



# Board of Adjustment Staff Report

Meeting Date: April 4, 2024

Agenda Item: 8E

ADMINISTRATIVE PERMIT CASE NUMBER: WADMIN23-0015 (Johnson Garage)

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BRIEF SUMMARY OF REQUEST: To allow a detached accessory structure larger than the main residence

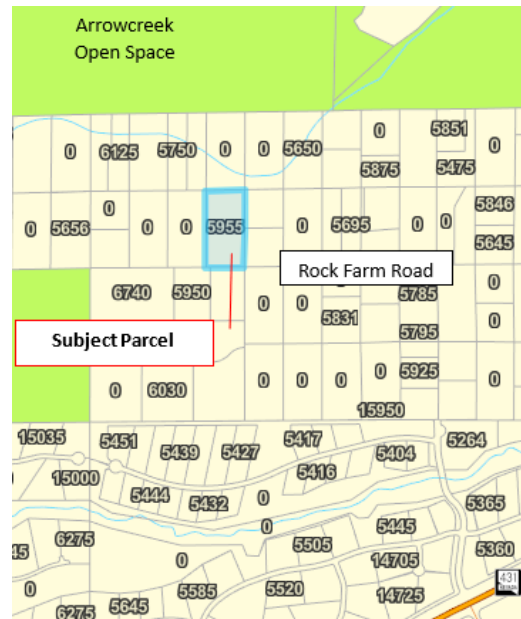
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STAFF PLANNER: Courtney Weiche, Senior Planner  
Phone Number: 775.328.3608  
E-mail: cweiche@washoecounty.gov

### CASE DESCRIPTION

For hearing, discussion, and possible action to approve a revised administrative permit application for a ± 6,900 sf detached accessory structure that is larger than the existing ± 2,644 sf main residence.

Applicant / Property Owner Kevin & Brittni Johnson  
 Location: 5955 Rock Farm Rd  
 APN: 150-260-19  
 Parcel Size: 5 acres  
 Master Plan: Rural Residential  
 Regulatory Zone: High Density Rural  
 Area Plan: Southwest Truckee Meadows  
 Development Code: Authorized in Article 808, Administrative Permits  
 Commission District: 2 – Commissioner Clark



Vicinity Map

### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN23-0015 for Kevin & Brittni Johnson, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

*(Motion with Findings on Page 8)*

**Staff Report Contents**

Administrative Permit Definition ..... 3

Site Plan ..... 4

Project Evaluation ..... 5

Grading Plan ..... 6

Reviewing Agencies ..... 7

Staff Comment on Required Findings ..... 7

Recommendation ..... 8

Motion ..... 8

Appeal Process ..... 8

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**Exhibits Contents**

Conditions of Approval ..... Exhibit A

Agency Comments ..... Exhibit B

Public Notice ..... Exhibit C

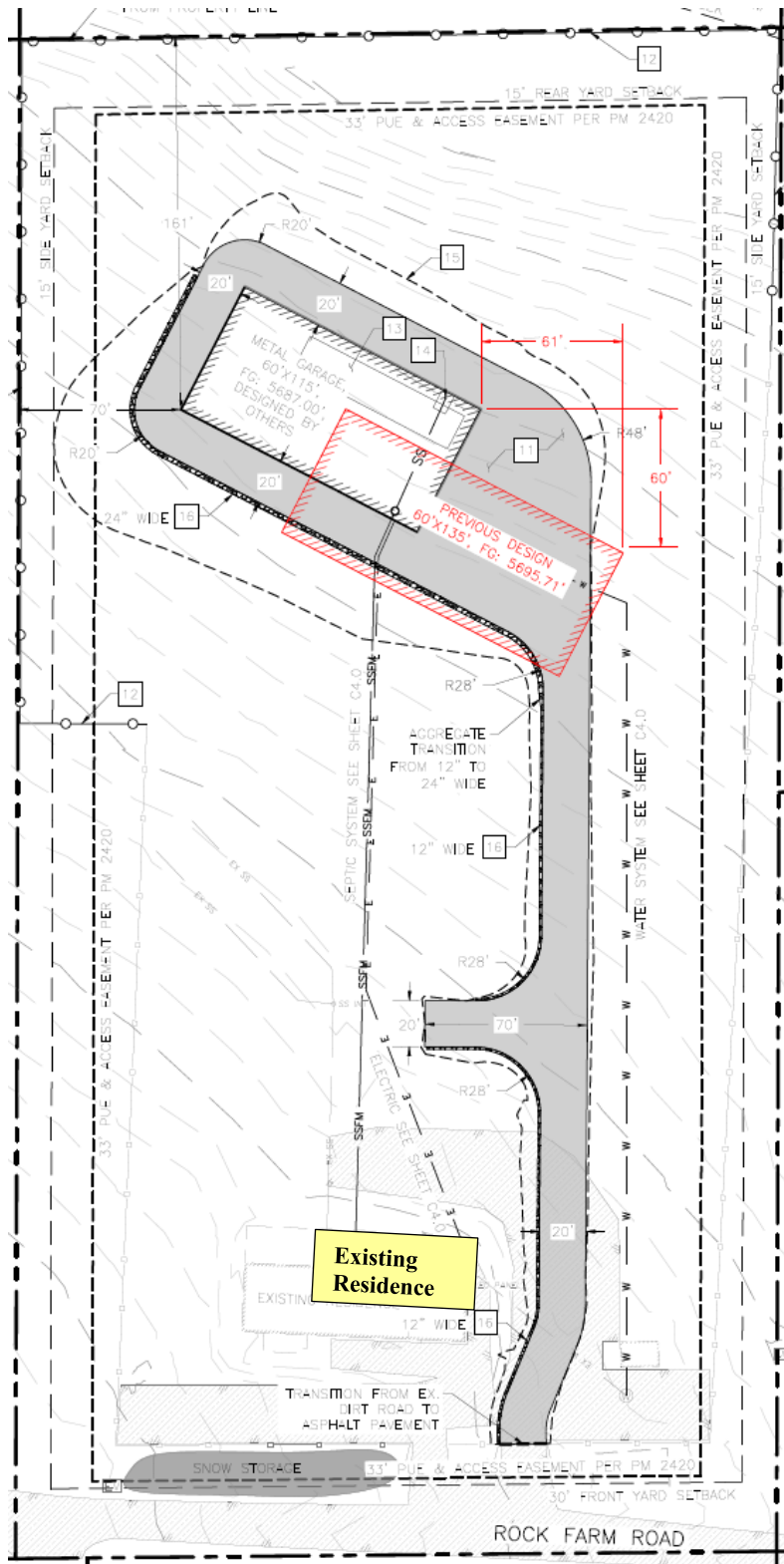
Project Application ..... Exhibit D

**Administrative Permit Definition**

The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN23-0015 is attached to this staff report and will be included with the action order.

The subject property is designated as High Density Rural (HDR) and is located in the Southwest Truckee Meadows Planning Area; detached accessory structures that are larger than the main dwelling are permissible in that area, subject to approval of an administrative permit.



**Revised Site Plan**

## **Background**

On November 2, 2023, the Board of Adjustment held a public hearing to consider an administrative permit to allow for an 8,100-sf accessory structure, larger than the existing main residence. In response to public comment regarding the size and location of the structure, the applicants voluntarily requested to continue the item to a future hearing date to work with neighboring property owners to address their concerns. As a result, the application has been revised to reduce the size from 8,100-sf to 6,900-sf and has been relocated to better blend in with the surrounding topography by moving it 61' to the west and 60' to the north, see above site plan.

## **Project Evaluation**

The applicant is requesting an administrative permit for a 6,900-sf accessory structure, larger than the existing 2,644 sf main residence on a 5-acre parcel. An administrative permit is required, per Washoe County Code 110.306.10(d), for accessory structures that are larger than the main residence.

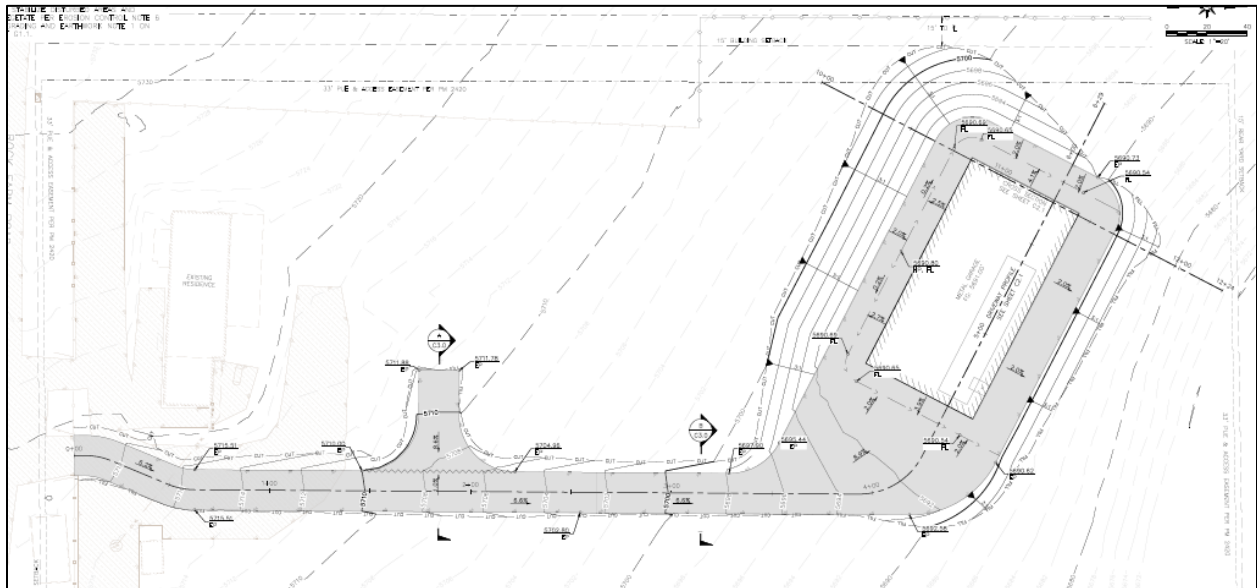
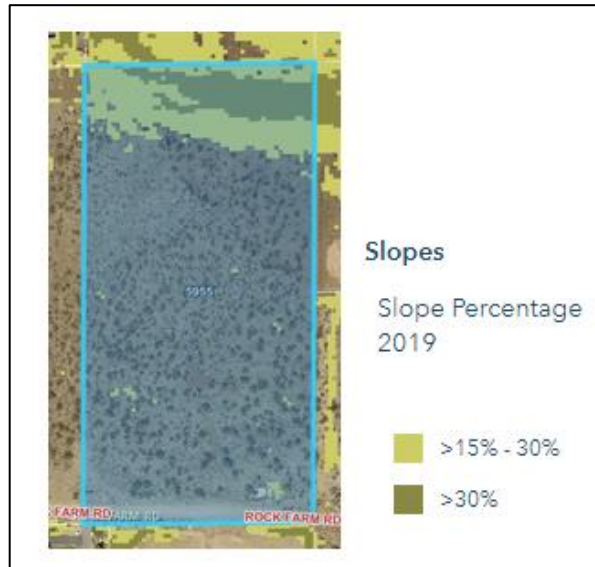
The parcel has a regulatory zone of High Density Rural (HDR), as do a majority of the surrounding parcels, with the exception of a publicly owned parcel to the north with a regulatory zone of General Rural. Parcels to the east and south are developed with similar residential uses, to the north and west is vacant, undeveloped land. The setbacks for HDR are 30 feet in the front and rear and 15 feet on the sides, with a 35-foot height requirement. The parcel is bordered on all sides by a 33' public utility and access easement. Per Section 110.406.05, "...yard setbacks are measured from the property line with the following exceptions: (1) when an access easement traverses a portion of a property and has a total width of more than twenty (20) feet, the required yard setback is measured from the edge of the easement closest to the proposed structure." The revised garage location is 40' from the closest edge of easement on the west, 90' on the west, 100' plus in both the front and rear; therefore, the garage placement meets all required yard setbacks. The proposed building height is approximately 30 feet at its peak. The applicant has indicated the garage will be painted similar to the primary residence and will be non-reflective. Conditions of approval have been added to require as such.

The property gains access from Rock Farm Road. The existing single-family residence and attached garage were constructed in 2022. The proposed garage/accessory structure would be located near the rear of the property. Access to the structure would be via a 22,457-sf asphalt driveway and would run parallel to the eastern parcel line. The metal garage is intended to house various property owner owned recreational vehicles, such as jet skis, a "5<sup>th</sup> Wheel", side-by-sides, etc. An "RV dump" connection to existing septic and a water connection (for an RV wash station) to the existing well is proposed on the floor plans. There are no domestic wells located within 100' of the proposed septic system.

Washoe County Environmental Health reviewed the application for the purpose of allowing a detached accessory structure larger than the primary residence and indicated no issue with the approval. If the administrative permit is granted, future building plans and permits must be reviewed and approved by EHS at which time the plans must meet all applicable sections of the current Washoe County District Board of Health Regulations Governing Well Construction and the Washoe County District Board of Health Regulations Governing Sewage, Wastewater and Sanitation. In addition, Planning has added a condition of approval requiring a deed restriction to connect to water or wastewater facilities, stipulating that the structure will not be converted to an accessory dwelling unit as defined in Section 110.304.15

The parcel is relatively flat, with the exception of the northernmost portion of the parcel, however grading will still need to occur for construction of the driveway and building pad, see below grading

plan. The proposed grading is consistent with Article 438, Grading Standards and does not exceed the thresholds for major grading.



**Grading Plan**

**Reviewing Agencies**

The following agencies/individuals received a copy of the project application for review and evaluation.

| Agencies   | Sent to Review | Responded | Provided Conditions | Contact                                |
|--|----------------|-----------|---------------------|--|
| Washoe County Sewer  | X              |           |                     |  |
| Washoe County Water Rights Manager (All Apps)                    | X              | X         |                     |  |
| Washoe County Engineering (Land Development) (All Apps)          | X              | X         |                     |  |
| Washoe County Engineering & Capital Projects Director (All Apps) | X              |           |                     |  |
| WCHD Environmental Health  | X              | X         | X                   | Jim English, jenglish@washoecounty.gov |
| TMFPD  | X              |           | X                   | Brittany Lemon, blemon@tmfpd.us        |

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

**Staff Comment on Required Findings**

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.

