



Board of Adjustment Staff Report

Meeting Date: July 7, 2022

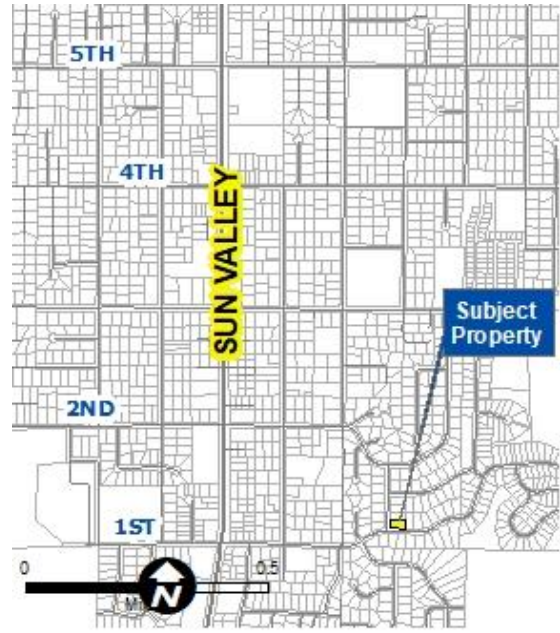
Agenda Item: 9D

SPECIAL USE PERMIT CASE NUMBER:	WSUP22-0014 (Vater DAD)
BRIEF SUMMARY OF REQUEST:	To allow a ±768 sq. ft. detached accessory dwelling unit
STAFF PLANNER:	Julee Olander, Planner Phone Number: 775.328.3627E-mail: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit to allow a ±768 sq. ft. detached accessory dwelling unit at 505 E 1st Street with an existing ±1,568 sq. ft. residence; the regulatory zone of the parcel is Medium Density Suburban (MDS), and a special use permit is required per Washoe County Code Table 110.302.05.1. and 110.306.25.

Applicant/ Owner: Ben Vater
 Location: 505 E 1st Ave
 APN: 085-182-08
 Parcel Size: 0.35 acres
 Master Plan: Suburban Rural (SR)
 Regulatory Zone: Medium Density Suburban (MDS)
 Area Plan: Sun Valley
 Development Code: Authorized in Authorized in Article 306, Accessory Uses and Structures; and Article 810, Special Use Permits Special Use Permits
 Commission District: 3 – Commissioner Jung



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0014 for Ben Vater, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30.

(Motion with Findings on Page 7)

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Project Application Exhibit D

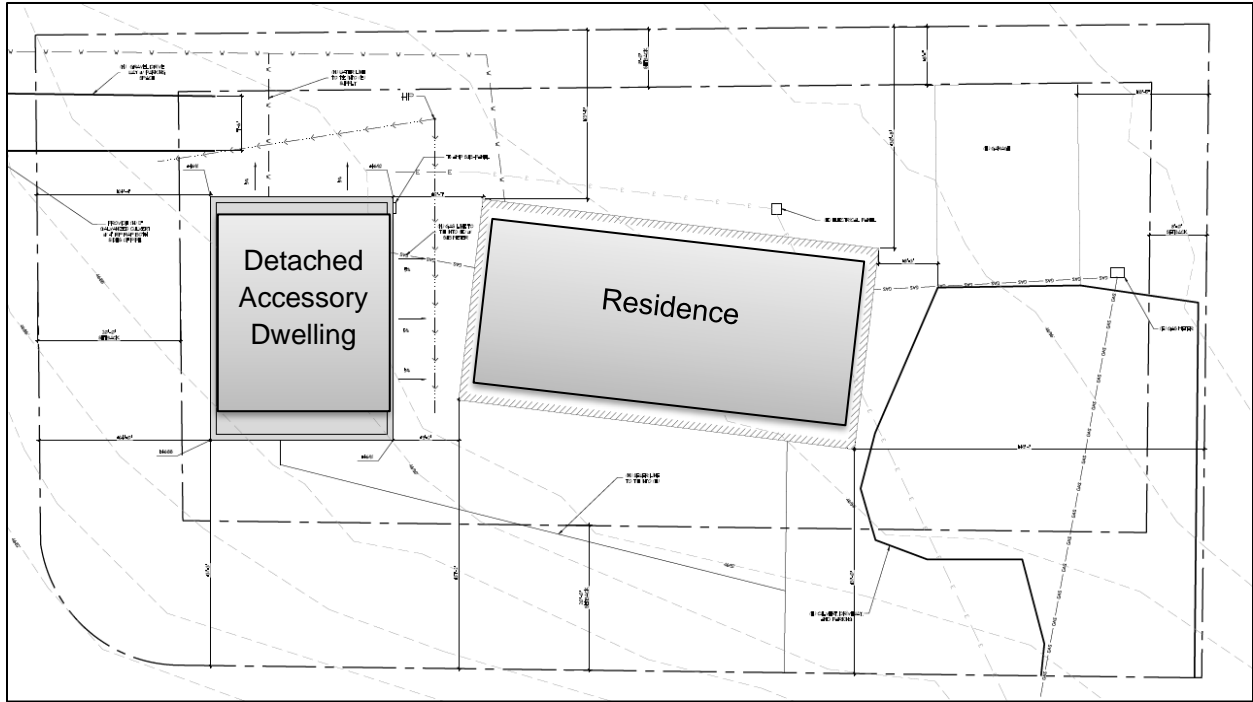
Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

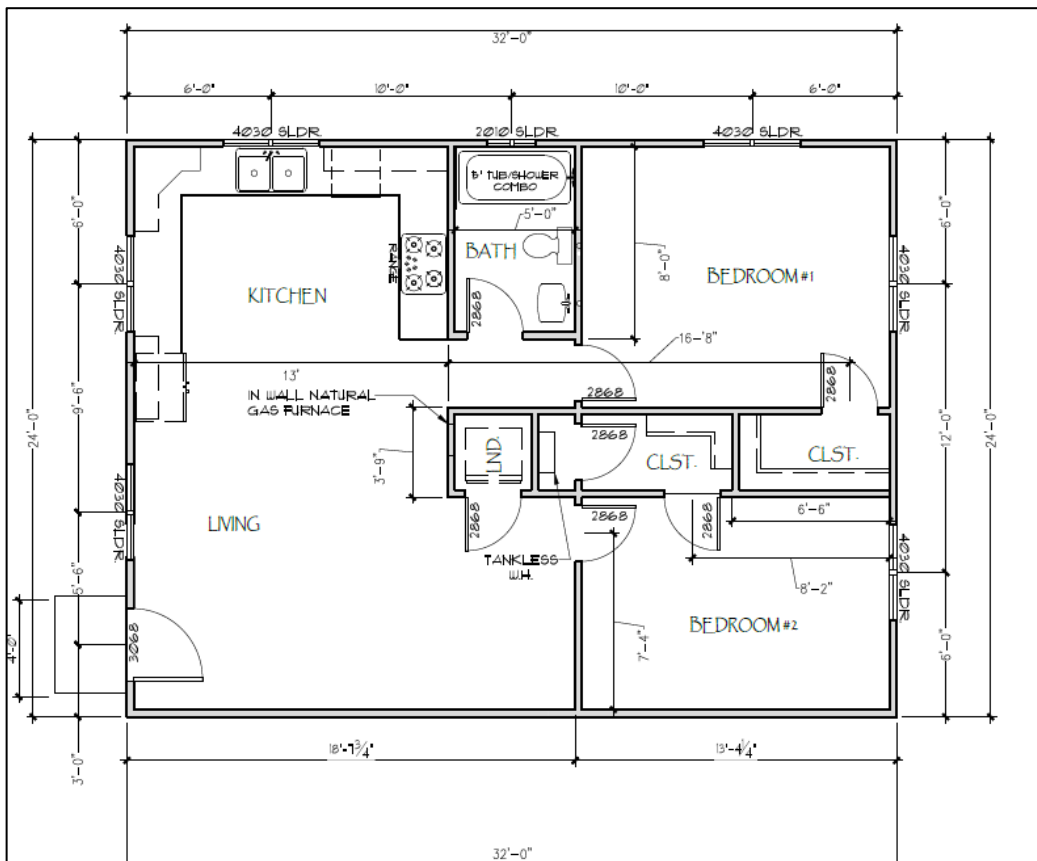
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP22-0014 are attached to this staff report and will be included with the action order.

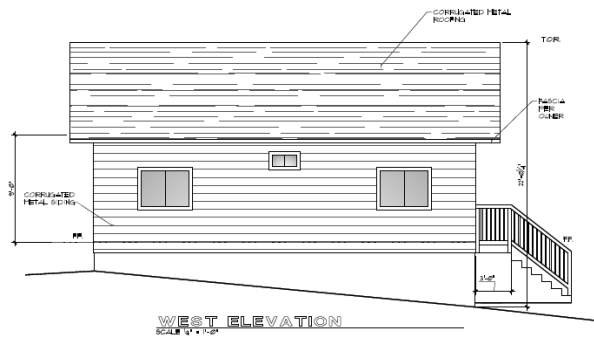
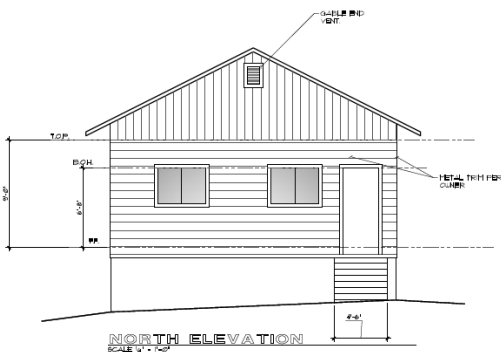
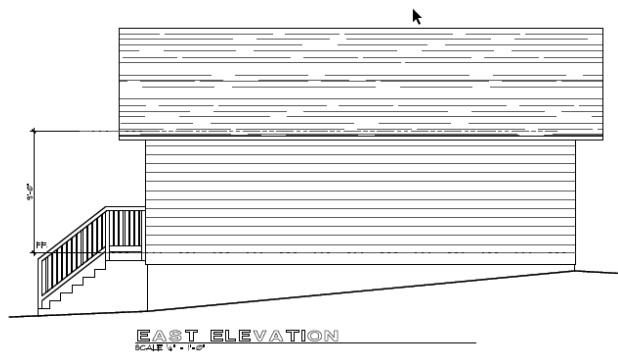
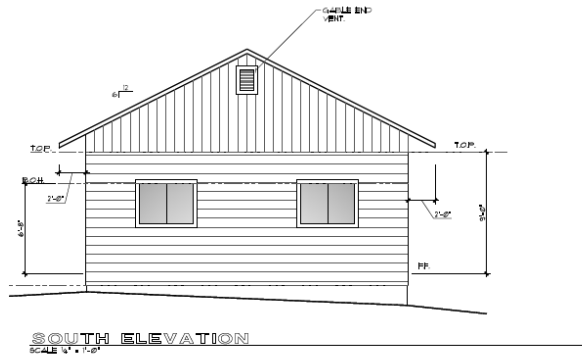
The subject property is designated as Medium Density Suburban (MDS). The proposed use of detached accessory dwelling unit which is classified as a residential use is permitted in MDS with a special use permit per WCC Table 110.302.05.1. and WCC 110.306.25. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Site Plan



Floor Plan



Elevations

Project Evaluation

The applicant is requesting a special use permit to approve a ±768 sq. ft. detached accessory dwelling unit (DAD) on the same parcel of land where a ±1,568 sq. ft. residence is located. The parcel has a regulatory zone of Medium Density Suburban (MDS) and a special use permit is required for MDS regulatory zoned properties per WCC Table 110.302.05.1 and 110.306. 25.

The detached accessory dwelling (DAD) will include two bedrooms, a bathroom, kitchen and living room (See floor plans above). Parking is available on the parcel. The new DAD will connect to community sewer and water as well as power and gas service. The setbacks for MDS are 20 feet in the front and rear and 8 feet on the sides, the DAD will meet all MDS setback requirements.

Area Plan Evaluation

The subject parcel is located within the Sun Valley Area Plan. Staff was unable to find any relevant policies related to detached accessory dwellings.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
US Postal Service	X			
Washoe County Engineering & Capital Projects	X	X	X	Robert Wimer, rwimer@washoecounty.gov
Washoe County Water Rights Manager	X	X	X	Timber Weiss, tweiss@washoecounty.gov
WCHD Environmental Health	X	X		James English, jenglish@washoecounty.gov
TMFPD	X	X	X	Brittany Lemon, blemon@TMFPD.us
Regional Transportation Commission (All Apps)	X			
Washoe-Storey Conservation District (All Apps)	X			
Sun Valley GID	X	X		Chris Melton, cmelton@svgid.com

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

Staff Comment: The application request is consistent with Master Plan and the Sun Valley Area Plan.

- 2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed detached accessory dwelling unit will connect to the existing services, including sewer service, water service and power that are used by the existing residence on the site.

- 3. Site Suitability. That the site is physically suitable for detached accessory dwelling unit, and for the intensity of such a development.

Staff Comment: The parcel is being used for residential housing and the proposed detached accessory dwelling unit will be constructed to meet all Washoe County codes. The detached dwelling unit will meet the setbacks for the MDS regulatory zone.

- 4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The site has a residence on the property, as doing the surrounding properties. The addition of a detached accessory dwelling unit will have minimum impact to the area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations in the area.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP22-0014 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0014 for Ben Vater, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for a detached accessory dwelling unit and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant / Owner: Ben Vater
ben.vater.bv@gmail.com



Conditions of Approval

Special Use Permit Case Number WSUP22-0014

The project approved under Special Use Permit Case Number WSUP22-0014 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on July 7, 2022. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1001 E. Ninth St., Reno, NV 89512-2845

Telephone: 775.328.6100 – Fax: 775.328.6133

www.washoecounty.gov/csd/planning_and_development

**WSUP22-0014
EXHIBIT A**

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- d. Construction hours are 7am to 7pm Monday through Saturday.
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Robert Wimer, P.E. 775.328.2059, rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.
- c. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

Truckee Meadows Fire Protection District

3. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon, Title, 775.326.6079, blemon@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>

Washoe County Water Management Planner Coordinator

4. The following conditions are requirements of Washoe County Water Management Planner Coordinator, who shall be responsible for determining compliance with these conditions.

Contact: Timber Weiss, 775.328.3699, tweiss@washoecounty.gov

- a. The applicant must provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance. Please email a copy of the SVGID approval to: tweiss@washoecounty.gov

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
 RENO, NEVADA 89512
 PHONE (775) 328-3600
 FAX (775) 328.3699

Date: May 26, 2022

To: Julee Olander, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **Vater Detached Accessory Dwelling WSUP22-0014**
 APN 085-182-08

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the construction of a detached accessory dwelling unit and is located on approximately 0.35 acres at the northeast corner of E 1st Ave and Oetting Ln in Sun Valley. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Ben Vater. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The



Subject: ***Vater Detached Accessory Dwelling WSUP22-0014***
Date: May 26, 2022
Page: 2

property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties.”

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

1. No traffic related conditions.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No utility related conditions.

From: [Lemon, Brittany](#)
To: [Olander, Julee](#)
Cc: [Way, Dale](#)
Subject: WSUP22-0014 (Vater Detached Accessory Dwelling) Conditions of Approval
Date: Monday, May 23, 2022 8:48:31 AM
Attachments: [image001.png](#)

Good Morning Julee,

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

Thank you.

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



“Committed to excellence, service, and the protection of life and property in our community”

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

May 23, 2022

Washoe County Community Services
Planning and Development Division

RE: Water Detached Accessory Dwelling; 085-182-08
Special Use Permit; WSUP22-0014

Dear Washoe County Staff:

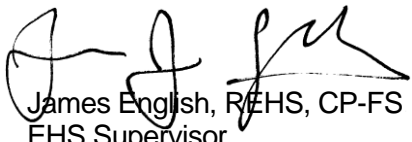
The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division (WCHD), which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has no requirements or conditions for this project as submitted.
- b) Condition #2 The WCHD does note, the parcel is actually served by Sun Valley General Improvement District for public water and sewerage service.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services
Washoe County Health District



From: cmelton@svgid.com
To: [Olander, Julee](#)
Cc: "[Brad](#)"
Subject: WSUP22-0014 Vater DADAR
Date: Thursday, May 12, 2022 4:31:52 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Julee,

No comment on this item, not in SVGID service area. Let me know if you have any questions or concerns.

