



Board of Adjustment Staff Report

Meeting Date: May 5, 2022

Agenda Item: 8F

SPECIAL USE PERMIT CASE NUMBER: WSUP22-0008 (Ron Bell Residence)

BRIEF SUMMARY OF REQUEST: To replace a manufactured residence

STAFF PLANNER: Julee Olander, Planner
Phone Number: 775.328.3627
Email: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit to replace a manufactured home on a parcel with the regulatory zone of Neighborhood Commercial (NC), which requires a special use permit per Sun Valley Area Plan policy SUN.1.2.a and Washoe County Code Table 110.302.05.1

Applicant/Property Owner:	Ron Bell
Location:	5134 Sun Valley Blvd.
APN:	085-021-82
Parcel Size:	0.18 acres
Master Plan:	Commercial (C)
Regulatory Zone:	Neighborhood Commercial (NC)
Area Plan:	Sun Valley
Development Code:	Authorized Article 302, Allowed Uses & Article 810, Special Use Permits
Commission District:	3 – Commissioner Jung



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0008 for Ron Bell, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30

(Motion with Findings on Page 8)

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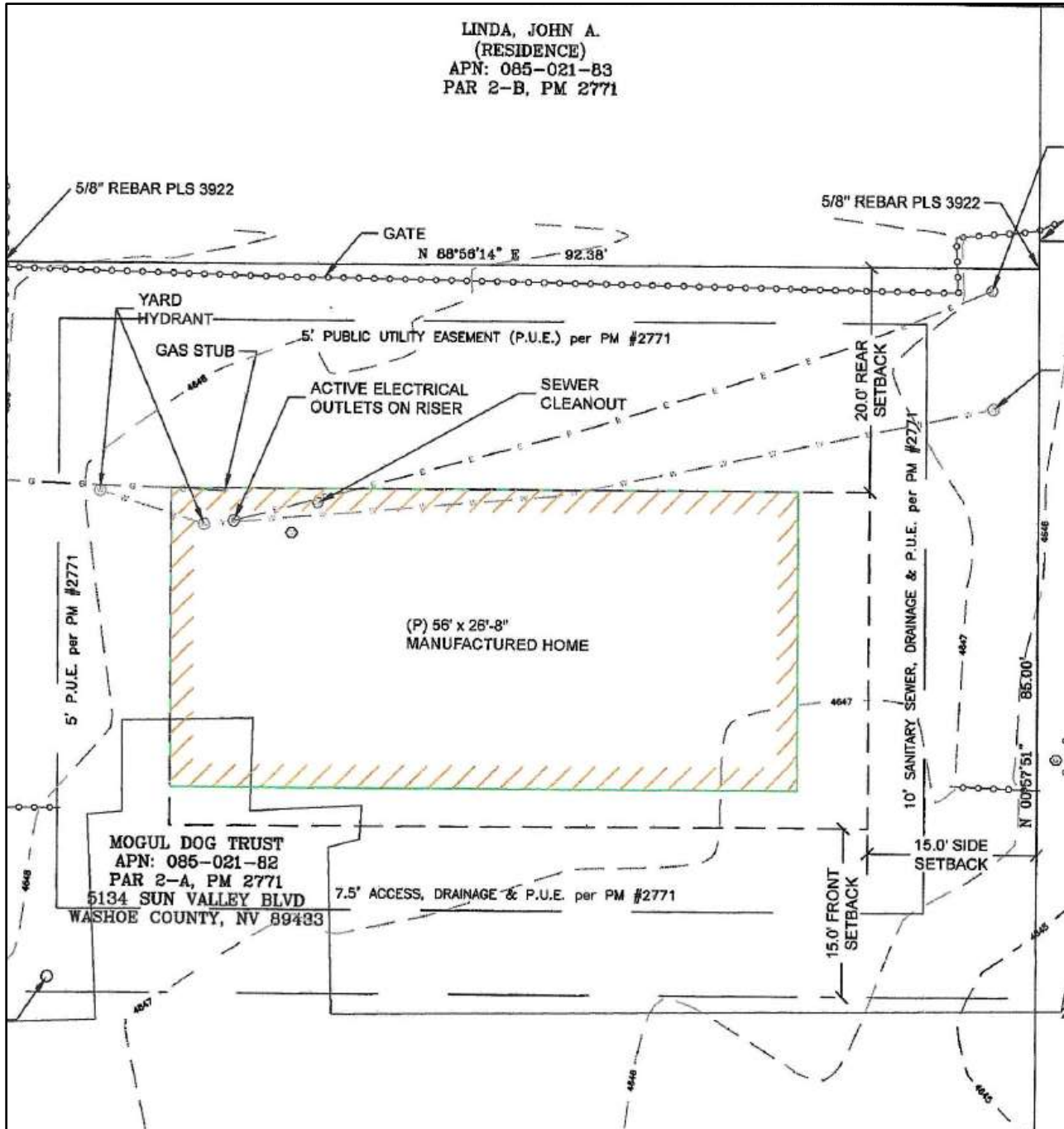
Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

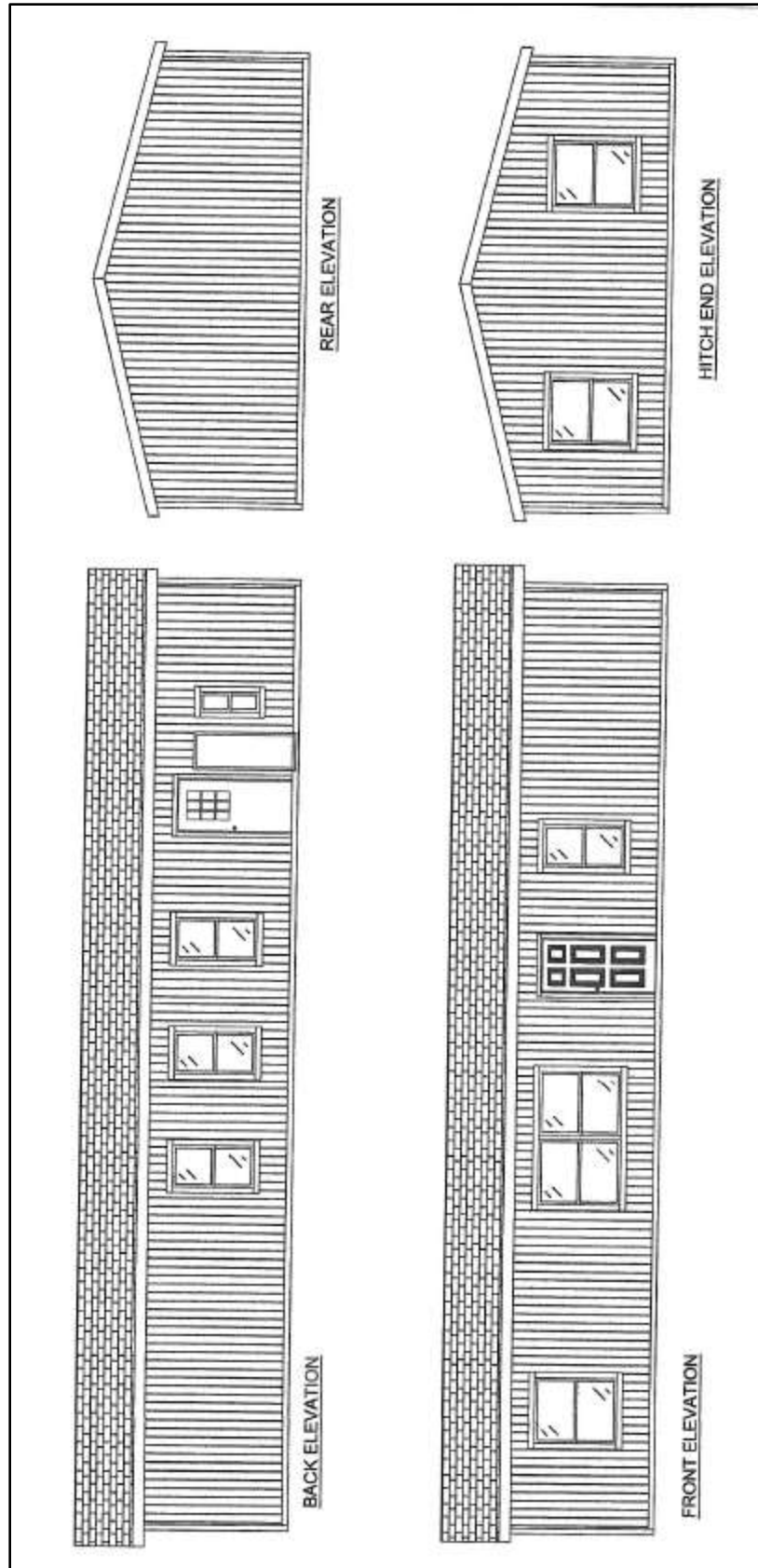
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP22-0008 are attached to this staff report and will be included with the action order.