*Staff Comment: The requested detached accessory structure does not conflict with the action programs, policies, standards, and maps of the Master Plan and the Southwest Truckee Meadows Area Plan. The parcel is located within the High Density Rural (HDR) zone which allows for detached accessory structures larger than the primary dwelling on the same parcel pursuant to the issuance of an administrative permit granted by the Board of Adjustment.*

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

*Staff Comment: A detached accessory structure will not create a significant demand on the existing utilities, roadway improvements, sanitation, or water supply. The project application was reviewed by Washoe County Engineering, which did not express any issues with regards to utilities, public facilities, and adjacent roads.*

- (c) Site Suitability. That the site is physically suitable for the detached accessory structure, and for the intensity of such a development.

*Staff Comment: The subject parcel is 5-acres with adequate space for a detached garage, providing the ability to meet all setback requirements.*

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

*Staff Comment: The proposed structure is similar to existing structures in the area and will have no significant impact. It is located towards the rear of the subject property, away from the majority of nearby residential parcels. The proposed structure will not be detrimental to the public health, safety, or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.*

### **Recommendation**

After a thorough analysis and review, Administrative Permit Case Number WADMIN23-0015 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Administrative Permit Case Number WADMIN23-0015 for Kevin & Brittini Johnson, with the conditions included as Exhibit A to this matter, having made all four findings in accordance with Washoe County Development Code Section 110.808.25:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for detached accessory structure, etc., and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Property Owner: Kevin and Brittini Johnson, [Brittini.jean@gmail.com](mailto:Brittini.jean@gmail.com)





# Conditions of Approval

Administrative Permit Case Number WADMIN23-0015

The project approved under Administrative Permit Case Number WADMIN23-0015 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on April 4, 2024. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:**

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District.**

**Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Courtney Weiche, Senior Planner, 775.328.3608, [cweiche@washoecounty.gov](mailto:cweiche@washoecounty.gov)**

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Construction activities shall be limited to the hours between 7am to 7pm, Monday through Saturday only. Any construction machinery activity or any noise associated with the construction activity are also limited to these hours.
- f. The metal siding and/or roof of the accessory structure shall be non-reflective and colors used shall be compatible with the primary residence.
- g. Prior to building permit approval, a deed restriction to connect to water and wastewater facilities shall be recorded per the requirements of Washoe County Development Code Section 110.304.15.

**Truckee Meadows Fire Protection District**

2. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

**Contact Name – Brittany Lemon, Fire Captain, 775.326.6079, [blemon@tmfpd.us](mailto:blemon@tmfpd.us)**

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>

**Washoe County Health District**

3. The following condition is a requirement of the Health District, which shall be responsible for determining compliance with this condition. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

**Contact Name – James English, EHS Supervisor, 775.328.2434,  
[jenglish@washoecounty.gov](mailto:jenglish@washoecounty.gov)**

- a. If the application is approved, future building plans and permits must be reviewed and approved by EHS at which time the plans must meet all applicable sections of the current Washoe County District Board of Health Regulations Governing Well Construction and the Washoe County District Board of Health Regulations Governing Sewage, Wastewater and Sanitation.

\*\*\* End of Conditions \*\*\*



Date: September 25, 2023

To: Courtney Weiche, Senior Planner

From: Janelle K. Thomas, P.E., Senior Licensed Engineer  
Robert Wimer, P.E., Licensed Engineer

Re: WADMIN23-0015 Johnson Garage  
APN: 150-260-19  
5955 Rock Farm Road

## GENERAL COMMENTS

Washoe County Engineering staff has reviewed the above referenced application. The Administrative Permit application is to request approval of an 8,100 sq-ft detached garage. The Engineering and Capital Projects Division recommends approval with no comments and conditions.

September 25, 2023

Washoe County Community Services  
Planning and Development Division

RE: Johnson Garage; 150-260-19  
Administrative Permit; WADMIN23-0015

Dear Washoe County Staff:

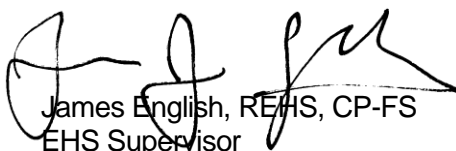
The following conditions are requirements of Northern Nevada Public Health (NNPH), Environmental Health Division, (EHS) which shall be responsible for determining compliance with these conditions.

**Contact Name – James English - [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us)**

- a) Condition #1: EHS has reviewed the referenced application and notes the parcel is serviced by a residential well and onsite sewage disposal system.
- b) Condition #2: EHS only reviewed the application for the purpose of allowing a detached accessory structure larger than the primary residence. EHS has no issue with the approval.
- c) Condition #3: If the application is approved, the future building plans and permits must be reviewed and approved by EHS at which time the plans must meet all applicable sections of the current Washoe County District Board of Health Regulations Governing Well Construction and the Washoe County District Board of Health Regulations Governing Sewage, Wastewater and Sanitation.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at [jenglish@washoecounty.us](mailto:jenglish@washoecounty.us) regarding all NNPH comments.

Sincerely,



James English, REHS, CP-FS  
EHS Supervisor  
Environmental Health Services  
Northern Nevada Public Health

**From:** [Lemon, Brittany](#)  
**To:** [Weiche, Courtney](#)  
**Cc:** [Way, Dale](#)  
**Subject:** WADMIN23-0015 (Johnson Garage) Conditions of Approval  
**Date:** Tuesday, September 19, 2023 8:50:00 AM  
**Attachments:** [image007.png](#)

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Hi Courtney,

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

This garage will require sprinklers as the building is over 5,000 square feet.

Please also note this parcel is located in a high WUI fire hazard severity zone and has non-conforming water. This will have an impact on the Ignition Resistant Rating of the building.

Thank you!

**Brittany Lemon**

**Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue**

[blemon@tmfpd.us](mailto:blemon@tmfpd.us) | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



*“Committed to excellence, service, and the protection of life and property in our community”*



Date: September 26, 2023

To: Courtney Weiche, Senior Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Administrative Permit Case Number WADMIN23-0015 (Johnson Garage)  
APN 150-260-19

## GENERAL PROJECT DISCUSSION

For hearing, discussion, and possible action to approve an administrative permit for an 8,100 square foot detached accessory structure that is larger than the residence on the same parcel of land. The residence on the parcel is 2,088 square feet.

***The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:***

No water right comments for this permit.





## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

|  |                 |   |                 |
|--|-----------------|---|-----------------|
| <b>Project Information</b>   |                 | <b>Staff Assigned Case No.:</b> _____                 |                 |
| Project Name: 5955 Rock Farm Residential Garage  |                 |   |                 |
| Project Description: Large Garage for our personal use For 5th wheel, Boats, Jetskis, side by sides                                |                 |   |                 |
| Project Address: 5955 Rock Farm RD Reno, NV 89511  |                 |   |                 |
| Project Area (acres or square feet): 5 ACRES   |                 |   |                 |
| Project Location (with point of reference to major cross streets AND area locator):<br>Right off of Mount Rose Hwy + Timberline RD |                 |   |                 |
| Assessor's Parcel No.(s):  | Parcel Acreage: | Assessor's Parcel No.(s):                             | Parcel Acreage: |
| APN 150-260-19   | 5               | —   | —               |
| Indicate any previous Washoe County approvals associated with this application:<br>Case No.(s). _____                              |                 |   |                 |
| <b>Applicant Information (attach additional sheets if necessary)</b>   |                 |   |                 |
| <b>Property Owner:</b> Kevin Johnson   |                 | <b>Professional Consultant:</b>                       |                 |
| Name: Kevin Johnson  |                 | Name: Reno Tahoe Geos Assoc                           |                 |
| Address: 5955 Rock Farm RD<br>Reno, NV Zip: 89511  |                 | Address: 12000 Old Virginia RD<br>Reno, NV Zip: 89511 |                 |
| Phone: (775) 240-0117 Fax: —   |                 | Phone: (775) 853-9100 Fax: —                          |                 |
| Email: Brittini.jean@gmail.com   |                 | Email: CBrennan@RTGEO.COM                             |                 |
| Cell: (775) 338-3567 Other: —  |                 | Cell: — Other: —                                      |                 |
| Contact Person: Brittini or Kevin Johnson  |                 | Contact Person: Christina Brennan                     |                 |
| <b>Applicant/Developer:</b>  |                 | <b>Other Persons to be Contacted:</b>                 |                 |
| Name: Kevin Johnson  |                 | /   |                 |
| Address: 5955 Rock Farm RD<br>Reno, NV Zip: 89511  |                 |   |                 |
| Phone: (775) 240-0117 Fax: —   |                 |   |                 |
| Email: Brittini.jean@gmail.com   |                 |   |                 |
| Cell: (775) 338-3567 Other: —  |                 |   |                 |
| Contact Person: Brittini Johnson   |                 |   |                 |
| <b>For Office Use Only</b>   |                 |   |                 |
| Date Received:   | Initial:        | Planning Area:  |                 |
| County Commission District:  |                 | Master Plan Designation(s):                           |                 |
| CAB(s):  |                 | Regulatory Zoning(s):                                 |                 |

**Administrative Permit Application  
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

~~Detached~~  
Residential Accessory Structure

2. What section of the Washoe County code requires the Administrative permit required?

110.30c.10(D) Detached Accessory Structure

3. What currently developed portions of the property or existing structures are going to be used with this permit?

Small residence

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New structure,  
water line, sewer, driveway

5. Is there a phasing schedule for the construction and completion of the project?

Fall 2023 - Fall 2024

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Residential Property for our Residential Garage

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

Completes the aesthetics and property value of community

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no negative impacts

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

n/a

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

n/a

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

n/a

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes  No

14. Utilities:

|                  |                      |
|------------------|----------------------|
| a. Sewer Service | on site septic       |
| b. Water Service | on site private well |

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

|                    |     |                    |     |
|--------------------|-----|--------------------|-----|
| c. Permit #        | n/a | acre-feet per year | n/a |
| d. Certificate #   | n/a | acre-feet per year | n/a |
| e. Surface Claim # | n/a | acre-feet per year | n/a |
| f. Other, #        | n/a | acre-feet per year | n/a |

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

n/a

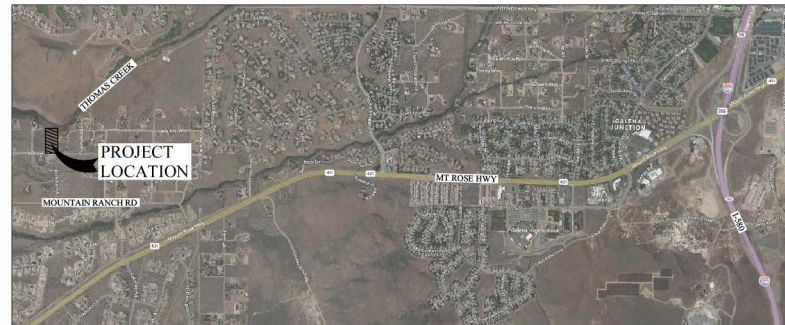


# METAL GARAGE AT 5955 ROCK FARM ROAD

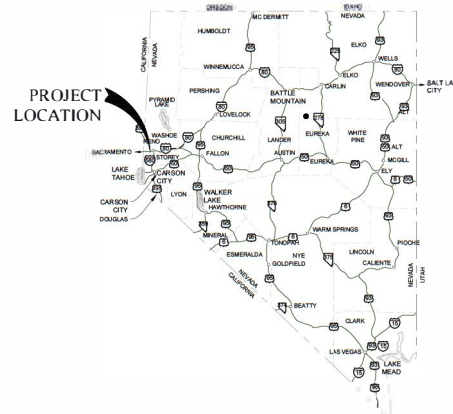
WASHOE COUNTY, NEVADA  
PROJECT NUMBER: 23055.001

**OWNER:**  
KEVIN & BRITNI JOHNSON  
5925 LAKE GENEVA COURT  
RENO, NV 89511

**ENGINEER:**  
RENO TAHOE GEO ASSOCIATES, INC  
PO BOX 18449  
RENO, NEVADA 89511  
PHONE: (775) 853-9100  
WEBSITE: www.RTGeo.com



VICINITY MAP  
R.T.S.



LOCATION MAP  
R.T.S.



| SHEET INDEX |       |                       |
|-------------|-------|-----------------------|
| NO.         | SHEET | SHEET TITLE           |
| 1           | G1.0  | COVER SHEET           |
| 2           | G1.1  | NOTES                 |
| 3           | G1.2  | LEGENDS               |
| 4           | C1.0  | BMP PLAN              |
| 5           | C2.0  | DEMO PLAN & SITE PLAN |
| 6           | C3.0  | GRADING PLAN          |
| 7           | C3.1  | GRADING SECTION VIEWS |
| 8           | C4.0  | UTILITY PLAN          |
| 9           | D1.0  | BMP DETAILS           |
| 10          | D2.0  | SITE DETAILS          |
| 11          | D3.0  | UTILITY DETAILS       |

**LOT INFORMATION:**

APN: 150-060-19  
LOT SIZE: 217,800 SQUARE FEET (5 ACRES)  
ZONE: HDR (HIGH DENSITY RURAL)  
FLOOD ZONE: NONE X (PER COMMUNITY PANEL 02031C 02400)

**IWUIC NOTES:**

INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC):  
FIRE HAZARD CLASSIFICATION: HIGH  
DEFENSIBLE SPACE: CONFORMING TO 50 FEET. MUST MAINTAIN 50' FIRE BREAK  
WATER SUPPLY: NON-CONFORMING  
IGNITION RESISTANT CONSTRUCTION CLASSIFICATION: IR1 WITH CONFORMING DEFENSIBLE SPACE, IR2 WITH 1 1/2 DEFENSIBLE SPACE (75 FEET) PER TABLE 503.1 OF THE 2018 WILDLAND-URBAN INTERFACE CODE  
ACCESS SHALL BE PROVIDED PER SECTION 403 OF THE WUI CODE

**IFC NOTES:**

INTERNATIONAL FIRE CODE (IFC):  
FIRE APPARATUS ACCESS ROAD REQUIREMENTS:  
ALL EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING ARE WITHIN 150 FEET OF THE ACCESS ROAD PER SECTION 503.1 OF THE 2018 INTERNATIONAL FIRE CODE  
ALL TURNAROUNDS COMPLY WITH FIGURE D103.1 DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUNDS  
FIRE SPRINKLER SYSTEM DESIGN PER IBC 2018 SECTION 904 OR EQUIVALENT NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13D

**SCOPE OF WORK:**

8000 SF METAL GARAGE IMPROVEMENT PLAN FOR EXISTING RESIDENCE.

**CODE ANALYSIS:**

PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED CODES AND AMENDMENTS IN THE JURISDICTION INCLUDING BUT NOT LIMITED TO: 2018 IBC, 2018 IRC, 2018 NRS, 2018 NREVS, ADA CODE, AMENDMENTS, AND 2018 NORTH NEVADA FIRE CODE AMENDMENTS.

|  |  |
|--|--|
| BY: JAP/PC   |  |
| DATE:  |  |
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| <br>CONSULTING CIVIL ENGINEERS<br>P.O. Box 18449<br>Reno, Nevada 89501<br>TEL: (775) 853-9100<br>FAX: (775) 853-9100 |  |
| COVER SHEET<br>METAL GARAGE<br>5955 ROCK FARM ROAD<br>APN: 150-060-19  |  |
| DATE: JANUARY 2024<br>JOB NUMBER: 23055.001<br>DESIGNED BY: CAB<br>DRAWN BY: MFM<br>CHECKED BY: CAB                  |  |
| SHEET<br>G1.0  |  |

PRELIMINARY  
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RENO TAHOE GEO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXISTS IN THE FIELD, THE CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.