Thanks,

Chris Melton
General Manager
Sun Valley General Improvement District
5000 Sun Valley Blvd.
Sun Valley, NV 89433
Phone: 775-673-7700
Fax: 775-673-7707
CMelton@svgid.com
Website: www.svgid.com

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WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

1001 East 9th Street
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

May 26, 2022

TO: Julee Olander, Planner, CSD, Planning & Development Division
FROM: Timber Weiss, PE, Licensed Engineer, CSD
SUBJECT: Special Use Permit Case Number WSUP22-0014 (Vater Detached Accessory Dwelling)

Project description:

The applicant is proposing to approve a special use permit to allow a ± 768 sq. ft. detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS) as required by Washoe County Code 110.306.25 at 505 E 1st Street.

Assessor's Parcel Number: 085-182-08.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

This property is served by Sun Valley General Improvement District (SVGID). Applicant must provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance.

Please email a copy of the SVGID approval to: tweiss@washoecounty.gov



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

1001 East 9th Street
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

May 26, 2022

TO: Julee Olander, Planner, CSD, Planning & Development Division
FROM: Timber Weiss, PE, Licensed Engineer, CSD
SUBJECT: Special Use Permit Case Number WSUP22-0014 (Vater Detached Accessory Dwelling)

Project description:

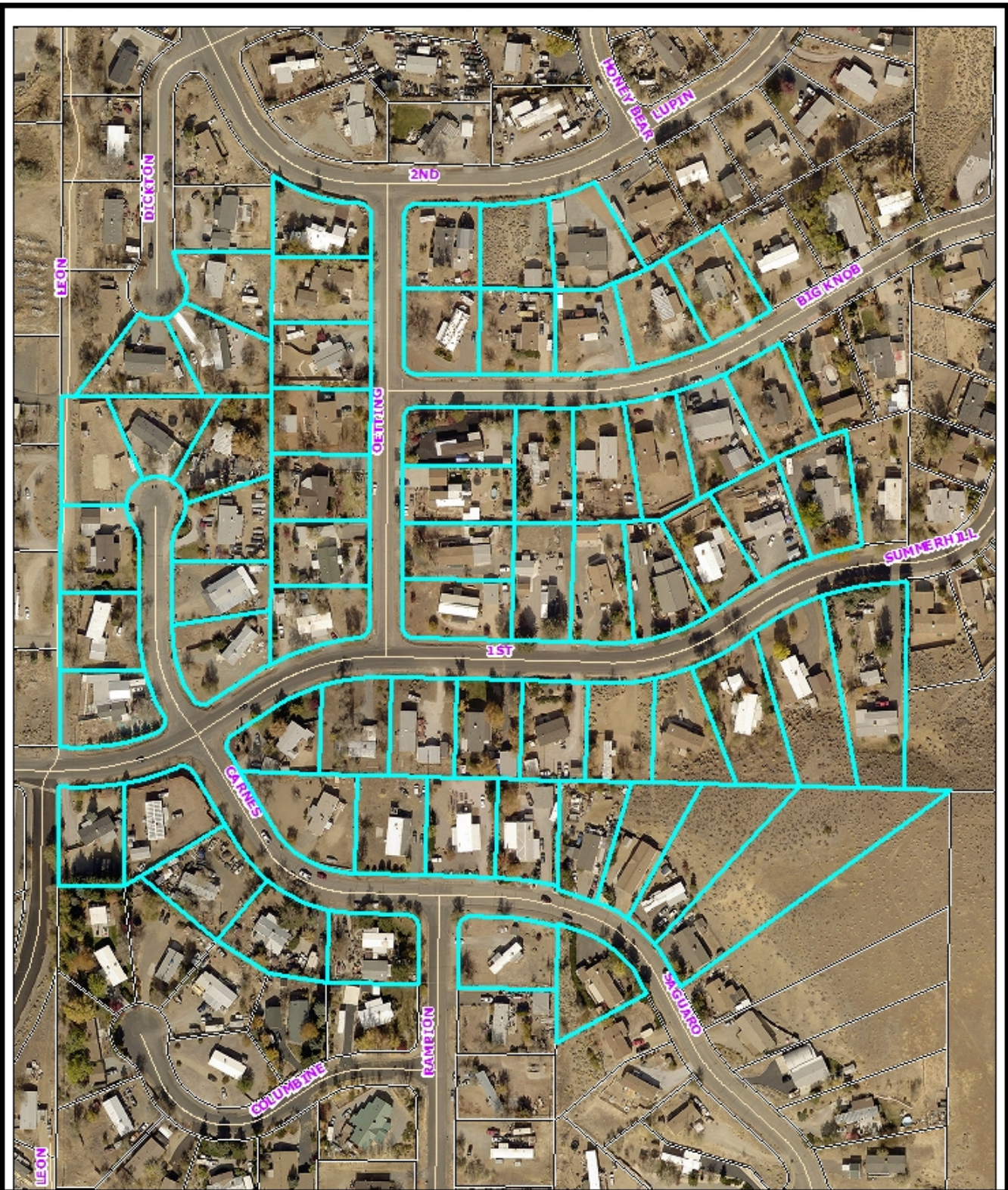
The applicant is proposing to approve a special use permit to allow a ± 768 sq. ft. detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS) as required by Washoe County Code 110.306.25 at 505 E 1st Street.

Assessor's Parcel Number: 085-182-08.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

This property is served by Sun Valley General Improvement District (SVGID). Applicant must provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance.

Please email a copy of the SVGID approval to: tweiss@washoecounty.gov



WSUP22-0014 Vater DAD

Vicinity Map - 500 feet



Community Services
Department



1001 E Ninth St
Reno, Nevada 89512 (775) 328-3600

Source: Planning and Building Division

Date: 5/11/2022

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Vater Detached Accessory Dwelling			
Project Description: Single story, wood framed, detached accessory dwelling.			
Project Address: 505 E 1st Ave, Sun Valley NV 89433			
Project Area (acres or square feet): 768			
Project Location (with point of reference to major cross streets AND area locator): west corner lot on e1st Ave and Oetting			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
085-182-08	0.35		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Ben Vater		Name: Ben Vater	
Address: 505 e 1st Ave		Address: 505 E 1st Ave	
Sun Valley	Zip: 89433	Sun Valley	Zip: 89433
Phone: 408 710 2903	Fax:	Phone: 4087102903	Fax:
Email: ben.vater.bv@gmail.com		Email: ben.vater.bv@gmail.com	
Cell:	Other:	Cell:	Other:
Contact Person: Ben Vater		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Ben Vater		Name:	
Address: 505 e 1st Ave		Address:	
Sun Valley	Zip: 89433		Zip:
Phone: 408 710 2903	Fax:	Phone:	Fax:
Email: ben.vater.bv@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Ben		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Benjamin Vater

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Benjamin Vater
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 085-182-08

Printed Name Benjamin Vater

Signed [Signature]

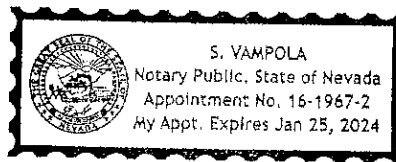
Address 505 E 1st Ave
Sun Valley, NV, 89433

Subscribed and sworn to before me this 28th day of APRIL, 2022

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: January 25, 2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Detached accessory dwelling.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Please see attached.

3. What is the intended phasing schedule for the construction and completion of the project?

intended start date 8-1-22
intended finish date 8-1-23

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

This project will benefit the adjacent properties by encouraging stick built construction as opposed to manufactured construction.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

I do not foresee any major negative impacts on adjacent properties. There will be small increase in traffic in the neighborhood. However, I don't see this as a major dilemma.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Please see attached plans

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Washoe County Utilities
b. Electrical Service	NV energy
c. Telephone Service	Charter
d. LPG or Natural Gas Service	NV energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter
g. Water Service	TMWA

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

--

10. Community Services (provided and nearest facility):

a. Fire Station	Reno Fire Department, 110 Quartz Ln, Sun Valley, NV 89433
b. Health Care Facility	Renown Regional Medical Center, 1155 Mill St, Reno, NV 89502
c. Elementary School	Sun Valley Elementary, 5490 Leon Dr, Sun Valley, NV 89433
d. Middle School	Fred Tanner middle school, 1700 Carville Dr, Reno, NV 89512
e. High School	Procter R Hug High School, 2880 Sutro St, Reno, NV 89512
f. Parks	Sun Valley Community Park, 115 W 6th Ave, Sun Valley, NV 89433
g. Library	North Valleys Library, 1075 N Hills Blvd, Reno, NV 89506
h. Citifare Bus Stop	Sun Valley Boulevard and E 1st Avenue

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

9. What are the planned hours of operation?

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

11. What is the intended phasing schedule for the construction and completion of the project?

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

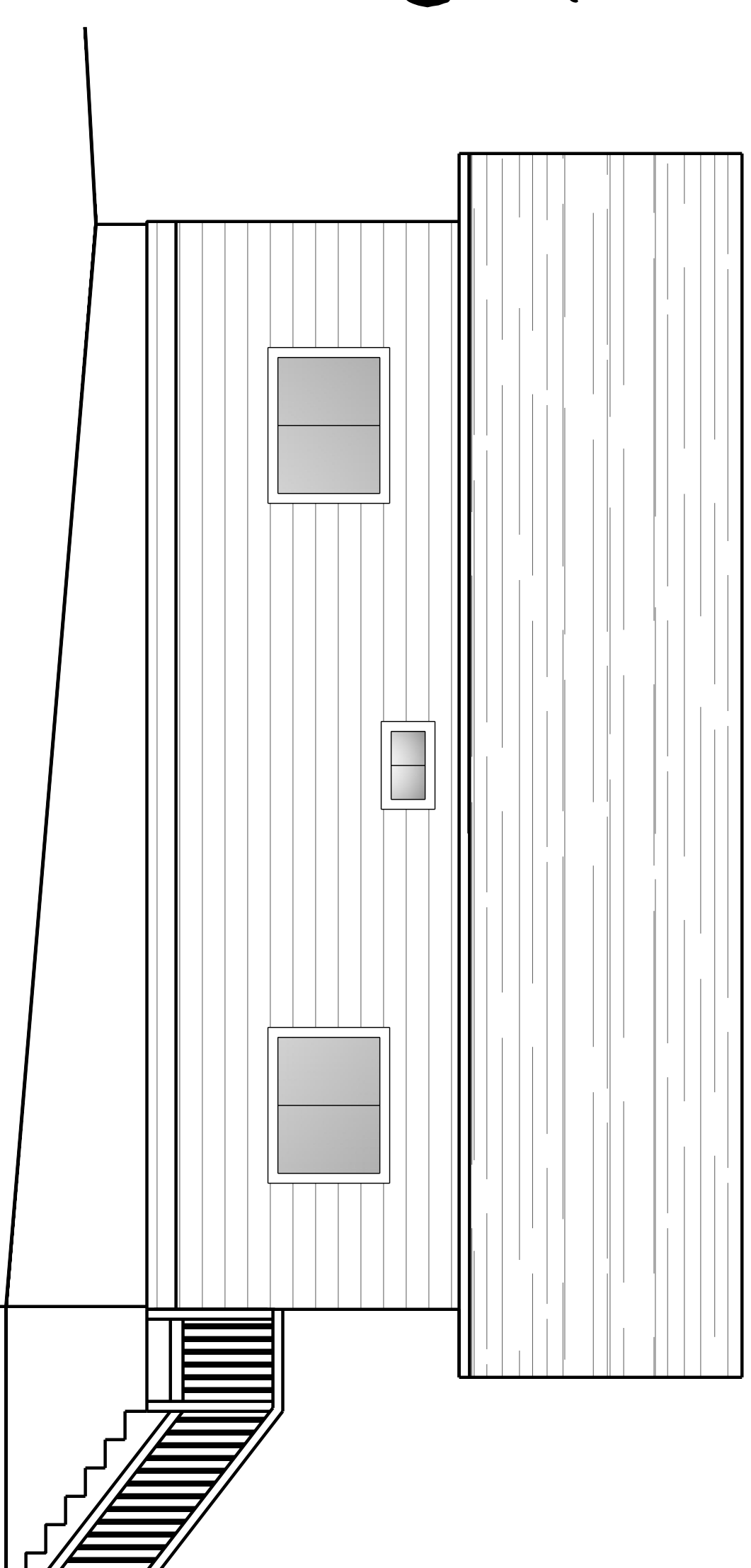
13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Vater Detached Accessory Dwellings

505 E 1st Ave
Sun Valley, Nv.



WEST ELEVATION
SCALE 1/4" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL JOB SITE REQUIREMENTS AND FOR COORDINATION OF ARCHITECTURAL DRAWINGS.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENTIAL DESIGNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS OR OTHER PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENT IS CLEAR.
3. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.
4. CONTRACTORS AND SUBCONTRACTORS SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO COMER AND COOPERATE WITH THE CONTRACTOR IN THE PROTECTION AND MAINTENANCE OF THE PUBLIC IS PROTECTED. AND SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT.
5. CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE PROJECT.
6. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND FOR ALL DAMAGES TO ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.

BASIS OF DESIGN

- BUILDING CODE:**
 208 INTERNATIONAL BUILDING CODE - 'IBC'
 208 INTERNATIONAL RESIDENTIAL CODE - 'IRC'
 208 INTERNATIONAL ENERGY CONSERVATION CODE - 'IECC'
 201 NATIONAL ELECTRICAL CODE - 'NEC'
 208 NORTHERN NEVADA CODE AMENDMENTS BY THE NNCICC
- ALL OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT**

PROJECT INFORMATION

SCOPE OF WORK:
 A NEW DETACHED 1-STORY STRUCTURE TO BE BUILT WITH 2X4 EXTERIOR WALLS AND 8" THICK CONCRETE FOUNDATION. CORRELATED METAL TO MATCH (E) AND SINDING TO MATCH (E).