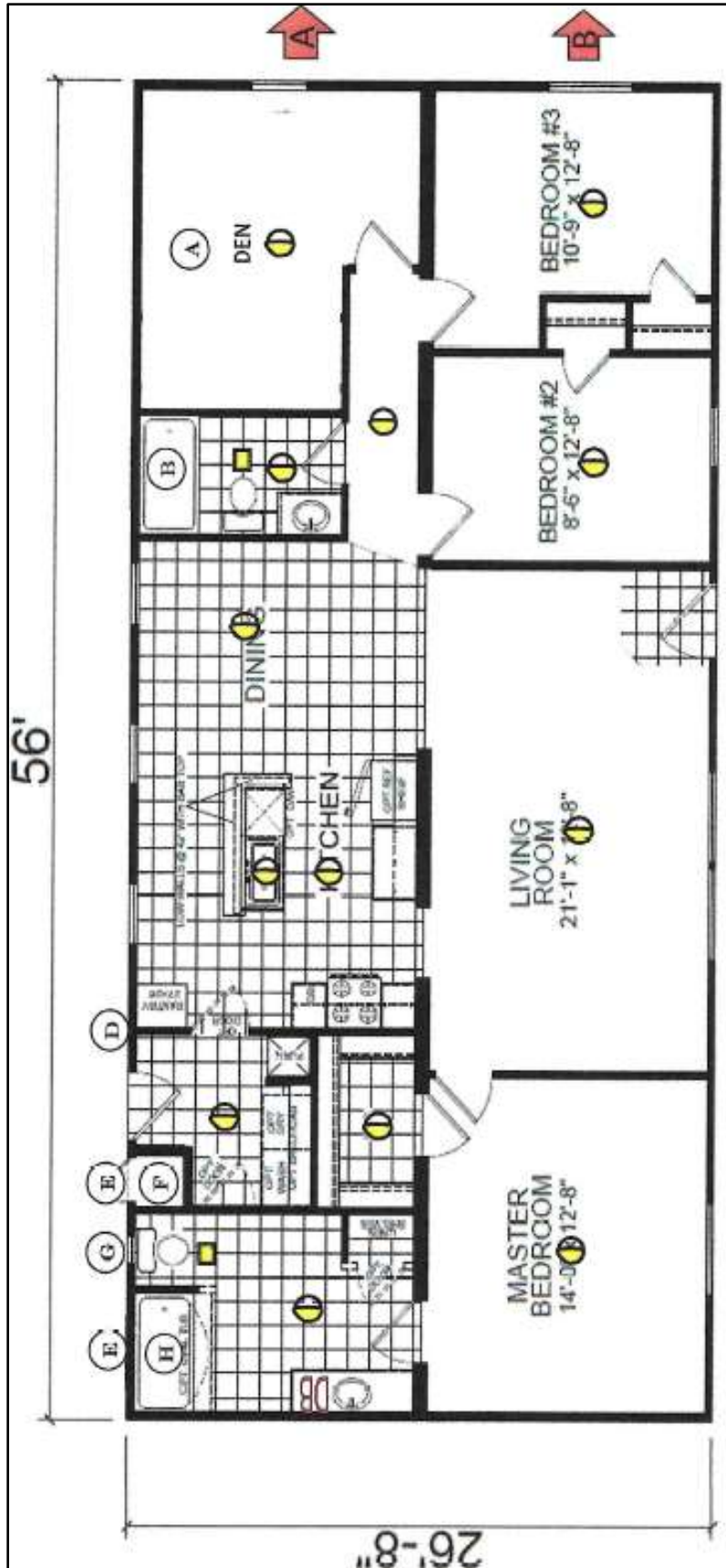
The subject property is designated as Neighborhood Commercial (NC). The applicant is proposing to replace an existing manufactured home with a new manufactured home, which is classified as a single family, detached, use type which is permitted in the NC regulatory zone with a special use permit in the Downtown Character Management Area of the Sun Valley Area Plan and WCC Table 110.302.05.1. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Site Plan



Elevation



Floor Plan

Project Evaluation

The application is requesting a special use permit to allow the placement of a ±1,512 sq. ft. dwelling on a property with a neighborhood commercial (NC) regulatory zone. The Sun Valley Area Plan policy SUN.1.2.a and Washoe County Code Table 110.302.05.1 requires single family, detached within the NC regulatory zone be with approved with a special use permit.

The applicant’s property and the surrounding properties have a regulatory zone of NC and manufactured homes are located on these properties. The applicant has stated that there will be minimum grading since the new manufactured house is replacing an existing house and 1,800 SF will be disturbed. The applicant has also, stated that the work on the site will be done between 8 am to 5 pm and workers will be respectful of the surrounding neighbors. The new house will further improve the lot and continue to provide housing for the area.

Area Plan Evaluation

The subject parcel is located within the Sun Valley Area Plan. The following is the pertinent policy from the Area Plan:

Relevant Area Plan Policies Reviewed

Policy	Brief Policy Description	Complies	Condition of Approval
SUN.1.2.a	SUP required for single family residences for NC	Yes	

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Engineering & Capital Projects	X	X	X	Robert Wimer , rwimer@washoecounty.gov
Washoe County Planning & Building Director	X	X	X	Julee Olander, jolander@washoecounty.gov
WCHD Environmental Health	X	X		James English, jenglish@washoecounty.gov
TMFPD	X	X	X	Dale Way, dway@tmfpd.us; Brittany Lemon, BLemon@tmfpd.us
Regional Transportation Commission (All Apps)	X			
Washoe-Storey Conservation District (All Apps)	X	X		
Sun Valley GID	X	X		Cmelton@svid.com

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

Staff Comment: The proposed dwelling is consistent with the Master Plan and the Sun Valley Area Plan upon issuances of a Special Use Permit, which the applicant is applying for.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed single family dwelling has adequate utilities, access, drainage and facilities. Single family, detached structure was located at this site and has been removed to be replaced with a new structure. The previous structure was connected to utilities and other facilities.