Know what's below.  
Call before you dig.

A:\03\23055.001 - 23055 Rock Farm Garage\Drawings and Plans\01 - Location - 23055.001.dwg 1/19/24 11:58 am

**GENERAL NOTES**

- CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF THE PROJECT SPECIFICATIONS, AND PROJECT PLANS AND CONSTRUCTION DETAILS. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPWC), NEVADA ADMINISTRATIVE CODE, WASHOE COUNTY DEVELOPMENT CODE, AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL CONFORM TO SECTION 130 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE NEVADA WORK ZONE TRAFFIC CONTROL HANDBOOK, CURRENT EDITION. NO STREET CLOSURES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF A TRAFFIC CONTROL PLAN BY WASHOE COUNTY.
- UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT, USA, AT (1-800-227-2600) AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE OWNER & ENGINEER. WORK PERFORMED WITHOUT WRITTEN APPROVAL WILL REQUIRE REMOVAL AT THE CONTRACTORS EXPENSE.
- THE APPROVED PLANS, PERMITS AND INSPECTION RECORDS MUST BE ON THE JOB SITE AT ALL TIMES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE EXISTING WATERLINES AND UTILITIES SURROUNDING THE AREA TO DETERMINE THE EXACT LOCATION AND DEPTH. POTHOLES SHALL OCCUR A MINIMUM OF 7 DAYS PRIOR TO THE COMMENCEMENT OF WORK IN ANY AREA. CONTRACTOR SHALL REPORT THE FINDINGS TO THE ENGINEER WITHIN 24 HOURS AFTER COMPLETION.
- OUTSIDE OF AN UNFORESEEN CIRCUMSTANCE WATER MAIN SHUTDOWNS/INTERRUPTION OF SERVICE IS NOT PERMITTED.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- PERFORM WORK IN A CONTINUOUS AND SILENT MANNER TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. CONTRACTOR SHALL STORE, HANdle, HANDLE AND TRANSPORT HAZARDOUS OR FLAMMABLE MATERIALS TO MINIMIZE THE POTENTIAL FOR SPILLS, FIRES OR EXPLOSIONS. STORAGE, CONTAINMENT, HANDLING AND TRANSPORT OF HAZARDOUS OR FLAMMABLE MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL, STATE OR FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN AND OPERATE EQUIPMENT IN A MANNER TO MINIMIZE THE POTENTIAL FOR SPILLS, SPILLS OF HAZARDOUS OR FLAMMABLE MATERIALS SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR OWNER REPRESENTATIVE.
- WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE RECYCLED, REUSED, OR DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE OR FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL OPERATE VEHICLES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. VEHICLE AND EQUIPMENT OPERATORS SHALL BE PROPERLY LICENSED AND TRAINED.
- VEHICLE ACCIDENTS, INJURIES, SPILLS OR OTHER INCIDENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR OWNER REPRESENTATIVE.
- CONSTRUCTION STAGING AREA SHALL BE AT DESIGNATED AREAS COORDINATED WITH OWNER. OWNER MAY DESIGNATE WHICH AREAS MAY BE USED WHEN AND FOR HOW LONG. CONTRACTOR SHALL BE RESPONSIBLE FOR THE IDENTITY OF ALL EQUIPMENT AND MATERIALS. CONTRACTOR MAY STORE EQUIPMENT TO STAGE AT OTHER LOCATIONS IN OWN ACCESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND SHALL REPLACE ANY MONUMENTS OBLITERATED OR DAMAGED DURING CONSTRUCTION AT HIS EXPENSE. SURVEYMENT SHALL BE PERFORMED BY LICENSED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL UTILIZE CONSTRUCTION TECHNIQUES TO MINIMIZE GRADING, VEGETATION REMOVAL, AND SURFACE DISTURBANCE. CONTRACTOR WILL BE RESPONSIBLE FOR THE RESTORATION OF ALL LANDSCAPING, SOO, CURBS, ASPHALT, DRAINAGE PAVEMENT, RETAINING WALLS, IRRIGATION PIPING AND LANDSCAPE LIGHTING TO EQUAL OR BETTER THAN EXISTING CONDITION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MATERIALS TO BE USED ON THE SITE TO INCLUDE, BUT NOT BE LIMITED TO, A.C. AND P.C.C. MIX DESIGN, AGGREGATE BASE QUALIFICATIONS, PRECAST CONCRETE, PIPING, FENCING, SIGNS, AND SEPTIC PUMP AND BASIN TO THE PROJECT ENGINEER FOR APPROVAL PRIOR TO THE MANUFACTURER OR USE OF SUCH ITEMS.
- ALL QUANTITIES SHOWN HEREIN ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THE PROJECT.
- EXCAVATION WITHIN 5' OF POWER POLE WILL REQUIRE SUPPORT FROM POWER COMPANY AT NO ADDITIONAL COST TO OWNER.

**DEMOLITION NOTES:**

- EXISTING IMPROVEMENTS, ADJACENT PROPERTY, UTILITIES AND OTHER FACILITIES, AND TREES AND PLANTS THAT ARE TO BE REMOVED SHALL BE PROTECTED FROM INJURY OR DAMAGE RESULTING FROM THE CONTRACTORS OPERATIONS IN ACCORDANCE WITH THE SSPWC AND SSPWC 301.04 AND 300.04.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY BOXES AND FRAME AND COVERS, BOTH HORIZONTALLY AND VERTICALLY, AS REQUIRED TO FIT THE NEW WORK. THE CONTRACTOR SHALL REPLACE ANY APPURTENANCES, PLANTS AND SURFACING DAMAGED DURING RELOCATION. RESTORATIVE SURFACING SHALL BE MATCHED AFTER BACKFILL.

**EROSION CONTROL NOTES**

- BEST MANAGEMENT PRACTICES SHALL BE IN PLACE FOR DUST CONTROL AND EROSION CONTROL DURING CONSTRUCTION (COIR LOGS, GRAVEL BAGS, SILT FENCE).
- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PRACTICES DURING THE CONSTRUCTION PROCESS TO MINIMIZE EXCESSIVE EROSION OR SEDIMENT AND TO PROTECT ADJACENT PROPERTIES AND NEIGHBORHOODS FROM AN UNLAWFUL RUNOFF OR SEDIMENT. SEDIMENTATION FENCING IS REQUIRED AT THE LIMITS OF GRADING.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS. FIVE (5) WEEK NO FUGITIVE DUST FROM THE SITE SHALL BE ALLOWED.
- IF NECESSARY, CONTRACTOR SHALL ENHANCE EROSION CONTROL MEASURES IN THE FIELD.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL:
  - STABILIZE ENTRANCES AND EQUIPMENT PARKING AREAS;
  - INSTALL SEDIMENT CONTROL DEVICES; AND
  - INSTALL WASH DOWN AREA.
- UPON COMPLETION OF THE PROJECT, WITHIN 15 DAYS OF COMPLETION OF ANY PHASE, THE CONTRACTOR SHALL:
  - REMOVE ALL GRADING AND CONSTRUCTION DEBRIS;
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES (AFTER PERMANENT MEASURES ARE ESTABLISHED); AND
  - REVEGETATE DISTURBED AREAS WITH NATIVE SEED.
- EQUIPMENT AND VEHICLES SHALL NOT TRAVEL BEYOND THE LIMITS OF GRADING TO PREVENT DISRUPTION OF NATIVE VEGETATION.
- STOCKPILED TOP SOILS AND VEGETATIVE STRIPPINGS ARE TO BE REAPPLIED TO DISTURBED SLOPE AREAS.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED BY THE APPLICATION OF DUST PALLIATIVE. ALL AREAS LEFT UNDEVELOPED FOR MORE THAN 90 DAYS SHALL BE HYDRO-SEEDING WITH AN APPROVED SEED MIX AND TACKIFIER AND SHALL BE IRRIGATED UNTIL FIRMLY ESTABLISHED.
- CONCENTRATED CONSTRUCTION FLOWS SHALL BE CHANNELIZED TO TEMPORARY OR PERMANENT SEDIMENT TREATMENT FACILITIES. SEDIMENT LAIDEN WATER SHALL NOT ENTER THE NATURAL DRAINAGE OR PUBLIC STORM DRAIN SYSTEM.

**GRADING & EARTHWORK NOTES**

- THE CONTRACTOR SHALL UTILIZE TECHNIQUES WHICH MINIMIZE GRADING, VEGETATION REMOVAL, AND TEMPORARY AND PERMANENT DISTURBANCE. ALL AREAS DISTURBED AS A RESULT OF THE WORK SHALL BE REVEGETATED WITH THE APPLICATION OF SEED MIXTURES OF SODAR WHEATGRASS, SAGEBRUSH, RYEGRASS AND/OR PLANT MIX IN ACCORDANCE WITH THE TRUCKEE MEADOWS STRUCTURAL CONTROLS DESIGN AND LOW IMPACT DEVELOPMENT MANUAL PREPARED BY NCE, DATED APRIL 2015.
  - ALL EARTHWORK, CLEARING AND GRUBBING, SUBGRADE PREPARATION, ETC. SHALL CONFORM TO THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - SOIL TYPES TO BE OMITTED FROM PROJECT INCLUDE:
    - ORGANIC MATERIAL (E.G. ORGANIC SILT, SOO, PEAT, MULCH, ETC.);
    - SOILS CONTAINING EXPANSEIVE CLAYS;
    - MATERIAL CONTAINING EXCESSIVE MOISTURE;
    - HEAVILY GRADED COURSE MATERIAL; AND
    - MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- ELEVATIONS NOT SHOWN ON PLANS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. OWNER SHALL APPROVE ALL ELEVATIONS.
- CONTRACTOR SHALL GRADE ALL AREAS TO DRAWN AND SHALL BE RESPONSIBLE FOR ELIMINATING ALL LOW SLOPES OR POHONG AREAS.
- NO FILL SHALL BE PLACED OR COMPACTED IN UNFAVORABLE WEATHER CONDITIONS, OVERLY WET, DRY OR FROZEN. FILL SHALL NOT BE PLACED.
- REPAIR (DESIGNATION AND GRADATION SHALL CONFORM WITH SECTION 200.06 OF THE STANDARD SPECIFICATIONS. REPAIR SHOULD BE ANGULAR IN SHAPE, FREE FROM CRACKS AND ORGANIC MATTER. REPAIR SIZE SHALL MAINTAIN:
  - DEPTH AND THICKNESS SHALL BE MINIMUM 3/8 OF ITS LENGTH
  - MINIMUM SPECIFIC GRAVITY = 2.5
  - MINIMUM LAI THICKNESS = 2 X 1/8"
 OWNER SHALL APPROVE ALL REPAIR FOR PROJECT PRIOR TO STOCKPILING.
- USE CAUTION WITH OVERHEAD POWER LINES. MAINTAIN PROPER CLEARANCE AS REQUIRED BY POWER COMPANY DURING CONSTRUCTION. EXCAVATION WITHIN 5' OF A POLE WILL REQUIRE SUPPORT FROM POWER COMPANY AT NO ADDITIONAL COST TO OWNER.
- DRAINAGE SWALES, DITCHES, BERMS, AND OTHER EXISTING CONDITIONS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED TO EQUAL OR BETTER CONDITIONS, INCLUDING BUT NOT LIMITED TO SLOPE PROTECTION (E. AGGREGATE ROOF).

**DUST CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR PREVENTING CONTROLLABLE FUGITIVE DUST FROM THE PROJECT'S DISTURBED AREAS TO REMAIN AIRBORNE ON A 7-8AM/EEK, 24-HOUR/DAY BASIS FROM COMMENCEMENT OF THE PROJECT TO FINAL COMPLETION.
- REGULAR VACUUM OR SWEEPING OF PAVED SURFACES WHERE CONSTRUCTION IS OCCURRING WILL BE PERFORMED AT LEAST DAILY AND MORE OFTEN IF NECESSARY TO REMOVE DIRT OR WASTE RESULTING FROM THE CONSTRUCTION.
- STOCKPILED EARTHEN MATERIALS SHALL BE STABILIZED BY MAINTAINING A VISIBLE CRUST BY APPLYING ADEQUATE VORSTURE, OR COVERING THE MATERIALS WITH A TARP TO PREVENT VISIBLE FUGITIVE DUST EMISSIONS.
- ALL TRUCKS IMPORTING OR EXPORTING DIRT, ROCK OR OTHER FILL MATERIALS SHALL PREVENT SPILLAGE OR LOSS OF BULK MATERIAL FROM HOLES OR OTHER OPENINGS IN THE CARGO COMPARTMENT FLOOR, SIDES, AND/OR TAILGATE. ALL HAUL TRUCKS MUST BE COVERED WITH A TARP OR OTHER SUITABLE CLOSURE, OR BULK MATERIALS MUST CONTAIN ENOUGH MOISTURE AND/OR DUST SUPPRESSANT TO PREVENT FUGITIVE DUST EMISSIONS DURING TRANSPORT, OR LOAD ALL TRUCKS SUCH THAT THE FREEBOARD IS NOT LESS THAN SIX (6) INCHES. ALL MATERIALS NOT TO BE INCORPORATED INTO THE WORK SHALL BE HAILED OUTSIDE OF THE TRUCK BASIN.
- ALL PROJECT RELATED VEHICLES SHALL PARK ON EXISTING PAVED SURFACES OR EXISTING COMPACTED ROAD SHOULDERS. CONTRACTOR SHALL MINIMIZE CONSTRUCTION RELATED VEHICLE AND EQUIPMENT EMISSIONS DURING CONSTRUCTION BY SHUTTING OFF EQUIPMENT AND VEHICLES NOT IN USE. IDLING OF DIESEL ENGINES SHALL BE KEPT AT A MINIMUM SO FAR AS PRACTICAL.

