fence to meet the height requirement of 4.5 feet.

The shallowest side of the parcel would be the western property line with a length of 207.28 feet (as detailed in the figure above). The length is related to the parcel size; this parcel is 18,295 square feet (0.42 acres). Pursuant to WCC Section 110.220.55, *Yard and Lot Standards*, the

minimum parcel size for a residential zoning such as Wood Creek is 3,700 square feet. The parcel size being 18,295 square feet is 4.9 times greater than that required by the Code.

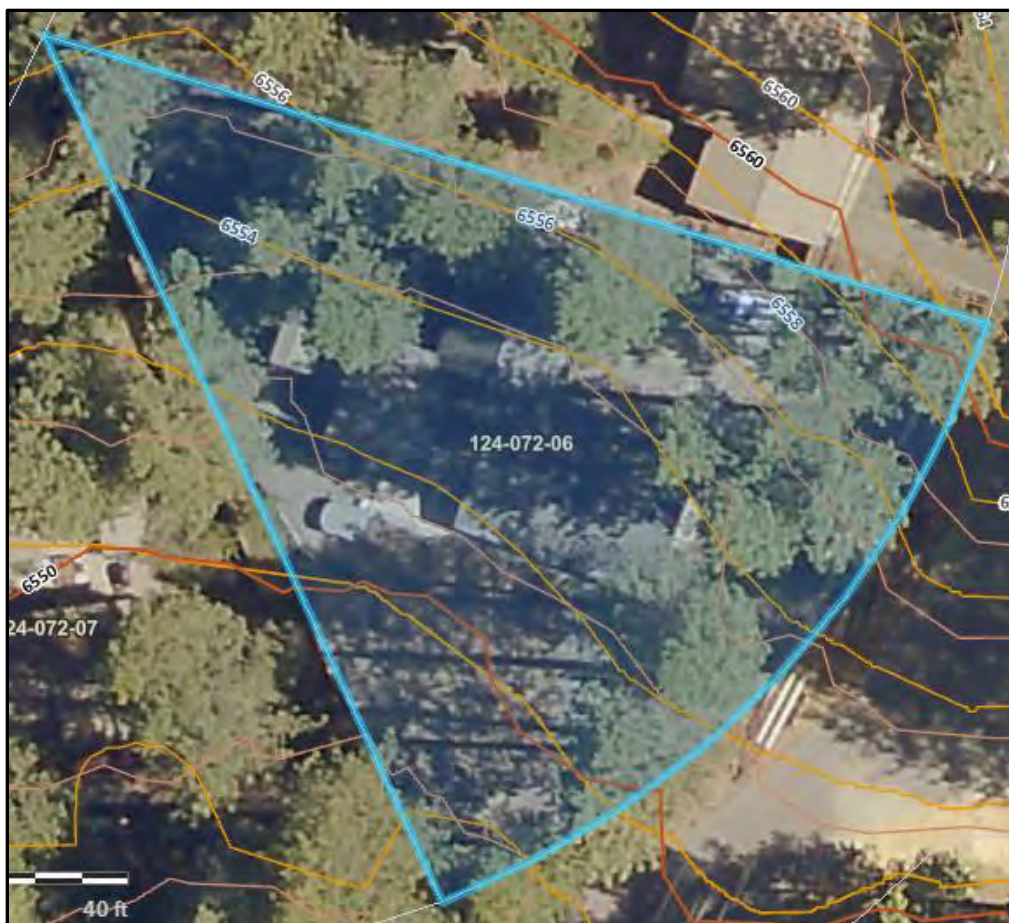
Additionally, the parcel shape is not unique to this property as the adjacent property to the west has the same shape as shown in the figure below.



Therefore, the parcels' width, shallowness, or shape is not a limiting factor in the applicant being able to construct a fence to meet the four and one-half (4.5) foot requirement and does not meet the criteria for an exceptional situation or condition of the property.

Topographic

As shown on the site plan on page 4 and in the figure below, the contour lines indicate fairly level and gently sloping topography on the subject property. Other properties in the area have similar topography and do not have a six (6) foot fence along the front property line.



Therefore, the parcels topography is not a limiting factor in the applicant being able to construct a fence to meet the four and one-half (4.5) foot height requirement and does not meet the criteria for an exceptional situation or condition of the property.

Extraordinary and exceptional situation or condition of the property and/or location of surroundings.

The applicant states the following on the application:

“The arc of our pie-shaped parcel is already restricted an average of 8' from the road, so the Code greatly diminishes usage and security of our property.”

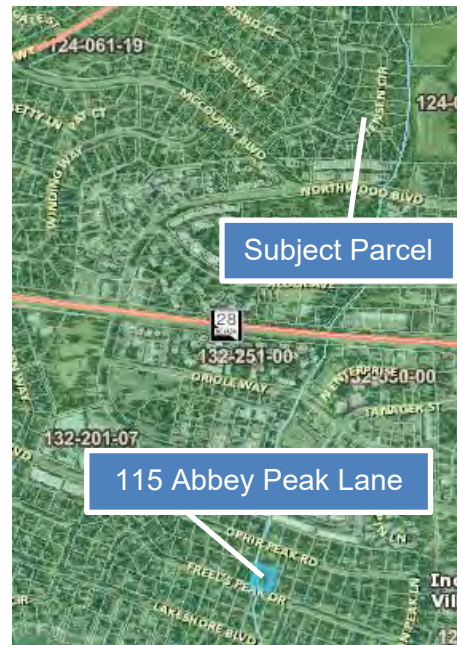
And

“The other properties included in our findings have full (or nearly) use and enjoyment of the entirety of the property they pay to own.”

Therefore, the extraordinary and exceptional situation or condition of the property per the application is the level of privacy and security compared to that afforded to other properties in the area. To demonstrate the level of privacy and security of other properties in the area, the applicant provided examples in the application (Exhibit C). The first example being 115 Abbey Peak Lane, which is shown in the figure below.



115 Abbey Peak Lane



The property at 115 Abbey Peak Lane is nearly three-quarters (0.75) of a mile from the subject property and has a different regulatory zoning of “Lakeview.” This property at 115 Abbey Peak Lane was granted an administrative permit to vary the fence height by the Washoe County Zoning Administrator on October 1, 1991, pursuant to Washoe County Code Sec. 110.210 (3), which allowed administrative waivers for fence height with the following findings (Exhibit F):

1. The request does not exceed the maximum 6 feet fence height.
2. The request will not adversely affect adjacent properties.

However, the Code section allowing an administrative waiver is no longer in place as Washoe County Code as well as the Tahoe Area Plan has since been changed. Therefore, it should be noted that the fence at 115 Abbey Peak Lane was constructed prior to the current zoning regulations. While staff acknowledges the existence of the fence at 115 Abbey Peak Lane, it does not factor into the ability to make the findings for a variance on the subject parcel.

Additional examples similar to that of 115 Abbey Peak Lane were provided in the application, along with pictures (Exhibit C) for properties in the Tahoe area that have six (6) foot fences:

757 Champagne – zoned Chateau and an Administrative Waiver was approved for fence height in 1989.

849 Lakeshore Boulevard – zoned Lakeview and no permit was located concerning the existing fence

915 Lakeshore Boulevard – zoned Lakeview and no permit was located concerning the existing fence

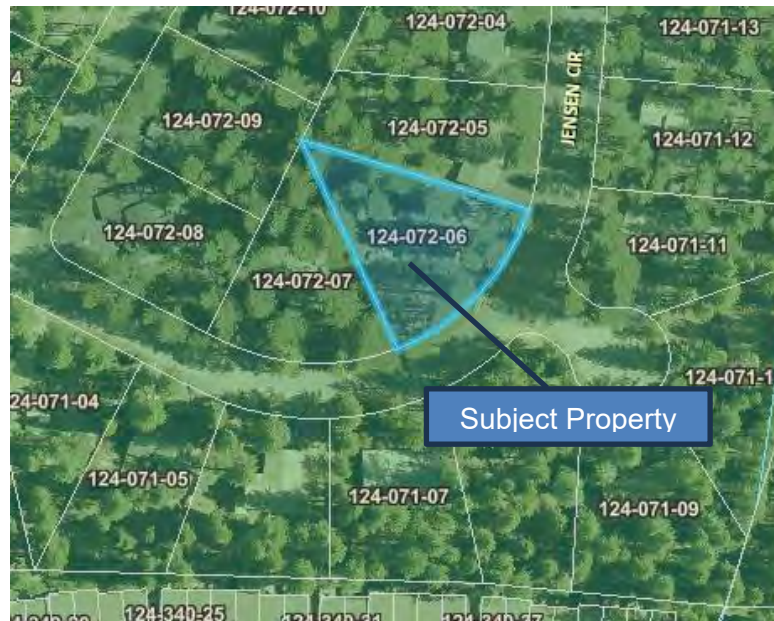
923 Lakeshore Boulevard – zoned Lakeview and no permit was located concerning the existing fence

881 Lakeshore Boulevard – zoned Lakeview and no permit was located concerning the existing fence

395 Mountain Lake Court – zoned Chateau and a withdrawn variance application was located for a height variance for the driveway gate to be seven (7) feet and the fence height to be four and one-half feet. The heights proposed were allowed by the Code and the variance was withdrawn.

906 Ace Court – zoned Fairway and a building permit (permit #52623B) was issued on August 14, 1984, for a fence.

While staff acknowledges the existence of a fence at each of the locations mentioned previously, they do not factor into the ability to make the findings for a variance on the subject parcel.



As indicated by the figure above, there are parcels within the vicinity of the subject property that are also zoned “Wood Creek” and have the same level of privacy and security. Therefore, the privacy and security of the subject property is not unique as other properties in the area are also subject to the same level of privacy and security.

Per NRS 278.300, the Board may grant a variance only by reason of the exceptional shape of the property, exceptional topographic conditions, or other extraordinary situations. As detailed above, staff does not find that this request falls within any of those three categories. However, if the Board does find that the request meets one of those special conditions, additional findings of fact are required for the Board to approve the requested variance; such findings include 1) that the relief will not create a substantial detriment to the public good, 2) the relief will not substantially impair affected natural resources, and 3) the relief will not impair the intent and purpose of the Development Code or applicable policies under which a variance could be granted.

Although the fence will be wrought iron and mostly see through, staff is not able to make the finding that the proposed fence will not be a detriment to the public good as it will not be in compliance with all the design requirements of the Tahoe Area Plan. Due to the location of the fence being along the front property line, there would be a worse environment for snow storage during the winter months and a decreased line of sight on the roadway as the six (6) foot fence will be located on the front property line which is on a curve.

An additional finding requires that the granting of the variance will not constitute special privileges inconsistent with the same limitations applicable for properties in the same regulatory zone and within the vicinity of the subject parcel.

Staff is unable to make this finding as the approval of the variance would result in the granting of special privileges as the maximum allowable fence height for all residential properties in the TA_WC (Wood Creek) regulatory zone is 4½’ tall. None of the residential properties within this regulatory zone enjoy the privilege of erecting a 6’ fence within the front yard setback. The granting of this variance would result in a granting of a special privilege inconsistent with the limitations upon other properties in the vicinity and the identical regulatory zone and would therefore result in a violation of the ‘no special privileges’ finding.

Staff finds that the applicant has not demonstrated that the subject property exhibits one or more of the criteria needed to make the first finding of special circumstances and third finding of no special privileges as required by Nevada Revised Statutes and recommends denial of the variance. Staff is able to make the additional findings as required by Washoe County Code, Article 804, Variances Required Findings: No Detriment and Use Authorized.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
NV Water Resources	X	X		
Washoe County Building & Safety	X			
Washoe County Sewer	X			
Washoe County Traffic	X			
Washoe County Water Rights Manager (All	X	X		
Washoe County Engineering (Land Development) (All Apps)	X	X	X	Rob Wimer, rwimer@washoecounty.gov; Janelle Thomas, jkthomas@washoecounty.gov
Washoe County Engineering & Capital Projects Director (All	X			
NNPH Environmental Health	X			
AT&T	X	X		
NV Energy	X			
IVGID	X	X		
North Lake Tahoe FPD	X	X	X	Ryan Sommers, rsommers@nltpd.net; John James,
Tahoe Regional Planning Agency	X			

All comments provided by the contacted agencies can be found in Exhibit A, Agency Comments.

Neighborhood Meeting

No neighborhood meeting was required for this residential variance application.

Public Comment

Washoe County Code requires that public notification for a variance must be mailed to a minimum of 30 separate property owners within a minimum 500-foot radius of the subject property a minimum of 10 days prior to the public hearing date. A notice setting forth the time, place, purpose of hearing, a description of the request and the land involved was sent within a 500-foot radius of the subject property. A total of 92 separate property owners were noticed a minimum of 10 days prior to the public hearing date.

No public comments were received as a result of the noticing.

Staff Comment on Required Findings

Washoe County Development Code Section 110.804.25, Article 804, *Variances*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the variance application and has determined that the proposal is not in compliance with the required findings as follows.

- (a) Special Circumstances. Because of the special circumstances applicable to the property, including exceptional narrowness, shallowness or shape of the specific piece of property; exceptional topographic conditions; extraordinary and exceptional situation or condition of the property and/or location of surroundings; the strict application of the regulation results in exceptional and undue hardships upon the owner of the property.

Staff Comment: There are no special circumstances applicable to the property, as demonstrated in this report. The parcel has no exceptional narrowness, shallowness or shape of the specific piece of property; no exceptional topographic conditions; no extraordinary and exceptional situation or condition of the property and/or location of surroundings. The strict application of the regulation does not result in exceptional and undue hardships upon the owner of the property, as the owner is not being deprived of developing the property in the same manner as surrounding properties.

- (b) No Detriment. The relief will not create a substantial detriment to the public good, substantially impair affected natural resources or impair the intent and purpose of the Development Code or applicable policies under which the variance is granted.

Staff Comment: There will be a detriment to the public as the location of the fence will be along the front property line, which is on a curve, creating a decreased line of sight.

- (c) No Special Privileges. The granting of the variance will constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the identical regulatory zone in which the property is situated.

Staff Comment: There are no special circumstances applicable to the property, approval of the requested variance has the potential to grant special privileges by allowing a fence height greater than that permitted by Washoe County Code. Allowing development that does not conform to generally applicable Code requirements, such as fence height, with no special circumstances, means a finding of 'no special privileges' cannot be made to support approval of the variance request. Additionally, none of the residential properties within this regulatory zone enjoy the privilege of erecting a 6' fence within the front yard setback. The granting of this variance would result in a granting of a special privilege inconsistent with the limitations upon other properties in the vicinity and within the identical regulatory zone and would therefore result in a violation of this finding.

- (d) Use Authorized. The variance will not authorize a use or activity which is not otherwise expressly authorized by the regulation governing the parcel of property.

Staff Comment: The variance will not authorize a use or activity which is not expressly authorized by the regulatory zone as a fence is an allowable use in the Wood Creek regulatory zone.

Recommendation

After a thorough analysis and review, Variance Case Number WPVAR24-0003 is being recommended for denial. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment deny Variance Case Number WPVAR24-0003 for Mark and Megan Marelich, having been unable to make all four (4) required findings in accordance with Washoe County Development Code Section 110.804.25. Specifically, the Board is unable to make a finding of special circumstances either due to the exceptional property dimensions or shape, extraordinary topographical features, or an extraordinary and exceptional situation specific to the property.

- (a) **Special Circumstances.** Because of the special circumstances applicable to the property, including exceptional narrowness, shallowness or shape of the specific piece of property; exceptional topographic conditions; extraordinary and exceptional situation or condition of the property and/or location of surroundings; the strict application of the regulation results in exceptional and undue hardships upon the owner of the property;
- (b) **No Detriment.** The relief will not create a substantial detriment to the public good, substantially impair affected natural resources or impair the intent and purpose of the Development Code or applicable policies under which the variance is granted;
- (c) **No Special Privileges.** The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the identical regulatory zone in which the property is situated;
- (d) **Use Authorized.** The variance will not authorize a use or activity which is not otherwise expressly authorized by the regulation governing the parcel of property;

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/Owner: Mark and Megan Marelich; mmarelich33@gmail.com

From: [COOPER, CLIFFORD E](#)
To: [Evans, Timothy](#)
Subject: RE: Variance Case Number WPVAR24-0003 (Marelich Variance)
Date: Monday, March 18, 2024 7:32:27 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[March Agency Review Memo II.pdf](#)

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Tim,
AT&T does not have any adverse comments regarding this project.