- (c) Site Suitability. That the site is physically suitable for residential development, and for the intensity of such a development.

Staff Comment: The site previously had a residence on the property and is suitable for this application.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The issuance of a special use permit will be in compliance with the Sun Valley Area Plan and Washoe County Development Code and will not do undue harm to the public, surrounding properties and area overall. The new house will continue to use that has been on the property previously.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations near the proposed site.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP22-0008 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0008 for Ron Bell, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

- (c) Site Suitability. That the site is physically suitable for residential development and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment/Planning Commission and mailed to the applicant.

Applicant/Property Owner: Ron Bell
ronbellrealtor@hotmail.com

Professional Consultant: Robinson Engineering
robert@robisoneng.com



Conditions of Approval

Special Use Permit Case Number WSUP22-0008

The project approved under Special Use Permit Case Number WSUP22-0008 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on May 5, 2022. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**

- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. Construction work hours will be limited to 8am to 5pm Monday to Saturday.
- e. Any imported earthen materials shall be "certified weed free" in order to prevent the spread of noxious weeds within the county.

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Robert Wimer, P.E., 775.328.2059, rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.
- c. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

Truckee Meadows Fire Protection District

3. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon, Fire Captain, 775.326.6079, blemon@tmfspd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfspd.us/fire-code/>

Washoe County Water Management Planner Coordinator

4. The following conditions are requirements of Washoe County Water Management Planner Coordinator, who shall be responsible for determining compliance with these conditions.

Contact Name: Timber Weiss, P.E., 775.954.4626, tweiss@washoecounty.gov

- a. The property is served by Sun Valley General Improvement District (SVGID). Applicant shall provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance.

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
 RENO, NEVADA 89512
 PHONE (775) 328-3600
 FAX (775) 328.3699

Date: March 28, 2022

To: Julee Olander, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit for **Ron Bell Manufactured Home WSUP22-0008**
 APN 085-021-82

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the replacement of a manufactured home and is located on approximately 0.18 acres on the east side of Sun Valley Boulevard north of 1st Avenue. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Robison Engineering. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The



Subject: **Ron Bell Manufactured Home WSUP22-0008**
Date: March 28, 2022
Page: 2

property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties.”

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

1. No Traffic related conditions.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No Utilities related conditions.

From: [Lemon, Brittany](#)
To: [Olander, Julee](#)
Cc: [Way, Dale](#)
Subject: WSUP22-0008 (Ron Bell Residence) Conditions of Approval
Date: Tuesday, March 22, 2022 11:20:18 AM
Attachments: [image001.png](#)

Hi Julee,

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

Thank you.

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



“Committed to excellence, service, and the protection of life and property in our community”

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

March 15, 2022

Washoe County Community Services
Planning and Development Division

RE: Ron Bell Residence; 085-021-82
Special Use Permit Review; WSUP22-0008

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: Based on the application the WCHD has no comments, concerns or requirements for the approval of this application.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,



James English, REFS, CP-FS
EHS Supervisor
Environmental Health
Washoe County Health District





Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

March 21, 2022

Washoe County Community Services Department

C/O Julee Olander, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

WSUP22- 0008 Ron Bell Residence

Dear Julee,

In reviewing the replacement of a manufactured house, the District has the following comment.

The District will require an earth tone color palette for the exterior building finishes and roofing material that is environmentally friendly.

Thank you for the opportunity to review the project that may have impacts on our natural resources and any questions call us at 775-750-8272.

Sincerely,

Jim Shaffer

From: cmelton@svgid.com
To: [Olander, Julee](#)
Subject: SUPC WSUP22-0008 Ron Bell Residence 5134 Sun Valley Blvd.
Date: Monday, March 14, 2022 3:37:50 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Julee,
SVGID has no issue with request.

Chris Melton
Public Works Director
Sun Valley General Improvement District
5000 Sun Valley Blvd.
Sun Valley, NV 89433
Phone: 775-673-2253
Fax: 775-673-7708
CMelton@svgid.com
Website: www.svgid.com

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WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

March 24, 2022

TO: Julee Olander, Planner, CSD, Planning & Development Division

FROM: Timber Weiss, Licensed Engineer, CSD

SUBJECT: Special Use Permit Case Number WSUP22-0008 (Ron Bell Residence)

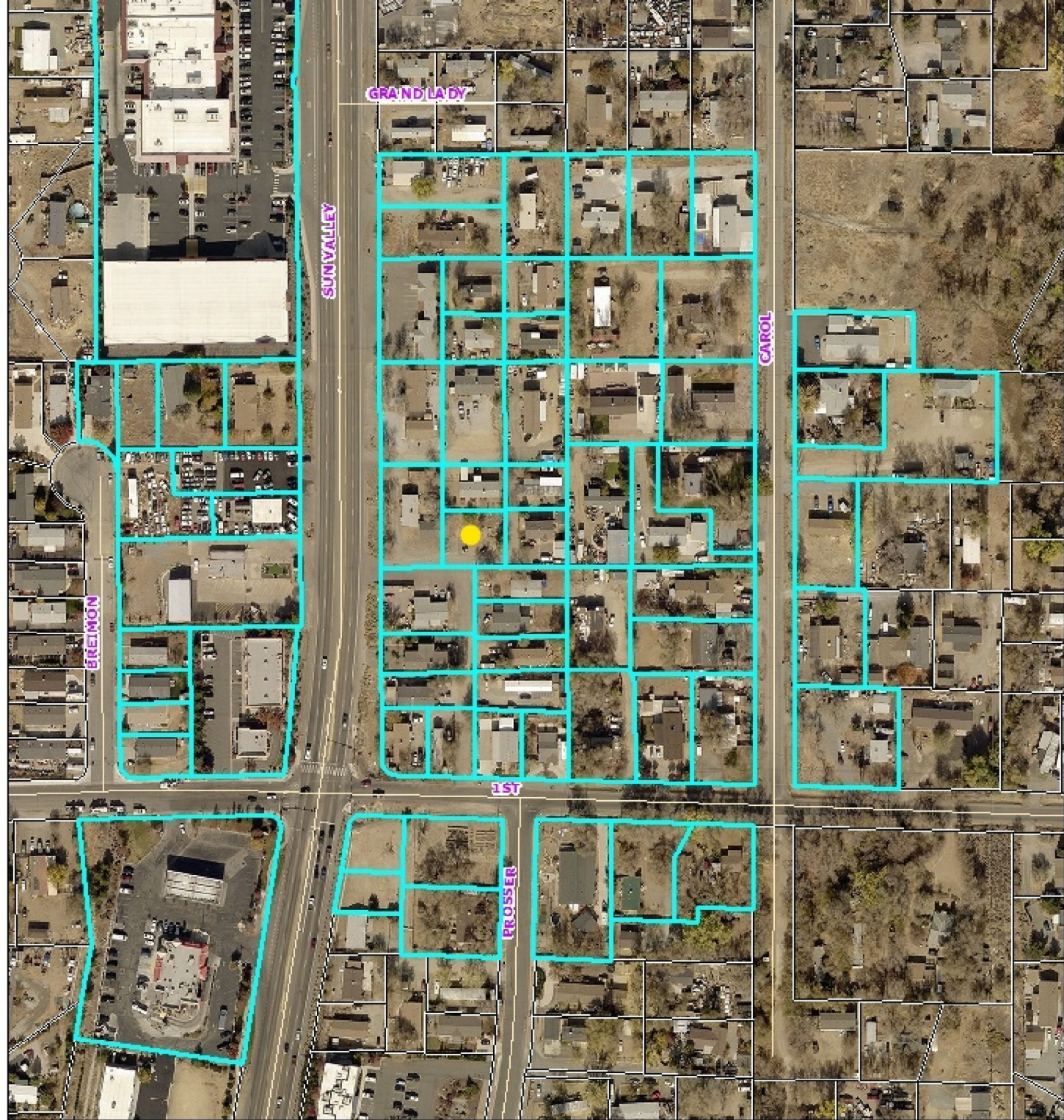
Project description:

The applicant is proposing to approve the replacement of a manufactured house on a parcel with the regulatory zoning of Neighborhood Commercial, which requires a special use permit per Table 110.302.05.1.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

Recommend approval of this permit.