**MATERIAL TESTING:**

- CONTRACTOR WILL CONTRACT WITH AND PROVIDE THIRD PARTY MATERIAL TESTING FOR THE FOLLOWING (PER PLANS AND SPECIFICATIONS):
  - COMPACTION OF ALL SOILS, HERE ETC.
  - CONCRETE
  - ASPHALT

**DRIVEWAY & ACCESS NOTES:**

- ALL DRIVEWAYS AND ACCESS ROADS SHALL BE RE-ESTABLISHED TO EQUAL OR BETTER CONDITION.

**ELECTRICAL NOTES:**

- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ELECTRICAL SYSTEM.
- CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018, THE NATIONAL ELECTRICAL CODE 2017 EDITION, AND ALL CODES, WHERE APPLICABLE AMENDMENTS, ORDINANCES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING JURISDICTION AT THIS SITE, WHERE CONFLICTS OCCUR BETWEEN CODES AND THE CONSTRUCTION DOCUMENTS, THE MOST RESTRICTIVE SHALL TAKE PRECEDENCE.
- ALL MATERIAL SHALL BE NEW AND CONFORM WITH THE REQUIREMENT OF THE UNDERWRITER'S LABORATORIES, INC. (UL) AND MV ENERGY STANDARDS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THAT OF OTHER CONTRACTORS ON THE JOB AND WITH THAT OF THE OWNER. ANY COST FOR EXTRA WORK OR MATERIALS RESULTING FROM LACK OF COORDINATION SHALL BE BORNE BY THE CONTRACTOR.

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| <p><b>RENO TAKEO GEO ASSOCIATES, INC.</b><br/>                 CONSULTING CIVIL ENGINEERS<br/>                 P.O. Box 18446<br/>                 Reno, Nevada 89531<br/>                 TEL: (775)853-8100<br/>                 FAX: (775)853-9181</p> |  |  |  |  |  |  |  |  |  |
| <p><b>NOTES</b><br/>                 METAL GARAGE<br/>                 5955 ROCK FARM ROAD<br/>                 APN: 150-260-19<br/>                 WASHOE COUNTY</p>  |  |  |  |  |  |  |  |  |  |
| <p>DATE: JANUARY 2024<br/>                 JOB NUMBER: 23055.001<br/>                 DESIGNED BY: CAB<br/>                 DRAWN BY: JFM<br/>                 CHECKED BY: CAB</p>  |  |  |  |  |  |  |  |  |  |
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**ABBREVIATIONS**

|                              |                                 |                                   |
|------------------------------|---------------------------------|-----------------------------------|
| AC ASPHALTIC CONCRETE        | L LENGTH                        | SS SANITARY SEWER                 |
| AGG AGGREGATE                | LF LINEAL FEET                  | SSCO SANITARY SEWER CLEANOUT      |
| APN ASSESSOR'S PARCEL NUMBER | LN LANE                         | SSFM SANITARY SEWER FORCE MAIN    |
| APFD APPROVED                | M.D.B. MAXIMUM DRY DENSITY      | SSPWC STANDARD SPECIFICATIONS FOR |
| BLVD BOULEVARD               | MAK MAXIMUM                     | SSPWC W/SHIELD WORKS CONSTRUCTION |
| BMP BEST MANAGEMENT PRACTICE | MFR MANUFACTURER                | STA STATION                       |
| CL CENTER LINE               | MTE MATCH TO EXISTING           | STD STANDARD                      |
| CLR CLEAR                    | MIN MINIMUM                     | TDE TOE OF SLOPE                  |
| CMP CORRUGATED METAL PIPE    | MSD MOLECULAR SCIENCE DIVISION  | TOD TOP OF DRAIN                  |
| CO CLEANOUT                  | N NORTH                         | TOE TOE OF SLOPE                  |
| CONG. CONSTRUCTION           | NDOT NEVADA DEPARTMENT OF       | TOP TOP OF SLOPE                  |
| CY CUBIC YARDS               | TRANSPORTATION                  | TRF TYPICAL                       |
| DI DROP INLET                | NO. NUMBER                      | UG UNDERGROUND ELECTRICAL         |
| DIA. DIAMETER                | MTE NOT TO SCALE                | UNR UNIVERSITY OF NEVADA, RENO    |
| DM DIMENSION                 | NVE NEVADA ENERGY               | VERT VERTICAL                     |
| DR DRIVE                     | DC ON CENTER                    |                                   |
| EA EACH                      | P.C.C. PORTLAND CONCRETE CEMENT |                                   |
| EG EXISTING GROUND           | P.I.P. PROJECT IN PLACE         |                                   |
| ELEC ELECTRICAL              | POC POINT OF CONNECTION         |                                   |
| EP/VEOP EDGE OF PAVEMENT     | PSF POUNDS PER SQUARE FOOT      |                                   |
| EA EXISTING                  | PSI POUNDS PER SQUARE INCH      |                                   |
| FF FINISHED FLOOR            | PUE PUBLIC UTILITY EASEMENT     |                                   |
| FG FINISHED GRADE            | PVC POLYVINYL CHLORIDE          |                                   |
| FFC FRONT FACE OF CURB       | R RADIUS                        |                                   |
| FL FLOWLINE                  | R/W RIGHT-OF-WAY                |                                   |
| FT FEET                      | REV REVISION                    |                                   |
| GPD GALLONS PER DAY          | RT RIGHT                        |                                   |
| GPM GALLONS PER MINUTE       | R&R REMOVE AND REPLACE          |                                   |
| HC HANDICAP                  | SCH SCHEDULE                    |                                   |
| HORIZ HORIZONTAL             | SD STORM DRAIN                  |                                   |
| HP HIGH POINT                | SDMH STORM DRAIN MANHOLE        |                                   |
| I INVERT ELEVATION           | SF SQUARE FEET                  |                                   |
| IRR IRRIGATION               | SHT SHEET                       |                                   |
| KV KILOVOLT                  | SQ. SQUARE                      |                                   |

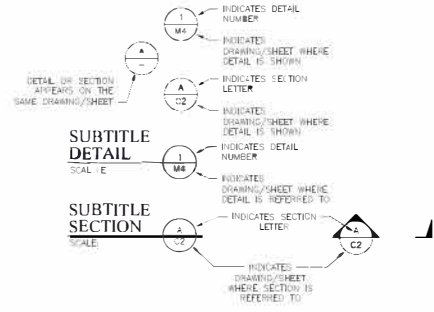
**EXISTING LEGEND:**

|         |                                    |
|---------|------------------------------------|
| EX W    | WATERLINE                          |
| EX FW   | FIRE WATERLINE                     |
| EX IRR  | IRRIGATION                         |
| EX SS   | SANITARY SEWER                     |
| EX SSFM | SANITARY SEWER FORCEMAIN           |
| EX SD   | STORM DRAIN                        |
| EX E    | ELECTRICAL                         |
| EX OHP  | OVER HEAD POWER                    |
| EX TELE | TELEPHONE/COMM LINE                |
| EX FO   | FIBER OPTIC LINE                   |
| EX G    | GAS MAIN/LATERAL                   |
| EX C    | CONDUIT                            |
| UTIL    | MISCELLANEOUS/UNIDENTIFIED UTILITY |
| ---     | EDGE OF PAVEMENT                   |
| ---     | RIGHT OF WAY                       |
| ---     | PROPERTY LINE                      |
| ---     | EASEMENT                           |
| ---     | SETBACK                            |
| ---     | FENCE WIRE                         |
| ---     | DITCH/DRAINAGE CHANNEL             |
| ---     | MAJOR CONTOUR LINE                 |
| ---     | MINOR CONTOUR LINE                 |
| ---     | TREES AND VEGETATION               |
| ---     | TRAVEL WAY                         |
| ⊙       | WELL                               |
| ⊕       | GAS VALVE                          |
| ⊕       | WATER VALVE                        |
| ⊕       | ELECTRIC METER                     |
| ⊕       | TRANSFORMER PAD                    |
| ⊕       | POWER POLE                         |
| ⊕       | ELECTRIC VAULT                     |
| ⊕       | SS REEFER                          |
| ⊕       | SS INTERCEPTOR                     |
| ⊕       | ANCHOR                             |
| ⊕       | GATE VALVE                         |
| ⊕       | CHECK VALVE                        |

**PROPOSED LEGEND:**

|       |                                       |
|-------|---------------------------------------|
| 12+00 | CONSTRUCTION CONTROL LINE/CENTER LINE |
| SS    | SANITARY SEWER MAIN                   |
| SSFM  | SANITARY SEWER FORCEMAIN              |
| W     | WATERMAIN                             |
| SD    | STORM DRAIN                           |
| ⊕     | FENCE                                 |
| ---   | DRAINAGE SWALE                        |
| ---   | GRADE BREAK                           |
| ---   | MAJOR CONTOUR LINE                    |
| ---   | MINOR CONTOUR LINE                    |
| ---   | EASEMENT                              |
| ---   | EDGE OF PAVEMENT                      |

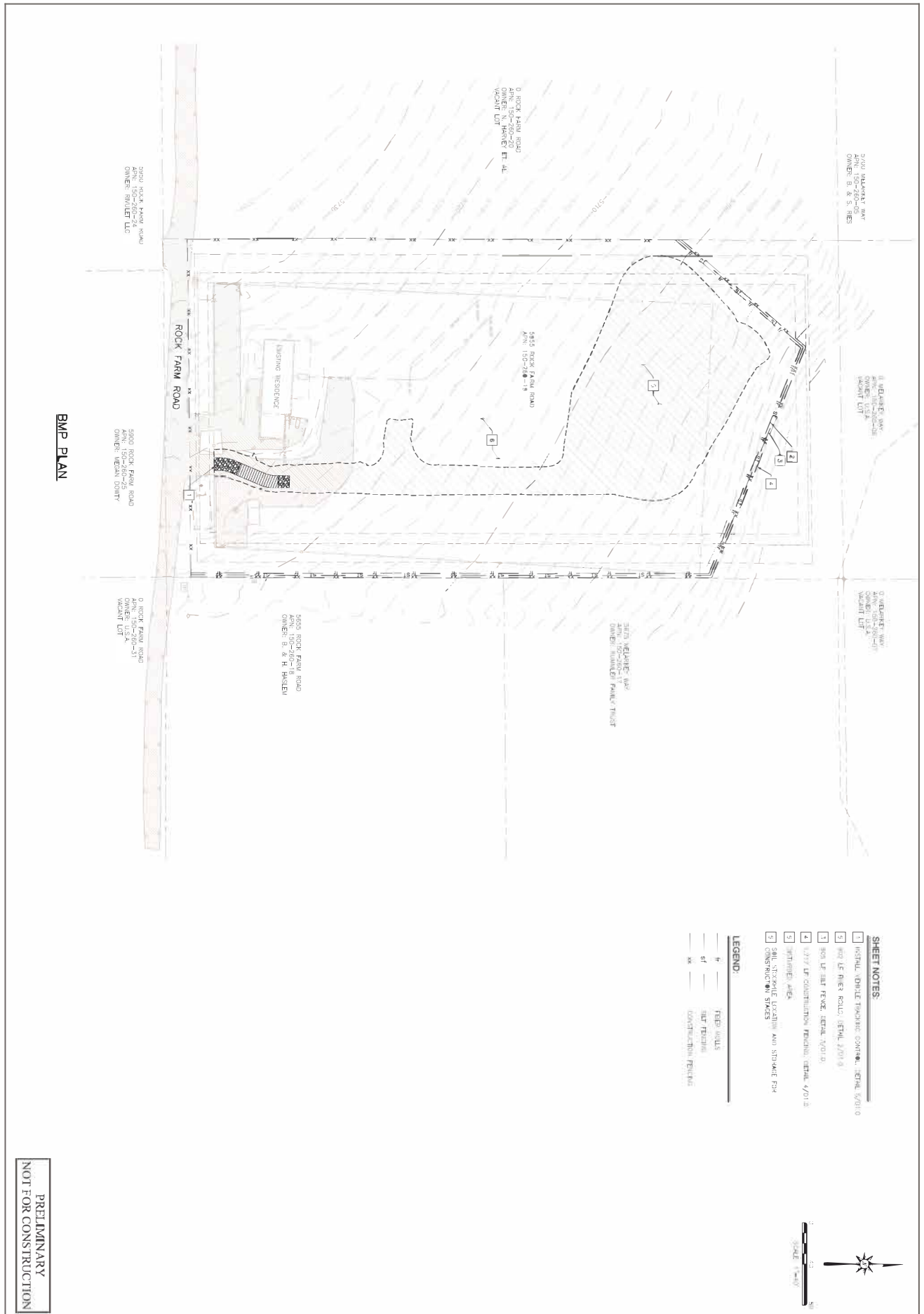
**DETAIL AND SECTION DESIGNATION**



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| <p><b>Reno Tahoe Geo Associates, Inc.</b><br/>CONSULTING CIVIL ENGINEERS<br/>P.O. Box 18446<br/>Reno, Nevada 89511<br/>TEL: (775)855-9145<br/>FAX: (775)855-9193</p> |  |      |  |     |  |
| <p><b>LEGENDS</b><br/>METAL GARAGE<br/>5955 ROCK FARM ROAD<br/>APN: 150-260-19</p>   |  |      |  |     |  |
| NEVADA   |  |      |  |     |  |
| WESIDE COUNTY  |  |      |  |     |  |
| DATE: JANUARY 2024   |  |      |  |     |  |
| JOB NUMBER: 23055.001  |  |      |  |     |  |
| DESIGNED BY: CAB   |  |      |  |     |  |
| DRAWN BY: J.M.M.   |  |      |  |     |  |
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PRELIMINARY  
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**BMP PLAN**

PRELIMINARY  
NOT FOR CONSTRUCTION

DATE: JANUARY 2024  
JOB NUMBER: 23055.001  
DRAWN BY: CAB  
CHECKED BY: MEM  
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**BMP PLAN**  
METAL GARAGE  
5955 ROCK FARM ROAD  
APN: 150-260-19  
WASHOE COUNTY NEVADA