ADDRESS:
 505 E 1ST AVE, SUN VALLEY NV 89433

A.P.N.:
 085-182-08

ZONING:
 RDS

FLOOD ZONE:
 X

NUMBER OF STORIES:
 ONE

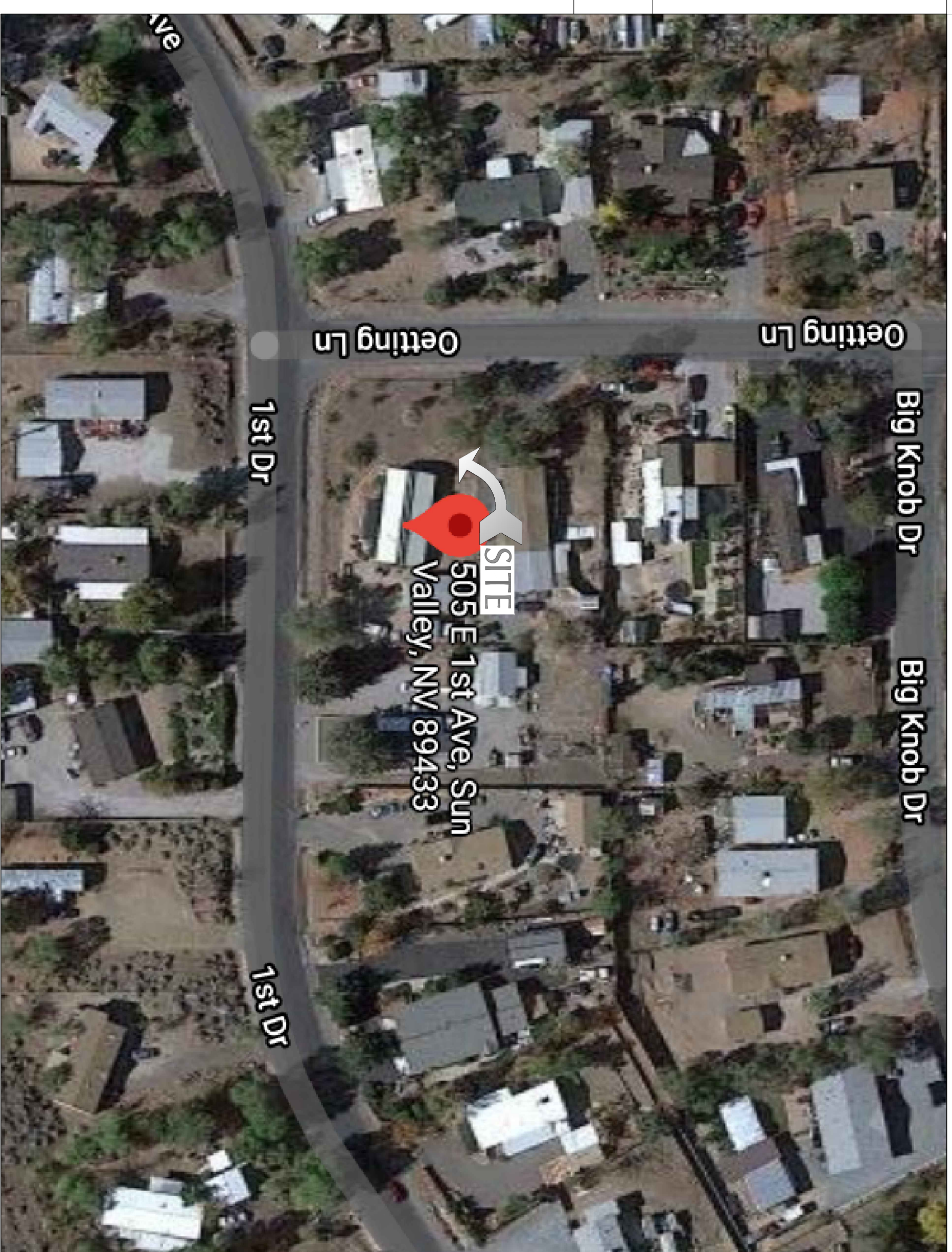
PARCEL AREA:
 0.38 ACRES

AREA TABULATIONS:

(E) RESIDENCE: 1568 SF.
 (N) DETACHED STRUCTURE: 168 SF.

VICINITY MAP

NO SCALE



DRAWING INDEX

- ARCHITECTURAL**
 A-0 COVER SHEET, PROJECT DATA, BASIS OF DESIGN, VICINITY MAP, SYMBOL LEGEND
 A-1 SITE PLAN
 A-2 FLOOR PLAN, ELECTRICAL PLAN
 A-3 ELEVATIONS
 A-4 SECTION & DETAILS
- STRUCTURAL**
 S-1 FOUNDATION PLAN, SHEAR-WALL PLAN, ROOF RAFTING PLAN
 S-D-1 STRUCTURAL NOTES AND SCHEDULES
 S-D-2 STRUCTURAL DETAILS
 S-D-3 STRUCTURAL DETAILS

DIRECTORY

OWNER
 BENJAMIN VATER
 505 E 1ST AVE, SUN VALLEY, NEVADA 89433

ENGINEER
 BENJAMIN VATER, P.E.
 K2 ENGINEERING
 860 MAESTRO DR. STE. A
 RENO, NV 89511
 P: (775) 355-0505
 F: (775) 355-0566
 WWW.K2ENG.NET

Revisions

Revision	Date	By
1	1-29-22	BWV
2	2-1-22	BWV
3	2-2-22	BWV
4	2-2-22	BWV

Vater Detached Accessory Dwelling

505E 1st Ave
A.P.N.: 085-182-08

Sun Valley, Nevada
89433

860 Maestro Dr., Ste. A
Reno, NV 89511
P: (775) 355-0505
F: (775) 355-0566
WWW.K2ENG.NET



Cover Sheet

A-0

GENERAL SITE NOTES

1. ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2006 EDITIONS) AND THE 2001 NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
4. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR NOTIFY OWNER OF ANY DISCREPANCIES.
5. CONC. FLOORWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
6. SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
7. MAINTAIN EXISTING DRAINAGE WITH IN 5% (2% MIN) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SLOPE 2'-6" MIN. IN FRONT PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE OVER ADJACENT FRONTAL PROPERTY. MINIMUM SLOPE OF DRAINAGE SHALL BE 1%.
8. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOOD PLAN BOUNDARY OF THE 100-YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
9. THIS SITE IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
10. THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY ACCORDANCE WITH ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
11. NEITHER A TOPOGRAFICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHINGTON COUNTY GIS WEBSITE AND THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO ACCURATELY PLACE THE IMPROVEMENTS.
12. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF TREASURY, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF DEFERRAL SHALL BE LIMITED TO A MAXIMUM OF 100 (100) WORKING DAYS FROM THE DATE OF NOTIFICATION.
13. THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

EARTHWORK ANALYSIS

SITE AREA	0.139 ACRES
SITE DISTURBANCE	0.04 ACRES
PROPOSED CUT	0.00 YD ³
PROPOSED FILL	0.00 YD ³
NET EARTHWORK	0.00 YD ³ CUT

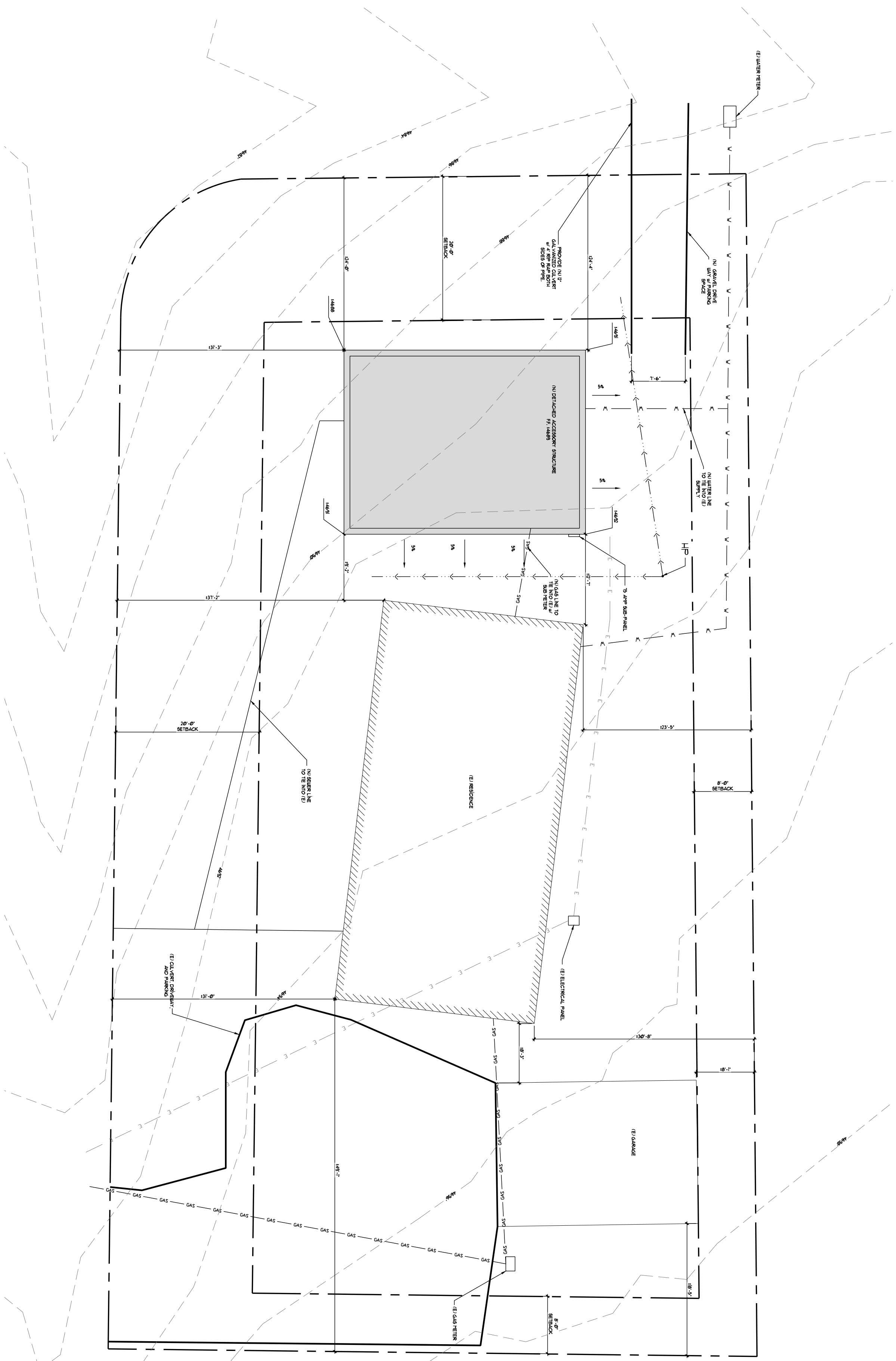
1. THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION IF AVAILABLE AND PERFORM AN INDEPENDENT EARTHWORK CONSTRUCTION PURPOSES.

2. NET EARTHWORK TO BE DISPERSED EVENLY WITHIN THIS PROPERTY.

3. RESEED DISTURBED AREAS WITH NATIVE SEED MIX AND/OR VEGETATION.

ALL IMPROVEMENTS WITHIN THE CITY OF RENO RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF RENO SPECIFICATIONS AND DETAILS. A STREET EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITH THE CITY OF RENO RIGHT-OF-WAY. CITY OF RENO ENGINEERING (775-334-2063) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL/CERTIFICATE OF OCCUPANCY.

GRADES AND TOPOGRAPHY ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE AND VERIFY AND ADJUST AS REQUIRED ALL FINISH ELEVATIONS AND DIMENSIONS TO THE EXISTING CONDITIONS PROVIDED AT THE NEW STRUCTURE AND WATER WILL BE MITIGATED AWAY FROM STRUCTURE AND ON TO RIGHT OF WAY.



SITE PLAN
SCALE 1" = 10'-0"

Vater Detached Accessory Dwelling
 505E 1st Ave
 A.P.N.: 085-182-08
 Sun Valley, Nevada
 89433

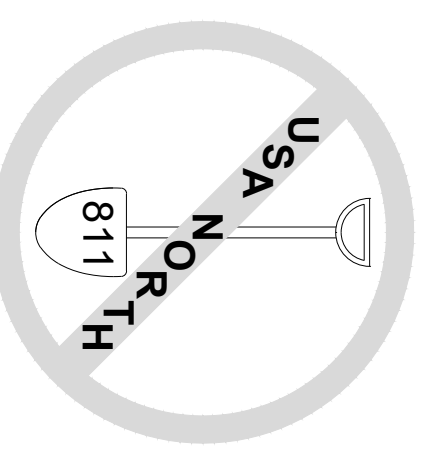
K&K ENGINEERING AND ARCHITECTURE
 860 Maestro Dr., Ste. A
 Reno, NV 89511
 P: (775) 355-0505
 F: (775) 355-0566
 www.k2eng.net

Brandt T. Kennedy, P.E.
 Jared A. Krupa, P.E.

Revisions

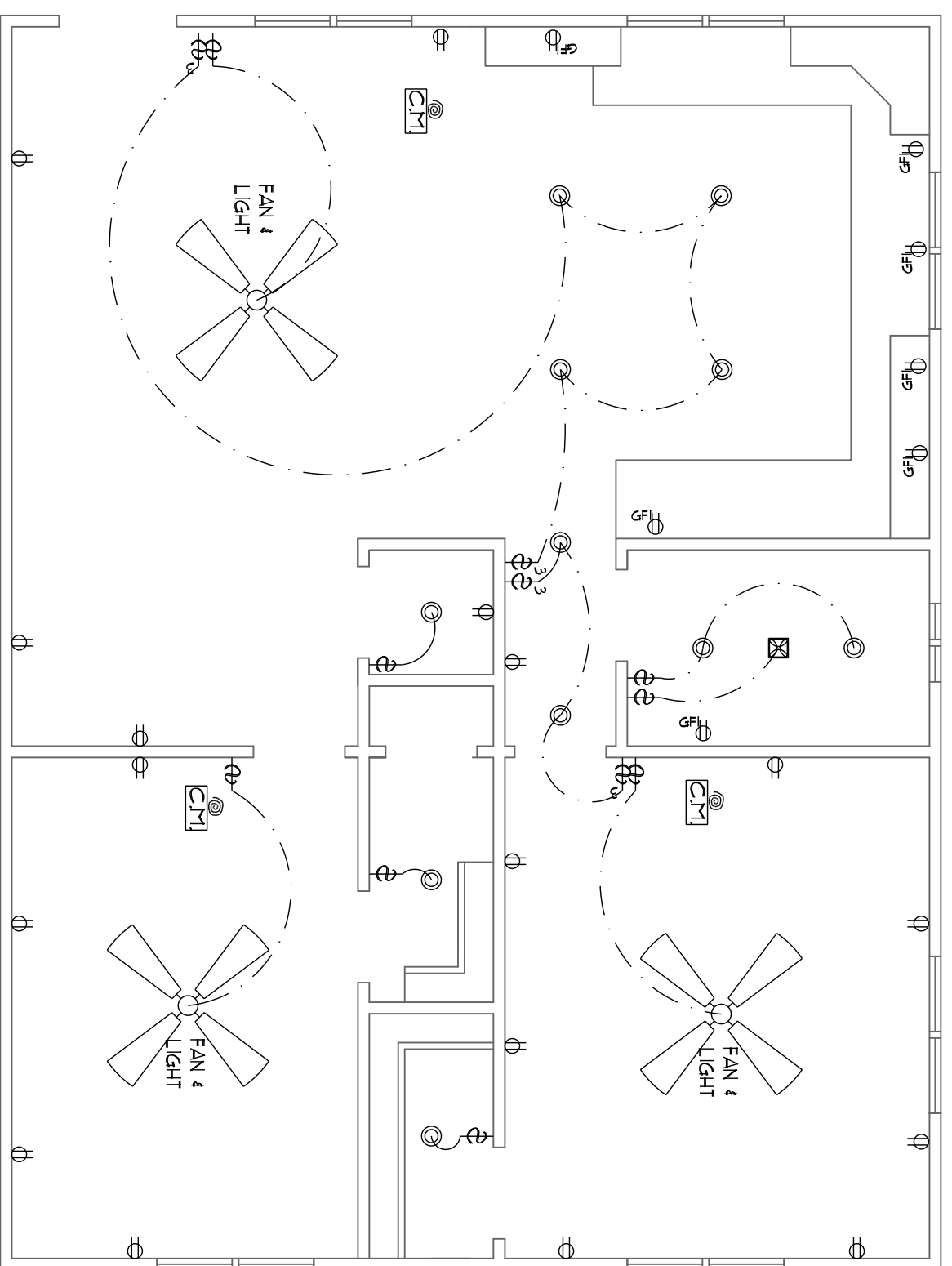
Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

Site Plan
A-1



ELECTRICAL PLAN NOTES

1. ALL ELECTRICAL INSTALLATION SHALL COMPLY WITH THE 2021 NATIONAL ELECTRICAL & LOCAL CODES.
2. ALL PLUG SPACING PER 2021 NEC, TYP.
3. BACK TO BACK ELEC. PER 2021 NEC, TYP.
4. COORDINATE ALL HANGING FIXTURES W/ OWNER.
5. SHOULD ANY LIGHTING CONFLICT W/ FEASIBILITY, RELOCATE PER OWNER SPEC'S.
6. LOCATION(S) OF COLD AIR RETURN TO BE VERIFIED W/ OWNER.
7. ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND LABELED FOR MAX AIR LEAKAGE AND SEALED TO CEILING W/ GASKET OR CAULKING.
8. IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECESSED OUTLETS SHALL BE INSTALLED IN PER 2021 NEC SPECIFIED IN SECTIONS E3202.1 THROUGH E3202.3.
9. CONTRACTOR TO PROVIDE 7 AMPER REEFER RECEPTACLES PER 2018 IRC SECTION E4202.4. FRONT OF ELECT. PANEL.
10. ELECTRIC OUTLET BOXES LOCATED IN FLOORS SHALL BE LISTED FOR IN-FLOOR INSTALLATION.
11. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE OR WITHIN 3" OF RECESSED LUMINAIRES EXCEPT WHERE SUCH LUMINAIRES IDENTIFIED FOR CONTACT WITH INSULATION TYPE IC PER IRC E4202.5.
12. CEILING FAULLIGHT OUTLET BOXES SHALL BE RATED FOR WEIGHT OF FAN / LIGHT.
13. INSTALL SMOKE ALARMS AS REQUIRED BY 2021 IRC SECTION R314 AND LOCAL BUILDING CODES.
14. PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED BY 2018 IRC SECTION R315 AND LOCAL BUILDING CODES.
15. WITH THE EXCEPTION OF SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, AND HOME SECURITY SYSTEMS INSTALLED ON INDIVIDUAL BRANCH CIRCUITS, ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, BED ROOMS, SUN ROOMS, RECEPTION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI (ARC FAULT CIRCUIT INTERRUPTER / AFCI) BRANCH CIRCUIT TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
16. ELECTRICAL PLAN IS FOR SCHEMATIC PURPOSES ONLY. OWNER TO COORDINATE WITH CONTRACTOR AND FIELD VERIFY LOCATION OF ELECTRICAL FIXTURES.
17. 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH EFFICACY.