CLIFF COOPER
SR SPECIALIST-OSP DESIGN ENGINEER
AT&T NEVADA
1375 Capital Blvd rm 115
Reno, NV 89502
ROW Office: 775-453-7578
Cell: 775-200-6015
Email: cc2132@att.com
TEXTING and DRIVING...It Can Wait

Date	3-18-24
Attention	Tim Evans
Re	Variances Case Number WPVAR24-0003
APN	124-072-06
Service Address	511 Jensen Circle
Owner	Mark & Megan Marelich

[Variance Case Number WPVAR24-0003 \(Marelich Variance\)](#) – For hearing, discussion, and possible action to approve a variance to vary the fence height along the front property line from four and a half (4.5) feet to six (6) feet for security and aesthetic purposes.

- Applicant / Property Owner: Mark & Megan Marelich
- Location: 511 Jensen Circle
- Assessor's Parcel Number(s): 124-072-06
- Parcel Size: 0.42 acres
- Master Plan Category: Wood Creek
- Regulatory Zone: Wood Creek
- Area Plan: Tahoe
- Development Code: Authorized in Article 804, Variances
- Commission District: 1 – Commissioner Hill
- Staff: Tim Evans, Planner
Washoe County Community Services Department
Planning and Building Division
- Phone: 775-328-2314
- E-mail: tevans@washoecounty.gov

IVGID Comments: No impact to the Incline Village General Improvement District (IVGID)

From: [Steve Shell](#)
To: [Evans, Timothy](#)
Subject: WPVAR24-0003
Date: Wednesday, March 20, 2024 9:25:08 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image006.png](#)
[image008.png](#)

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The Division of Water Resources has no comment.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

Steve Shell
Water Rights Specialist II
Department of Conservation and Natural Resources
Nevada Division of Water Resources
901 S. Stewart St., Suite 2002
Carson City, NV 89701
sshell@water.nv.gov
(O) 775-684-2836 | (F) 775-684-2811

From: [John James](#)
To: [Evans, Timothy](#)
Subject: Item 2. Variance Case Number WPVAR24-0003 (Marelich Variance)
Date: Thursday, March 21, 2024 8:08:44 AM

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Hello Mr. Evans,

The NLTFPD has assessed Item 2, the Marelich Variance (Variance Case Number WPVAR24-0003), and provided the following comments and/or conditions:

For instances where access is obstructed by automatic or locked gates, an approved method for emergency operation such as a key box, key switch, padlock, or another authorized means is mandatory.



John James
Fire Marshal
Office: [775.831.0351](tel:775.831.0351) x8131 | Cell: [775.413.9344](tel:775.413.9344)
Email: jjames@nltfpd.net
[866 Oriole Way](#) | [Incline Village](#) | [NV 89451](#)





Date: March 25, 2024

To: Tim Evans, Planner
From: Robert Wimer, P.E., Licensed Engineer
Janelle Thomas, P.E., Senior Licensed Engineer

Re: Variance Case WPVAR24-0003– Marelich
APN 124-072-06

GENERAL PROJECT DISCUSSION

Washoe County Engineering and Capital Project staff have reviewed the above referenced application. The application, prepared by Mark & Megan Marelich, is for a variance to allow the installation of a black, iron fence around the perimeter of the property.

The Engineering and Capital Projects Division recommends approval of this variance case with the comments and conditions of approval below:

Conditions:

1. The gate shall be a minimum of 20 feet from the edge of the pavement on Jensen Circle.
2. Large, decorative, masonry or rock-faced type fence posts or similar fence post design that inhibit sight visibility will not be allowed. The design shall comply with AASHTO sight distance standards.



Date: March 27, 2024

To: Tim Evans, Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Variance Case Number WPVAR24-0003 (Marelich Variance)

GENERAL PROJECT DISCUSSION

For hearing, discussion, and possible action to approve a variance to vary the fence height along the front property line from four and a half (4.5) feet to six (6) feet for security and aesthetic purposes.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

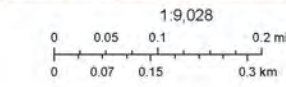
No water rights conditions for this variance.

Public Notice

Washoe County Code requires that public notification for a variance must be mailed to a minimum of 30 separate property owners within a minimum 500-foot radius of the subject property a minimum of 10 days prior to the public hearing date. A notice setting forth the time, place, purpose of hearing, a description of the request and the land involved was sent within a 500-foot radius of the subject property. A total of 92 separate property owners were noticed a minimum of 10 days prior to the public hearing date.



March 12, 2024



Washoe County GIS. Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

This information for illustrative purposes only. Not to be used for boundary.

Public Notice Map
Variance Case Number WPMAR24-0003

Community Services Department
Planning and Building
VARIANCE APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Marelich Perimeter Fence			
Project Description: A pie-shaped parcel, our property is currently fenced on the two straight sides by a 6' wood fence. We are asking to fence the remaining perimeter's edge (the arc) with 6' basic, black iron fencing.			
Project Address: 511 Jensen Circle, Incline Village, NV 89451			
Project Area (acres or square feet): 0.420 Acres			
Project Location (with point of reference to major cross streets AND area locator): SE area of Jensen Circle, across from the cul-de-sac			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
124-072-06	0.420		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WBLD20-104675			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Mark & Megan Marelich		Name: N/A	
Address: 511 Jensen Circle		Address:	
Incline Village, NV Zip: 89451		Zip:	
Phone: 775-233-8818 Fax: N/A		Phone: Fax:	
Email: mmarelich33@gmail.com		Email:	
Cell: 775-233-8818 Other: N/A		Cell: Other:	
Contact Person: Mark Marelich		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as above		Name: N/A	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Variance Application Supplemental Information

(All required information may be separately attached)

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

Front yard setback & Height for fencing

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

The arc of our pie-shaped parcel is already restricted an average of 8' from the road, so the Code greatly diminishes usage and security of our property.

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

The arc of our parcel already offers an average 8' offset from the road, and the iron fencing would be see-through. Both aspects aiding in the visibility of the "corner" and would be far less intrusive-looking than solid fencing.

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

It would allow us to construct a strong retaining wall and fence across the property line, to which the 8' of county property can be better utilized in snow plowing and storage.

5. What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?

The other properties included in our findings have full (or nearly) use and enjoyment of the entirety of the property they pay to own.

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

Yes No If yes, please attach a copy.

7. How is your current water provided?

IVGID Public Utilities - mainline off the street

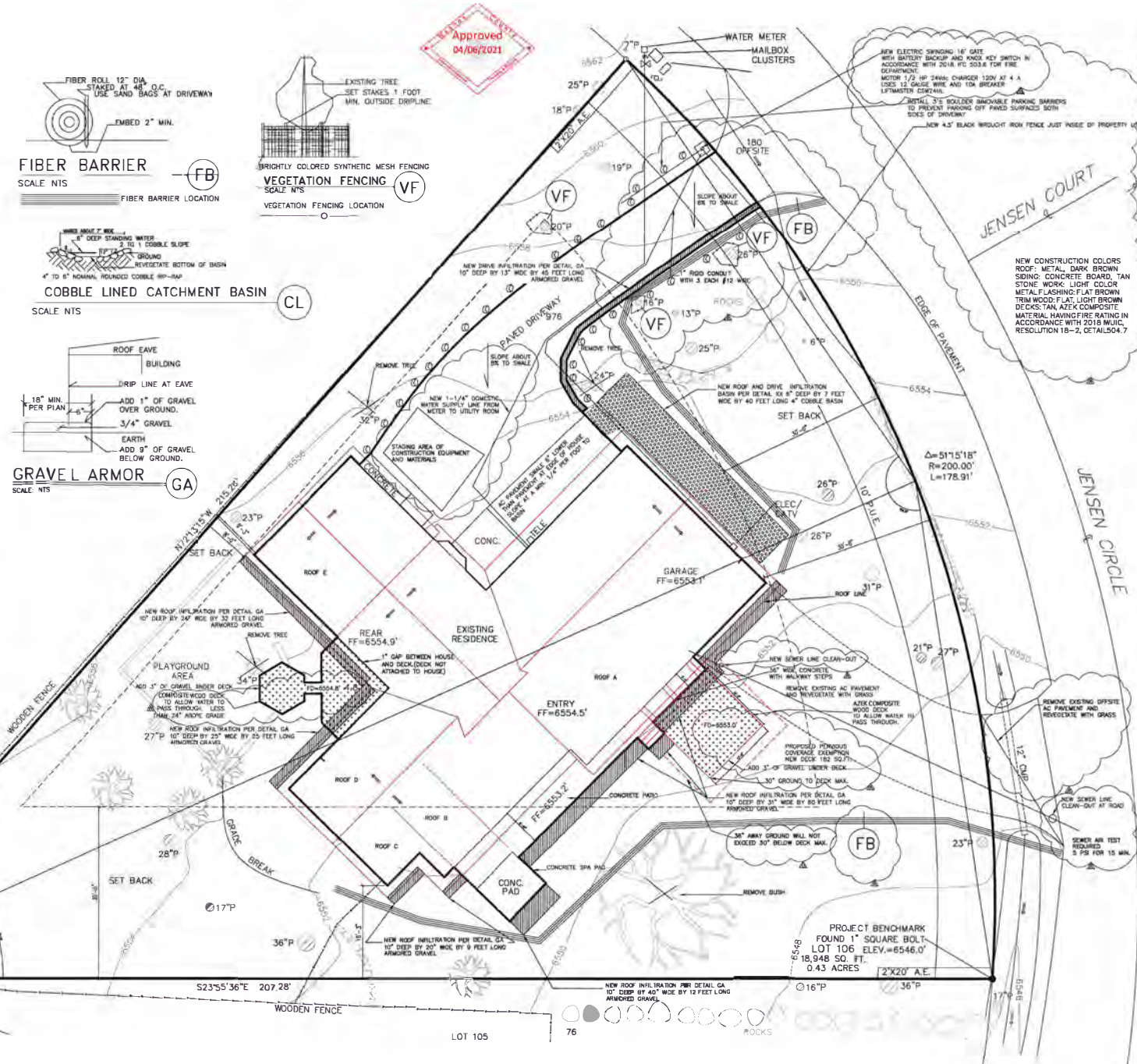
8. How is your current sewer provided?

IVGID Public Utilities - mainline into the street

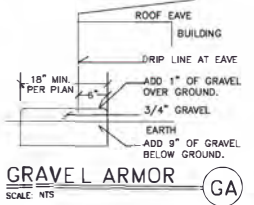
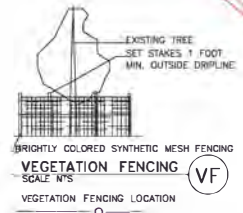
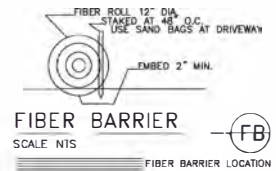
COVERAGE CALCULATIONS	
TRPA Project Data	
PROPERTY DESCRIPTION:	
APN 124-072-26	
511 JENSEN CIRCLE	
INCLINE VILLAGE WASHOE COUNTY, NEVADA	
ALLOWABLE COVERAGE	
TOTAL AREA OF LOT 180	18,946 SQ.FT
LAND CAPABILITY CLASS 6	306 SQ.FT
TOTAL ALLOWABLE COVERAGE	18,946(30)=5,684 SQ.FT.
EXISTING COVERAGE	
EXISTING LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	2,825 SQ. FT.
ASPHALT DRIVEWAYS	1,929 SQ. FT.
SHED	128 SQ.FT.
CONCRETE PORCH	456 SQ.FT.
CONCRETE PADS	222 SQ.FT.
RAILROAD TIE STEPS	188 SQ.FT.
TOTAL	5,610 SQ.FT.
OFF-SITE LAND COVERAGE	373 SQ. FT.
PER TOPO BY ARNETT & ASSOCIATES, INC DATED 4-2020	
PROPOSED COVERAGE	
PROPOSED LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	3,463 SQ. FT.
ASPHALT DRIVEWAYS	1,554 SQ. FT.
CONCRETE PORCH	350 SQ.FT.
CONCRETE GARAGE	44 SQ.FT.
CONCRETE ENTRY	78 SQ.FT.
TOTAL	5,505 SQ.FT.
WOOD DECK PER EXEMPTION	361 SQ.FT.
OFF-SITE LAND COVERAGE	180 SQ. FT.

LAND COVERAGE INCENTIVE FOR RESIDENTIAL IMPROVEMENTS	
RESIDENTIAL COVERAGE EXEMPTION CALCULATION WORKSHEET	
CLASS 6 COVERAGE	
STEP 1 (MAXIMUM ALLOWABLE CHANGE)	
NON-SENSITIVE LAND 18,946 SQ.FT. AT 10%	IS 1,894 SQ.FT.
STEP 2 NONE PERMANENT STRUCTURES	
NON-SENSITIVE LAND 0 SQ.FT. AT 2%	IS 0 SQ.FT.
STEP 3 NEW PERVIOUS DECKS	
NON-SENSITIVE LAND 18,938 SQ.FT. AT 5%	IS 947 SQ.FT.
STEP 38 USE LESS THAN 500	IS 361 SQ.FT.
STEP 4 NOT USED	
STEP 5 TOTAL	361 SQ.FT.
PROPOSED PERVIOUS COVERAGE EXEMPTION	LESS THAN MAX.

- SITE PROTECTION NOTES**
1. PROVIDE REQUIRED TEMPORARY BEST MANAGEMENT PRACTICE (BMP), VEGETATION PROTECTION FENCING AND SOIL FLUX FENCE AS REQUIRED BY TRPA FIELD INSPECTOR.
 2. BPA APPROVED FABRIC TYPE FILTER FENCING OR 12" DIAMETER FIBER ROLL MAY BE USED AS A SEDIMENT CONTROL MEASURE DURING CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONFINE WORK AND MATERIAL STORAGE TO AREA OF WORK AND SHALL USE ALL MEANS NECESSARY TO PROTECT TREES WITH 4" BRIGHTLY COLORED SYNTHETIC MESH MATERIAL FENCING AROUND THE CIRCUMFERENCE OF ALL TREES 1" AND AS WELL AS PROTECTING NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
 4. ALL BARRIER AREAS SHALL BE REVEGETATED WITH NATIVE AND/OR ADAPTED PLANTS AND STABILIZED WITH 2" PINE NEEDLE MULCH IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES".
 5. EXISTING CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY FILTER FENCING OR VEGETATION FENCING DAMAGED DURING THE COURSE OF HIS WORK.
 6. TEMPORARY POWER POLE OR OTHER DEVICES MAY NOT BE ATTACHED TO TREES.
 7. ALL CONSTRUCTION SHALL BE ACCOMPLISHED IN STRICT COMPLIANCE WITH THE PLANS APPROVED BY BPA.
 8. ALL MATERIALS OBTAINED FROM ANY EXCAVATION WORK THAT IS NOT COMPLETED WITHIN FOUNDATION RETAINING WALLS OR BY OTHER METHODS APPROVED BY TRPA SHALL BE REMOVED FROM THE SUBJECT PARCEL AND DISPOSED OF AT A SITE APPROVED BY TRPA.
 9. LOOSE SOIL MOUNDS OR SURFACES SHALL BE PROTECTED FROM WIND OR WATER EROSION BY BEING APPROPRIATELY COVERED WHEN CONSTRUCTION IS NOT IN ACTIVE PROCESS OR WHEN REQUIRED BY TRPA.
 10. EXCAVATION MATERIALS SHALL BE STORED UPSTREAM FROM THE EXCAVATED AREA TO THE EXTENT POSSIBLE.
 11. THE CONTRACTOR SHALL EXPOSE AND CHECK ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS BEFORE CONSTRUCTING INFILTRATION SYSTEMS.
 12. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SUBSURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITIONS AND AVOIDING ANY ABRUPT OR AMBITIOUS CHANGES IN GRADE OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.