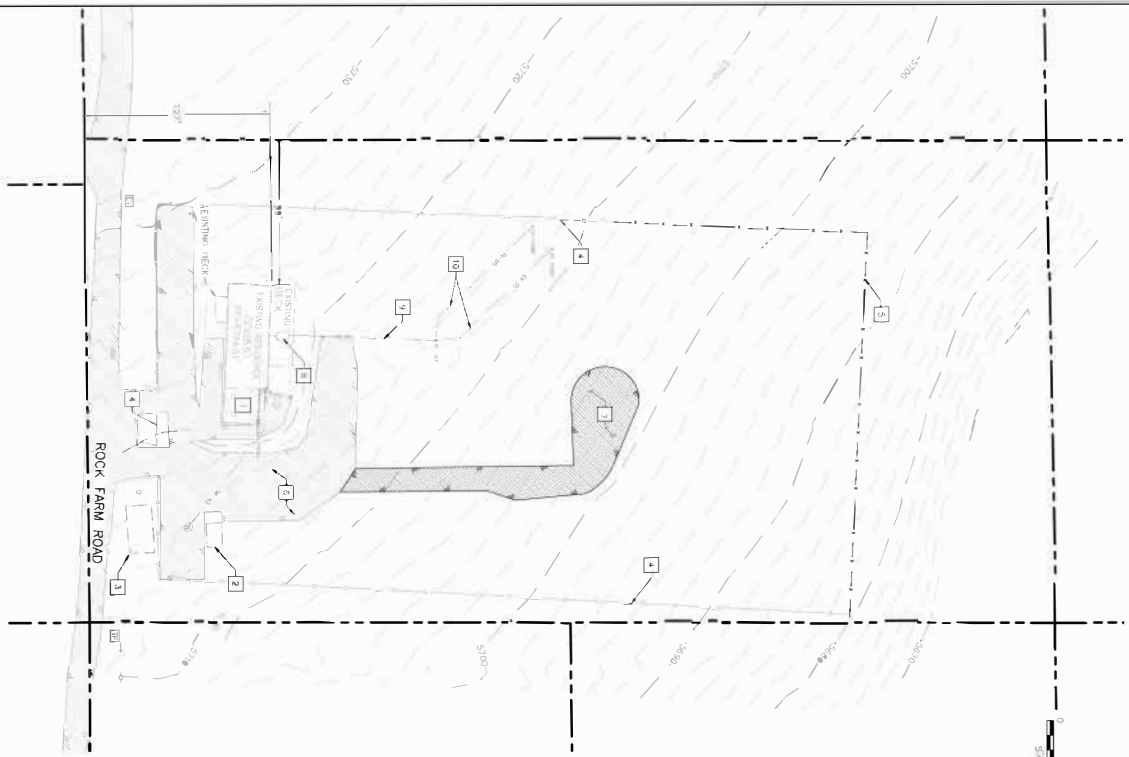
**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449 Reno, Nevada 89511  
TEL (775)853-9100 FAX (775)853-9199

| REV. | DATE | BY | APP'D |
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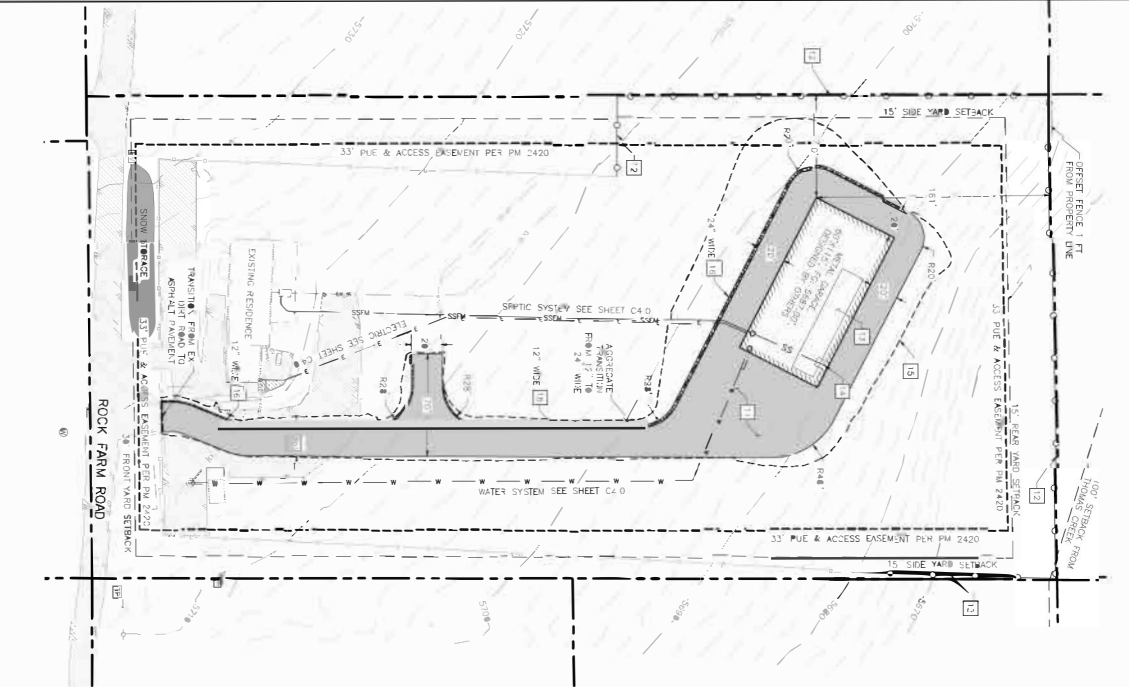
**WADMIN23-0015  
EXHIBIT D**



EXISTING SITE / DEMOLITION PLAN



SITE PLAN



SHEET NOTES:

- 1 EXISTING GARAGE SHOWN PER 2022 AS
- 2 EXISTING SHED
- 3 EXISTING FOUNDATION
- 4 EXISTING FENCE, 10 FT LF TOTAL TO BE DEMOLISHED
- 5 EXISTING FENCE, 157 LF TOTAL TO BE REBUILT
- 6 EXISTING EXPOSED DIRT ROAD
- 7 1/4" x 4" OF EXISTING EXPOSED DIRT ROAD, RECONSTRUCT WITH SAND FILL POWER SPREADS
- 8 EXISTING 1/2" x 1/2" x 1/2" ASPHALT DRIVE
- 9 EXISTING DRIVE LINE 4" x 10" x 10" FOR AT 28' WIDE DRIVE
- 10 EXISTING DRIVE TRENCH
- 11 11,850 SF ASPHALT DRIVEWAY, 100% (1/2")
- 12 EXISTING DRIVE LINE 4" x 10" x 10" FOR AT 28' WIDE DRIVE
- 13 1/2" x 1/2" x 1/2" ASPHALT DRIVEWAY, 100% (1/2")
- 14 1/2" x 1/2" x 1/2" ASPHALT DRIVEWAY, 100% (1/2")
- 15 449 LF TOTAL GRASS DRIVEWAY ENDS (292 LF FOR 12' WIDE SECTION, 357 LF FOR 12' WIDE), 2" ASPHALT DRIVEWAY ENDS (292 LF FOR 12' WIDE), 2" ASPHALT DRIVEWAY ENDS (357 LF FOR 12' WIDE) AND DUMPED W/23/1

GENERAL NOTES:

EXISTING UTILITY LINES ARE SHOWN PER RECORD DRAWINGS AND FIELD SURVEY. ALL UTILITIES SHALL BE DELETED PER THE EXISTING RESIDENT. DATE: 12/15/2023 FOR THE EXISTING RESIDENT.

NO AREAS OF POTENTIAL HAZARDOUS ACTIVE FAULT LINES (POST-HOLOCENE) WETLAND AREAS, DISCONTINUOUS OR HYPERLOCAL RESIDUES LOCATED ON THE PROPERTY.

PRELIMINARY  
NOT FOR CONSTRUCTION

|              |              |
|--------------|--------------|
| DATE:        | JANUARY 2024 |
| DESIGNED BY: | 23055.001    |
| CAD:         |              |
| DRAWN BY:    | M.E.M.       |
| CHECKED BY:  | CAB          |
| SHEET:       | C2.0         |

DEMO PLAN & SITE PLAN  
METAL GARAGE  
5955 ROCK FARM ROAD  
APN: 150-260-19

**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS

P.O. Box 18449  
Reno, Nevada 89511

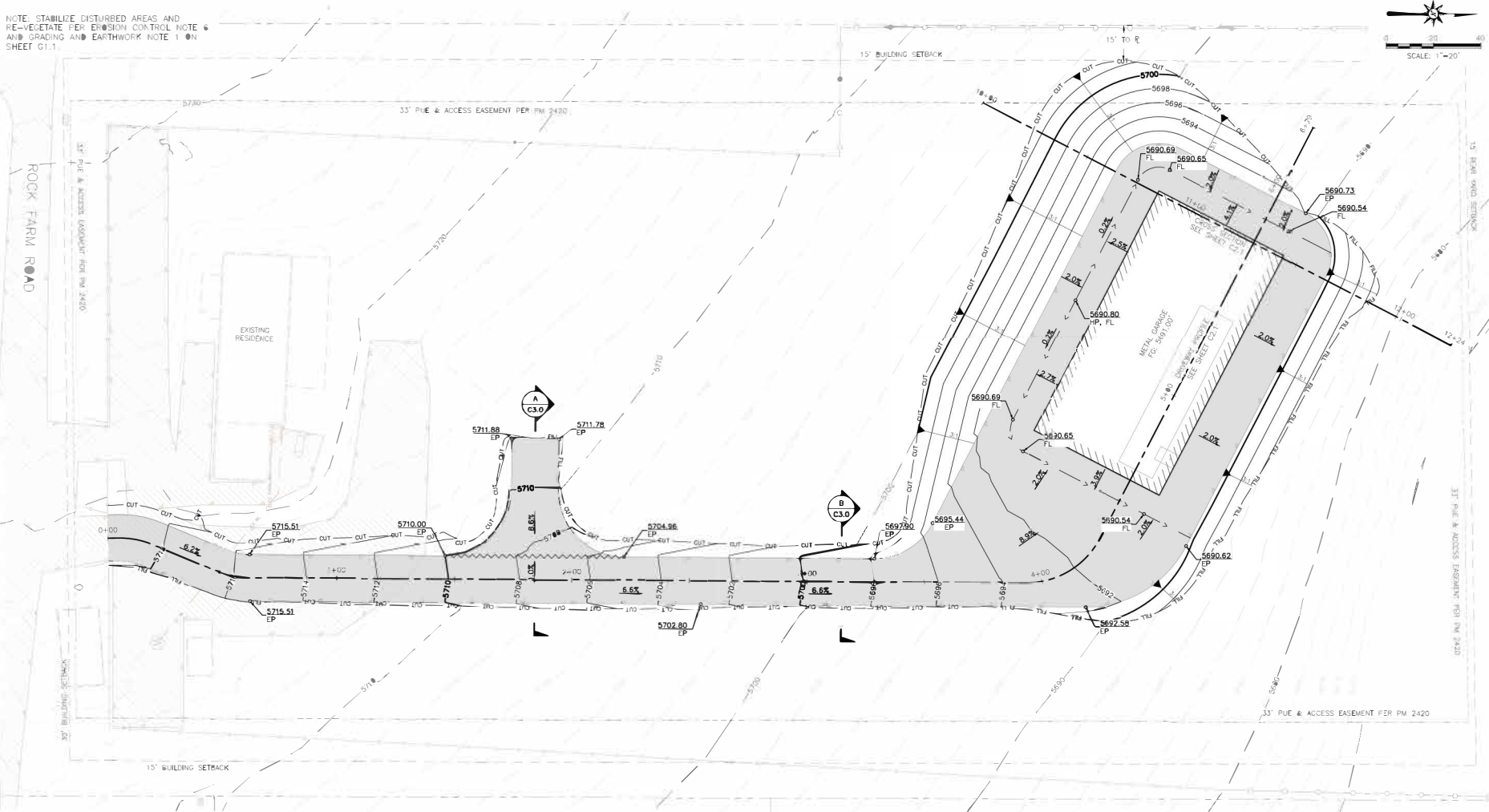
TEL: (775)853-9100  
FAX: (775)853-9199

| REV | DATE | BY | APP'D |
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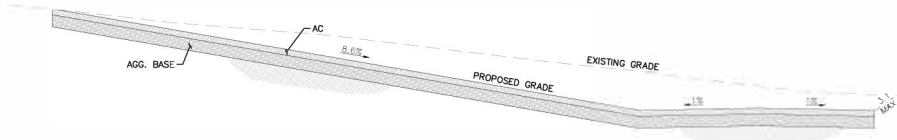
**WADMIN23-0015**  
**EXHIBIT D**



NOTE: STABILIZE DISTURBED AREAS AND RE-VEGETATE PER EROSION CONTROL NOTE 6 AND GRADING AND EARTHWORK NOTE 1 ON SHEET C1.1



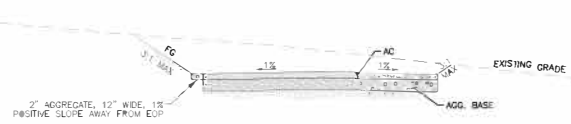
**GRADING PLAN**



**A** STATION 1+84 CROSS SECTION WITH TURNOUT

NOTE: SEE TYPICAL CROSS SECTION, DETAIL 1/02 #, FOR MATERIALS

HORIZ SCALE: 1"=20', VERT SCALE: 1"=10'