This property is served by Sun Valley General Improvement District (SVGID). Applicant shall provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance.



Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Ron Bell New Manufactured Home Residence			
Project Description: Replace a new manufactured home with one that was previously there and removed with all utilities left in place still.			
Project Address: 5134 Sun Valley Blvd.			
Project Area (acres or square feet): 7841			
Project Location (with point of reference to major cross streets AND area locator): 93 feet east of Sun Valley Blvd			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
085-021-82	0.180		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WSUP19-0011 (Chagolla Residence)			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Ron Bell		Name: Robison Engineering	
Address: 2390 Homestead PL.		Address: 848 Victorian	
Reno NV	Zip: 89509	Sparks NV	Zip: 89431
Phone: 775-750-5256	Fax:	Phone: 775-852-2251 713	Fax:
Email: Ronbellrealtor@hotmail.com		Email: robert@robisoneng.com	
Cell: 775-750-5256	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Ron Bell		Name:	
Address: 2390 Homestead PL		Address:	
Reno NV	Zip: 89509		Zip:
Phone: 775-750-5256	Fax:	Phone:	Fax:
Email: Ronbellrealtor@hotmail.com		Email:	
Cell: 775-750-5256	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Ron Bell

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Ron Bell
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 085-021-82

Printed Name Ron Bell

Signed Ron Bell

Address 2390 Homestead PL Reno NV 89509

Subscribed and sworn to before me this _____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Special Use Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the project being requested?

Put a new manufactured home in a residential manufactured home area where one previously was.(Located in the DCMA of Sun Valley)

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Attached

3. What is the intended phasing schedule for the construction and completion of the project?

90 days to foundation completion, 120 days to finish from permit approval.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Level lot, all utilities in, surrounded by manufactured homes typical of area.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Helps with housing shortage, neighborhood improvement and lot improvement.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

Some setup noise, work to be limited to 8 to 5.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

N/A

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	Sun Valley General Improvement
b. Electrical Service	NV Energy
c. Telephone Service	NV Bell and or cellular
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter
g. Water Service	Sun Valley General Improvement

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	N/A	acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

90 days to foundation completion, 120 days to finish from permit approval.

10. Community Services (provided and nearest facility):

a. Fire Station	110 Quartz Lane Sun Valley , Nevada , 89433
b. Health Care Facility	Urgent Care, St. Marys, Renown
c. Elementary School	Sun Valley
d. Middle School	Sparks Middle
e. High School	Proctor Hug
f. Parks	BMW park and county
g. Library	County
h. Citifare Bus Stop	Sun Valley Blvd

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

Minimul grading except for foundation

2. How many cubic yards of material are you proposing to excavate on site?

N/A

3. How many square feet of surface of the property are you disturbing?

1800

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes but home will be over it

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

2% or less

11. Are you planning any berms?

Yes

NoX

If yes, how tall is the berm at its highest?

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No

13. What are you proposing for visual mitigation of the work?

90 days to foundation completion, 120 days to finish from permit approval.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

All workers instructed to respect neighbors and be quiete

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Best practices and respect for neighbors

16. How are you providing temporary irrigation to the disturbed area?

Existing water riser with hose

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	NoX	If yes, please attach a copy.
-----	-----	-------------------------------

Special Use Permit Application for Stables Supplemental Information

(All required information may be separately attached)

1. What is the maximum number of horses to be boarded, both within stables and pastured?

N/A

2. What is the maximum number of horses owned/maintained by the owner/operator of the project, both within stables and pastured?

3. List any ancillary or additional uses proposed (e.g., tack and saddle sales, feed sales, veterinary services, etc.). Only those items that are requested may be permitted.

4. If additional activities are proposed, including training, events, competition, trail rides, fox hunts, breaking, roping, etc., only those items that are requested may be permitted. Clearly describe the number of each of the above activities which may occur, how many times per year and the number of expected participants for each activity.

5. What currently developed portions of the property or existing structures are going to be used with this permit?

6. To what uses (e.g., restrooms, offices, managers living quarters, stable area, feed storage, etc.) will the barn be put and will the entire structure be allocated to those uses? (Provide floor plans with dimensions).

7. Where are the living quarters for the operators of the stables and where will employees reside?

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

3 on site, 4 on the street

9. What are the planned hours of operation?

N/A

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

1512 square foot new manufactured home

11. What is the intended phasing schedule for the construction and completion of the project?

90 days to foundation completion, 120 days to finish from permit approval.

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Level lot, all utilities in, surrounded by manufactured homes typical of area.

13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Neighborhood improvement and additional housing.

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

All workers instructed to respect neighbors and be quiete

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Best practices and respect for neighbors

16. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Dryscape and shrubs

17. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

None

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

19. Community Sewer

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

20. Community Water

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------



0' 6" 12"
SCALE: 1"=12'

LEGEND:
APN - ACCESSORS PARCEL NUMBER
PM - PARCEL MAP
PAE - PUBLIC UTILITY EASEMENT
WCR - WASHOE COUNTY RECORDS

NOTE:
UNDERGROUND UTILITY LOCATIONS MARKED BY OWNER AND SHALL BE CONFIRMED BY PRIVATE OR USA DIG SERVICES PRIOR TO FINAL ENGINEERING AND CONSTRUCTION