Approved
04/06/2021



SWANN ENGINEERING
JAMES J. SWANN, P.E.
P.O. 2078 PORTOLA
CALIF. 95122
775-831-5595

JAMES JAY SWANN
REGISTERED PROFESSIONAL ENGINEER
CIVIL
NO. 5228
EXP. 9-2022

PROJECT
PROPOSED PLANS FOR:
THE MARELICH RESIDENCE

CONTENTS
PLACE
MARELICH RESIDENCE
511 JENSEN CIRCLE
INCLINE VILLAGE
WASHOE COUNTY, NEVADA
APN 124-072-06
OWNER:
MARK MARELICH
775-233-8818

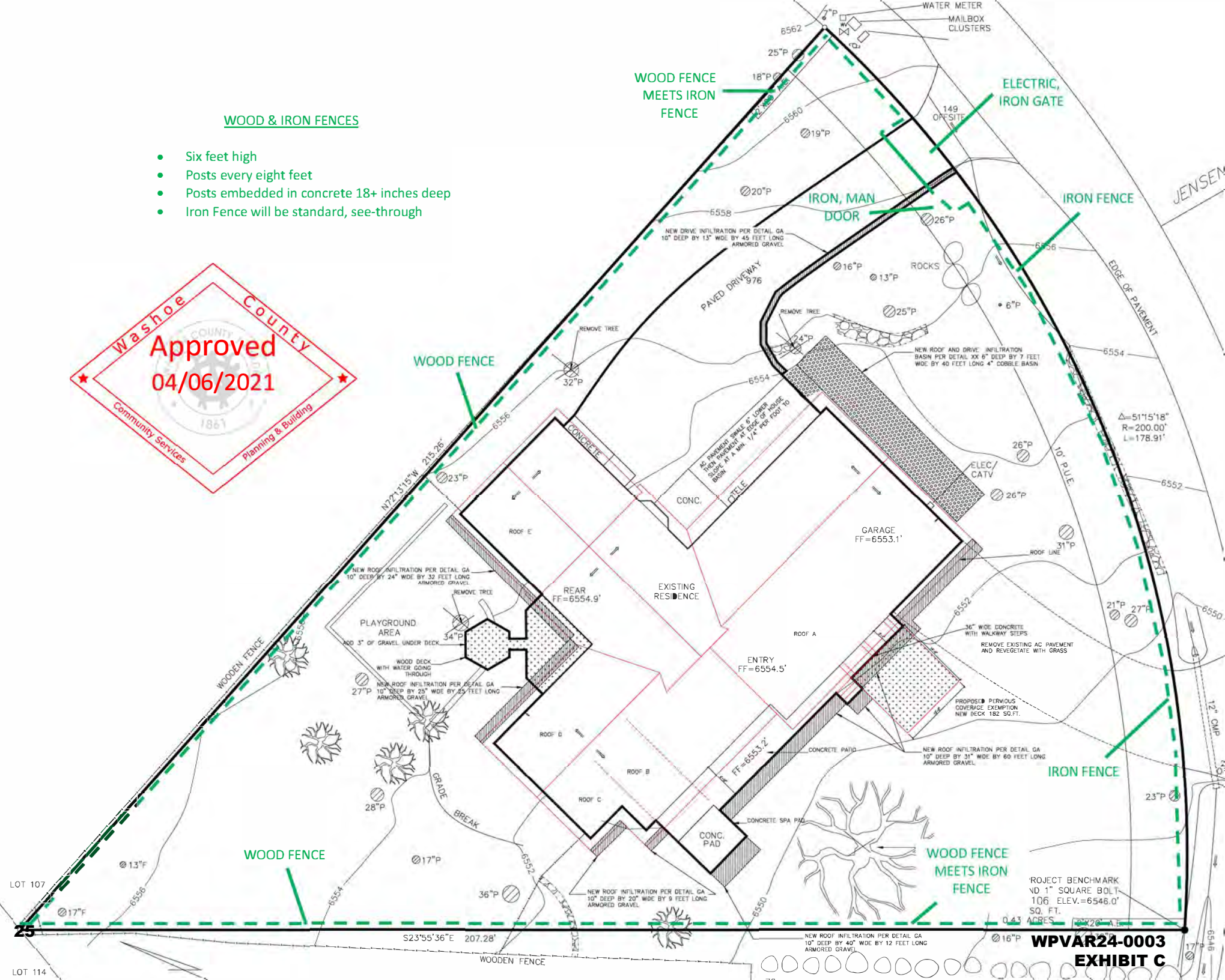
PROPOSED PLOT PLAN
CREATED
DRAWN BY: JJS
DATE: 9-10-2019
SCALE: 1/8" = 1'-0"
JOB NO: 2019-036

REVISIONS
REV A DECK NOTE 1-15-2021
REV B GATE AND DECK NOTE 3-17-2021

SHEET
6

WOOD & IRON FENCES

- Six feet high
- Posts every eight feet
- Posts embedded in concrete 18+ inches deep
- Iron Fence will be standard, see-through



To Whom It May Concern:

As you see on the first page, our hope is to construct six-foot iron fencing around the remaining, unfenced perimeter of our property.

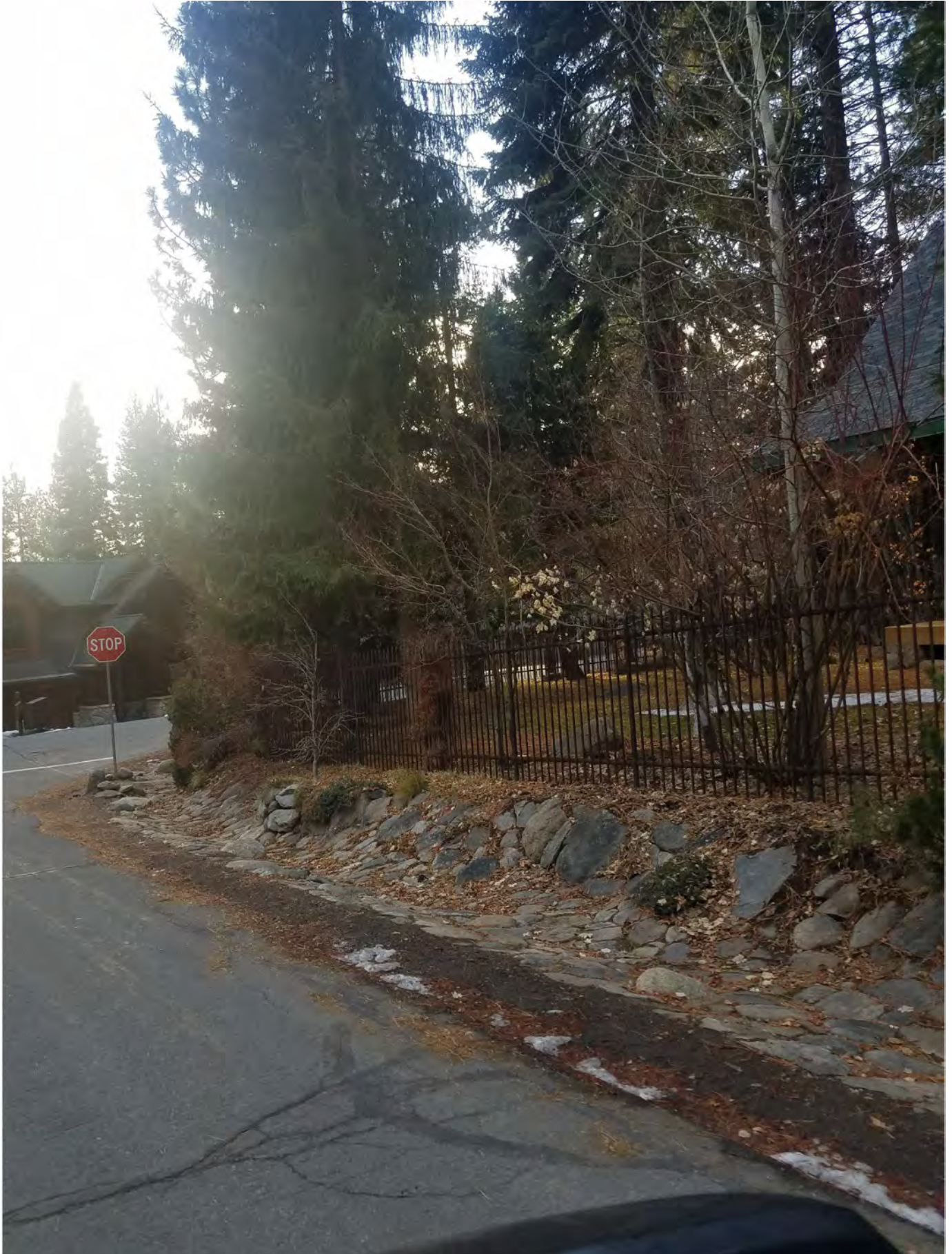
We would like to use the following precedent examples we found, from our neighborhood, to appeal for a special variance – or apply for an Administrative permit if necessary. These examples have six-foot-high fences on or very near the perimeter of their properties.

In your determination, I would also like you to please consider that the proposed iron fencing would be see-through and is also offset from the road an average of 8' – both aspects would not hinder a car's line of sight coming around the curve.

Thank You for your consideration.

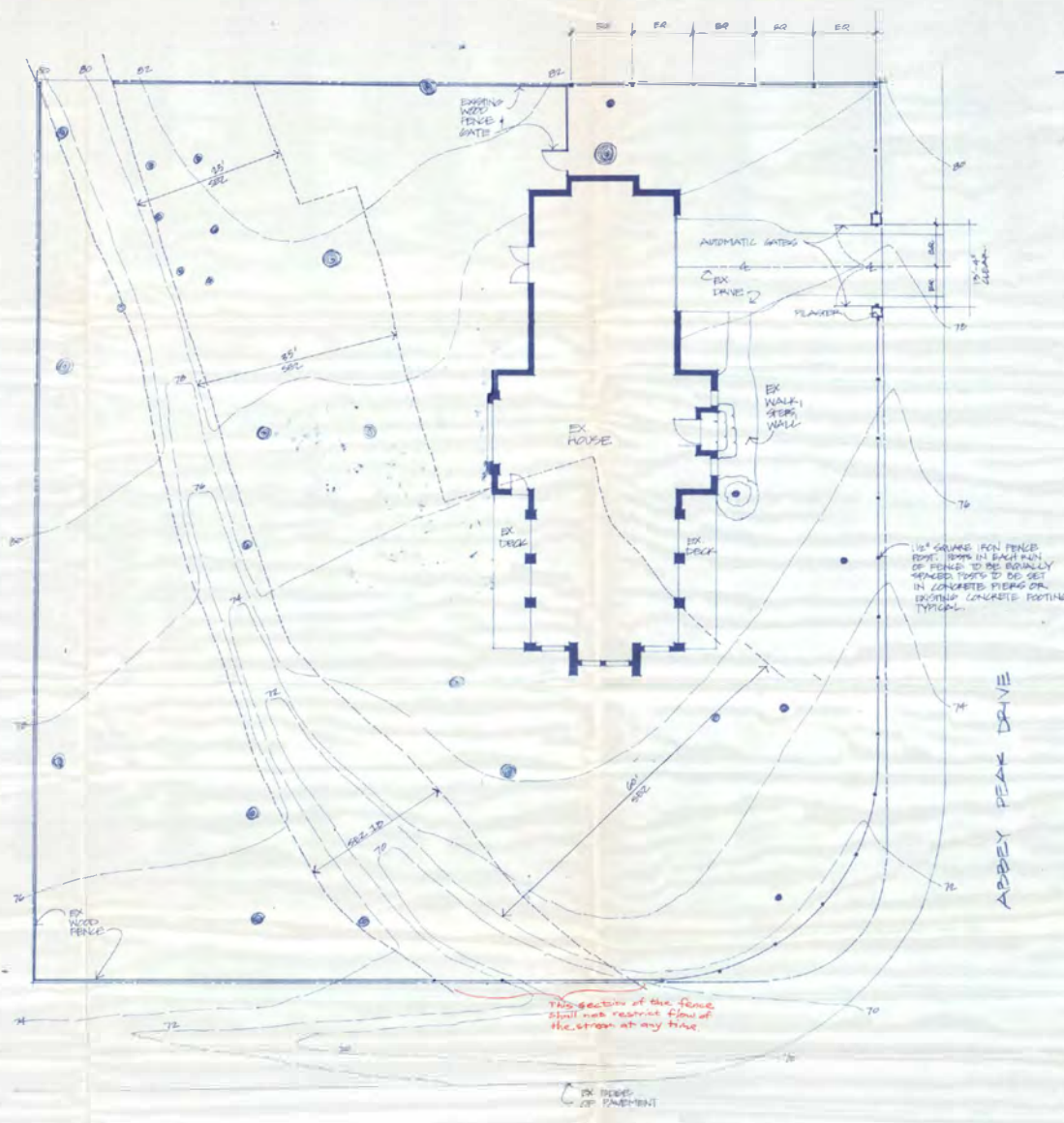
Mark & Megan Marelich

115 Abbey Peak



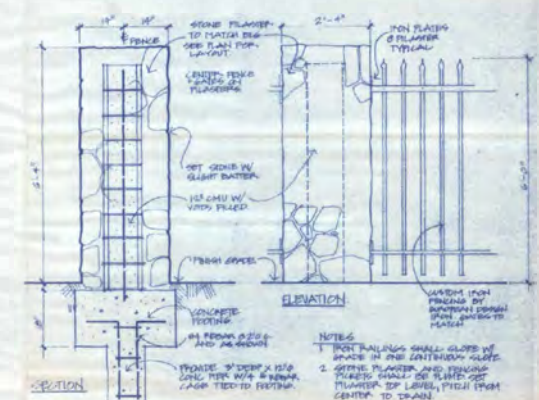
REVISED LAND COVERAGE CALCULATIONS

(a)	Total Lot Area	20,264
	Land Class 1b (SEZ)	2,440
	Land Class 6	18,324
(b)	Total Allowable Coverage	5,421
	Land Class 1b (SEZ) @ 1%	24
	Land Class 6 @ 30%	5,497
(c)	Total Existing Coverage	3,347
	Residence and Garage	2,180
	Walkway	181
	Driveway (onsite)	410
	Decks	366
(d)	Total Proposed Coverage	3,647
	Residence and Garage	2,330
	Walkway	181
	Driveway (onsite)	410
	Decks	366
	Fence Footing	300
(e)	Total Coverage to be Added	100
	Fence Footing	100



LEGEND.

- STONE PLASTER, SEE (A)
- IRON FENCE, AUTOMATIC GATE
- EX WOOD FENCE
- EX TREE TO REMAIN
- PROXIMITY CONTROL STRUCTURE



(A) STONE PLASTER/IRON FENCE.
SCALE: 3/4" = 1'-0"

NOTE:
ALL EXISTING DISTURBED AREAS AND AREAS DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE REVEGETATED W/ VEGETATION SPECIES IN ACCORDANCE W/ THE TPA HANDBOOK OF BEST MANAGEMENT PRACTICES.

APPROVED
PROJECT ARCHITECT: [Signature]
DATE: 7/18/15
DESIGNED BY: [Signature]
THE APPROVAL EXPRESSES THE APPROVAL OF THE ARCHITECT IN ACCORDANCE WITH THE TPA HANDBOOK OF BEST MANAGEMENT PRACTICES.

FENCE PLAN.