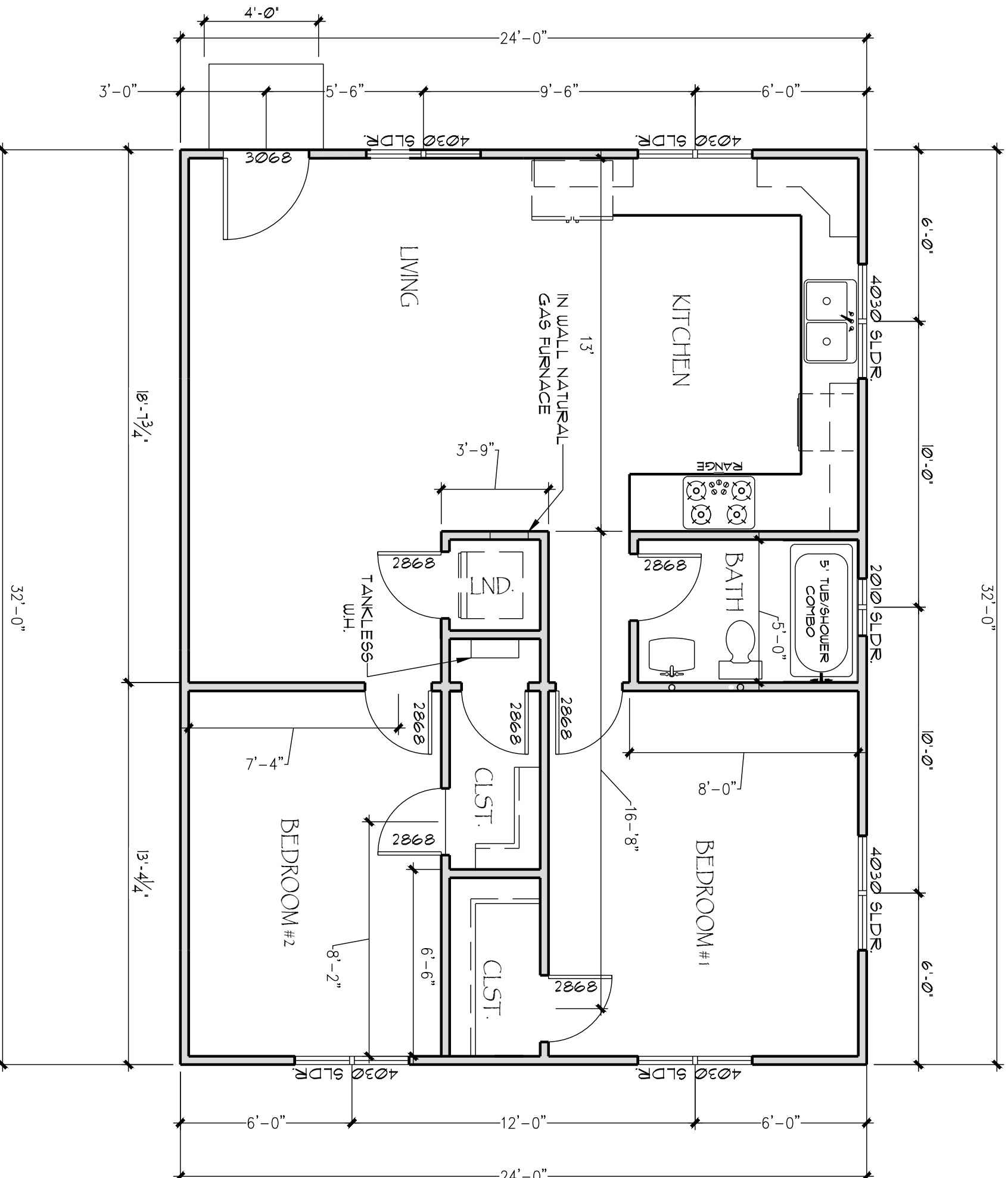


ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

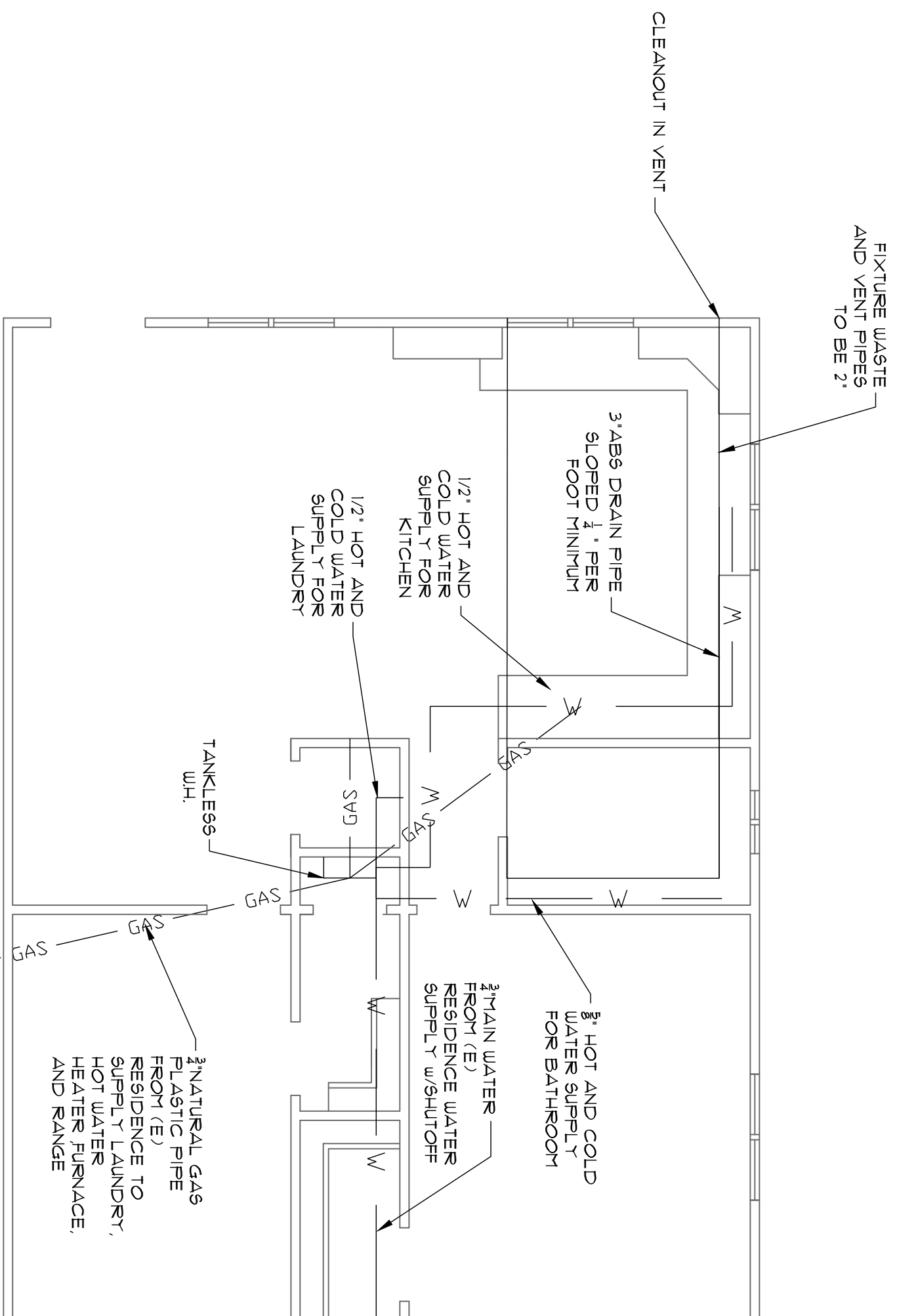
ELECTRICAL LEGEND	
	120 VOLT GFI WALL OUTLET
	220 VOLT GFI WALL OUTLET
	WALL SWITCH - 52' UNO
	3-WAY WALL SWITCH - 52' UNO
	RECESSED LIGHT
	SMOKE/CARBON MONOXIDE DETECTOR
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	EXHAUST FAN / LIGHT COMBO
	INCANDESCENT 3-LIGHT BATH BAR LIGHT
	TV CABLE OUTLET
	2 LAMP FLUORESCENT LIGHT
	FAN & LIGHT COMBO
	GARAGE DOOR OUTLET
	ELECTRICAL CIRCUIT

FLOOR PLAN NOTES

1. TYPICAL EXTERIOR WALL - EXT SIDING OF SHEAR PLY. 2" x 4" @ 24" OC WALL FRAMING SEE REQ CHECK FOR INSULATION VALUES.
2. INTERIOR WALLS: 2x4 STUDS @ 24" OC UNO.
3. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
4. ALL 4" AND LARGER LUMBERS TO BE DRY OR BETTER. ALL OTHERWISE.
5. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER IRC R308.4.
6. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE.
7. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER IRC SECTION R102.3.8.
8. PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM HUIT TO FIXTURE PER IECC R403.4.
9. 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY.
10. EGRESSES WINDOW: MIN. OPEN AREA = 5.7 SQFT. (5 SQFT. GRADE FLOOR). MIN. CLEAR OPENING WIDTH = 20" MAX. 44" FROM FIN FLOOR TO CLR. OPENING.
11. LANDINGS AT DOORS PER R313, AND LANDINGS AT STAIRWAYS PER R311.6.
12. SIDING SHALL BE INSTALLED PER FIGS 9 INSTRUCTIONS AND R103.
13. WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R603.2.11.
14. CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE-HEATING EQUIPMENT SHALL BE PROVIDED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3102.1.
15. WATER HEATER IGNITION SOURCE SHALL BE 18" ABV. GARAGE FLOOR.
16. ALL EXHAUST FANS REQUIRE RIGID SMOOTH INTERIOR DUCT.
17. ALL DUCT WORK TO CONFORM WITH CHAPTER 16.
18. GAS PIPE SIZING PER CHAPTER 24 AND CONFORMANCE WITH LOCAL GAS SUPPLIER.
19. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE TYPE. THE WATER HEATER THERMOSTAT SHALL NOT BE PROVIDED WITH MANUAL CONTROL FOR THE UNIT PER R7102.3.
20. MAXIMUM STATIC WATER PRESSURE SHALL BE 80 PSI. WHEN MAIN PRESSURE EXCEEDS 65 PSI, AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.

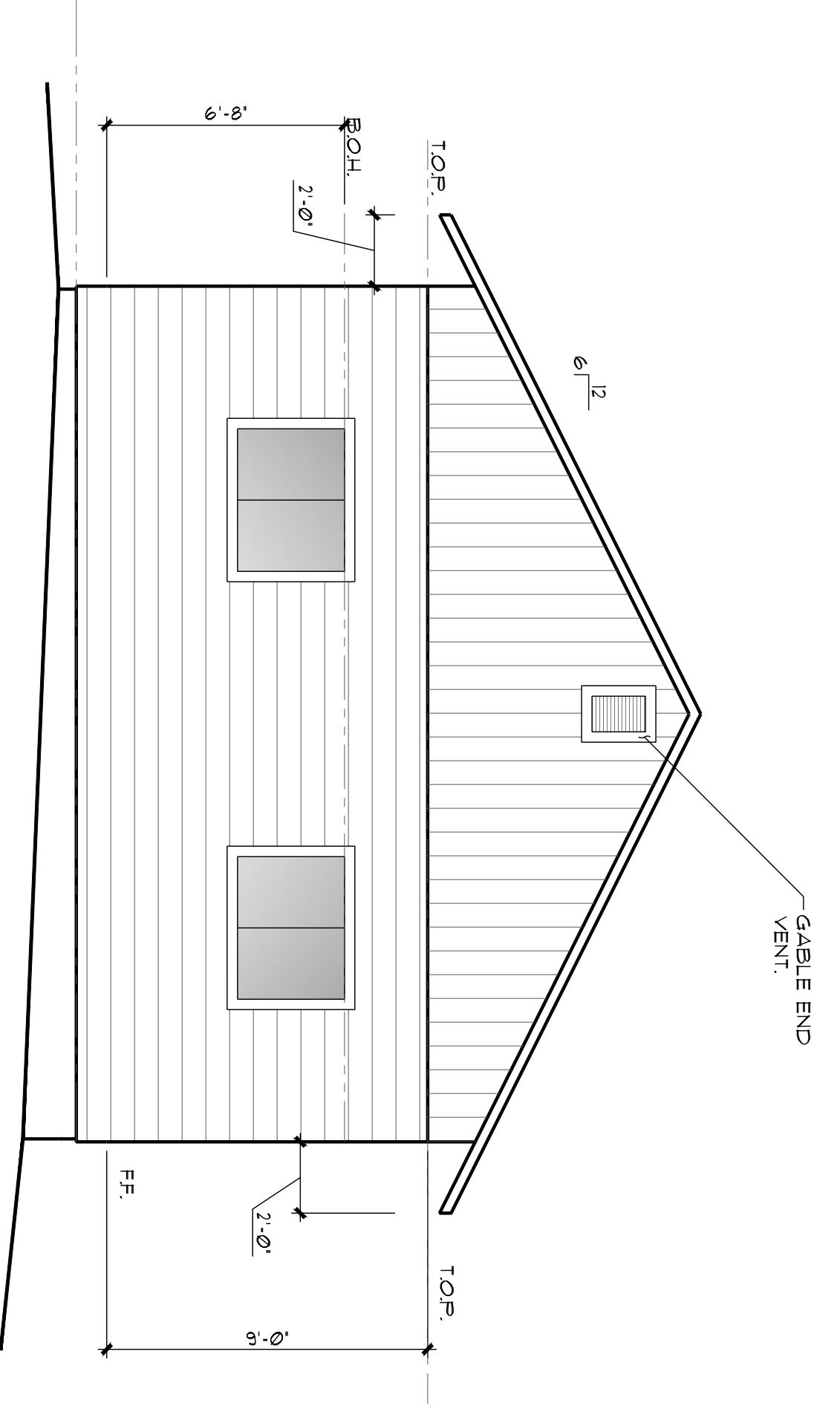


FLOOR PLAN
SCALE 1/4" = 1'-0"