DE LOS ANGELES
ARCEO MARIA
(RESIDENCE)
APN: 085-021-26
LOT 1, PM 162

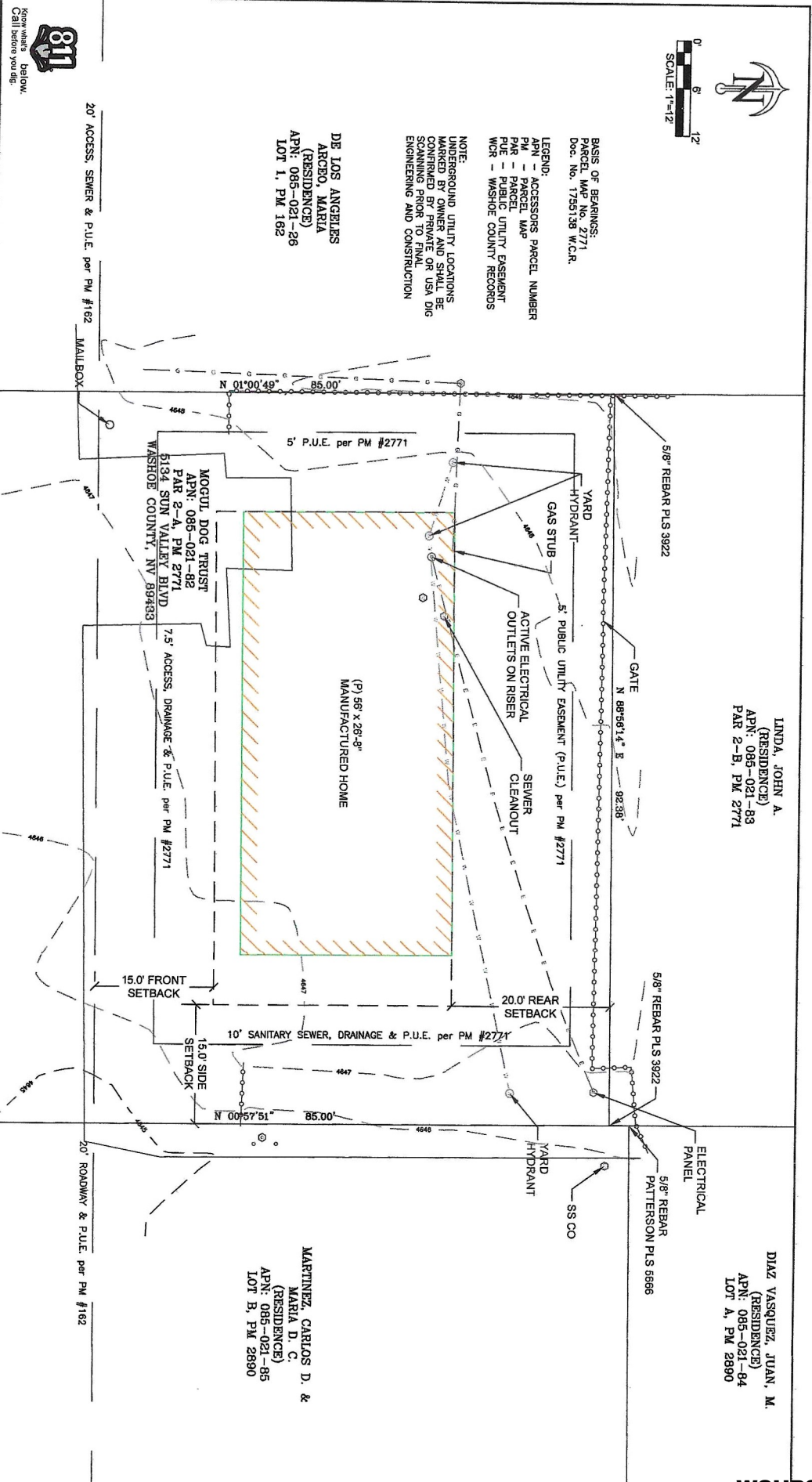
LINDA, JOHN A.
(RESIDENCE)
APN: 085-021-83
PAR 2-B, PM 2771

DIAZ VASQUEZ, JUAN, M.
(RESIDENCE)
APN: 085-021-84
LOT A, PM 2890

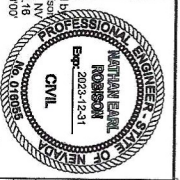
MARTINEZ, CARLOS D. &
MARIA D. C.
(RESIDENCE)
APN: 085-021-85
LOT B, PM 2890

20' ACCESS, SEWER & P.U.E. per PM #162 MAILBOX

20' ROADWAY & P.U.E. per PM #162

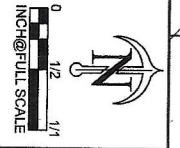


NO	DESCRIPTION	DATE	BY	CHK'D	REFERENCES
0	ISSUED FOR SPECIAL USE PERMIT	2022-02-06	RP/PNR	NER	1 WASHOE CO. RECORDS
P1	ISSUED FOR CLIENT REVIEW	2022-02-10	RP/PNR	NER	2 RENG TOPO 2022-02-07
P2	ISSUED FOR CLIENT REVIEW	2022-02-16	RP/PNR	NER	
1	ISSUED FOR SPECIAL USE PERMIT	2022-02-16	RP/PNR	NER	

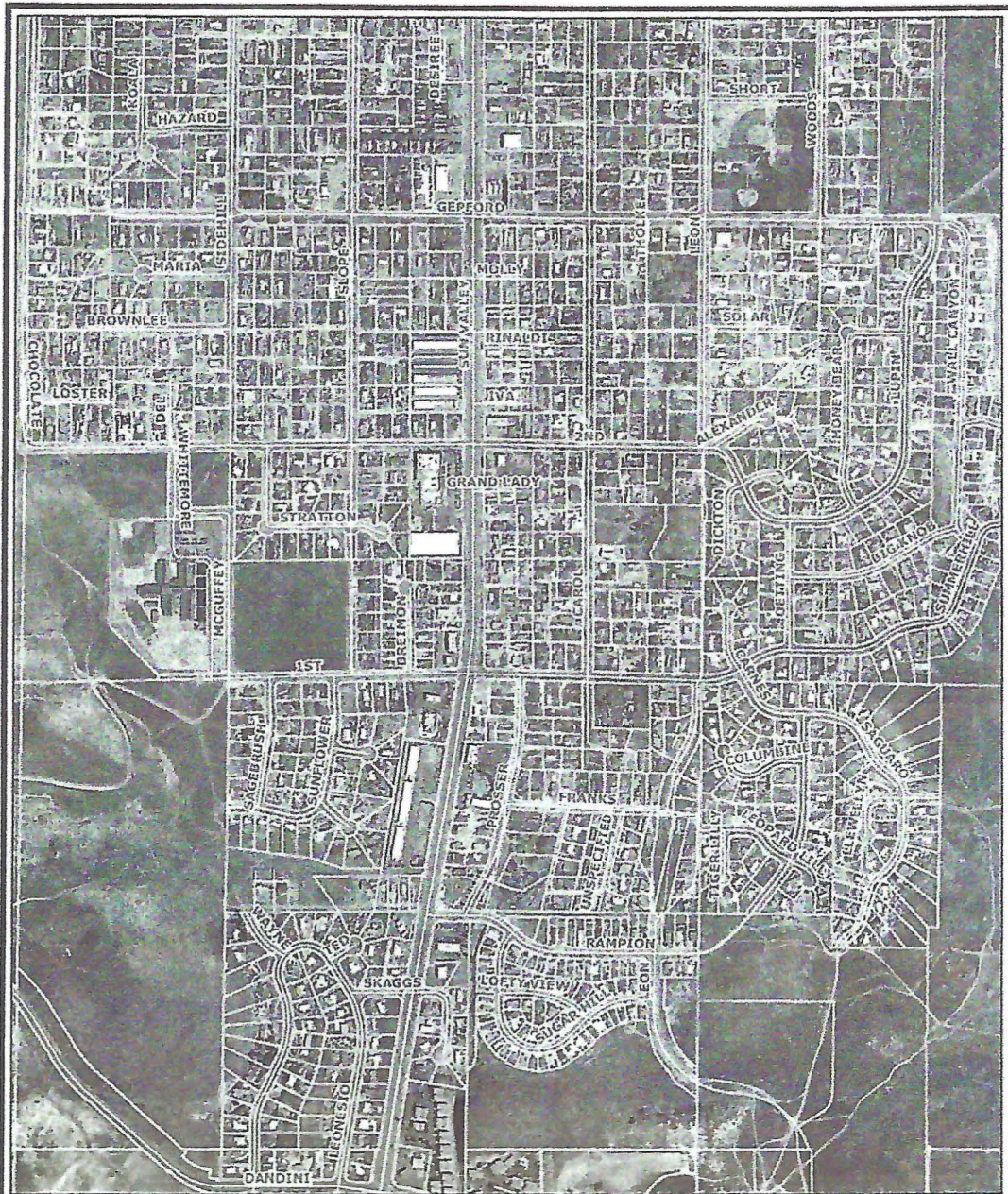


Johnson Engineering
140 VINTAGE BLVD., SUITE 100
SPRINGFIELD, NV 89511
www.johnsoneng.com
DRAWN: RLPNER
DATE: 2022-02-09