**B** STATION 3+14 CROSS SECTION

NOTE: SEE TYPICAL CROSS SECTION, DETAIL 1/02 G, FOR MATERIALS

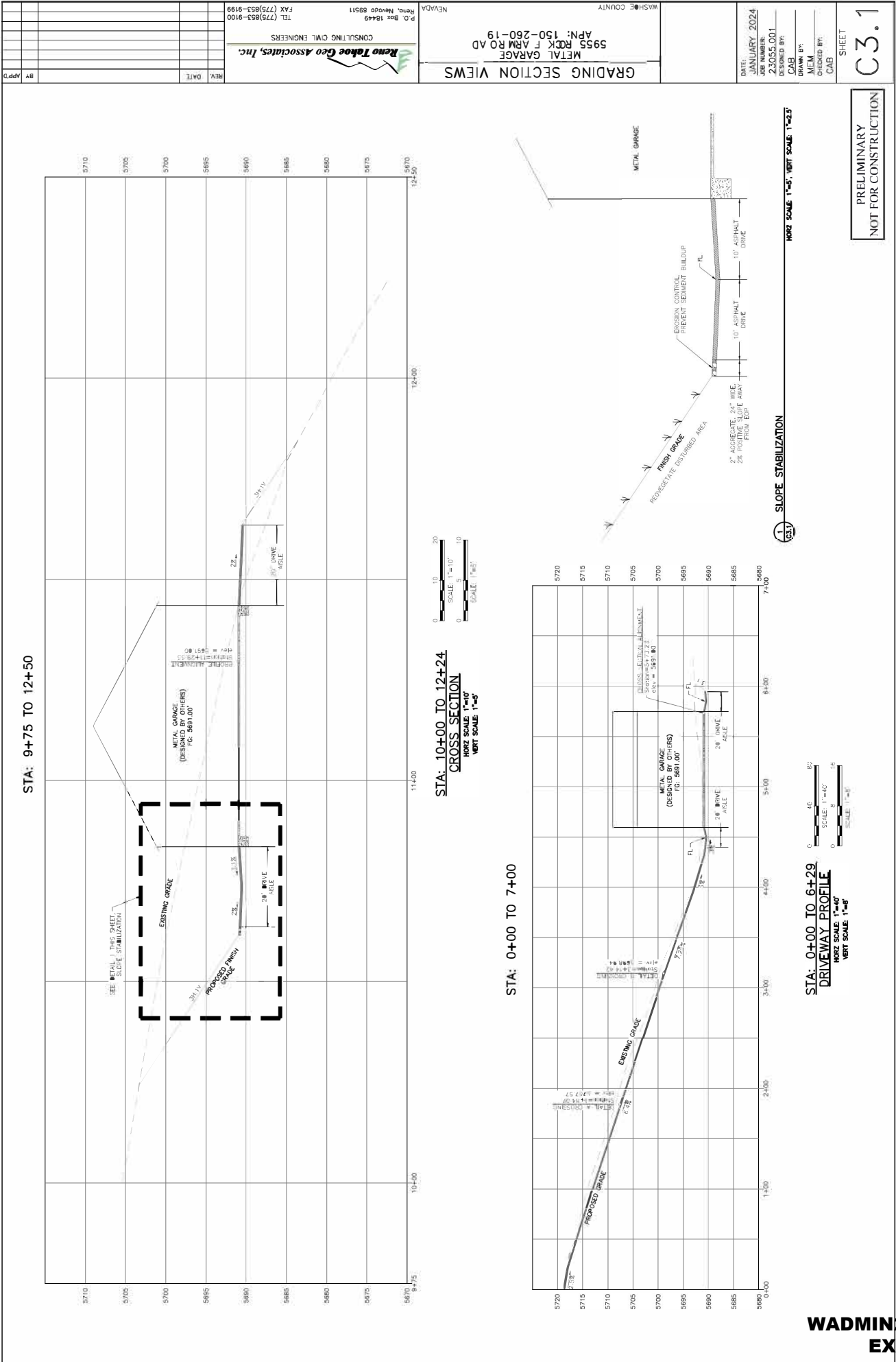
HORIZ SCALE: 1"=20', VERT SCALE: 1"=10'

**SITE EARTHWORK**

|             |                |
|-------------|----------------|
| CUT         | 3,081 CY       |
| FILL        | 408 CY         |
| NET BALANCE | 2,673 CY (CUT) |

**PRELIMINARY NOT FOR CONSTRUCTION**

|  |              |
|--|--------------|
| BY: JAPP   |              |
| REV:   | DATE:        |
| <br><b>Reno Tahoe Geo Associates, Inc.</b><br>CONSULTING CIVIL ENGINEERS<br>P.O. Box 18448<br>Reno, Nevada 89501<br>TEL: (775)833-9195<br>FAX: (775)833-9199 |              |
| <b>GRADING PLAN</b><br><b>METAL GARAGE</b><br><b>5955 ROCK FARM ROAD</b><br><b>APN: 150-260-19</b>   |              |
| NEVADA   |              |
| WESLIE COUNTY  |              |
| DATE:  | JANUARY 2024 |
| JOB NUMBER:  | 23055.001    |
| DESIGNED BY:   | CAB          |
| DRAWN BY:  | JEM          |
| CHECKED BY:  | CAB          |
| SHEET  | C3.0         |



| REV | DATE | BY | APP'D |
|-----|------|----|-------|
|     |      |    |       |
|     |      |    |       |
|     |      |    |       |

TEL: (775)853-9100  
 FAX: (775)853-9199  
 Reno Tahoe Geo Associates, Inc.  
 CONSULTING CIVIL ENGINEERS  
 P.O. Box 18449  
 Reno, Nevada 89511  
 NEVADA

GRADING SECTION VIEWS  
 METAL GARAGE  
 5955 ROCK FARM ROAD  
 APN: 150-260-19  
 WASHINGTON COUNTY

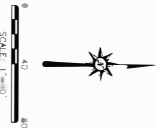
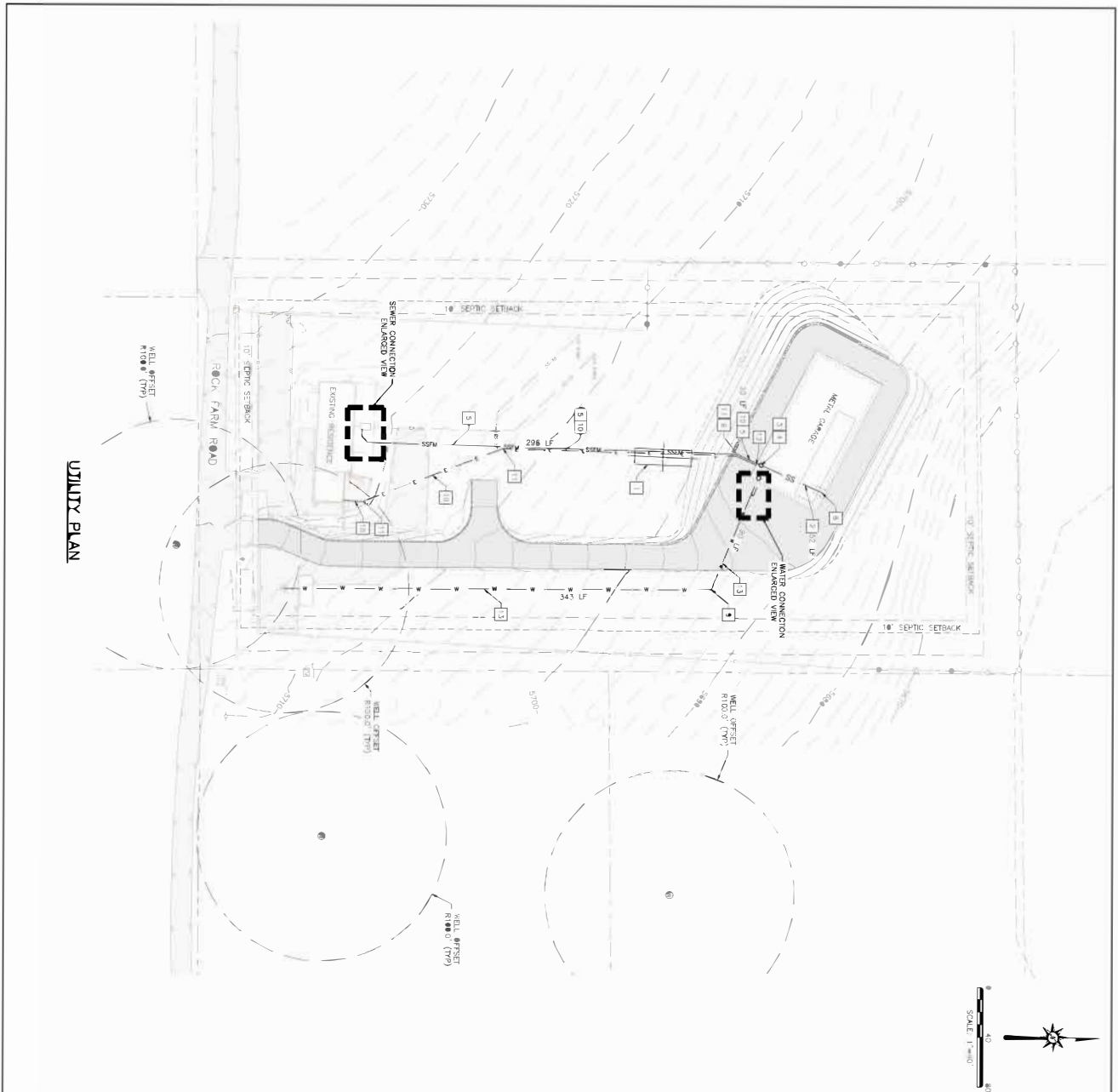
DATE: JANUARY 2024  
 DRAWN BY: CAB  
 CHECKED BY: MEM  
 SHEET: C3.1

PRELIMINARY  
 NOT FOR CONSTRUCTION

STA: 0+00 TO 6+29  
 DRIVEWAY PROFILE  
 HORIZ SCALE: 1"=40'  
 VERT SCALE: 1"=8'

STA: 10+00 TO 12+24  
 CROSS SECTION  
 HORIZ SCALE: 1"=40'  
 VERT SCALE: 1"=2'

STA: 9+75 TO 12+50  
 HORIZ SCALE: 1"=40'  
 VERT SCALE: 1"=2'

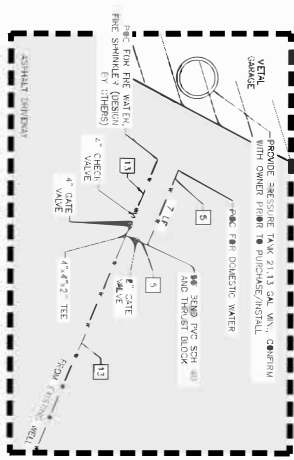


**SHEET NOTES:**

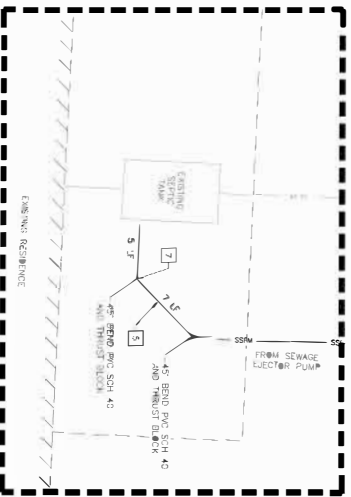
- 1) RECONSTRUCTION TEST PIT LOCATION. DETAIL 1/03.0
- 2) 4" GRANITE SEWER S18-25 PVC (SLOPE 2% MINIMUM). DETAIL 3&4/03.0
- 3) SEWAGE ELECTRIC PUMP, SIMPLEX COLLARS AND SEWER, MODEL #405051P19 SEWAGE GRINDER PUMP, 0.5 HORSEPOWER, 115 VOLTS, 1 PHASE, 2" VENT, VERTICAL DISCHARGE, DESIGN POINT @ 34.08 TPD AND 1.3 GPM. PUMP CONTROLS TO WAKE A COMPLETE SYSTEM. DETAIL 5/03.0
- 4) 205 GALLON VERTICAL HOPE OR FIBERGLASS SEWER PUMP TANK, LOCATED INSIDE BUILDING OUTSIDE OF TRAPPIER AREA. DETAIL 5/03.0
- 5) 7.5" PVC SCH 40 PIPE. DETAIL 3&4/03.0
- 6) 2" 22.5' BEND PVC SCH 40 AND THRUST BLOCK
- 7) 2" PVC VAIN TO SEWAGE CONNECTIONS SEE DETAIL 2/03.0
- 8) 1/2" DIA. VENT. DETAIL 3/01.0
- 9) 4" 10.5' BEND PLUS 45' BEND PVC SCH 40 AND THRUST BLOCK
- 10) 2" PVC SCH 40 ELECTRICAL CONDUIT. DETAIL 3&4/03.0
- 11) 2" 22.5' PVC SCH 40 CONDUIT BEND
- 12) STOPFEND, AND ELECTRIC DISCONNECT (OR OTHERS)
- 13) 4" PVC SCH 40 WATER PIPE. DETAIL 3&4/03.0

**DESIGN AND CONSTRUCTION NOTES:**

- 1) NO PUBLIC SEWER IS AVAILABLE
- 2) NO CONCRETE WELLS ARE LOCATED WITHIN 100' OF THE PROPOSED SYSTEM OTHER THAN THOSE WHICH ARE SHOWN
- 3) WATER SUPPLY WILL BE BY PRIVATE WELL
- 4) THERE ARE NO WATERCOOLERS WITHIN 500' OF THE PROPOSED SYSTEM
- 5) MINIMUM SLOPES OF SERVICE LINES FROM BUILDING ARE TO BE MAINTAINED AND SET UNIFORM
- 6) AT ALL LOCATIONS WHERE DEPTH CHANGES UNDER BUILDING FOOTINGS, SEE DETAIL 3/03.0



**WATER CONNECTION ENLARGED VIEW**

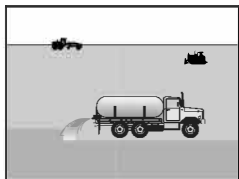


**SEWER CONNECTION ENLARGED VIEW**

PRELIMINARY NOT FOR CONSTRUCTION

|   |   |                                    |                                      |   |
|---|---|------------------------------------|--------------------------------------|---|
| <p>UTILITY PLAN</p> <p>METAL GARAGE</p> <p>5955 ROCK FARM ROAD</p> <p>APN: 150-260-19</p>   | <p><b>Reno Tahoe Geo Associates, Inc.</b></p> <p>CONSULTING CIVIL ENGINEERS</p> <p>P.O. Box 18449<br/>Reno, Nevada 89511</p> <p>TEL (775)853-9100<br/>FAX (775)853-9159</p> | <p>WASHOE COUNTY</p> <p>NEVADA</p> | <p>BY: _____</p> <p>APP'D: _____</p> | <p><b>WADMIN23-0015</b></p> <p><b>EXHIBIT D</b></p> |
| <p>DATE: JANUARY 2024</p> <p>JOB NUMBER: 23055.001</p> <p>DESIGNED BY: MCM</p> <p>DRAWN BY: MCM</p> <p>CHECKED BY: CAB</p> <p>SHEET: C4.0</p> |   |                                    |                                      |   |

**Wind Erosion and Dust Control**



Graphic used with permission of Caltrans

**EC-5**



Map Symbol

**Purpose:** Storm water runoff, wind, erosion, and vehicle trackout from construction sites can re-disperse sediments to the air by high winds and traffic. Therefore, the purpose of dust control is to minimize these effects.

- Applications:**
- All construction sites having exposed soils must perform dust control measures.
  - Wind erosion and dust control is important in arid and windy regions.
  - Areas with soils with fine particles (silt and clay) are more prone to dust if the surface is disturbed.
  - Dust control is a permanent or treatment between but must be adequate upon project completion.
  - Dust control methods can help to minimize pollutants in the storm drain system; are generally inexpensive.
  - Wind fences (snow fences) are applicable in arid regions where large areas of cleared land are susceptible to blowing sand and dust.
- Limitations:**
- During construction dust control measures are only temporary and may require reapplication.
  - Incorrect usage of chemical stabilizers can have adverse effects on water quality.