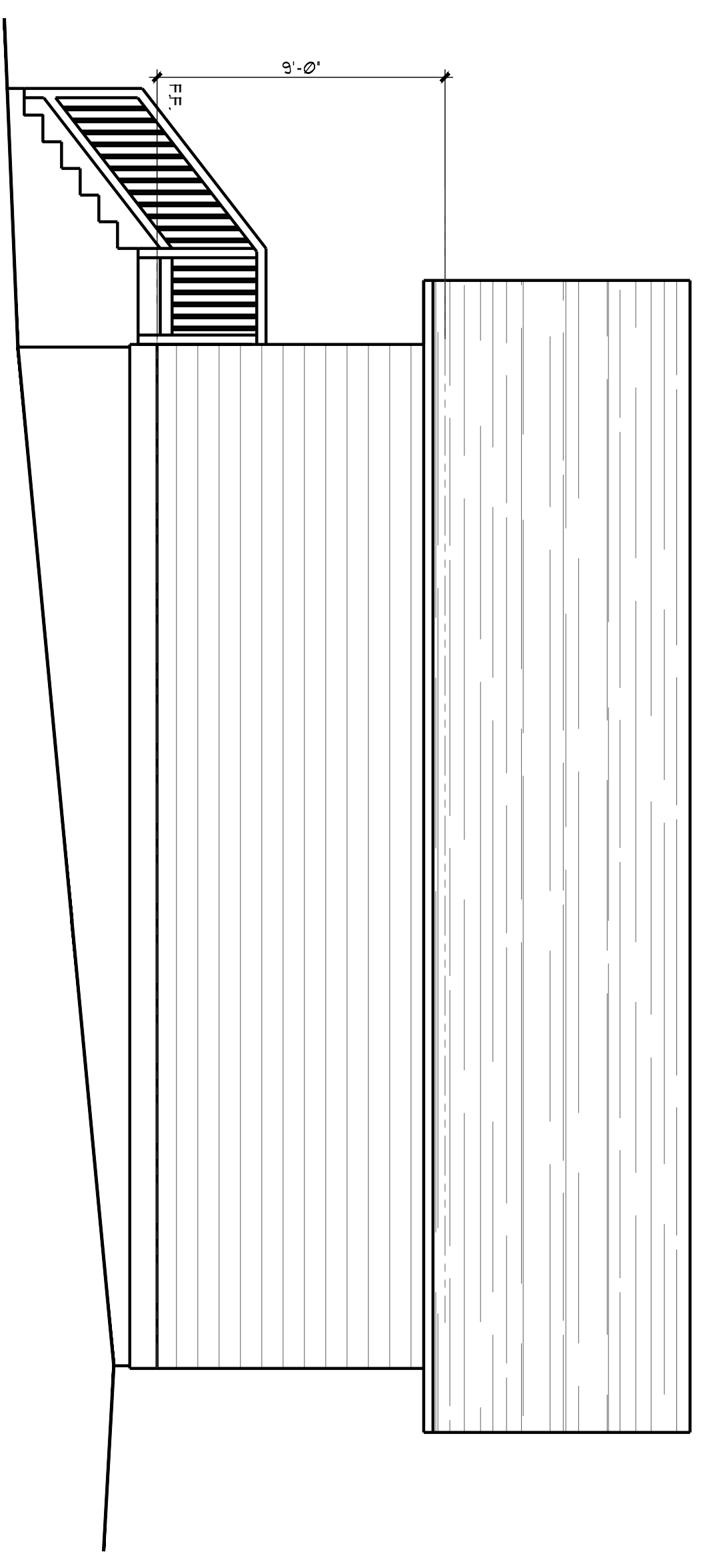


PLUMBING PLAN
SCALE 1/4" = 1'-0"

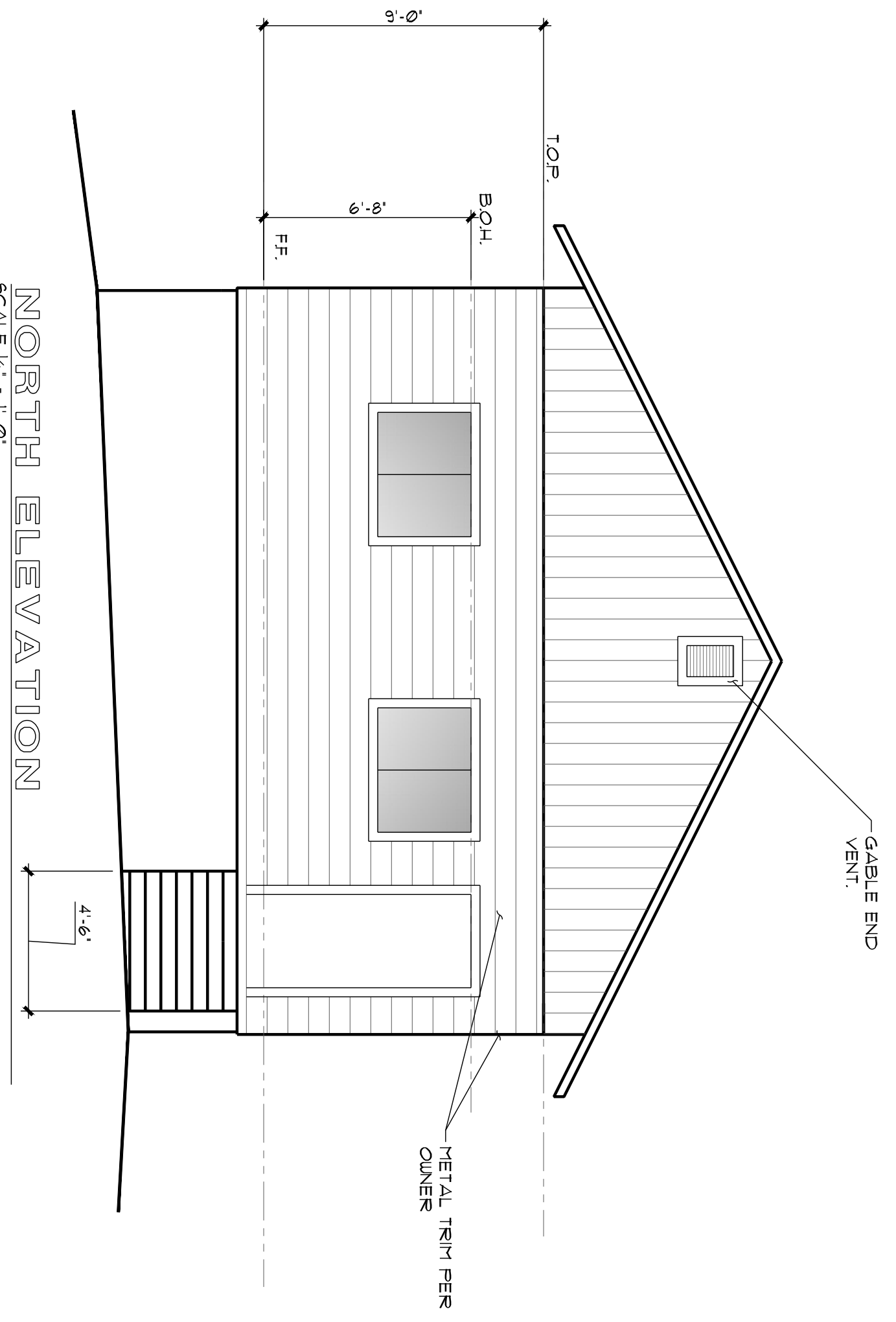
Revisions	
Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV



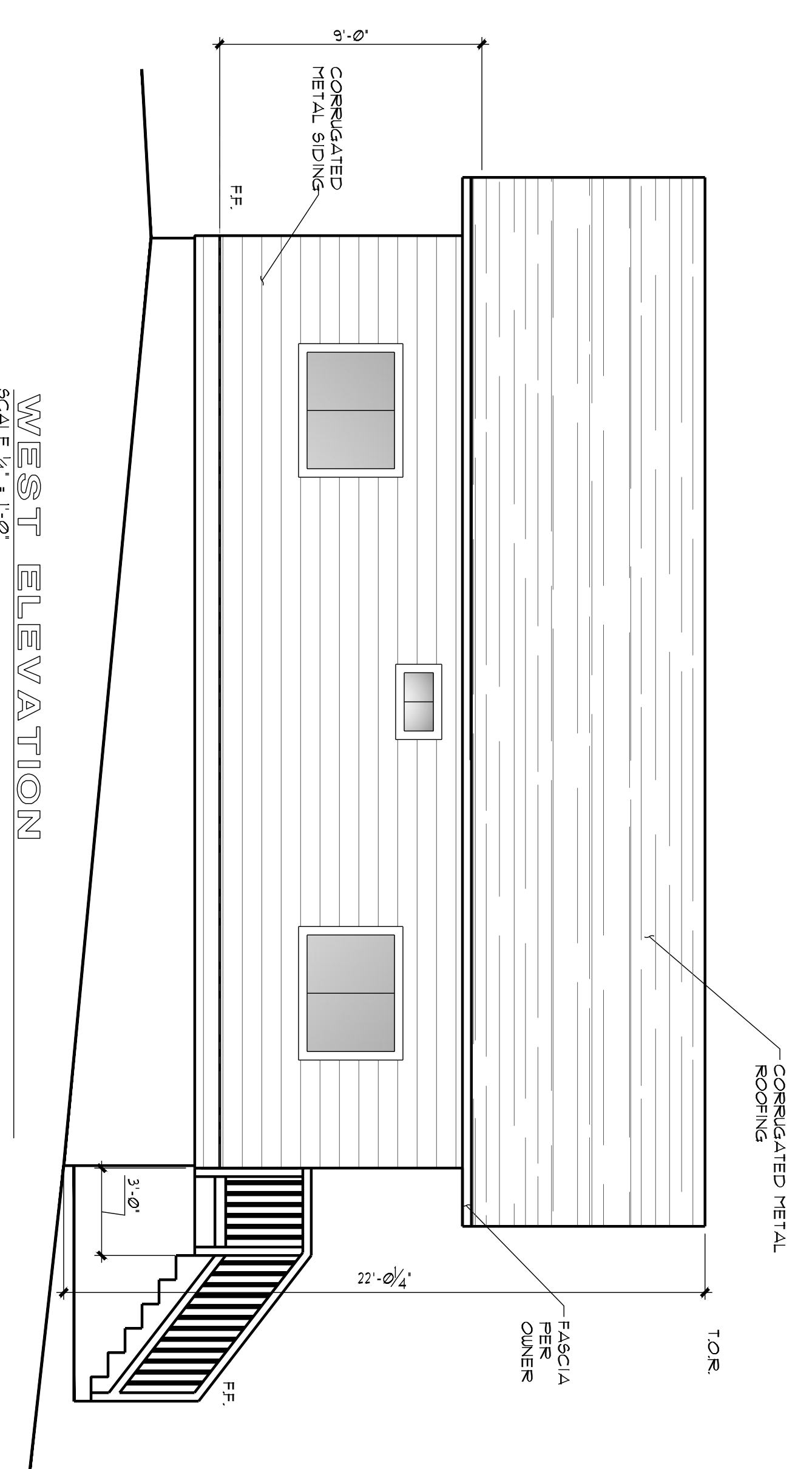
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

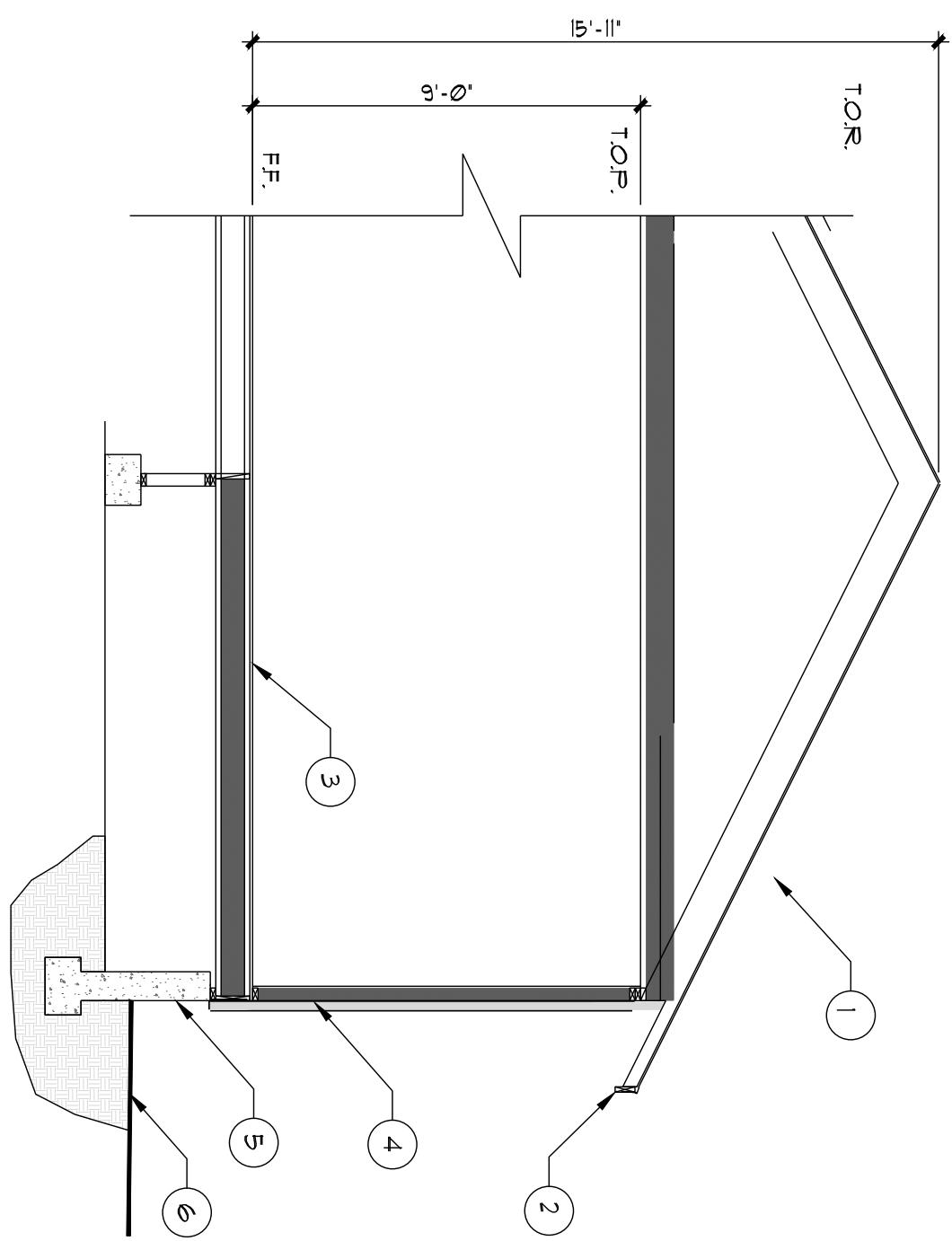
Vater Detached Accessory Dwelling
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Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.