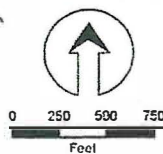
PREPARED FOR:
RON BELL
6750 MT ROSE HWY
RENO, NV 89511
775-750-5286



5134 SUN VALLEY BLVD.
NEW RESIDENCE
SHEET C1 (PG 1 OF 1)
EXISTING TOPOGRAPHY
PROJECT NO. 1-2048-01-002
NV



Vicinity Map



Community Services
Department

WASHOE COUNTY
NEVADA

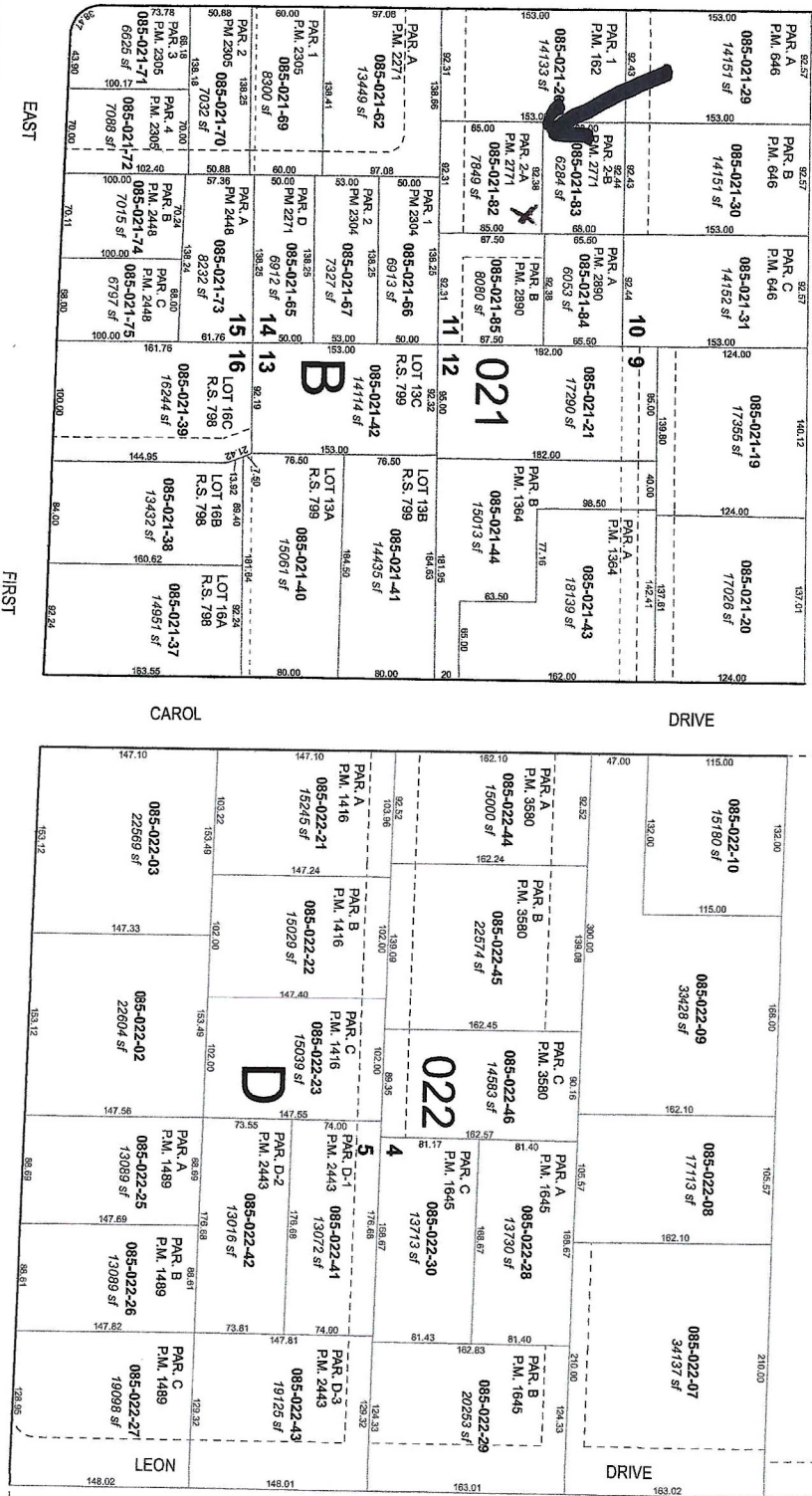
1001 E. 4th St
Reno, Nevada 89512 (775) 229-3600

Source: Planning and Building Division

Date: 04/16/2019



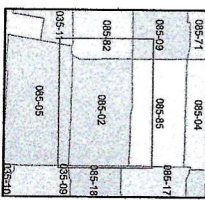
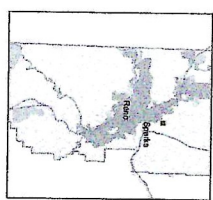
(#398)
SUN VALLEY SUBDIVISION
 PORTION OF THE SOUTHEAST 1/4
 OF SECTION 19
 T20N - R20E



Assessor's Map
085-021-29
 STATE OF NEVADA
WASHOE COUNTY
 ASSESSOR'S OFFICE
 Joshua G. Wilson, Assessor
 1001 East Ninth Street
 Building D
 Reno, NV 89502
 (775) 326-2231

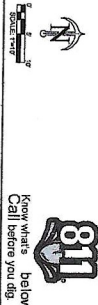


1 inch = 100 feet



created by: **TWT 9/30/2011**
 last updated: _____
 area previously shown on map(s): _____

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data furnished hereon.



NO.	DESCRIPTION	DATE	BY	CHKD
1	ISSUED FOR SPECIAL USE PERMIT	2022-02-09	RLP/NER	NER
2	ISSUED FOR CLIENT REVIEW	2022-02-10	RLP/NER	NER
3				
4				
5				
6				
7				
8				

NO.	DESCRIPTION	DATE	BY	CHKD
1	WASHOE CO. RECORDS			
2	RENG TOPO 2022-02-07			
3				
4				
5				
6				
7				
8				

444 VICTORIAN AVENUE
 RENO, NV 89511
 WWW.VICTORIANENGINEERING.COM
 PHONE: 775-786-2201
 FAX: 775-786-2202
 DRAWN: RLP/NER
 DATE: 2022-02-09