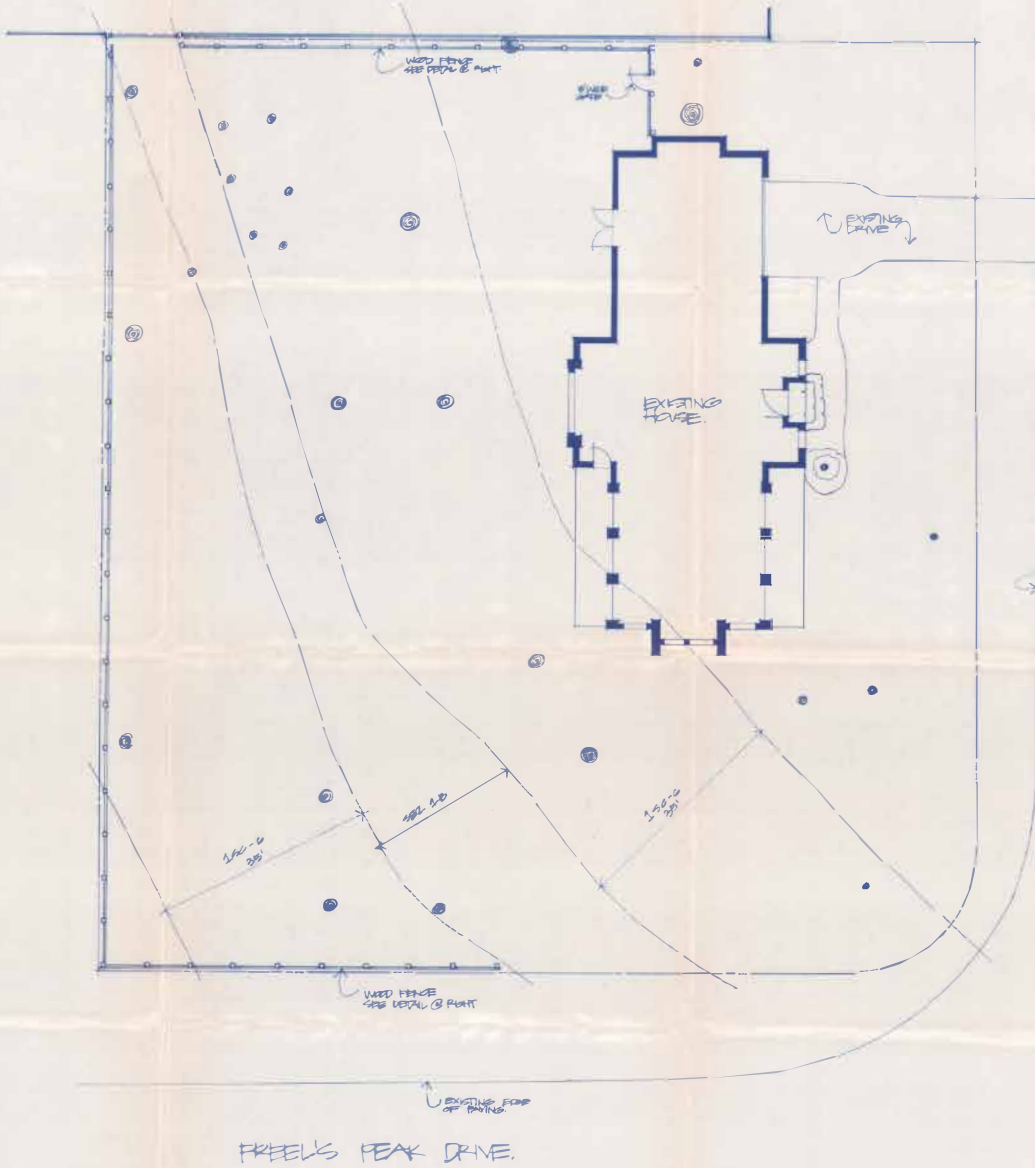
JONATHAN PLANT & ASSOCIATES
71 Lafayette Circle
Lafayette, California 94549
415/283-5574

Landscape Architects

NICKEL GARDEN
INCLINE VILLAGE

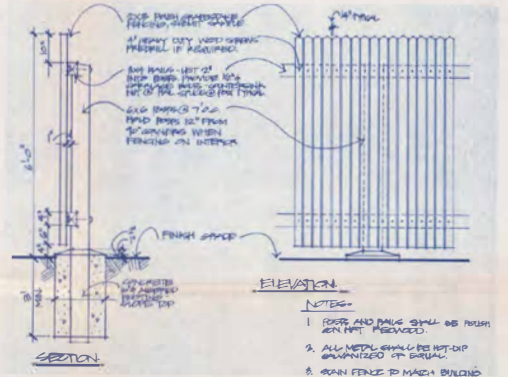
GIL NICKEL, OWNER
115 ABBEY PEAK DR.
APR 122-212-09

10/1/14-5/22/15 TPA CONTROL PER 25-14-11
7.51.12
7.51.12
7.51.12



LEGEND

- EXISTING TREE TO REMAIN
- PROPERTY LINE
- WOOD FENCE - SEE DETAIL THIS SHEET
- EXISTING CHAIN LINK FENCE ON ADJACENT PROPERTY
- EXISTING WOOD FENCE ON ADJACENT PROPERTY
- LIMIT OF SET-BACK BOUNDARY - AS SET BY TRPA FIELD OBSERVATION DATED 7/24/09.



SECTION
ELEVATION
WOOD FENCE.
240' 0" x 1'-0"

INTERIM SURFACE COVERAGE

EX. FOUNDATION	2,760 SF
LOT AREA	29,766 SF
SBZ (NEW)	2,448 X .01 = 24
CAPABILITY @	18,824 X .30 = 5,647
ALLOWABLE COVERAGE	5,623 SF

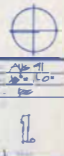
All existing disturbed areas and areas disturbed by construction activity, shall be revegetated with vegetation species in accordance with the TRPA handbook of best management practices.
NOTE: The permittee is responsible for ensuring the final plans as built, do not exceed the TRPA approved land coverage figures shown on the site plan.



LAND CAPABILITY FIELD VERIFICATION - THE \$50.00 FEE IS PAID.
FENCE PLAN.

SH. NICKEL, OWNER
118 ABBEY PEAK ROAD
ANN-122-212-091

RECEIVED
SEP 05 1991
TAHOE REGIONAL PLANNING AGENCY



JONATHAN PLANT & ASSOCIATES
71 Lafayette Circle
Lafayette, California 94549
415/283-5574

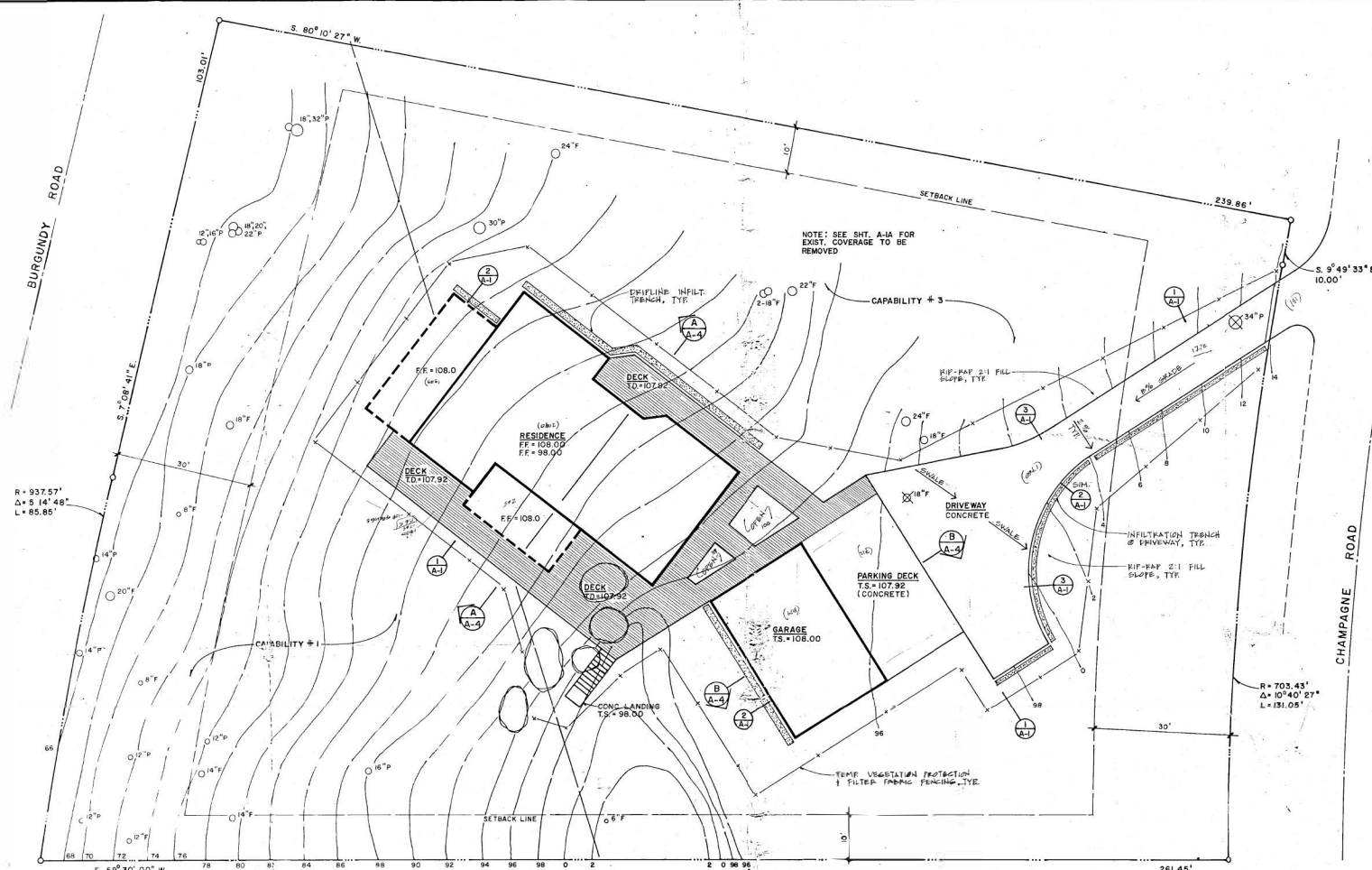
Landscape Architects

NICKEL GARDEN
INCLINE VILLAGE
ANN-122-212-091

WPVAR24-0003
EXHIBIT C

757 Champagne





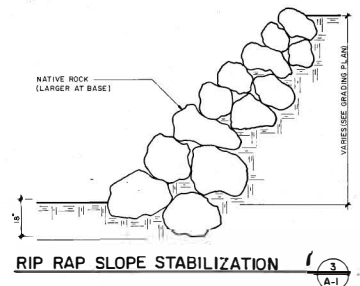
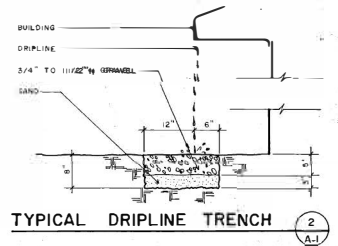
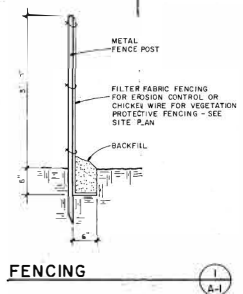
GENERAL NOTES

PROJECT LOCATION: 757 CHAMPAGNE RD. INCLINE VILLAGE NEVADA
 LOT 8 BLDG. #1 CHATEAU ACRES NEVADA

IMPERVIOUS SUMMARY
 PARCEL AREA = 40,882 SQ. FT.
 LAND CAPABILITY: #1 & #3
 COVERAGE ALLOWED = 1308 SQ. FT.
 COVERAGE EXISTING = 10,317 SQ. FT.
 10% OF NONCONFORMING = 901 SQ. FT.
 NEW COVERAGE / FLR AREA = 2722 SQ. FT.
 REQUIRED REDUCTION = 3623 SQ. FT.
 EXIST. LESS REQ. REDUCTION = 6694 SQ. FT.
 TOTAL COVERAGE PROPOSED = 6533 SQ. FT.

MAXIMUM BUILDING HEIGHT = 35 FT. A-1
 REVEGETATE ALL DISTURBED AREAS w/ NATIVE SPECIES
 USE COMMON UTILITY TRENCH WHERE POSSIBLE
 VERIFY PTS. OF CONNECTION w/ UTILITIES
 PROVIDE 3" PEA GRAVEL UNDER DECKS
 TREES TO BE REMOVED = 2
 PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM BUILDINGS
 FILL RD. FOR DRIVEWAY = +/- 600 CU. YDS.

SITE PLAN
 1" = 10'



APPROVED
 TAHOE REGIONAL PLANNING AGENCY

PLANNER: [Signature] DATE: 12/1/06

INVESTIGATOR: [Signature] DATE: 11/15/06

RECEIVED

BY: [Signature]

QDT - 3 1996
 TAHOE REGIONAL PLANNING AGENCY

REVISIONS	BY
Δ 25 SEPT. 06	RM

RICHARD SAWYER, ARCHITECT
 P.O. BOX 5524 INCLINE VILLAGE NV 89450 (703) 631-5948

LAWRES RESIDENCE
 757 CHAMPAGNE RD. INCLINE VILLAGE NEVADA

DRAWN	BY
RM	
CHECKED	RTS
DATE	25 SEPT. 06
SCALE	NOTED
SHEET	2 OF 3
A-1	

COVERDALE ■ 757 CHAMPAGNE

These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

TAHOE REGIONAL PLANNING AGENCY

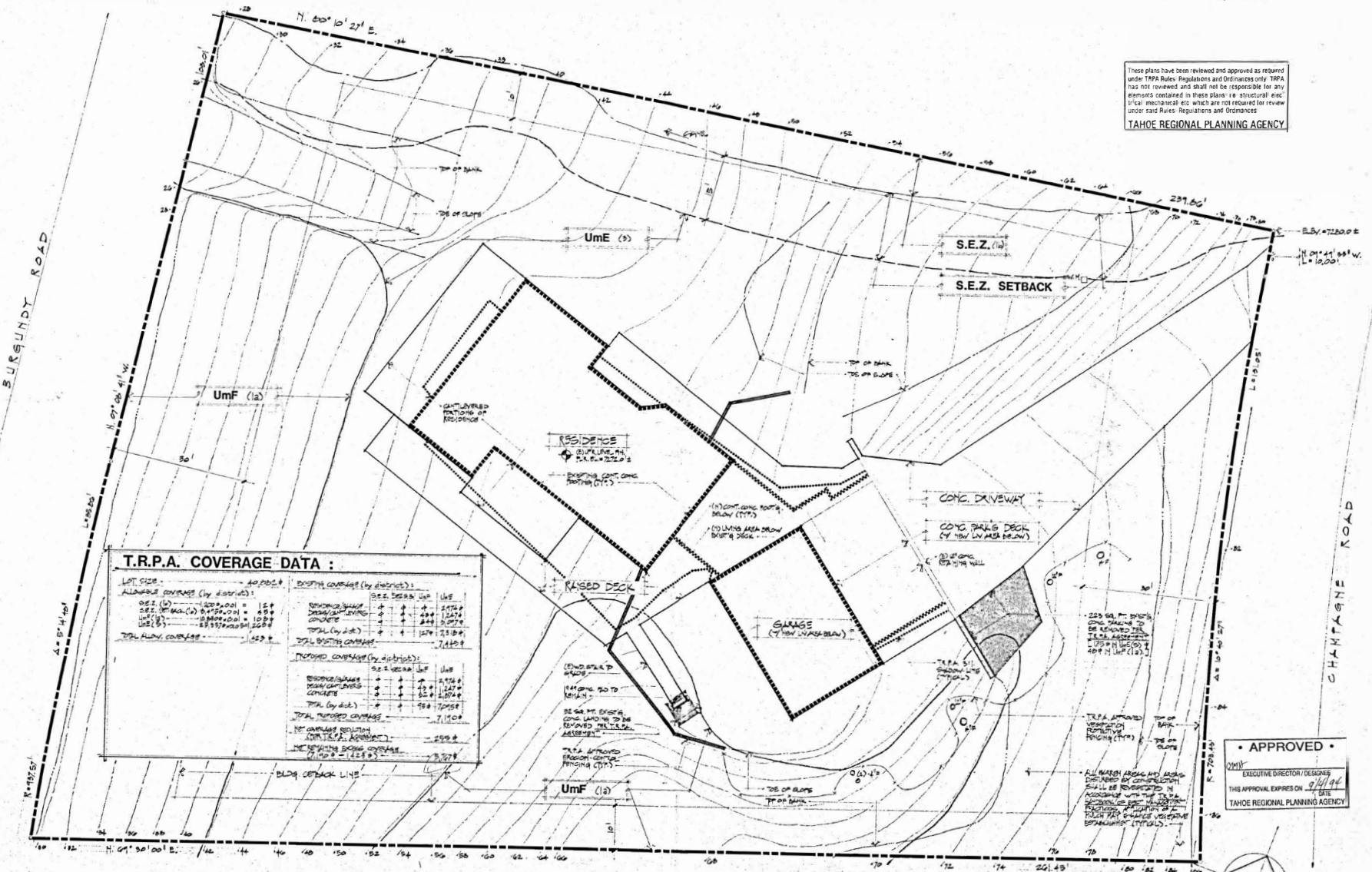
REVISIONS	BY

JAMES COS TALUPES
 GENERAL CONTRACTOR
 P. O. BOX 273 CRYSTAL BAY, NV. 89 402
 (702) 831-5827

SITE PLAN

PROPOSED MODIFICATION FOR:
DAVID COVERDALE
757 CHAMPAGNE ROAD
INCLINE VILLAGE, NEVADA

Date: MAY 1992
 Scale: 1/4" = 1'-0"
 Drawn: JLM
 Job #: 92-1101
 Sheet: 1
 Of 12 Sheets