Revisions	
Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

Elevations

A-3



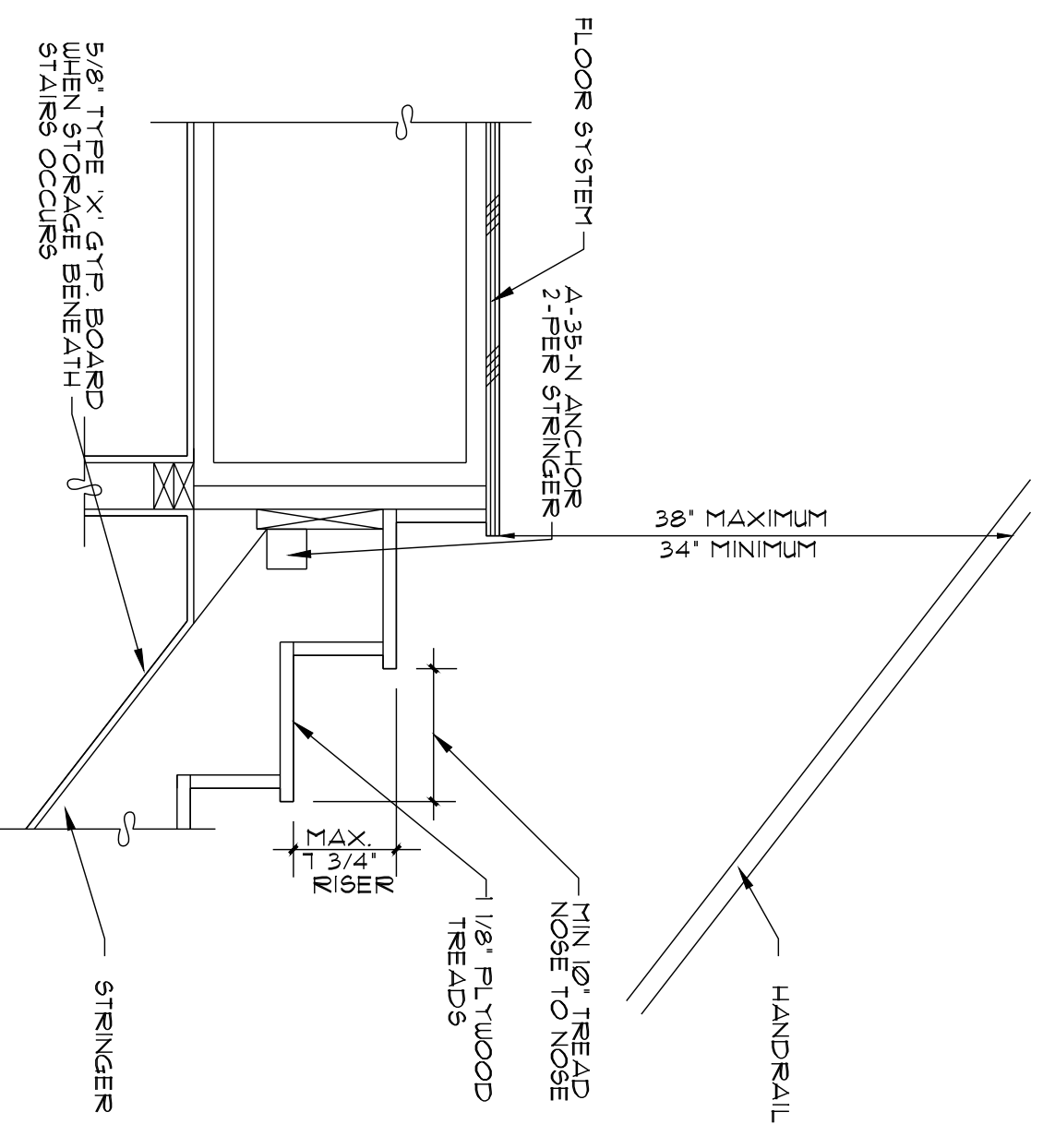
SECTION A-A
SCALE 1/4" = 1'-0"

ATTIC VENTILATION

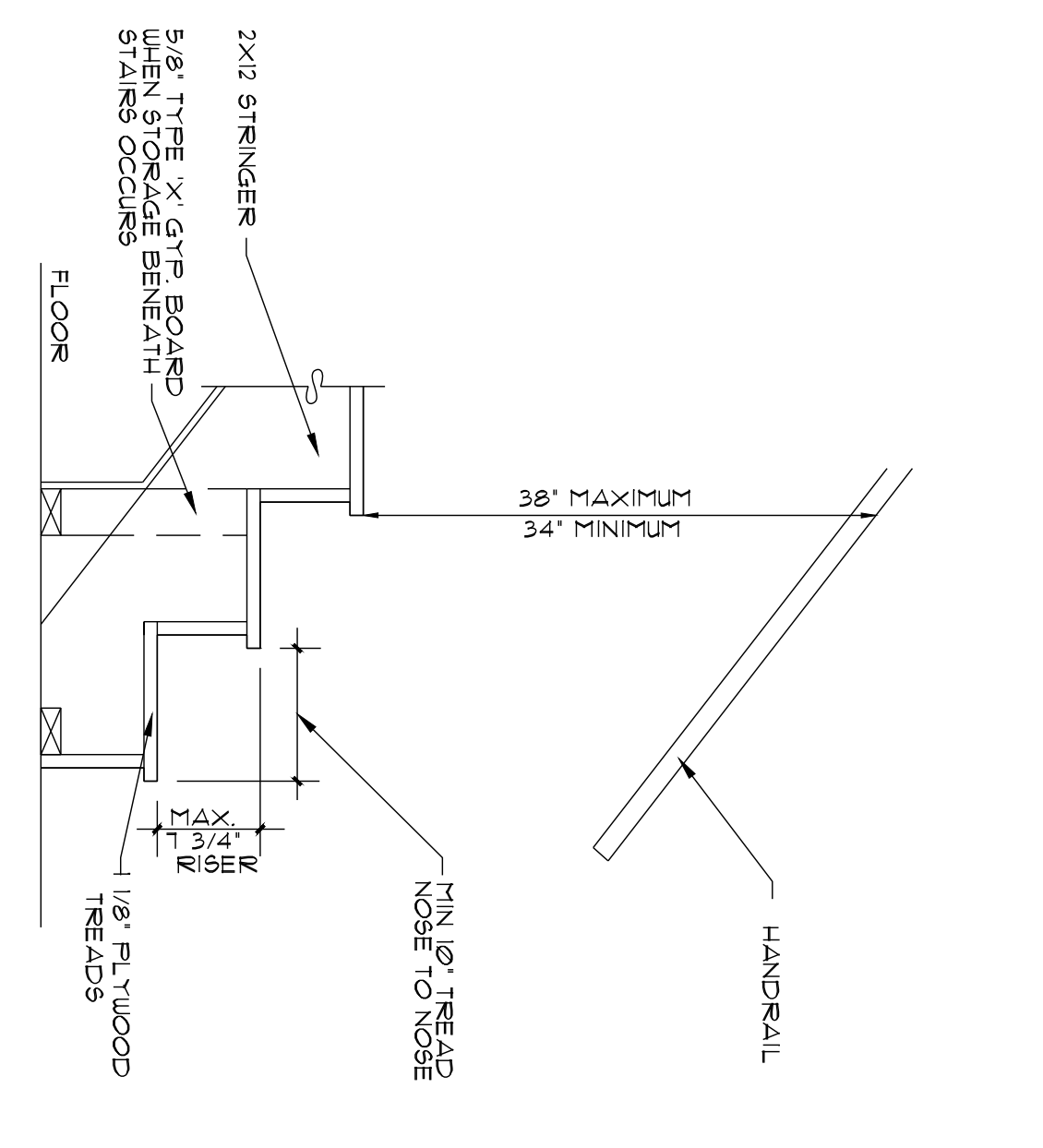
ATTIC VENTILATION PER 2018 IRC SECTION R906.
THE NET FREE AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED.
THE OPENING AREA MAY BE 1/60 OF THE AREA OF THE SPACE VENTILATED PROVIDED ONE OF THE FOLLOWING IS PROVIDED:
1.) AT LEAST 50 PERCENT (50% MAX.) OF THE REQUIRED OPENING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3 FEET ABOVE THE EAVE VENTS).
2.) A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARTH SIDE OF THE ATTIC INSULATION CLASS I (20 PERCENT) CLASS II (10 PERCENT).
MAINTAIN 1" AIR SPACE BETWEEN THE INSULATION AND ROOF SHEATHING. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR (USE INSULATION BARRIERS).
1/60 SQ. FT. / 3000" = 256 SQ. FT. OF NET FREE VENTILATION AREA.
PROVIDE 256 SQ. FT. (50%) OF REQUIRED VENTILATION AT OR NEAR RIDGE (WITHIN 2' OF RIDGE IS RECOMMENDED). (USE (1) 14" X 24" GABLE VENT @ EACH GABLE END.)
PROVIDE 256 SQ. FT. (50%) OF REQUIRED VENTILATION AT EAVE LINE. (USE VENTED BLOCKING @ EVERY OTHER BLOCK.)

SECTION NOTES

- 1) TYPICAL ROOF / CEILING
 - ° ROOFING MATERIAL - SEE EXT. ELEV.
 - ° 1 LAYER ICE AND WATER SHEILD
 - ° SHEATHING - SEE STRUCT.
 - ° TRUSS FRAME ROOF - SEE ROOF FRAMING PLAN
 - ° R-10 BATT INSUL.
 - ° 5/8" GYP. BD.
- 2) TYPICAL FASCIA / BARGE
 - ° 2X6 PVC FASCIA
- 3) TYPICAL FLOOR
 - ° FLOOR FINISH PER OWNER/CONTRACTOR
 - ° R-38 FIBERGLASS INSUL.
- 4) TYPICAL EXTERIOR WALL
 - ° CORRUGATED METAL SIDING
 - ° EXT. SHEAR - SEE STRUCT.
 - ° 2X4 @ 24" OC. STUDS UNO.
 - ° R-10 RIGID FOAM BOARD INSULATION
 - ° R-15 FIBERGLASS BATT INSULATION
 - ° 1/2" GYP. BD.
- 5) TYPICAL FOUNDATION
 - ° 8" STEM WALL AND FOOTING
 - ° BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE.
- 6) FINISH GRADE
 - ° SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS. TYP.



Stair Details
SCALE: 1/8" = 1'-0"



Window Flashing
SCALE: 1/4" = 1'-0"

1) ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 1/2" WIDE WITH THE HEAD END OF THE SILL STRIP BEYOND THE EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP 1/2" BEYOND THE EDGE OF THE ROUGH SILL STRIP FOR WINDOW ATTACHMENT. ATTACH WINDOW STRIP TO WINDOW STRIPES OR RUST-RESISTANT STAPLES.

2) AFTER SILL STRIP IS IN PLACE ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 1/2" WIDE WITH INSIDE EDGE OF SILL STRIP BEYOND THE EDGE OF THE ROUGH SILL STRIP. ATTACH JAMB STRIPS TO WINDOW STRIPES OR RUST-RESISTANT STAPLES.

3) APPLY A CONT. BEAD OF SEALANT TO THE BACK SURFACE OF THE WINDOW TO THE FINISH SURFACE OF THE ROUGH SILL. THE SEALANT SHOULD BE APPLIED TO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED INSTALL THE HEAD FLASHING STRIP OVER THE FLASHING AT LEAST 1/2" WIDE.

NOTE: IRC CALLS FOR WINDOW OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE IRC DOES NOT OUTLINE PROCEDURES FOR WINDOW OPENING PROCEDURES FOR WINDOWS ARE RECOMMENDED. USE "WATERPROOFING" FLASHING BY FORTIFIBER CORP. OR EQUAL. WHENEVER POSSIBLE USE EQUAL OR BETTER MATERIALS FOR WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATER TIGHT.

NOTE: IRC CALLS FOR WINDOW OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE IRC DOES NOT OUTLINE PROCEDURES FOR WINDOW OPENING PROCEDURES FOR WINDOWS ARE RECOMMENDED. USE "WATERPROOFING" FLASHING BY FORTIFIBER CORP. OR EQUAL. WHENEVER POSSIBLE USE EQUAL OR BETTER MATERIALS FOR WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATER TIGHT.

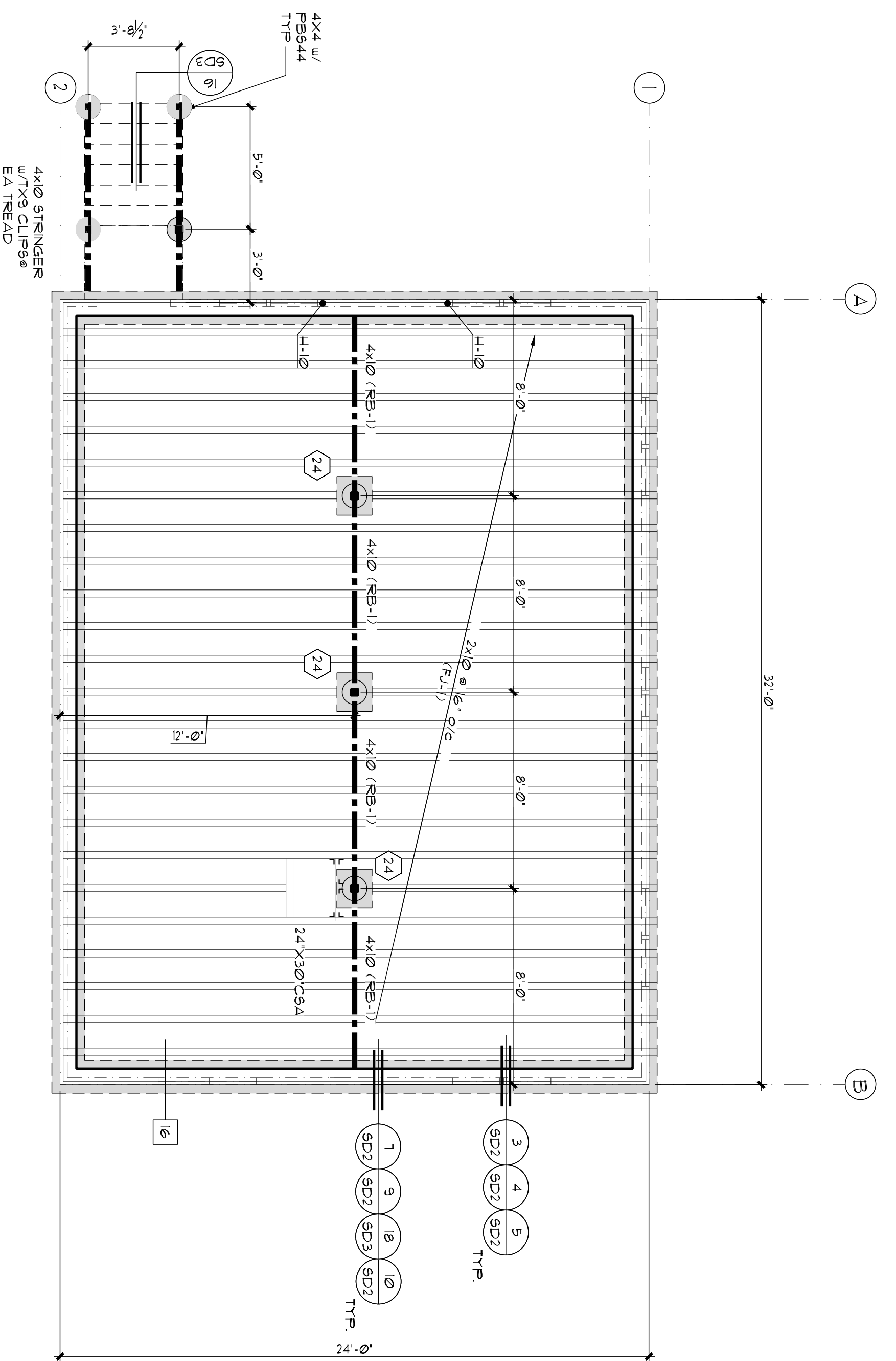
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Water Detached Accessory Dwelling
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89433

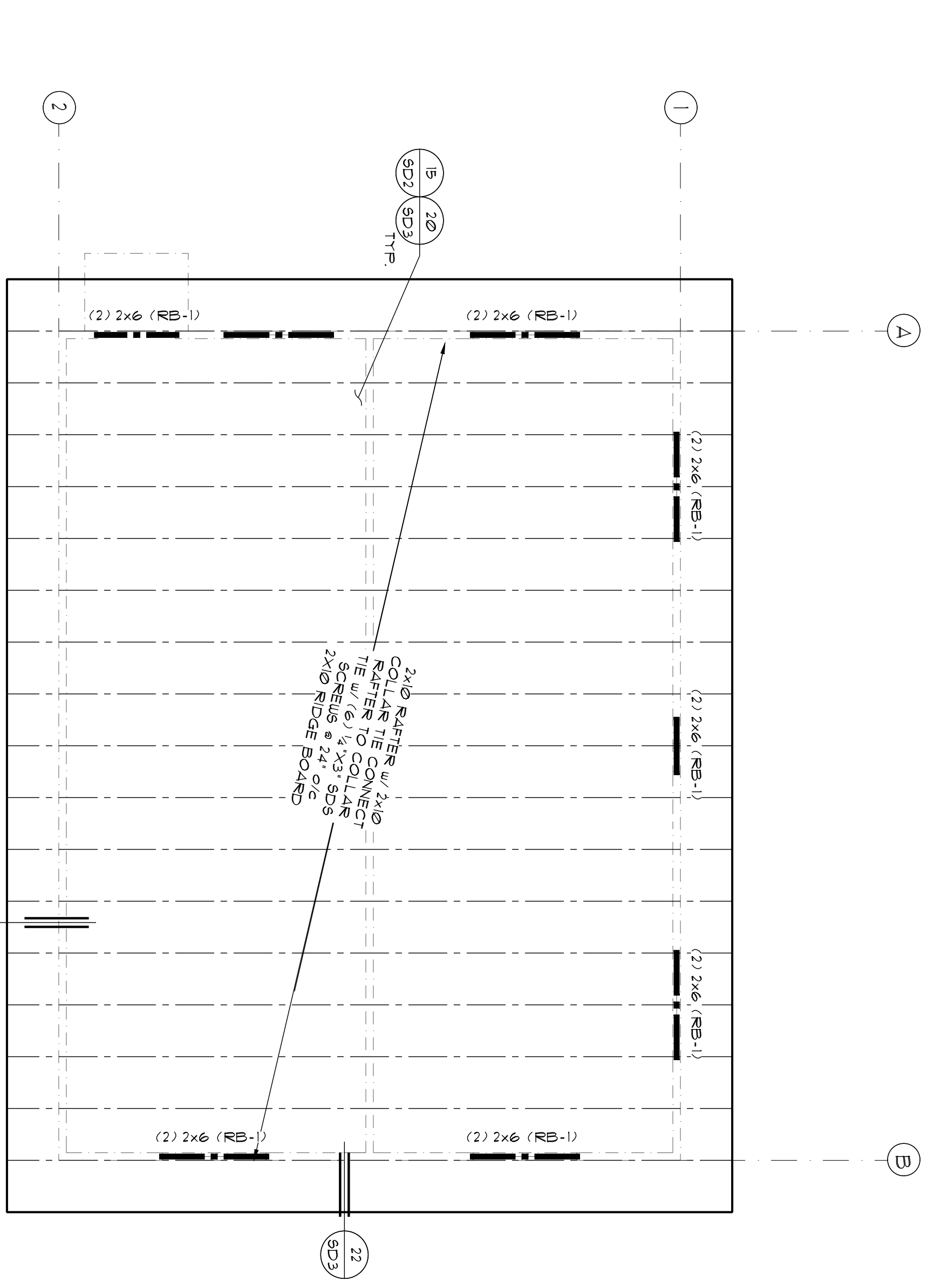
Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.