PREPARED FOR:
RON BELL
 18750 MT ROSE HWY
 RENO, NV 89511
 775-760-4256

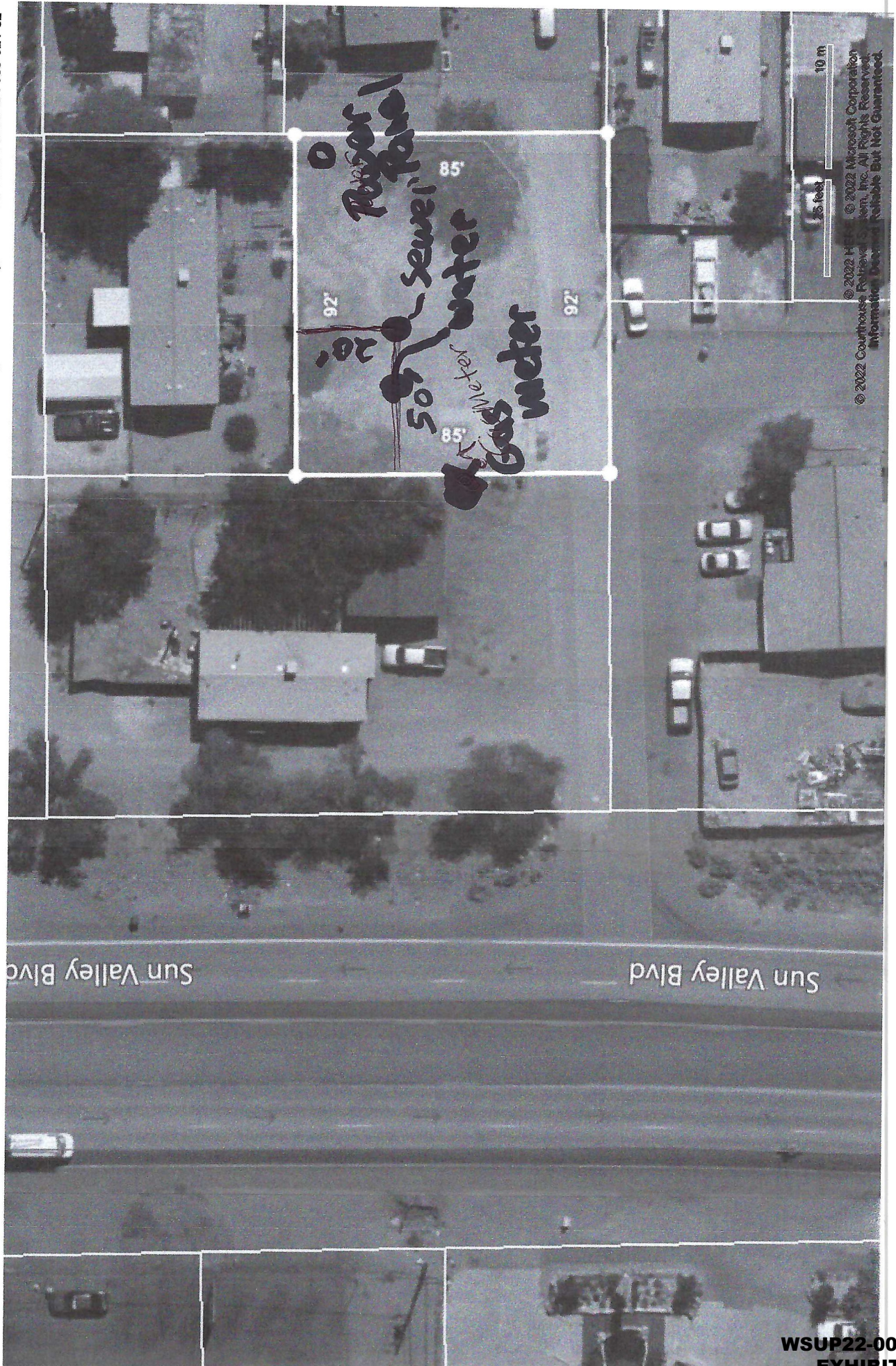
THE VICTORIAN ENGINEERING FIRM HAS CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS PREPARED THIS PLAN. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE CLIENT AGREES TO HOLD THE ENGINEER HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THIS PROJECT.

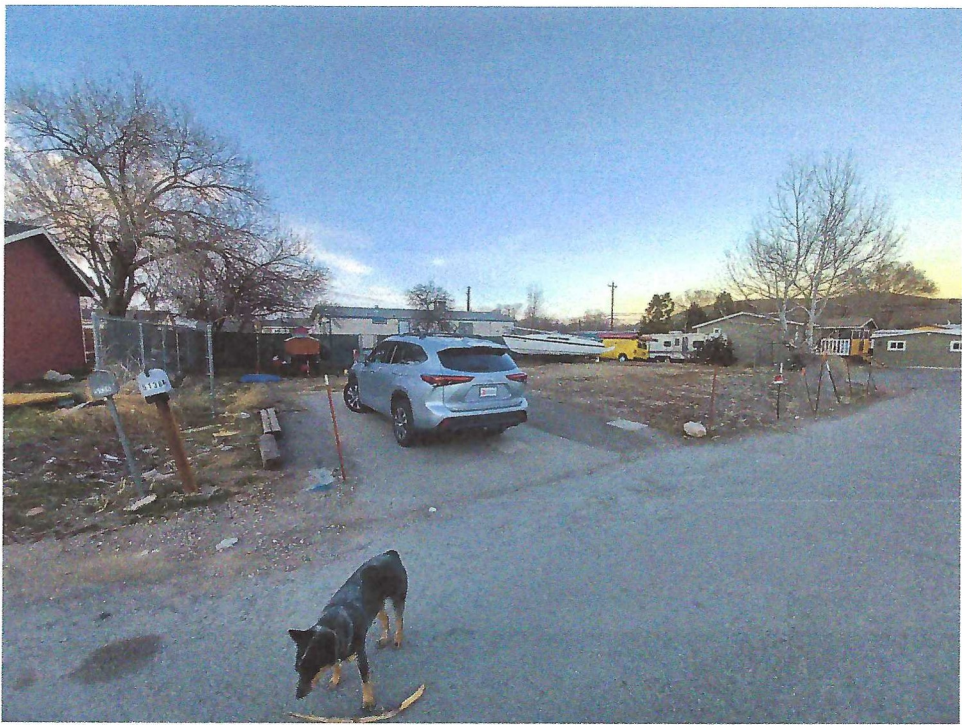
5134 SUN VALLEY BLVD.
NEW RESIDENCE
 SHEET 00
 EXISTING TOPOGRAPHY

SHEET NO. 1-2046-01.002
 WASHOE COUNTY
 PROJECT NO. 1-2046-01.002

WSUP22-0008
EXHIBIT D

Map for Parcel Address: 5134 Sun Valley Blvd Sun Valley, NV 89433-8120 Parcel ID: 085-021-82