T.R.P.A. COVERAGE DATA :

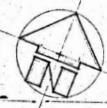
LOT SIZE		DISTRICT COVERAGE (by district):	
ALLOWABLE COVERAGE (by district):		SEE DESIGN USE	USE
S.E.Z. (1A) - 100% (0.01) = 15#		RESIDENCE	100%
S.E.Z. (1A) (1A) (1A) (1A) = 69#		DRIVEWAY	100%
UmF (1a) - 100% (0.01) = 10#		CONCRETE	100%
UmF (1a) - 100% (0.01) = 10#			
TOTAL ALLOW. COVERAGE = 45#		TOTAL (by dist.)	124#
		TOTAL PROPOSED COVERAGE	71#
		NET REMAINING COVERAGE	53#
		NET REMAINING COVERAGE	53#

APPROVED

EXECUTIVE DIRECTOR / DESIGNER
 THIS APPROVAL EXPIRES ON 07/1/94
 DATE
 TAHOE REGIONAL PLANNING AGENCY

SITE PLAN

L. N. 126-202-10
 LOT 20, BLOCK 10, CANTON ACRES #1
 INCLINE VILLAGE, WARDEN CO., NEVADA



849 Lakeshore

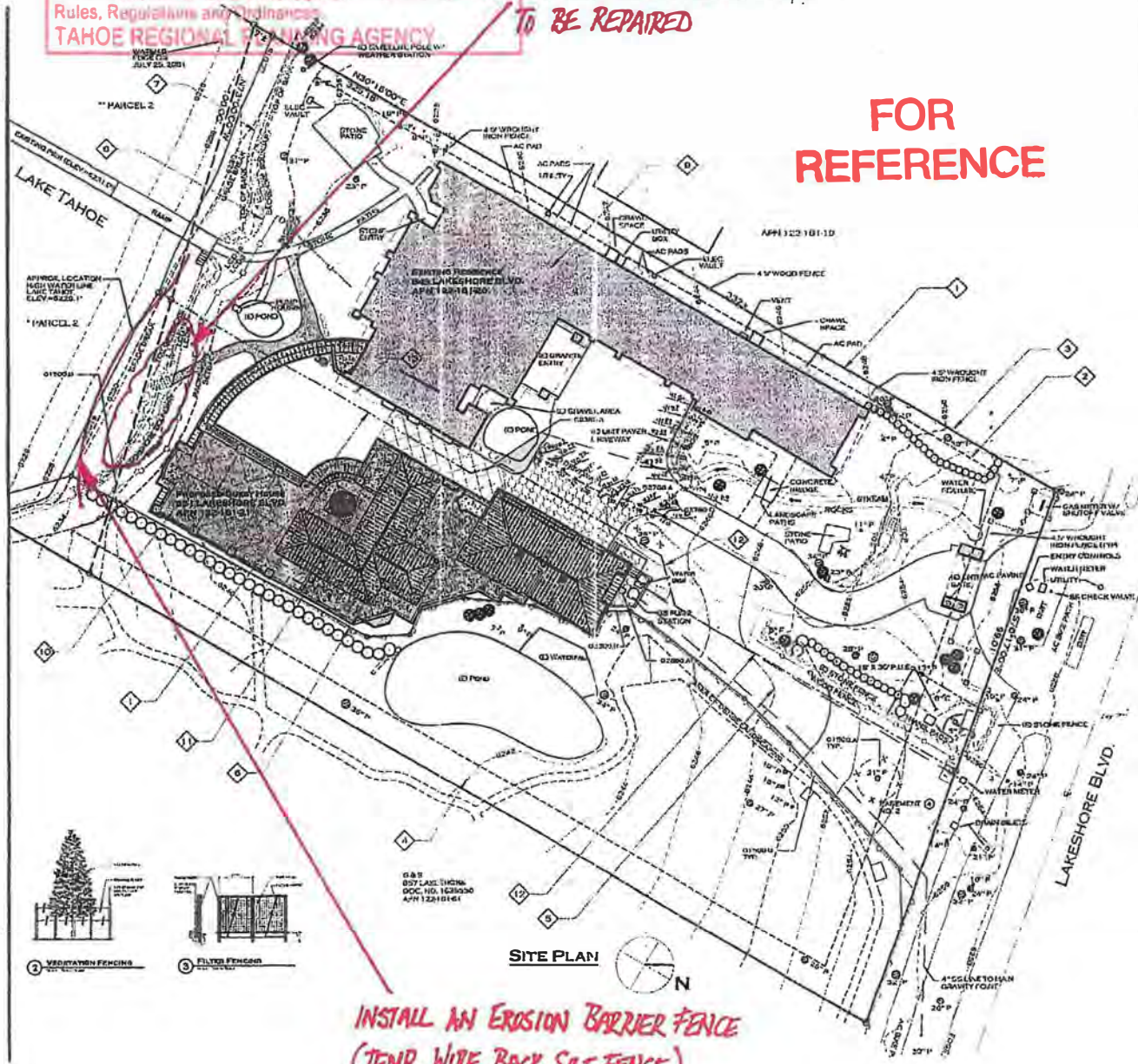


BY: Good DATE: 5/11/18

These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

EXISTING ROCK SLOPE/WALL/STEEL TO BE REPAIRED

FOR REFERENCE



INSTALL AN EROSION BARRIER FENCE (TEMP. WIRE BACK SILT FENCE)

MATERIAL KEYNOTES

- 01500A VEGATION FENCE
- 01500B FILTER FENCE
- 02000H 2% SLOPE PIERCE (MAINTAIN TYPICAL AT EASEMENT)
- 02000A AREA DRIVEN
- 02700A 1/2" NET PAVED, MATCH LUSTING
- 02700B 200# REINFORC. MATCHES 01500
- 09000A STONE FLOOR 1/2" GRANITE 10"x14"x10" 1/4"

REFERENCE NOTES

- 1 PROPERTY LINE
- 2 BUILDING OUTBACK LINE
- 3 PROJECT LIMITS
- 4 EXISTING CONTOUR LINE (DASHED)
- 5 NEW CONTOUR LINE (SOLID)
- 6 EASEMENT LINE
- 7 TOP OF SLOPE
- 8 TOE OF SLOPE
- 9 ADJACENT STRUCTURE
- 10 LIMITS OF FOUNDATION
- 11 LIMITS OF ROOF
- 12 PROPOSED PROPERTY LINE
- 13 LIMITS OF ROOF ABOVE

SITE PROTECTION NOTES

- A. PROPOSED INCLUDES EROSION CONTROL MANAGEMENT PRACTICES TO PREVENT VEGETATION PROTECTION FENCING, EROSION, FILTER FENCE, AND EROSION CONTROL MATS AND AS REQUIRED BY TRPA FIELD PRODUCTION.
- B. TRPA APPROVED FABRIC FIVE FILTER FENCING 18x24x18 HURDLES.
- C. THE CONTRACTOR SHALL COVER WORK MATERIALS TO PREVENT EROSION AND DAMAGE AND SHALL USE ALL MEANS NECESSARY TO PROTECT THE EROSION CONTROL MATS FROM DAMAGE DURING CONSTRUCTION.
- D. ALL BARRIERS AND EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN EFFECTIVE PROTECTION.
- E. THE EROSION CONTROL MATS SHALL NOT BE REMOVED OR DESTROYED FOR THE PURPOSES OF "BENCH MARKS" AND SUCH REMOVAL OR DESTROYING SHALL CONSTITUTE A VIOLATION OF PROJECT APPROVAL.

SITE NOTES

- A. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING SITE WORK.
- B. VERIFY UNDERGROUND UTILITY LINES AND STRUCTURES IN ACCORDANCE WITH THE REGULATIONS OF THE SOURCE PROVIDER.
- C. ELEVATION MARKS INDICATE ELEVATION OF FRESH MATERIALS. VERIFY THE THICKNESS OF FRESH MATERIALS AND MAKE ANY NECESSARY ADJUSTMENTS AS APPROPRIATE.
- D. FRESH GRAVELS TO HAVE A POSITIVE SLOPE AWAY FROM DRIVE CURB FOR A MINIMUM OF 3 FEET.
- E. EARTHWORK CONTRACTOR SHALL PLACE ANY FILL OR EROSION CONTROL PROTECTION IMMEDIATELY UPON THE COURSE OF HIS WORK.
- F. ALL SLOPES GREATER THAN 4:1 TO BE PROTECTED WITH EROSION CONTROL MATS PER THE REGULATIONS OF THE SOURCE PROVIDER.
- G. SURVEY DATA TAKEN FROM TOPOGRAPHIC SURVEY CONDUCTED FOR THE PROJECT IN 1988. THE SURVEY DATA IS JULY 2001.



TEL: 775.831.7188
FAX: 775.831.7181
www.smithdesigngroup.com



PROPOSED GUEST HOUSE FOR:
LAKESHORE INVESTMENTS III
849/851 LAKESHORE BOULEVARD
INCLINE VILLAGE, NEVADA 89451

REVISIONS:

DATE OF ISSUE: 05 SEPT 2002
ISSUED FOR: CONTRACTOR
DRAWN BY: JND
CHECKED BY:
SCALE: 1/16" = 1'-0"
PROJECT NO.: 011000

SHEET CONTENTS

SITE PLAN

SHEET NUMBER

A1.2

RECEIVED
SEP 11 2002
C&D CONSTRUCTION

915 Lakeshore

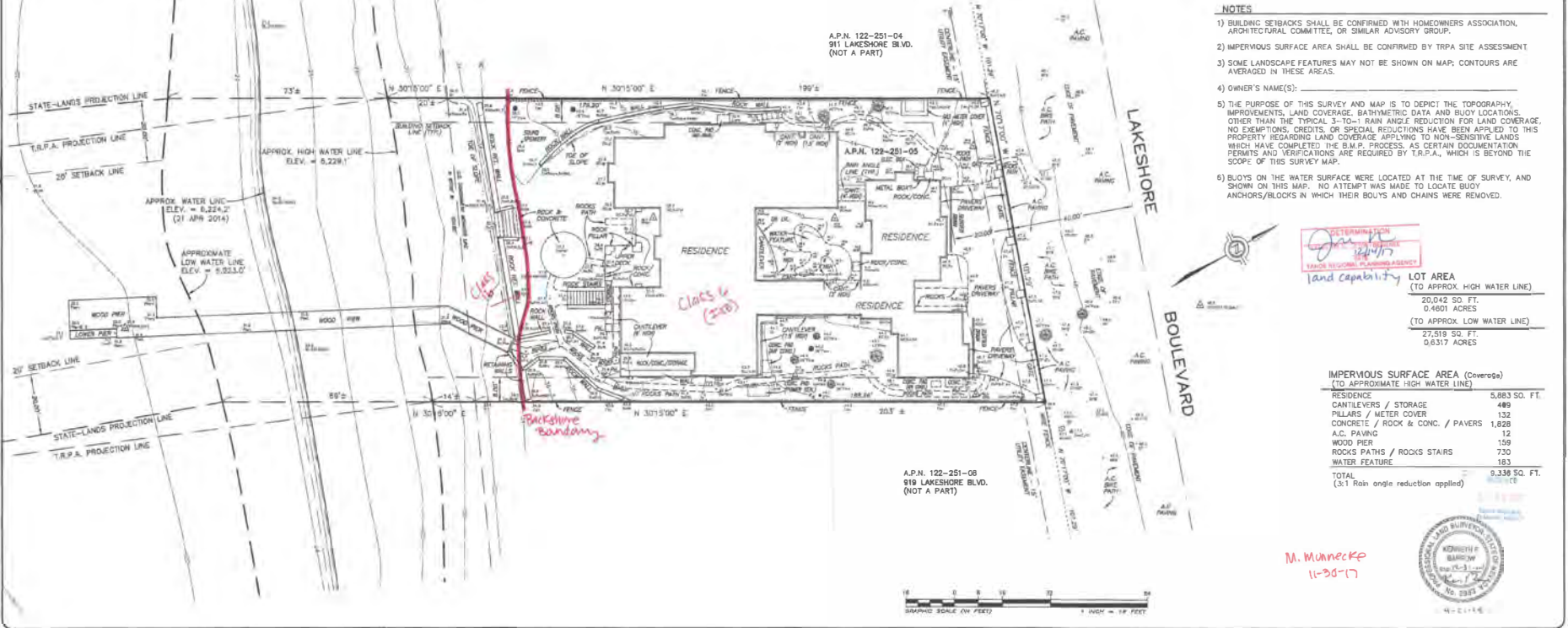
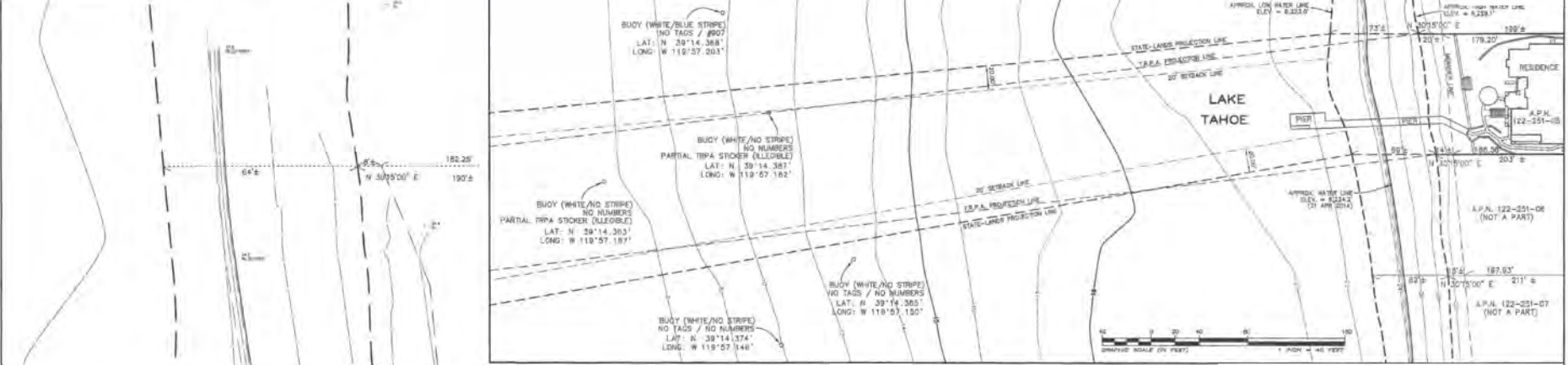


SYMBOL LEGEND

	Survey Control Point
	Contour
	Pointed Monument as noted
	Iron Pin (in brackets) & Sprink (Pins/Pipe/Culvert)
	Arrow Utility Pole
	Utility Line/Mark, as noted

DISCLAIMER
 THIS DRAWING WAS PREPARED EXCLUSIVELY FOR EMBROIDERED SHIRTS AND ACCURATELY REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE MATTERS COVERED HEREIN AS OF THE DATE STATED HEREON. THIS DRAWING MAY NOT BE RELIED UPON BY ANY OTHER PERSON OR ENTITY FOR ANY PURPOSE WHATSOEVER.