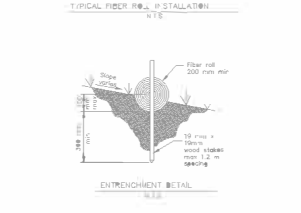
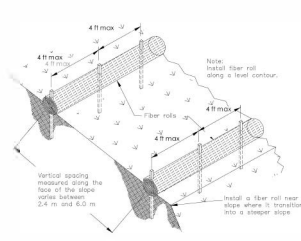
**Wind Erosion and Dust Control EC-5**

**Standards and Specifications:**

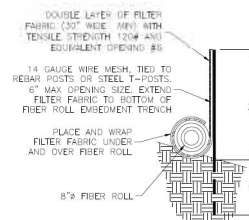
- Discharges from these can occur if excessive water is applied resulting in runoff.
  - Factors such as soil type, temperature, humidity, and wind velocity will impact the effectiveness of dust control measures.
  - Wind fences do not control sediment carried in storm water runoff. Install additional sediment and erosion control measures to capture sediment in runoff (see Section 9).
  - Follow District Health Department standards and specifications when applying dust control measures at construction sites.
  - Wind fences are barriers made of small, evenly spaced wooden slats or fabric. They are erected to reduce wind velocity and to trap blowing sand.
  - Erect wind fences perpendicular to the prevailing wind source. Multiple fences may be erected to help prevent wind erosion. Software packages are available to assist with proper design.
  - Reduce disturbance of soil crust.
  - Other techniques used to control and minimize dust include the application of coarse gravel.
  - Magnesium chloride, resins, and lignin sulfonate may be used on roads where revegetation will not occur as these products inhibit plant establishment.
- Application:**
- Maintaining road surfaces is an effective dust control method for traffic routes.
  - This technique is short term and requires constant reapplication especially in windy areas.
  - Apply 0.03 - 0.3 gal/ft<sup>2</sup> uniformly to pre-wet the soil surface.
  - Apply 0.125 gal/ft<sup>2</sup> every 20-30 minutes.
  - Reapply chemicals in dry climates by rewetting with 0.1 - 0.2 gal/ft<sup>2</sup>.
  - Avoid ponding.
  - Use a pressure-type distributor or a pipeline equipped with a spray system to evenly distribute water for dust control.
  - Provide a positive means to shut-off distribution equipment.
  - Provide at least one water truck or hydroseeder to apply water; dust palliative to the construction site.
  - If non-potable water is used for dust control, all tanks, pipes, and other components shall be clearly marked with "NON-POTABLE WATER - DO NOT DRINK".

**Fiber Rolls**

**SC-1**



Graphic adapted and used with permission of Caltrans.



**WIND EROSION AND DUST CONTROL**



NTS

**FIBER ROLL**

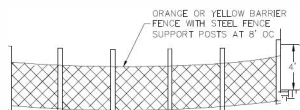


NTS

**SILT FENCE**



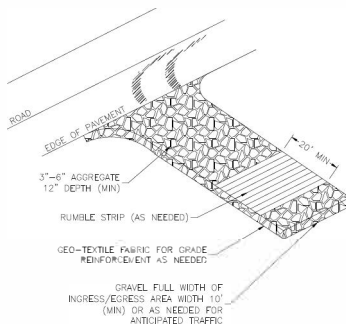
NTS



**TEMPORARY CONSTRUCTION FENCING**



NTS



**VEHICLE TRACKING CONTROL**



NTS

| BY | DATE |
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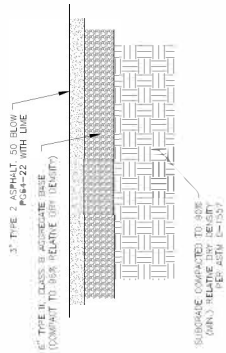
**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
TEL: (775) 833-9195  
FAX: (775) 833-9199  
P.O. Box 16648  
Reno, Nevada 89511

**BMP DETAILS**  
METAL GARAGE  
5955 ROCK FARM ROAD  
APN: 150-260-19

DATE: JANUARY 2024  
JOB NUMBER: 23055.001  
DESIGNED BY: CAB  
DRAWN BY: JCM  
CHECKED BY: CAB

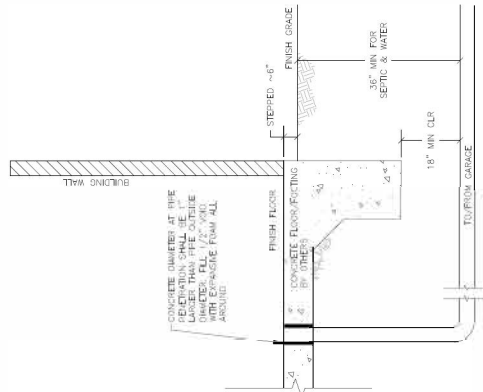
SHEET D1.0

PRELIMINARY  
NOT FOR CONSTRUCTION



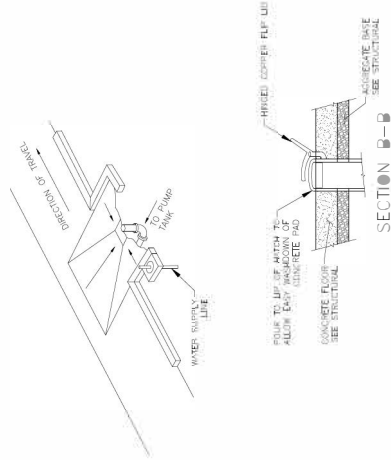
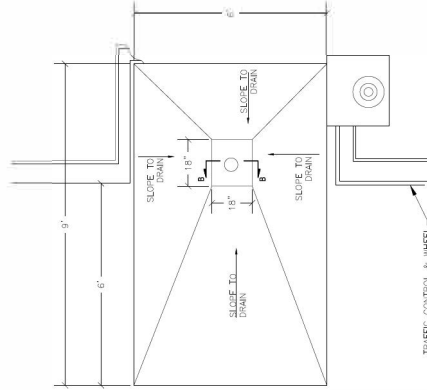
1 DRIVEWAY CROSS SECTION

3 (20)



2 PIPE/FOOTINGS CLEARANCE

3 (20)



3 RV DUMP

3 (20)

NOT TO SCALE

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET

D2.0

DATE: JANUARY 2024  
 DRAWN BY: CAB  
 CHECKED BY: MEM  
 DESIGN NO: 23055.001  
 DESIGN BY: CAB

METAL GARAGE  
 5955 ROCK FARM ROAD  
 APN: 150-260-19

SITE DETAILS

WASHINGTON COUNTY

NEVADA

P.O. Box 18449  
 Reno, Nevada 89511

CONSULTING CIVIL ENGINEERS  
**Reno Tahoe Geo Associates, Inc.**

TEL: (775)853-9100  
 FAX: (775)853-9198

| REV | DATE | BY | APP'D |
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|  |                       |
|--|-----------------------|
| TEST PIT NO. _____                     | SET UP: 08/02/2021    |
| TEST NO. _____                         | PROJ: 08/02/2021      |
| INSTRUMENTS: 8" 400 x 12" SIGHT        | FIELD TECH: B. ZILBER |
| SOIL TESTED: MULTI-SAMPLING (MUL) (10) |                       |

| TIME (hr:min:sec) | WATER CHG (in:ft) | REMARKS                          |
|-------------------|-------------------|----------------------------------|
| 0:30              | 2"                | Initial Water Added, 148 (00:00) |
| 0:30              | 2"                | Proceed, 148 (00:00)             |
| 0:30              | 2"                |                                  |
| 0:30              | 2"                | Terminate, 148 (00:00)           |

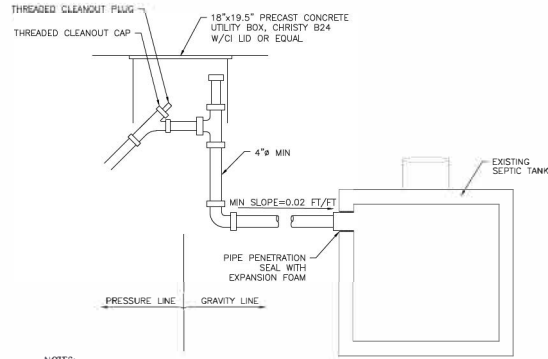
  

PERCOLATION RATE: 40 Minutes Per Inch  
 DEPTH TEST PERFORMED: 2 Feet  
 PIT EVALUATED TO IS FIELDWORK

DESCRIPTION:  
 SAND SHOWS LIGHT REDDISH ORANGE COARSE SAND WITH SOME GRAVEL UP TO 2"  
 YELLOWISH-BROWN SILTY-SAND VERY FINE SAND-FINE-COARSE SAND (SM) WITH GRAVEL

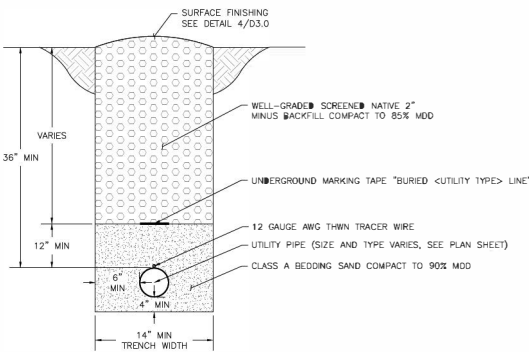
DEPTH (feet): 0, 5, 10, 15  
 TERMINATED AT 13FT  
 NO GROUNDWATER ENCOUNTERED

1 PERCOLATION TEST PIT RESULTS  
 D3.0 NOT TO SCALE

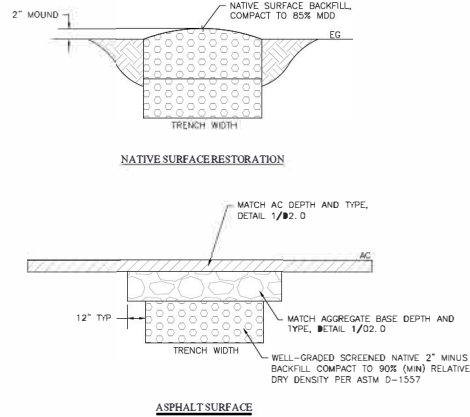


NOTES:  
 DISCHARGE LINE: THE PRESSURE PORTION OF THE DISCHARGE LINE SHALL INCLUDE A CHECK VALVE, GATE VALVE AND FLEXIBLE COUPLINGS AND SHALL BE A MINIMUM 1/2" DIAMETER LARGER THAN THE PUMP DISCHARGE. ALL PIPE, VALVES AND COUPLINGS SHALL CONFORM TO THE STANDARD SPECIFICATIONS. THE GRAVITY PORTION OF THE DISCHARGE LINE SHALL BE FOUR (4) INCH MINIMUM DIAMETER PIPE, SHALL MEET THE COUNTY REQUIREMENTS FOR SIDE SEWERS AND SHALL PROVIDE A MINIMUM TWELVE (12) INCH VERTICAL DROP AT THE JUNCTION WITH THE PRESSURE LINE.

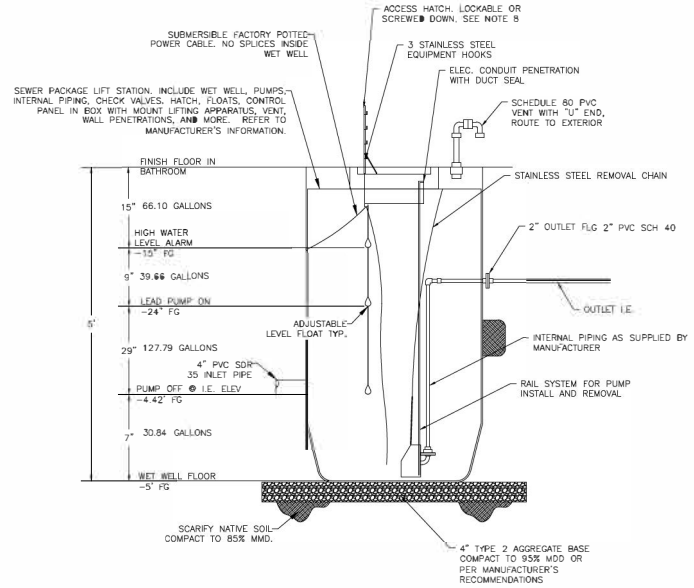
2 SSFM TO GRAVITY SEWER  
 D3.0 NOT TO SCALE



3 UTILITY TRENCH DETAIL  
 D3.0 NOT TO SCALE



4 TRENCH SURFACE FINISHING  
 D3.0 NOT TO SCALE



GENERAL NOTES

1. SET FLOATS CONTROL POINTS AS NECESSARY IN CONSULTATION WITH MANUFACTURER/SUPPLIER.
2. WET WELL TOTAL VOLUME APPROXIMATELY 265 GALLONS
3. STATION TOP WITH ACCESS COVER, CABLE TRAY, WET WELL VENT, AND ANCHOR INSERTS FOR DISCONNECT PANEL AND PUMP HOIST. WET WELL TOP SLABS ARE PEDESTRIAN RATED.
4. FOLLOW OSHA PRACTICES WHEN WORKING IN CONFINED SPACES.
5. CONTRACTOR SHALL PERFORM LEAK TESTING OF PUMP DISCHARGE PIPING AT 1.5 TIMES WORKING PRESSURE FOR A DURATION OF ONE HOUR. CONTRACTOR SHALL SUPPLY ALL FITTINGS, PUMPS, AND OTHER EQUIPMENT NECESSARY TO PERFORM THE TEST.
6. INSTALLATION MUST BE PLUMB AND LEVEL.
7. ALARM IN VISIBLE AND AUDIBLE LOCATION PER STATE AND LOCAL CODE.
8. PROTECT FROM TRAFFIC OR PROVIDE FOR TRAFFIC RATED LOADING.
9. PROVIDE SHOP DRAWINGS TO THE PROJECT ENGINEER PRIOR TO PURCHASE/INSTALL. REFERENCE GENERAL NOTE 19 ON G1.