Revisions	
Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

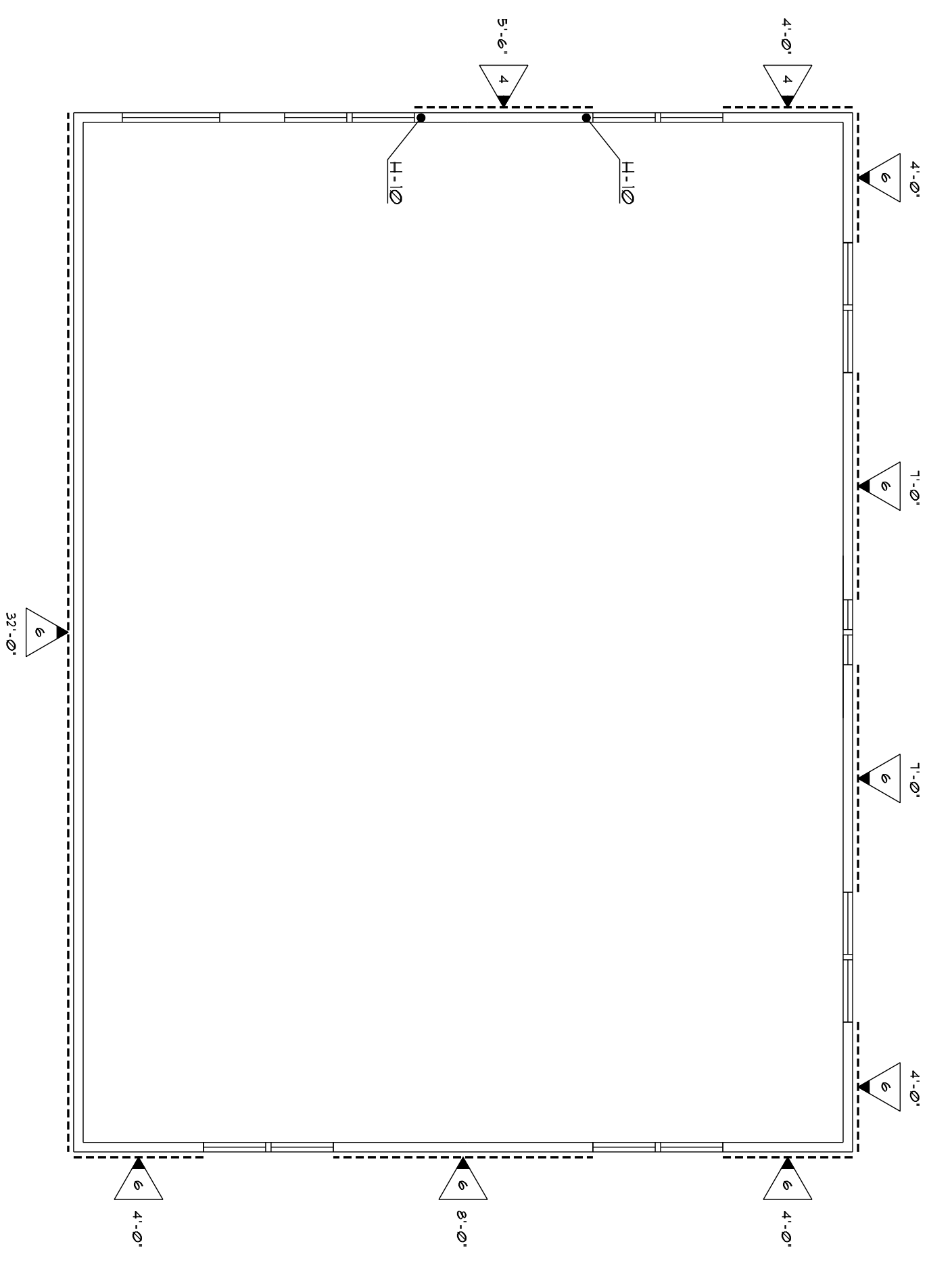
Section &
Details
A-4



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



SHEAR WALL PLAN
SCALE 1/4" = 1'-0"

ROOF FRAMING NOTES

- ROOF LOADS: LIVE 20 SQ. FT., DEAD 15 SQ. FT.
- USE (1) LAYER 1/2" (4070) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT. APPLY FACE GRANULATED DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & FIELD JOINTS. ALL DRAG TRUSSES SHALL BE 8" BIRD-CHECK, ETC. W/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.
- ALL FRAMING HARDWARE NOTED SHALL BE SIMPSON. INSTALL PER MANUFACTURER REQUIREMENTS.
- PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) PLY GIRDER TRUSSES W/ SIMPSON HD. USE (3) STUDS & 3-PLY TRUSSES & (4) STUDS & 4-PLY TRUSSES UNO. CONNECT GIRDER TRUSSES TO POST W/ SIMPSON HD UNO.
- ALL GULLY-TRAY BEAMS SHALL BE DOUG-FIR 2x4-1x4 UNO. TYP. HEADER UNO. USE (2) 2x6 D.F. #2
- USE 1/2" I-BED BETWEEN TOP PLATE SPLICES. TYP. UNO.
- USE 2x6 FLAT W/ 2x6 STRONGBACK @ 48" O.C. & GABLE END FRAMING
- PROVIDE GUT FLASHING & ALL VALLEYS & ROOF-TO-WALL CONNECTIONS. TYP. PROVIDE BUTYLANE MEMBRANE & CRICKETS SLOPING LESS THAN 5:12 & AS NOTED ON ROOF PLAN
- USE BOUNDARY NAILING & ALL DRAG TRUSSES UNO.
- 435 & 48" O.C. TRUSS BLKG TO TOP PLATE TYP. UNO.
- PROVIDE ICE & WATER BAY MEMBRANE & GUTS, EAVES VALLEYS & RIDGES AS PER LOCAL BLDG DEPT. STANDARDS
- PROVIDE SNOW DIVERSERS & ALL ROOF PENETRATIONS
- PROVIDE ATTIC ACCESS (21"x30") PER IRC. SECTION R807.1
- PROVIDE ROOF VENTILATION PER IRC. SECTION R906.1
- PROVIDE BLOCKING & ALL RIDGES, HIP'S & VALLEYS TYP
- PROVIDE CONT. ROOF PLY UNDER ALL ROOF OVER FRAMING

TYPICAL LEGEND

- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- TYPICAL WALL W/ SHEARPLY AND HOLDINGS
- CONT. STRIP FOOTING PER SCHEDULE ON SHEET SD-1
- INDICATES CONCRETE FIER FOOTING PER SCHEDULE ON SHEET SD-1
- SHEARWALL TYPE - SEE SHEET SD-1 FOR ADDITIONAL INFORMATION
- F.T. 3x SILL, E. W/ 3/4"x1/2" ASB. SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS 2x SILL E MAY BE USED W/ 3/4"x1/2" ASB & HALF THE SPECIFIED SPACING

CONCRETE NOTES

- SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & BEFORE TO SETTING ANY CONC. FORMS. SOIL ENGINEER'S REPORT ON FOUNDATION EXCAVATION
- CONCRETE SHALL BE PLACED & COMPACTED ETC. SHALL BE FOLLOWED
- CONC. FOOTINGS 16" x 10" W/ 2"x4 REBAR CONT. TYP. UNO. STEEP FOOTINGS AS REQ'D TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. FOOTINGS SHALL BE A MIN. OF 2" BELOW FINISHED GRADE.
- FOR 2x SILL PLATE, USE 3/4" x 10" ASB FOR 3x OR DOUBLE SILL PLATE, USE 3/4" x 12" ASB. EXTEND SILL BOLTS 1' INTO FOUNDATION MINIMUM. MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE DIAPHRAGMS FROM EACH END OF SILL BOARD MINIMUM 1/3 3/4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT.
- SILL PLATE, USE FOUNDATION GRADE REDWOOD OR TREATED DOUGL. FIR MINIMUM AS FIRST SCHEDULE FOR TREATMENT. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE 6' & 4', REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE LOADS SHALL BE INSTALLED ON SILL PLATES. SINGLE 3" NOMINAL THICKNESS WOOD JOISTS MUST HAVE SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

TYPICAL LEGEND

- SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES
- (N) WOOD HEADER/BEAM
- (N) ROOF RAFTERS/FLOOR JOIST
- TYPICAL WALL W/ SHEARPLY AND HOLDINGS
- ANCHOR BOLT SPACING 48" o/c TYP.
- INTERIOR BEARING WALL

FLOOR FRAMING NOTES

- 3/4" T&G PLYWOOD APA RATED STD-1 FLOOR - 48/24 W/ 12d @ 6" O.C. BOUNDARY EDGES & DRAG STRIPS W/ 12d @ 16" O.C. FIELD - GIVE 1/4" WALL THROUGHOUT. TYP.
- 2x10 FLOOR JOISTS @ 16" O.C. TYP. BLK. SOLID @ ALL SUPPORT LINES. PROVIDE 1/4" 1x12 RIM BOARD THROUGHOUT TYP. BLOCK SOLID UNDER ALL ETC. PER IFC.
- PROVIDE INSULATION @ RIM JOISTS & FLOOR
- INSULATE ALL PIPES & DUCTWORK.
- PROVIDE SOLID BLKG. UP TO SUB-FLOOR AS REQUIRED TO SUPPORT POSTS ABOVE.
- ALL FRAMING HARDWARE SHALL BE SIMPSON. INST. ALL PER MANUF. REQUIREMENTS.
- VERIFY THE ENTIRE CRUISE SPACE IS COVERED BY VAPOR BARRIER TYP.
- MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12" INCHES. UNDER JOISTS SHALL BE 18" INCHES.
- ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE 6' WALLS (SEE SHEARWALL SCHEDULE)

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Jared A. Krupa, P.E.

Revisions

Date	Description
1-29-22	BWV
	Drawn
	Checked
	Project No. 22-BWV

Foundation Shear and Roof Plan

S-1

Water Detached Accessory Dwelling

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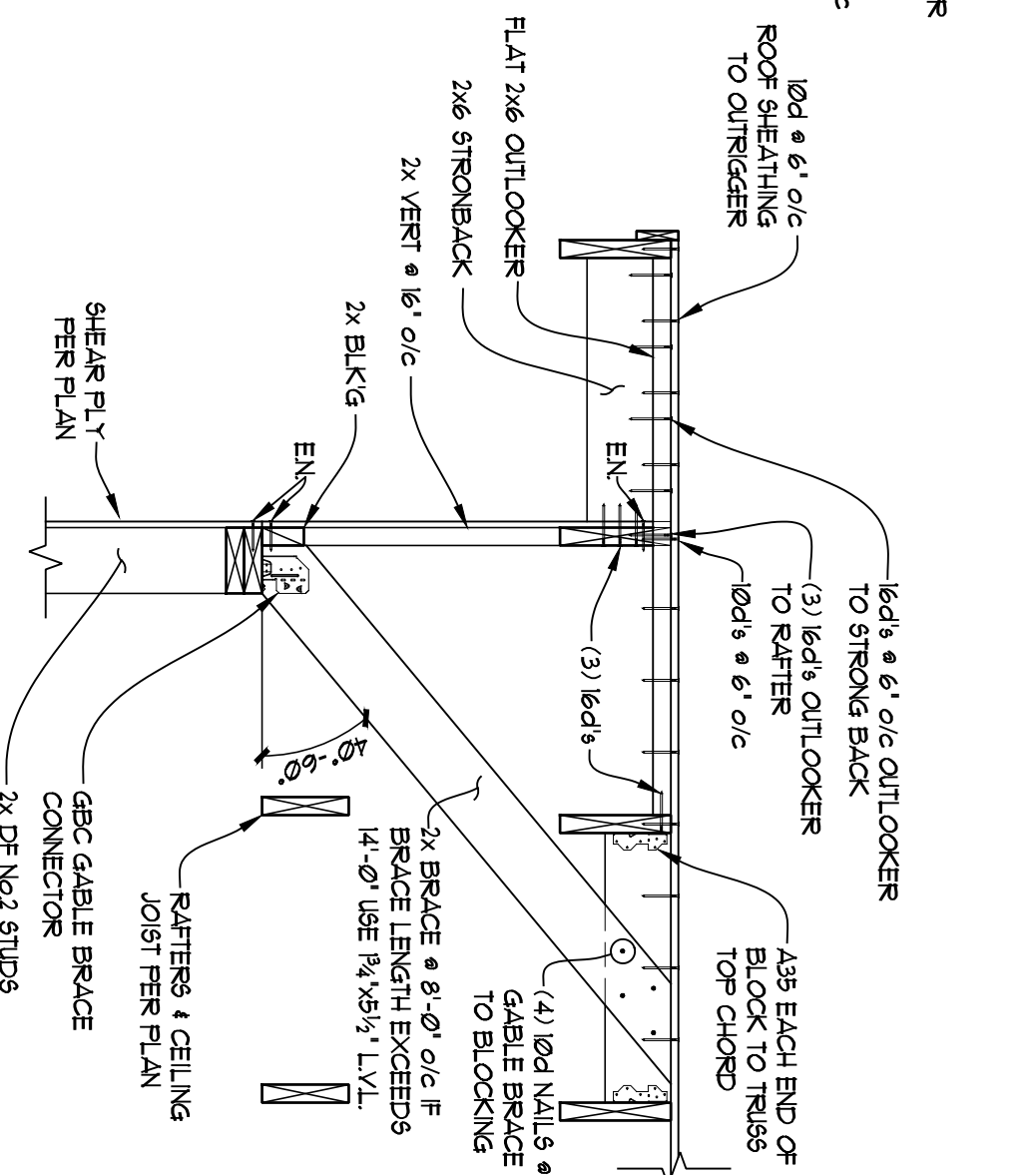
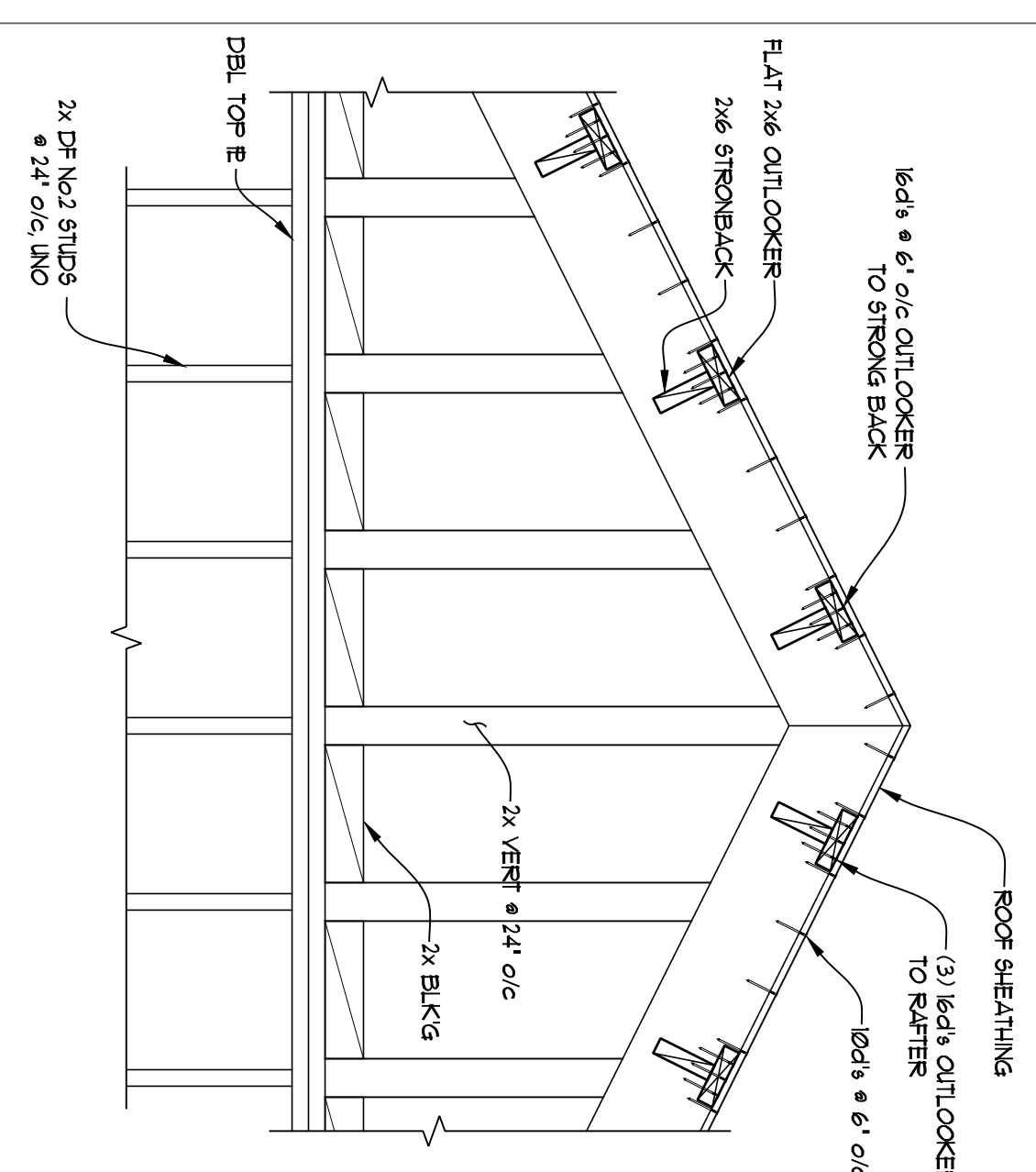
Revisions	Date	Drawn	Checked	Project No.
1	1-29-22	BWV	BWV	22-BWV