Ken F. Barrow
 KENNETH F. BARROW
 LAND SURVEYOR



- NOTES**
- BUILDING SETBACKS SHALL BE CONFIRMED WITH HOMEOWNERS ASSOCIATION, ARCHITECTURAL COMMITTEE, OR SIMILAR ADVISORY GROUP.
 - IMPERVIOUS SURFACE AREA SHALL BE CONFIRMED BY TRPA SITE ASSESSMENT
 - SOME LANDSCAPE FEATURES MAY NOT BE SHOWN ON MAP; CONTOURS ARE AVERAGED IN THESE AREAS.
 - OWNER'S NAME(S):
 - THE PURPOSE OF THIS SURVEY AND MAP IS TO DEPICT THE TOPOGRAPHY, IMPROVEMENTS, LAND COVERAGE, BATHYMETRIC DATA AND BUOY LOCATIONS, OTHER THAN THE TYPICAL 3-TO-1 RAIN ANGLE REDUCTION FOR LAND COVERAGE, NO EXEMPTIONS, CREDITS, OR SPECIAL REDUCTIONS HAVE BEEN APPLIED TO THIS PROPERTY REGARDING LAND COVERAGE APPLYING TO NON-SENSITIVE LANDS WHICH HAVE COMPLETED THE B.M.P. PROCESS, AS CERTAIN DOCUMENTATION PERMITS AND VERIFICATIONS ARE REQUIRED BY T.R.P.A., WHICH IS BEYOND THE SCOPE OF THIS SURVEY MAP.
 - BUOYS ON THE WATER SURFACE WERE LOCATED AT THE TIME OF SURVEY, AND SHOWN ON THIS MAP. NO ATTEMPT WAS MADE TO LOCATE BUOY ANCHORS/BLOCKS IN WHICH THEIR BUOYS AND CHAINS WERE REMOVED.

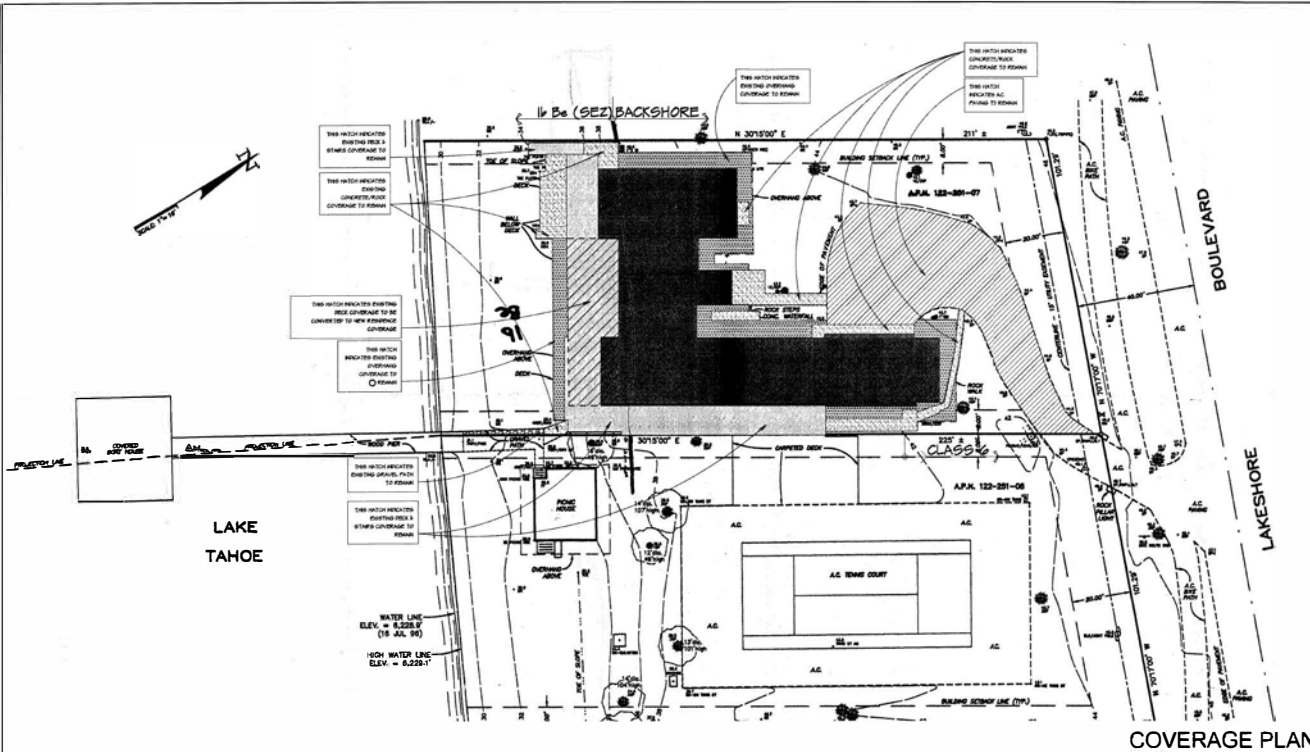
KENNETH F. BARROW P.L.S.
 LAND SURVEYOR
 P.O. DRAWER 7000 INCLINE VILLAGE NEVADA 89391
 775 - 831 - 1701 FAX 775 - 831 - 1786

AS-BUILT TOPOGRAPHIC (BATHYMETRIC) SURVEY
 A PORTION OF THE NW 1/4 OF SECTION 22, T. 16 N., R. 18 E., M.O.B. # W.
 INCLINE VILLAGE, WASHINGTON COUNTY, NEVADA
 APN. 122-251-05
 919 LAKESHORE BOULEVARD

SCALE AS NOTED
 DATE 21 APR 2014
 DRAWN BY RBL
 APPROVED KFB
 REVISED
 JOB NO. 011-14

923 Lakeshore





COVERAGE PLAN

COVERAGE INFORMATION		
LOT AREA (TO HIGH WATER LINE) 3778 SQ. FT. 0.0864 ACRES	BASE ALLOWABLE COVERAGE APN: 122-251-02 CLASS 6 CLASS 8	TOTAL COVERAGE: 11,623 IF THE EXISTING COVERAGE IS QUANTIFIED IN AND DOES NOT COMPLY WITH THE BASE ALLOWABLE COVERAGE RELATED ABOVE
TRPA VERIFIED EXISTING COVERAGE IMPERVIOUS SURFACE AREA 12.8 (BACKSHORE)	TRPA VERIFIED EXISTING COVERAGE IMPERVIOUS SURFACE AREA (CLASS 6)	
RESIDENCE 964.8 SQ. FT. DRIVE/STAIRS 1244.0 SQ. FT. CONCRETE/BLOCK 566.0 SQ. FT. A.C. PAVING 0.0 SQ. FT. DRIVEWAYS 17.0 SQ. FT. GRAVEL/BLACK PATH 44.0 SQ. FT. TOTAL 2495.8 SQ. FT.	RESIDENCE 4288.0 SQ. FT. DRIVE/STAIRS 468.0 SQ. FT. CONCRETE/BLOCK 646.0 SQ. FT. A.C. PAVING 2823.0 SQ. FT. DRIVEWAYS 197.0 SQ. FT. GRAVEL/BLACK PATH 2.0 SQ. FT. TOTAL 9165.0 SQ. FT.	
NOTES: THERE IS NO NEW PROPOSED COVERAGE.	NOTES: THERE IS NO NEW PROPOSED COVERAGE.	

FERTILIZATION MANAGEMENT PLAN

Procedures for initial implementation of landscape irrigation establishment of seeded and sodded areas shall be completed in accordance with specifications which are in accordance with TRPA SPP 4.5. The initial site-specific recommendations:

Commercial Fertilizer: Fertilizer shall be furnished by a commercial fertilizer supplier. Top dress final surface fertilizer shall be measured and applied according to (0.25-1) Freshly placed fertilizer shall be Comstock (07-7-12) or AgriLime (13-13-13) Fertilizer.

When placing trees and sods, evenly distribute trees and sods fertilizer bands in place prior to final cover of Comstock or AgriLime fertilizer per plan. The use of sods is not recommended.

Shaded areas shall be fertilized one month after installation with top dress fertilizer at the rate of three pounds per 1000 sq. feet. Broadly after fertilizer application, water very thoroughly to avoid burning foliage and to allow fertilizer into the root zone.

Areas to be sodded in the fall shall receive one application of five pounds fertilizer applied at a rate of 250 pounds per acre.

Areas to be sodded in the spring/fall shall receive one application of five pounds fertilizer applied at a rate of 250 pounds per acre.

Areas to be sodded shall be watered to the depth of 2.4 inches using a sprinkler system attached to the side of a building or a sprinkler-fertilizer system.

TRPA SPECIAL CONDITIONS & DETAILS

Provide a 3" layer of gravel (per 3/16" diameter) beneath all road decks and sidewalks.

A minimum drainage slope of 1/8" per foot toward a collection trench shall be a minimum of 10' wide and 8" deep filled with 3/4" drainage. See details and plan notes.

Structural stabilization of the driveway fill slope in accordance with the TRPA handbook of Best Management Practices (BMP).

All barren areas and areas disturbed by construction shall be revegetated in accordance with the TRPA handbook for Best Management Practices. Application of a mulch may enhance vegetation establishment.

A. Color: The color of the driveway, including any finishes at the property, shall be consistent with the surrounding. Distinct colors in the driveway and concrete curbs shall be used for the purpose of color that blend rather than contrast with the existing vegetation and earth tones. Earth-tone colors are considered to be shades of reddish brown, tan, beige, white and grey.

B. Rains: Rains shall be composed of recycled water or water from a source that is not contaminated.

C. Pavers: Weather forms shall be used whenever possible. If a system formwork is used, it shall be sealed with a form or black poly, making formwork panels on the ground. Rains, using mechanical equipment and supports, shall be constructed of non-porous finishes that prevent reflectivity. Construction equipment shall be limited to the location of the project. The slope of all BMPs as shown on the construction plan shall be maintained as the basis of the TRPA pre-approval. Any required modifications as required by TRPA shall be incorporated into the project permit plan.

The perimeter shall not encroach any fronted floor which is less than four feet from the ground surface at the bottom corner of the structure and not encroach and any modifications of the structure shall conform to TRPA height restrictions.

ADDITIONAL TRPA NOTES

THE OFFICIAL LOCATION FOR CUT MATERIALS WILL BE AT CARSON CITY DISPOSAL. ALL EXPOSED METAL ROOFING MATERIALS INCLUDING FLASHING AND CHIMNEY CAPS SHALL BE PAINTED OR PROTECTED TO PREVENT WEATHERING. NATIVE VEGETATION APPROPRIATE TO THE BACKSHORE SHALL NOT BE REMOVED OR DAMAGED. ALL EXISTING TREES NOT WANTED FOR REMOVAL ON THE SITE PLAN SHALL BE PRESERVED. THESE TREES PROVIDE SCREENING OF THE PROPOSED RESIDENCE FROM THE WATERS OF LAKE TAHOE AND ARE CONSIDERED SIGNIFICANT HABITAT. THESE TREES MAY NOT BE REMOVED OR TRIMMED FOR VIEW ENHANCEMENT. IF ANY OF THESE TREES ARE REMOVED FOR ANY REASON, THE REMOVED TREES SHALL BE REPLACED WITH THREE CONIFERS AT LEAST 1/2" IN HEIGHT AND 1/2" DIA.

NOTE: ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LISTING WITH FIVE LAKE TAHOE SOILS (SECOND EDITION).

NOTE: BEST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST SPREADS SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 50 FEET OF STRUCTURES.

NOTE: STRAW BALES ARE NO LONGER ACCEPTABLE FOR TEMPORARY EROSION CONTROL, OR HATCH MATERIAL IN THE LAKE TAHOE BASIN. THE USE OF STRAW BALE CONTROLS TO PREVENT EROSION CONTROL PURPOSES IS PROHIBITED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING MONUMENTS OR OTHER SURVEY MARKERS. ALL RECH MARKERS OR MONUMENTS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

IF THE CONTRACTOR'S RESPONSIBILITY IS NOT TO PROTECT, THE ARCHITECT IMMEDIATELY UPON ANY EXISTING CONDITION THAT WILL REFLECT CHANGES FROM THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR SHALL CALL THE ARCHITECT 24 HOURS PRIOR TO PLACING CONCRETE IN FOOTING FOR STEEL INSPECTION.

THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS SPECIFICATIONS.

THE CONTRACTOR IS TO SUBMIT SAMPLES FOR APPROVAL AND NOTIFY THE ARCHITECT AND INTERIOR DESIGNER PRIOR TO PLACING AND INSTALLATION OF ALL LIGHTING FIXTURES, INTERIOR FINISHES, CABSINETS, ETC.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, OMISSIONS, DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER ACCIDENTAL OR INTENTIONAL.

GENERAL NOTES

1) THE CONTRACTOR AGREES THAT HE SHALL ASSUME 90% OF COMPLETE RESPONSIBILITY DURING THE COURSE OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS. THE CONTRACTOR SHALL OBTAIN PERMITS AND HOLD THE OWNER, ARCHITECT, AND ENGINEER HARMLESS FROM ANY LIABILITY, LOSS OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, OR ENGINEER.

2) ALL ELEVATIONS ARE BASED ON THE DATA. THE CONTRACTOR, OWNER, ENGINEER, AND ARCHITECT TO REVIEW FINISHING BUILDING ELEVATIONS AND GRADING PRIOR TO START OF CONSTRUCTION.

3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING TEMPORARY DRAINAGE FACILITIES DURING THE RAINY SEASON OPERATION AND PROTECT ALL GRADED AREAS FROM WASHING. THE CONTRACTOR SHALL REPAIR ANY AREAS OF EROSION PRIOR TO ACCEPTANCE OF GRADES.

4) THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITY LINES OR OTHER UNDERGROUND UTILITIES AT PROPOSED CROSSINGS OR CONNECTION POINTS TO VERIFY LOCATION AND ELEVATION. EACH FILL SHALL BE INCLUDED IN THE PRICE FOR VARIOUS ITEMS OF WORK.

5) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING MONUMENTS OR OTHER SURVEY MARKERS. ALL RECH MARKERS OR MONUMENTS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6) IF THE CONTRACTOR'S RESPONSIBILITY IS NOT TO PROTECT, THE ARCHITECT IMMEDIATELY UPON ANY EXISTING CONDITION THAT WILL REFLECT CHANGES FROM THE CONSTRUCTION DOCUMENTS.

7) THE CONTRACTOR SHALL CALL THE ARCHITECT 24 HOURS PRIOR TO PLACING CONCRETE IN FOOTING FOR STEEL INSPECTION.

8) THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS SPECIFICATIONS.

9) THE CONTRACTOR IS TO SUBMIT SAMPLES FOR APPROVAL AND NOTIFY THE ARCHITECT AND INTERIOR DESIGNER PRIOR TO PLACING AND INSTALLATION OF ALL LIGHTING FIXTURES, INTERIOR FINISHES, CABSINETS, ETC.

10) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, OMISSIONS, DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER ACCIDENTAL OR INTENTIONAL.

GENERAL NOTES

1) TEMPORARY UTILITIES AND SERVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. THESE UTILITIES AND SERVICES SHALL NOT UNNECESSARILY IMPROVE UPON THE AREAS NATURAL ELEMENTS SUCH AS TREES, ROCKS, SHRUBS, ETC. TEMPORARY HOURLS SUCH AS SIGNLIGHTS AND POWER SHALL HAVE THEIR OWN TEMPORARY POLES AND SHALL NOT UTILIZE TREES OR OTHER NATURAL ELEMENTS FOR THAT PURPOSE.

2) REMOVAL OF TEMPORARY FACILITIES SHALL OCCUR AS PERMITS OF WORK PERMITS AND NOT LATER THAN THE COMPLETION OF WORK.

3) ADEQUATE MEASURES SHALL BE TAKEN TO PROTECT AREAS OUTSIDE THE IMMEDIATE CONSTRUCTION ZONE AND SHALL BE STRICTLY OBSERVED. A WHERE A TREE IS EXISTING WITHIN THE CONSTRUCTION AREA, THE VEGETATION PROTECTIVE FENCING MUST BE PLACED BEYOND THE PERIMETER OF THE OUTERMOST BRANCHES OR, IN LIMITED INSTANCES AT THE VIT OF THE RESIDENTIAL FOUNDATION. NO EQUIPMENT, PERSONNEL, OR DISTURBANCE IS ALLOWED WITHIN THE VEGETATION FENCING.