LIFT STATION DESIGN DATA

- GOULDS SEWAGE GRINDER PUMP WITH LIFT STATION PACKAGE INCLUDING INTERNAL VALVES, PIPING, AND GUIDE RAILS, READY FOR SERVICE.
- INCLUDES CONTROL PANEL AND 3 FLOATS
- 115V
- 0.5 HORSEPOWER MOTOR
- PASSES UP TO 2" SOLID
- ONE PUMP IN SIMPLEX CONFIGURATION IN SYSTEM DEPICTED ON THIS SHEET:  
 ~13 GPM @ ~34.06 FT TDH SIMPLEX OPERATION  
 265 GALLON WET WELL - CONFIRM WITH MFR  
 WET WELL DEPTH: 5 FEET - CONFIRM WITH MFR
- CONSULT PUMP AND LIFT STATION PACKAGE MANUFACTURER REGARDING CONTROL SET POINTS

5 CONCEPTUAL SEWAGE EJECTOR PUMP  
 D3.0 NOT TO SCALE

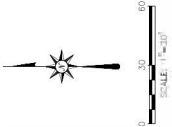
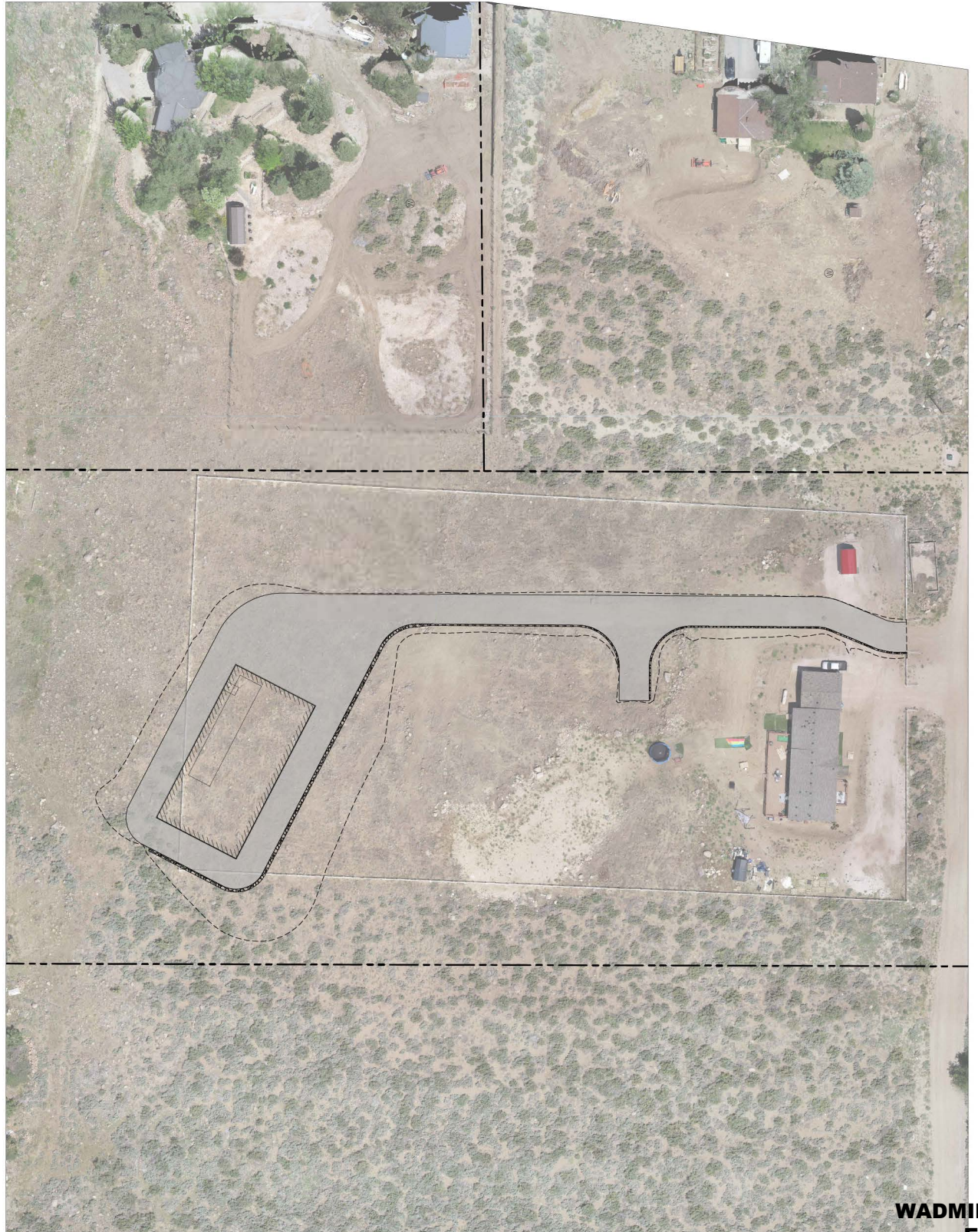
PRELIMINARY  
 NOT FOR CONSTRUCTION

|  |              |
|--|--------------|
| BY: JAMPD  | DATE:        |
| REV:   | DATE:        |
| <b>RENO TANKS GEO ASSOCIATES, INC.</b><br>CONSULTING CIVIL ENGINEERS<br>P.O. Box 16346<br>Reno, Nevada 89511<br>TEL: (775)853-9100<br>FAX: (775)853-9101 |              |
| <b>UTILITY DETAILS</b><br>METAL GARAGE<br>5955 ROCK FARM ROAD<br>APN: 150-260-19   |              |
| DATE:  | JANUARY 2024 |
| JOB NUMBER:  | 23055.001    |
| DESIGNED BY:   | CAB          |
| DRAWN BY:  | JFM          |
| CHECKED BY:  | CAB          |
| SHEET  | D3.0         |



|                    |  |
|--------------------|--|
| DATE: JANUARY 2024 | WASHOE COUNTY                          |
| DRAWN BY: MEM      | NEVADA                                 |
| CHECKED BY: CAB    | P.O. Box 18449                         |
| SHEET              | Reno, Nevada 89511                     |
|                    | 5955 ROCK FARM ROAD                    |
|                    | APN: 150-260-19                        |
|                    | METAL GARAGE                           |
|                    | CONSULTING CIVIL ENGINEERS             |
|                    | <i>Reno Tahoe Geo Associates, Inc.</i> |
|                    | TEL (775)853-9100                      |
|                    | FAX (775)853-9199                      |
| REV                | DATE                                   |
| BY                 | APP'D                                  |

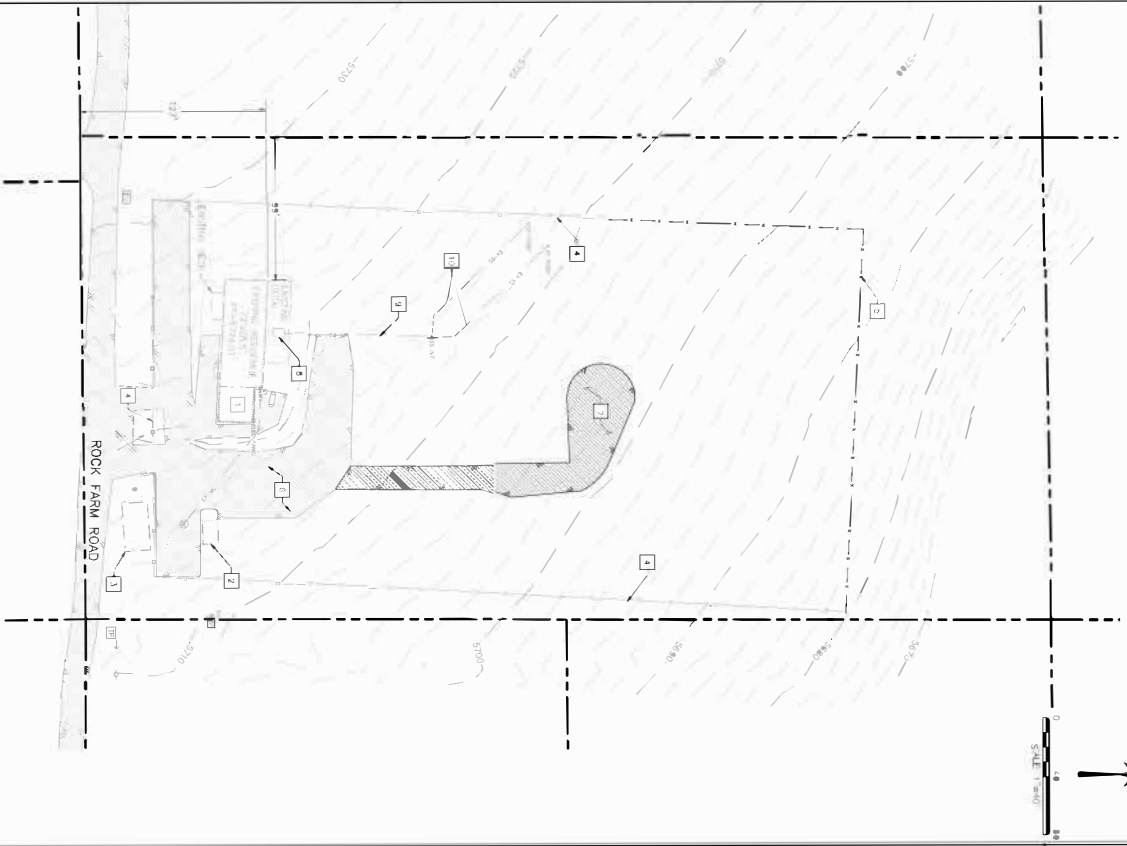
PRELIMINARY  
NOT FOR CONSTRUCTION



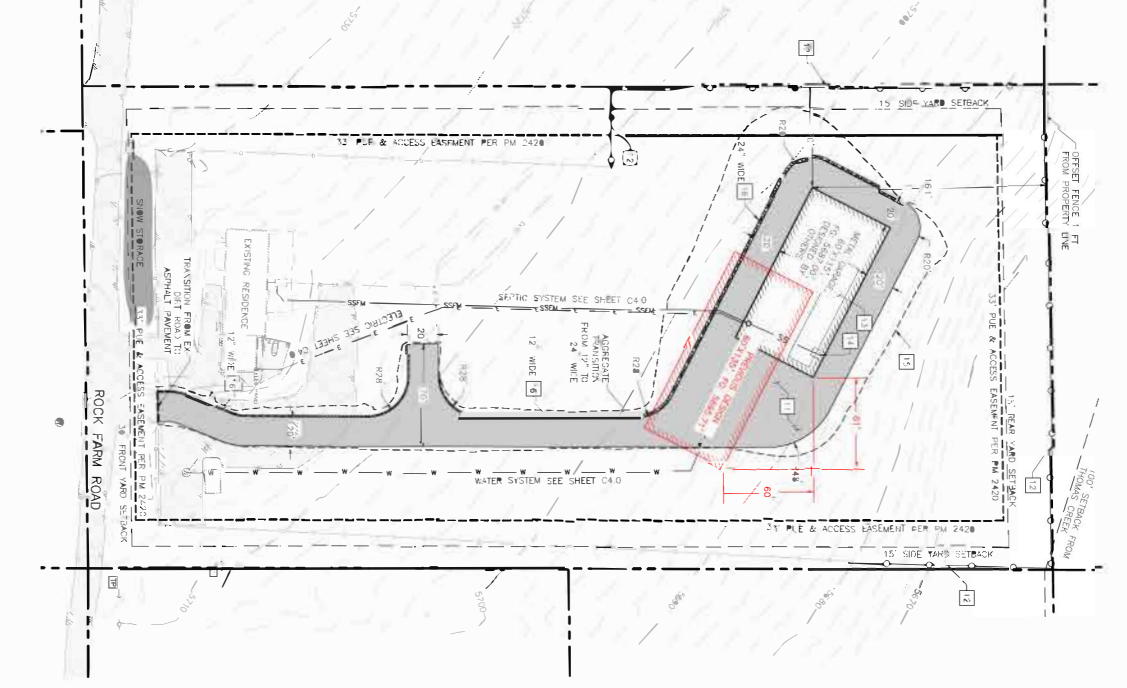
**WADMIN23-0015**  
**EXHIBIT D**



EXISTING SITE / DEMOLITION PLAN



SITE PLAN



PRELIMINARY  
NOT FOR CONSTRUCTION

**GENERAL NOTES:**  
 1. EXISTING UTILITIES SHOWN ARE SUBJECT TO FIELD SURVEY.  
 2. EXISTING UTILITIES ARE SHOWN PER RECORD DRAWINGS AND FIELD SURVEY.  
 3. ALL UTILITIES SHALL BE DELETED PER THE EXISTING RESIDENCE.  
 4. NO AREAS OF PARTIAL MAJOR ACTIVE FAULT LINES (PMS-HOLOGEN), WETLAND AREAS, PLACED LINES OR HYDROLOGICAL RESOURCES LOCATED ON THE PROPERTY.

- SHEET NOTES:**
- 1. EXISTING SHED
  - 2. EXISTING FOUNDATION
  - 3. EXISTING FENCE 10' FT TOTAL TO BE REMOVED IN PLACE
  - 4. EXISTING FENCE 137' FT TOTAL TO BE REMOVED
  - 5. EXISTING ENCLOSED DET BAY
  - 6. 1/4" X 4" OF EXISTING PROPOSED OVER RAIL, INTERFERING WITH EXISTING FENCE SECTIONS
  - 7. EXISTING 1000 GALLON SEPTIC TANK
  - 8. EXISTING SEPTIC LINE AT 30'-10" DEEP AT 28' DIA. RADIUS
  - 9. EXISTING SEPTIC TRENCH
  - 10. EXISTING SEPTIC TRENCH
  - 11. 11'-0" X 8'-0" EXISTING DRIVEWAY (RECORD 1/10/21)
  - 12. FENCE LINE OF TOTAL WIDTH EXISTING
  - 13. ALL WORK SHALL BE DESIGNED BY OWNER
  - 14. ALL WORK SHALL BE PERMITTED BY OWNER
  - 15. (UNPERMITTED) 10' X 10' (SHED) (ACTS)
  - 16. 449 LF TOTAL GARAGE DRIVEWAY ENDS (292 LF FROM 24" WIDE SECTION, 357 LF FROM 12" WIDE), 2" SLOPE (DEPTH 0/130 AND DUMPED W/0/231)

DATE: JANUARY 2024  
 DESIGNED BY: 23055.001  
 DRAWN BY: CAB  
 CHECKED BY: M.E.M.  
 CANS

**DEMO PLAN & SITE PLAN**  
 METAL GARAGE  
 5955 ROCK FARM ROAD  
 APN: 150-260-19  
 WASHOE COUNTY NEVADA



P.O. Box 18449  
 Reno, Nevada 89511  
 TEL (775) 853-9100  
 FAX (775) 853-9199

| REV | DATE | BY | APP'D |
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**WADMIN23-0015**  
**EXHIBIT D**