Structural Details

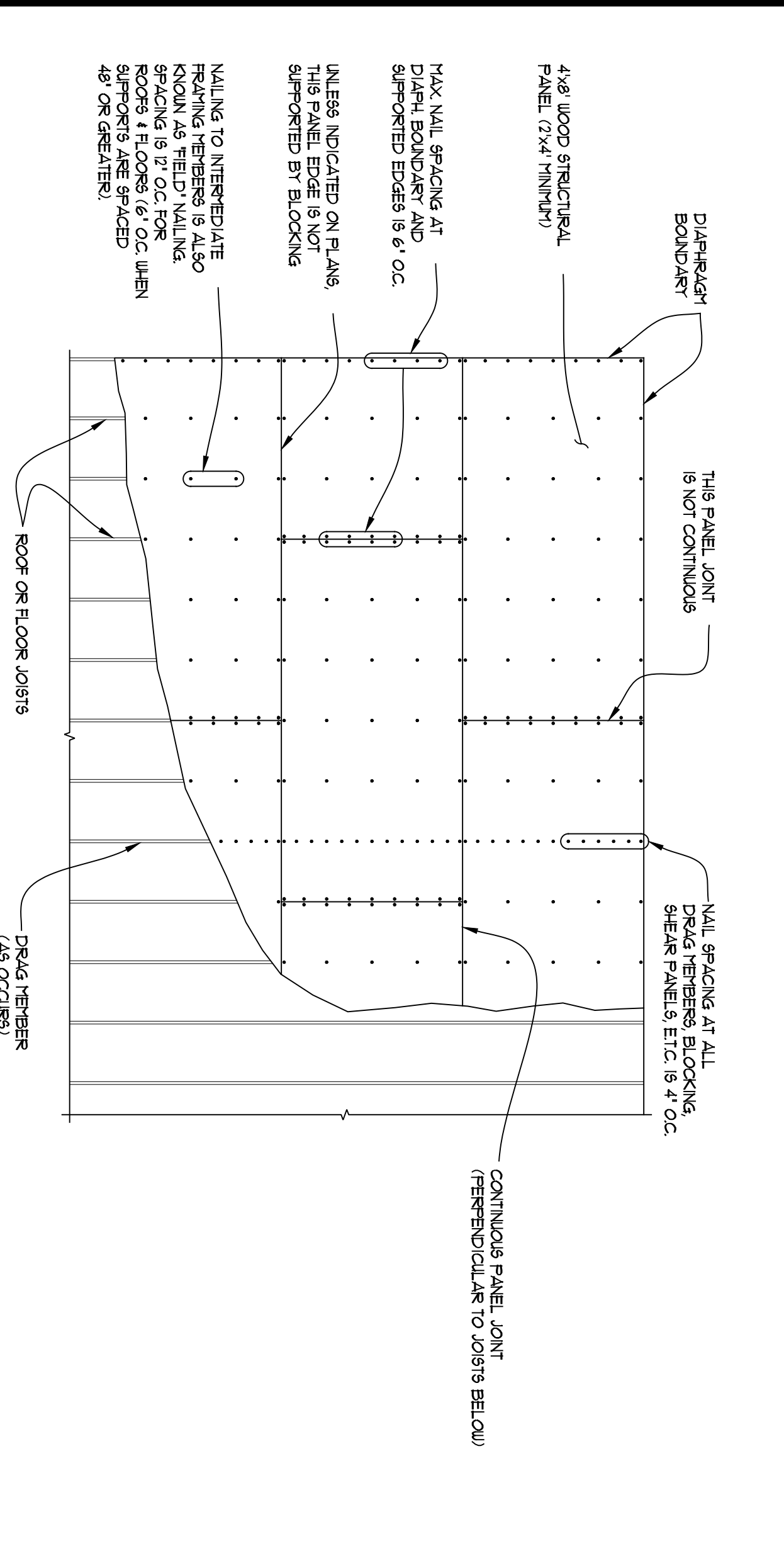
SD-3

30	Not Used	29	Not Used	28	Not Used	27	Not Used	26	Not Used
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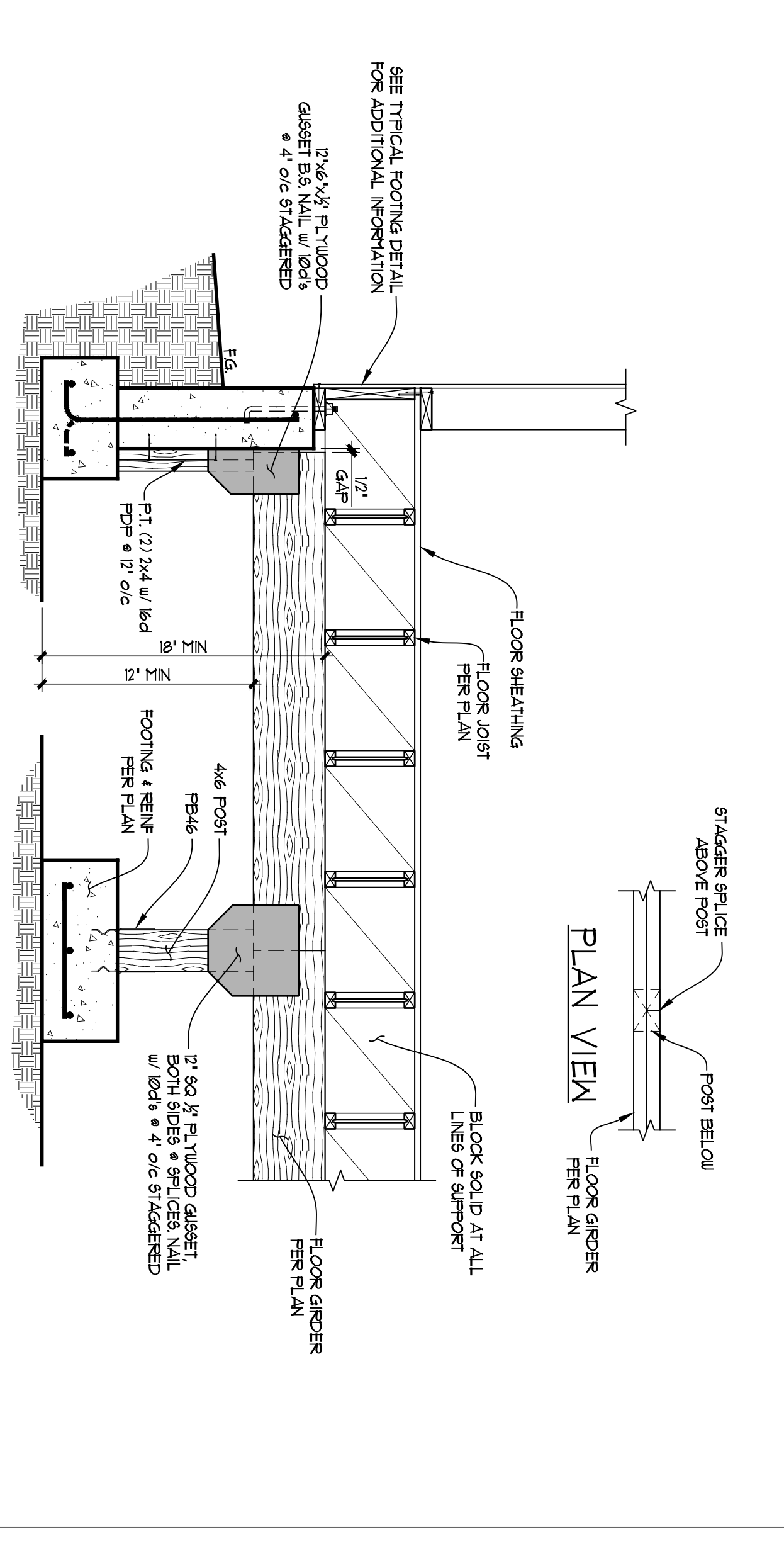
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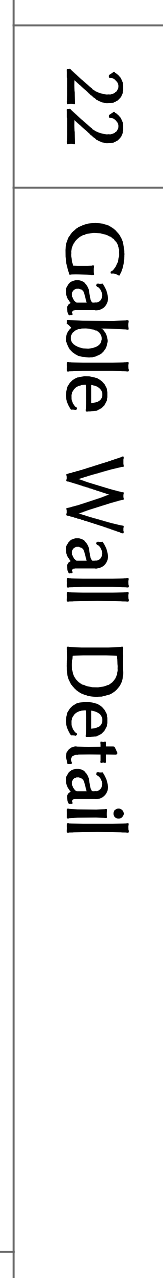
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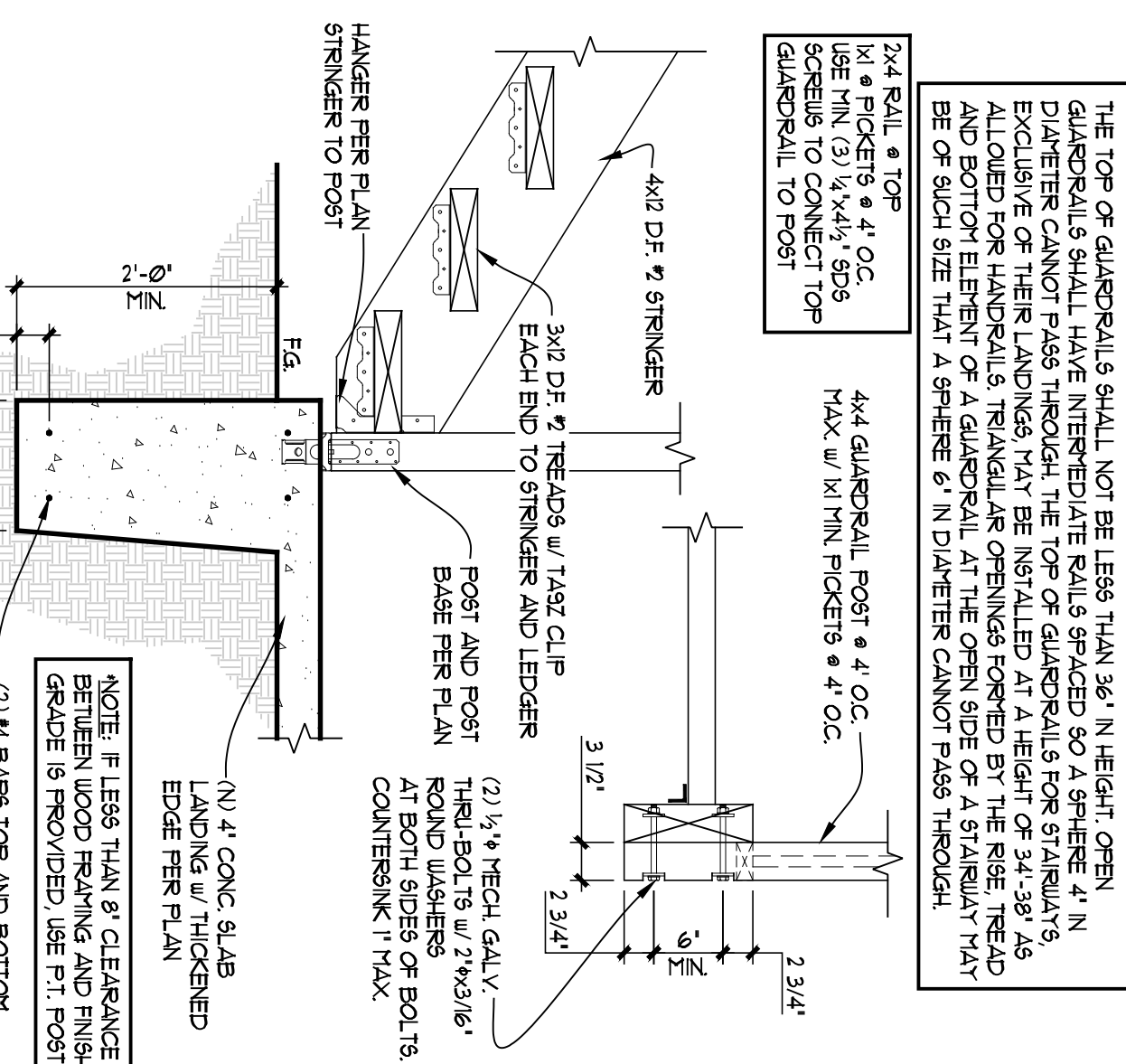
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20	Unblocked Diaphragm Nailing	18	Post and Girder Detail	16	Exterior Stair Detail
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