4) ADJACENT PROPERTY SHALL BE PROTECTED AND ADEQUATELY PROTECTED IF IT SHOULD BECOME NECESSARY TO USE THE ADJACENT PROPERTY FOR ANY REASON, THE REASON SHALL BE SPECIFIED AND WRITTEN PERMISSION SHALL BE OBTAINED FROM THE RESPECTIVE OWNER(S).

5) ANY AREAS AFFECTED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.

6) ANY MATERIAL FROM CLEANING AND BROADCASTING WHICH IS UNSUITABLE FOR FILL OR LANDSCAPING SHALL BE REMOVED FROM THE SITE.

7) BACK FILLING OF TRENCHES, FOUNDATION, AND OTHER EXCAVATION SHALL BE DONE IN SUCH A MANNER AS TO NOT DISRUPT NATURAL SITE CONDITIONS, DRAINAGE, GROUND COVER, ETC.

8) THE CONTRACTOR IS PERMITTED ONE HIGH STAFFING HO PER HOUR AND SUBCONTRACTORS.

9) COMPLETE CLEAN UP OF THE CONSTRUCTION SITE AND ALL ATTRICED AREAS OUTSIDE THE CONSTRUCTION SITE SHALL BE AN INTRINSIC PART OF THE WORK. NO TRUCK SHALL BE ALLOWED TO ACCUMULATE DURING CONSTRUCTION AND SHALL BE REMOVED AT LEAST ON A DAILY BASIS.

10) VERIFY OWNER ALL ITEMS TO BE REMOVED, RE-USED, OR STORED.

11) REFER TO ENLARGED SITE PLAN, FLOOR PLANS, ELEVATIONS, SECTIONS, DETAILS, & SCHEDULES TO COORDINATE EXISTING OF REMOVAL AND NEW WORK.

12) CONSULT OWNER OR ARCHITECT FOR DESIGN OF ALL NEW SITE WALLS & FENCING.

THESE DRAWINGS HAVE BEEN PREPARED BY DALE COX ARCHITECTS

THIS SET MAY BE USED FOR OTHER PROJECTS, UNDER LICENSE OR BY OTHER CONTRACTORS, WITHOUT THE WRITTEN PERMISSION OF DALE COX ARCHITECTS.

REVISIONS

923 Lakeshore Blvd

RECEIVED
JUL 1 1 2019
PLANNING AGENCY

DALE COX ARCHITECTS
ARCHITECTURE, PLANNING, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE
150 Lakeshore Blvd., Westlake, CA 91391
Phone: (818) 351-1111 Fax: (818) 351-1111

881 Lakeshore

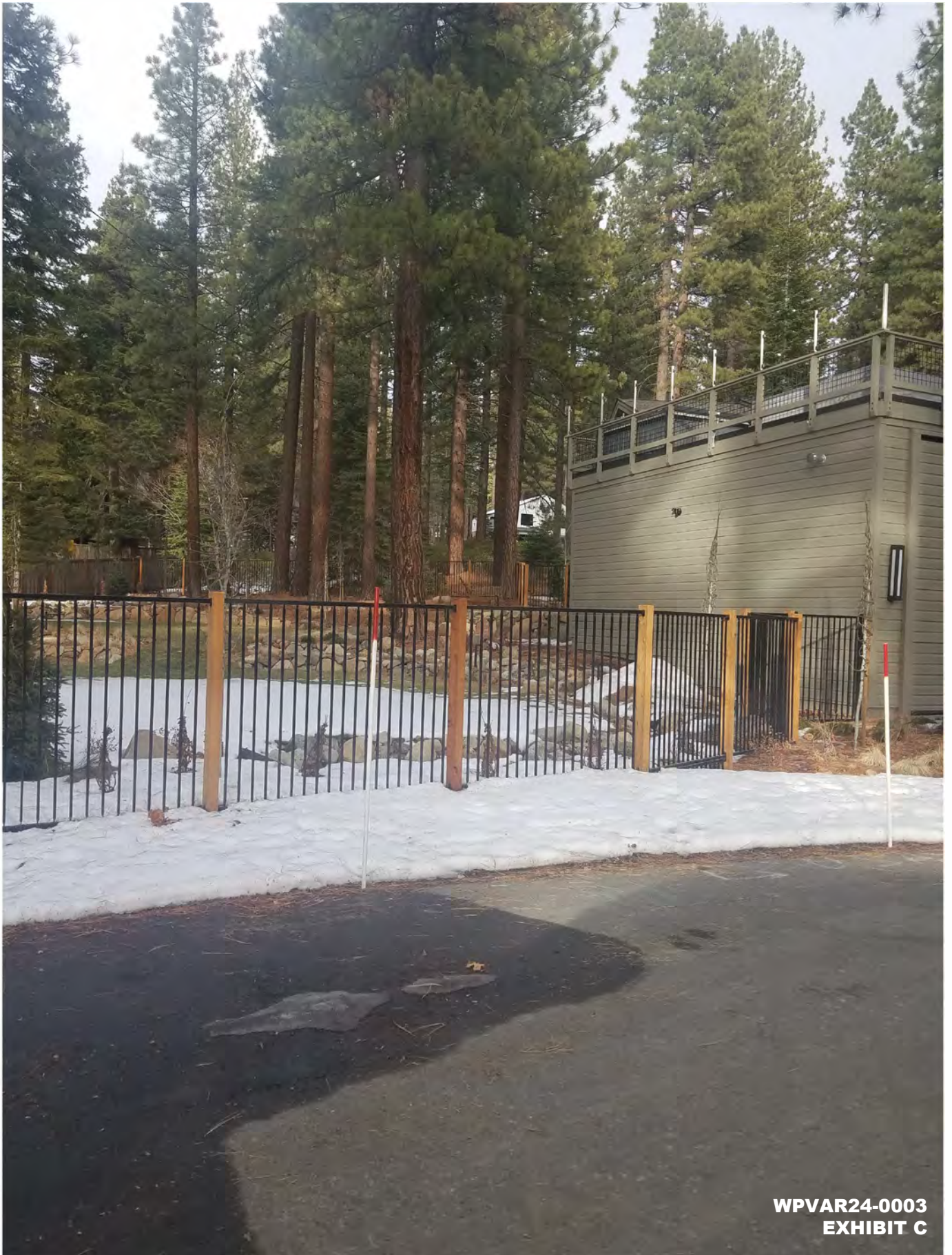


395 Mountain Lake



WPVAR24-0003
EXHIBIT C

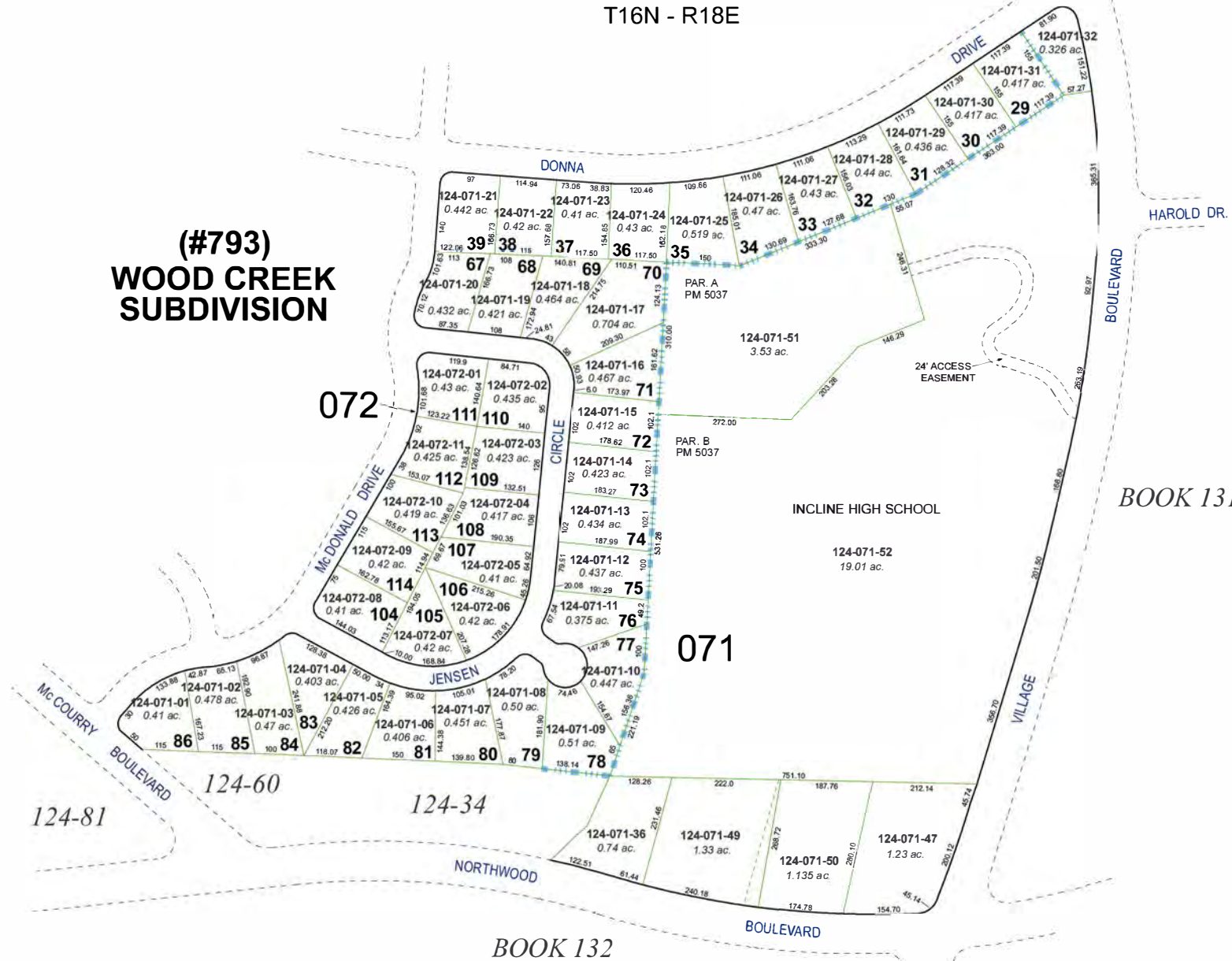
906 Ace



WPVAR24-0003
EXHIBIT C

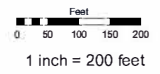
PORTIONS OF NW ¼ SEC. 15 & NE ¼ SEC. 16
T16N - R18E

(#793)
WOOD CREEK
SUBDIVISION



Assessor's Map Number
124-07

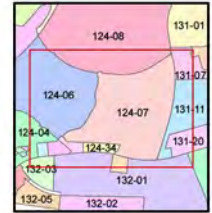
STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
Joshua G. Wilson, Assessor
1001 East Ninth Street
Building D
Reno, Nevada 89512
(775) 328-2231



1 inch = 200 feet



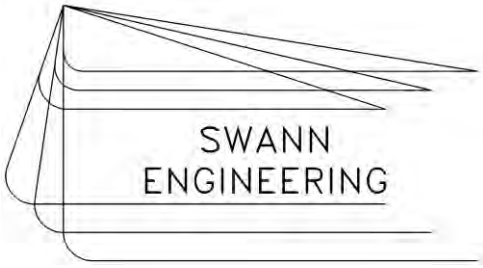
BOOK 131



created by: KSB 10/04/10
last updated: _____
area previously shown on map(s) _____

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.

BOOK 132



January 20, 2021
Washoe County Bldg. Dept.
Reno, Nevada

Gentlemen: Re: Marelich Residence
 511 Jensen
 Incline Village, NV

The following is in responses to the Plan View Corrections dated January 5, 2021. Please note the item numbers below correlate to the numbers on the corrections.

RES Check:

Item 1: Modified to the 2018 IECC and signed RES Check.

Structural Calculations:

Item 2: Expiration date added.

Item 3: Modified to 1,500 psf.

Site Plan:

Item 4: Schematic added to plans.

Item 5: Added manufacturer's sheet to plan package.

Floor Plan:

Item 6: Added note to windows as requested.

Item 7: Note added for Velux skylights.

Item 8: Added dimensions to plans noting height of deck at open areas.

Item 9: Added dimensions to plans noting ceiling height minimum, Sheet S2, Dormer Section.

Item 10: Added receptacle, Sheet 2.

Elevation:

Item 11: Added labels as requested (See Sheet S3, detail for wall construction).

Washoe County
January 20, 2021
Page Two

Fire Review:

- Item 1: Added to plans.
- Item 2: Added to plans.
- Item 3: Added to plans.
- Item 4: Not applicable. Deck does not attach to side of house.
- Item 5: Added to package.
- Item 6: Clarified dimensions.
- Item 7: Added switch.
- Item 8: Paragraph added to plans, Sheet 1.

GID Review:

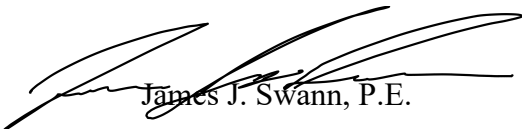
- Item 1: Added supply line to plans.
- Item 2: Added to plans.
- Item 3: Note added to plans requiring air test.

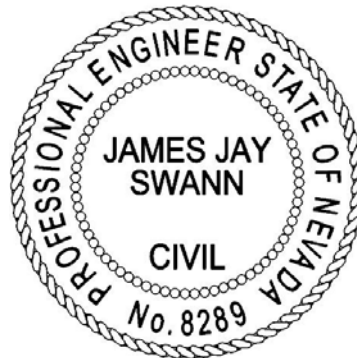
Planning Review:

- Item 1: Added to survey.
- Item 2: Noted on plans.
- Item 3: Added to survey.

If you have any further questions or need additional information, please give me a call.

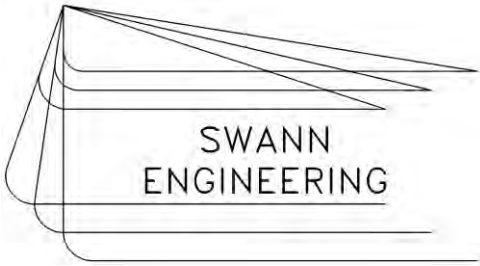
Sincerely,


James J. Swann, P.E.



Exp. 6/2022

P.O. Box 2078, Portola, CA 96122 (775) 831-9595 cell



January 20, 2021

Tahoe Regional Planning Agency

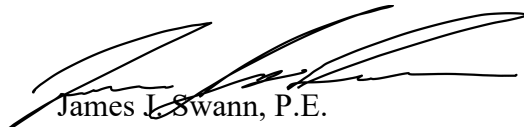
Gentlemen: Re: Marelich Residence
 511 Jensen
 Incline Village, NV

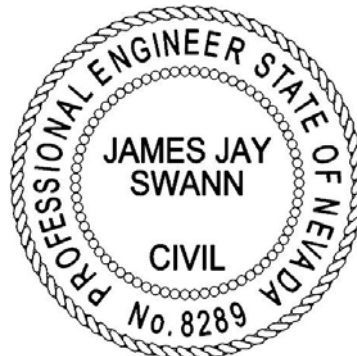
The following is in responses to the TRPA required revisions. Please note the item numbers below correlate to the numbers on the revisions.

- Item 1: Added.
- Item 2: Table revised.
- Item 3: Samples provided by owner.
- Item 4: Notes added to plans.
- Item 5: Provided by others.
- Item 6: Revised.
- Item 7: Modified plans.
- Item 8: By others.

If you have any further questions or need additional information, please give me a call.

Sincerely,


James J. Swann, P.E.



Exp. 6/2022

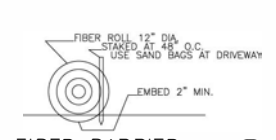
P.O. Box 2078, Portola, CA 96122 (775) 831-9595 cell

COVERAGE CALCULATIONS	
TRPA Project Data	
PROPERTY DESCRIPTION: APN 124-072-26 511 JENSEN CIRCLE INCLINE VILLAGE WASHOE COUNTY, NEVADA	
ALLOWABLE COVERAGE	
TOTAL AREA OF LOT 180	18,948 SQ. FT.
LAND CAPABILITY CLASS 6	30%
TOTAL ALLOWABLE COVERAGE	18,948 X 0.30 = 5,684 SQ. FT.
EXISTING COVERAGE	
EXISTING LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	2,825 SQ. FT.
ASPHALT DRIVEWAYS	1,929 SQ. FT.
SHED	123 SQ. FT.
CONCRETE PORCH	456 SQ. FT.
CONCRETE PATHS	222 SQ. FT.
RAILROAD TIE STEPS	198 SQ. FT.
TOTAL	5,610 SQ. FT.
OFF-SITE LAND COVERAGE	373 SQ. FT.
PER TOPO BY ARNETT & ASSOCIATES, INC DATED 4-2020	
PROPOSED COVERAGE	
PROPOSED LAND COVERAGE PER NEW SURVEY:	
RESIDENCE	3,463 SQ. FT.
ASPHALT DRIVEWAYS	1,554 SQ. FT.
CONCRETE PORCH	350 SQ. FT.
CONCRETE GARAGE	44 SQ. FT.
CONCRETE ENTRY	78 SQ. FT.
TOTAL	5,505 SQ. FT.
WOOD DECK PER EXEMPTION	361 SQ. FT.
OFF-SITE LAND COVERAGE	180 SQ. FT.

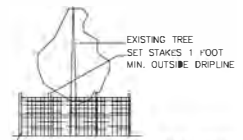
LAND COVERAGE INCENTIVE FOR RESIDENTIAL IMPROVEMENTS
RESIDENTIAL COVERAGE EXEMPTION CALCULATION WORKSHEET
CLASS 6 COVERAGE

STEP	DESCRIPTION	IS	VALUE
1	NON-SENSITIVE LAND 18,948 SQ. FT. AT 10%	IS	1,894 SQ. FT.
2	STEP 2 NONE PERMANENT STRUCTURES	IS	0 SQ. FT.
3	NON-SENSITIVE LAND 0 SQ. FT. AT 2%	IS	0 SQ. FT.
4	STEP 3 NEW PERVIOUS BECKS	IS	947 SQ. FT.
5	NON-SENSITIVE LAND 18,938 SQ. FT. AT 5%	IS	947 SQ. FT.
6	STEP 3B USING LESS THAN 500	IS	361 SQ. FT.
7	STEP 4 NOT USED	IS	0 SQ. FT.
8	STEP 5 TOTAL	IS	361 SQ. FT.
9	PROPOSED PERVIOUS COVERAGE EXEMPTION	IS	LESS THAN MAX.

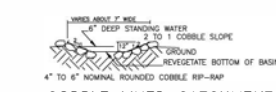
- SITE PROTECTION NOTES
1. PROVIDE REQUIRED TEMPORARY BEST MANAGEMENT PRACTICE (BMP'S) VEGETATION PROTECTION FENCING AND SOIL FILTER FENCE AS REQUIRED BY TRPA FIELD INSPECTOR.
 2. TRPA APPROVED FABRIC TYPE FILTER FENCING OR 12" DIAMETER FIBER ROLL MAY BE USED AS A SEDIMENT CONTROL MEASURE DURING CONSTRUCTION.
 3. THE CONTRACTOR SHALL CONTINUE WORK AND MATERIAL STORAGE TO AREA OF WORK AND SHALL USE ALL MEANS NECESSARY TO PROTECT TREES WITH 4" BRIGHTLY COLORED SYNTHETIC MESH FENCING AROUND THE CIRCUMFERENCE OF ALL TREES 4" OR GREATER AS WELL AS PROTECTING NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.
 4. ALL BARRIER AREAS SHALL BE REVEGETATED WITH NATIVE AND/OR ADAPTED PLANTS AND STABILIZED WITH 2" PINE NEEDLE MULCH IN ACCORDANCE WITH THE TRPA TIMBERDOR BEST MANAGEMENT PRACTICES.
 5. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY FILTER FENCING OR VEGETATION FENCING DAMAGED DURING THE COURSE OF WORK.
 6. TEMPORARY POWER POLE OR OTHER DEVICES MAY NOT BE ATTACHED TO TREES.
 7. ALL CONSTRUCTION SHALL BE ACCOMPLISHED IN STRICT COMPLIANCE WITH THE PLANS APPROVED BY TRPA.
 8. ALL MATERIALS OBTAINED FROM ANY EXCAVATION WORK THAT IS NOT CONFORMED WITH FOUNDATION RETAINING WALLS OR BY OTHER METHODS APPROVED BY TRPA SHALL BE REMOVED FROM THE SUBJECT PARCEL AND DISPOSED OF AT A SITE APPROVED BY TRPA.
 9. LOOSE SOIL MOUNDS OR SURFACES SHALL BE PROTECTED FROM WIND OR WATER EROSION BY BEING APPROPRIATELY COVERED WHEN CONSTRUCTION IS NOT IN ACTIVE PROCESS OR WHEN REQUIRED BY TRPA.
 10. EXCAVATION MATERIALS SHALL BE STORED UPSTREAM FROM THE EXCAVATED AREA TO THE EXTENT POSSIBLE.
 11. THE CONTRACTOR SHALL EXPOSE AND CHECK ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS BEFORE CONSTRUCTING INFILTRATION SYSTEMS.
 12. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPES AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITIONS AND AVOIDING ANY ABRUPT OR APPARENT CHANGES IN GRADE OR CROSS SECTION, LOW SPOTS OR HAZARDOUS CONDITIONS.



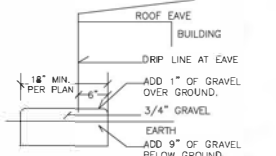
FIBER BARRIER (FB)
SCALE: NTS
FIBER BARRIER LOCATION



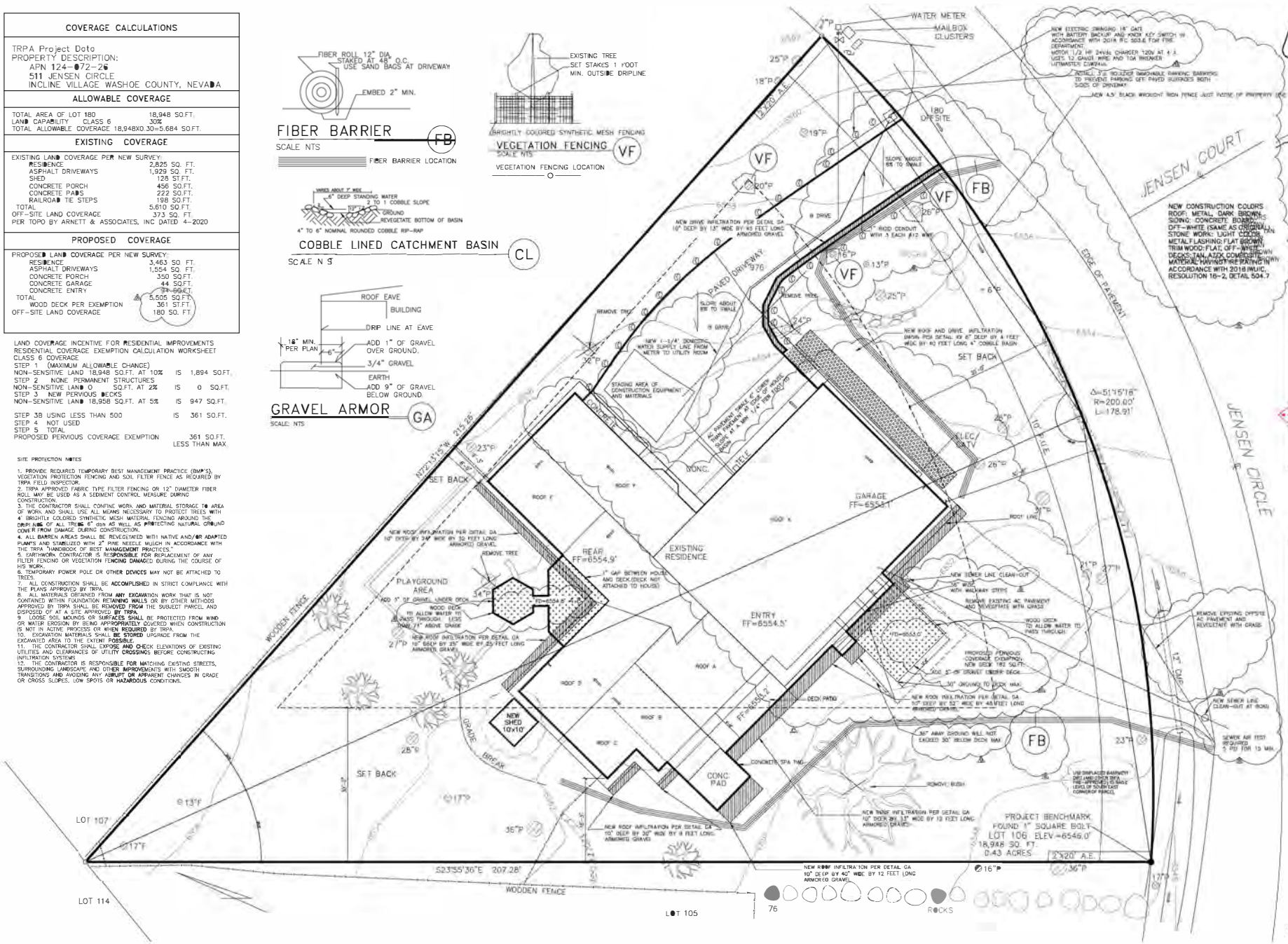
VEGETATION FENCING (VF)
SCALE: NTS
VEGETATION FENCING LOCATION



COBBLE LINED CATCHMENT BASIN (CL)
SCALE: N 5'



GRAVEL ARMOR (GA)
SCALE: NTS



SWANN ENGINEERING
JAMES J SWANN, P.E.
P.O. 2078 PORTOLA
CALIF. 96122
775-631-5595

PROFESSIONAL ENGINEER STATE OF NEVADA
JAMES J SWANN
No. 8288
CIVIL
Exp. 8/2022

PROJECT
PROPOSED PLANS FOR:
THE MARELICH RESIDENCE
Approved
10/06/2021

CONTENTS
PLACE
MARELICH RESIDENCE
511 JENSEN CIRCLE
INCLINE VILLAGE
WASHOE COUNTY, NEVADA
APN 124-072-06
OWNER:
MARK MARELICH
775-233-8818
PROPOSED
PLOT PLAN
CREATED
DRAWN BY: JJS
DATE: 9-10-2019
SCALE: 1/8" = 1'-0"
JOB NO: 2019-036

REVISIONS
REV # SEEK NOTE: 1-18-2021
REV # DATE AND DECK NOTE: 3-17-2021
REV # C ROOF CHANGE NOTE: 3-17-2021
SHEET
6

WASHOE COUNTY DEVELOPMENT APPLICATION

ACTION REQUESTED:

SHADED AREA FOR DEPARTMENT USE ONLY
CASE NUMBER(S) FEE

ABANDONMENT	
<input checked="" type="radio"/> ADMINISTRATIVE WAIVER	AW 10-78 - 91
CHANGE OF LAND USE DISTRICT	
DIVISION INTO LARGE PARCELS	
MAJOR PROJECT REVIEW	
PARCEL MAP	
SPECIAL USE PERMIT (BOA)	
SPECIAL USE PERMIT (M-E)(WCPC)	
TENTATIVE SUBDIVISION MAP	
VARIANCE	

SECTION 76 TOWNSHIP 16N RANGE 18E
 EXISTING ZONING: ET
 PROPOSED ZONING: _____
 EXISTING LAND USE: _____

TOTAL FEE 575
 RECEIVED BY ED
 DATE OF RECEIPT 9/13/91
 ACCEPTANCE DATE _____ INITIAL _____

PROJECT DESCRIPTION: WOOD FENCE
 PROJECT ADDRESS: 115 ABBEY PEAK ED HILL VILLAGE NV.
 PROPERTY SIZE: _____ ASSESSOR'S PARCEL NO(S). 122-212-09
(PLEASE ATTACH LEGAL DESCRIPTION)

PROPERTY OWNER:
 NAME: GIL NICKEL
 ADDRESS: BOX 327
OAKVILLE CA ZIP 94562
 PHONE: (707) 944-2861
 CONTACT PERSON: HUGH SCOTT

mail copy

PERSON/FIRM PREPARING PLANS:
 NAME: ISBELL CONTR.
 ADDRESS: _____
 _____ ZIP _____
 PHONE: _____
 CONTACT PERSON: _____

APPLICANT/DEVELOPER:
 NAME: ISBELL CONTR.
 ADDRESS: 961 MATHEW LN
RENO ZIP 89502
 PHONE: 786-8283
 CONTACT PERSON: STEVE ISBELL

OTHER PERSON TO BE CONTACTED:
 NAME: _____
 ADDRESS: _____
 _____ ZIP _____
 PHONE: _____

(OVER)

**SUPPLEMENTAL INFORMATION
ADMINISTRATIVE WAIVER**

General Location: INCLINE VILLAGE

Section(s) of ordinance to be varied: FENCE HEIGHT IN FRONT SETBACK

Proposed waiver: FENCE HEIGHT

Reason for request: CORNER LOT HAS 2 FRONT SETBACKS
DESIRE FOR BACKYARD PRIVACY

Identify the impacts or effects of the proposed administrative waiver on adjacent properties: NOTE

Identify those special conditions/circumstances which would render it a hardship for you to comply with the zoning requirements: CORNER LOT / 2 FRONT SETBACKS

Do these conditions/circumstances apply generally to other properties in your neighborhood? YES FOR OTHER CORNER LOTS

Are there any deed restrictions that condition or prevent the use of this property as requested? NO
If yes, attach a copy of the pertinent sections of the deed restrictions.

OWNER AFFIDAVIT

STATE OF NEVADA)
) ss:
COUNTY OF WASHOE)

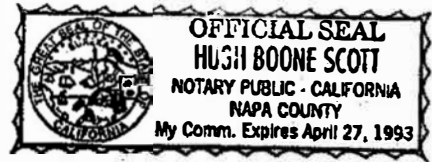
I, GIL NICKEL

being duly sworn, depose and say that I am an owner of property involved in this petition and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. Applicants are hereby advised that no assurance or guarantee can be given by members of the Department of Development Review staff.

Signed Gil Nickel

Subscribed and sworn to before me this 11 day of SEPTEMBER, 19 91

Hugh Boone Scott



Notary Public in and for said county and state

My commission expires: _____

WASHOE COUNTY
DEPARTMENT OF DEVELOPMENT REVIEW

1001 E. NINTH STREET
P.O. BOX 11130
RENO, NEVADA 89520
PHONE: (702) 328-3600
FAX: (702) 328-3648



WASHOE COUNTY

"To Protect and To Serve"



DEPARTMENT OF DEVELOPMENT REVIEW
Michael A. Harper, AICP, Director

1001 E. NINTH STREET
POST OFFICE BOX 11130
RENO, NEVADA 89520
PHONE: (702) 328-3600
FAX #: (702) 328-3648

ADMINISTRATIVE WAIVER

CASE NO.: AW10-78-91

DATE: October 1, 1991

APPLICANT: Isbell Contruction/Gil Hickel

REQUEST: To waive the maximum fence height per Washoe County Code, Land Use Ordinance, Article 5, Section 110.092, from 4 1/2 feet to 6 feet.

LOCATION: The parcel is located at 115 Abbey Peak Road, Incline Village, in a portion of Section 16, T16N, R18E, MDB&M.

AUTHORITY: Per Washoe County Code, Land Use Ordinance, Article 50, Section 110.210 (3), the zoning administrator has the authority to grant administrative waivers to waive the maximum fence height provided the request does not exceed 6 feet in height.

BACKGROUND: The applicant contacted the Washoe County Department of Development Review staff on September 13, 1991, via correspondence requesting an administrative waiver. The request was made for the purpose of constructing a fence of sufficient height to provide privacy on a corner lot.

ACTION: The zoning administrator grants the above request and issues an administrative waiver as described above.

FINDINGS: The above administrative waiver is based upon the following findings:

1. The request does not exceed the maximum 6 feet fence height; and
2. The request will not adversely affect adjacent properties.

WASHOE COUNTY DEPARTMENT
OF DEVELOPMENT REVIEW

By: Cheryl Arthur
Cheryl Arthur
Planning Technician

cc: Washoe County Board of Adjustment Members; County Engineering Division; County Building Division.

NOTE TO APPLICANT:

A copy of this letter must be attached to your plans when you apply for a building permit.