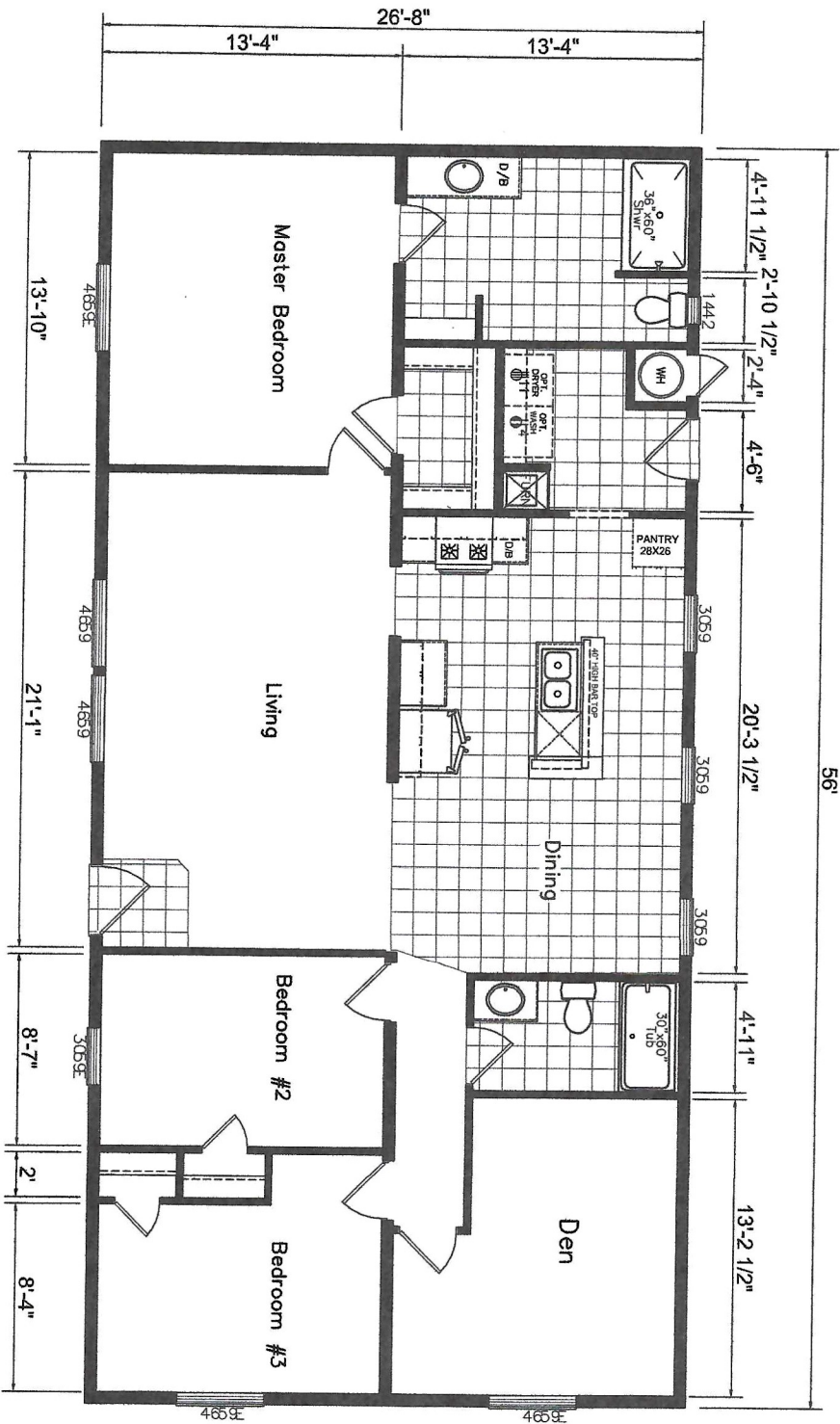








DRAFT #1
 OT# 28415



REDMAN HOMES.
 840 PALM ST. P.O. BOX 429 LINDSAY, PA 15347

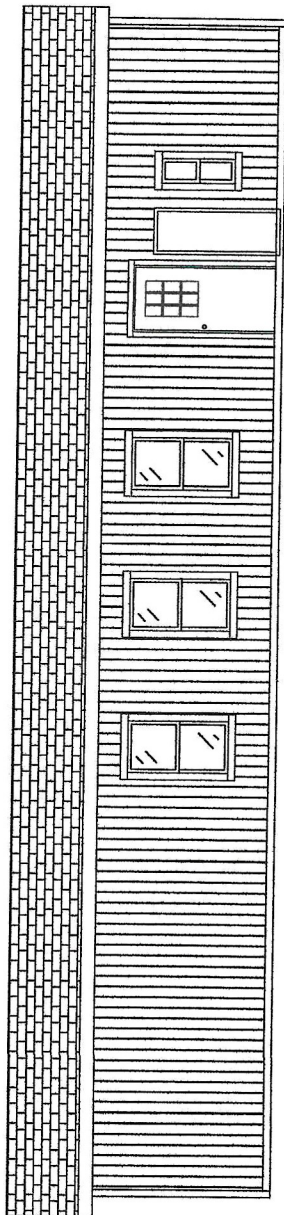
PROJ. # **09-CM-4564B**
 DRAWN BY: **L. SANDRICH**
 DATE: **8-28-2001**
 SCALE: **NOT TO SCALE**

TITLE: **LITERATURE PLAN**

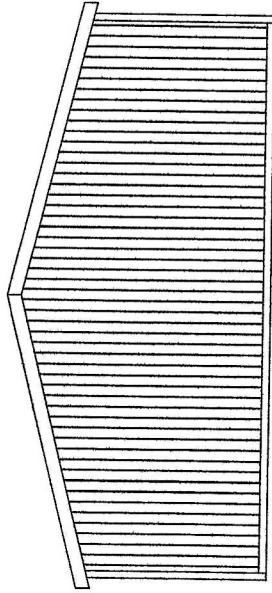
SHEET: **L-101**

PROPRIETARY AND CONFIDENTIAL
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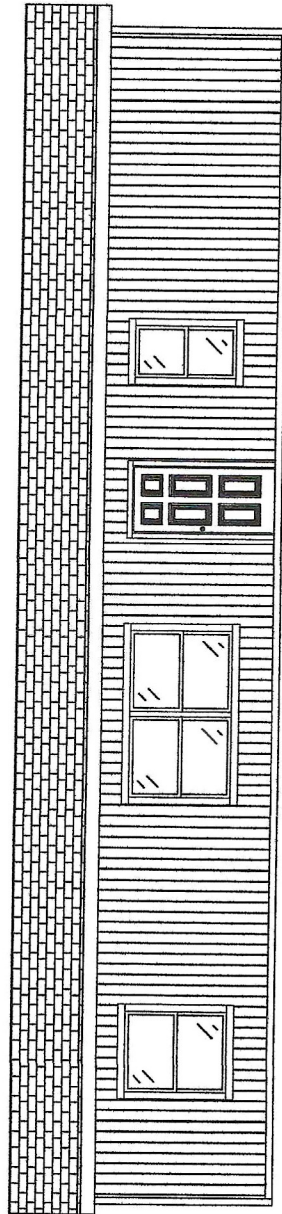
DRAFT # 1
QT# 28415



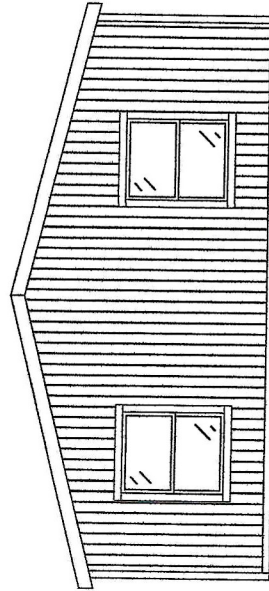
BACK ELEVATION



REAR ELEVATION



FRONT ELEVATION



HITCH END ELEVATION

PERMANENT HOMES.

11111 N. JENSEN ST., P.O. BOX 429 LINDSAY, CA 93247

MODIFICATIONS

PROJECT: **09-CM-4564B**

DRAWN BY: **M. GARCIA**
DATE: **08-08-2001**
SCALE: **NOT TO SCALE**

TITLE: **LITERATURE PLAN**

FILENAME: **28415.DWG**

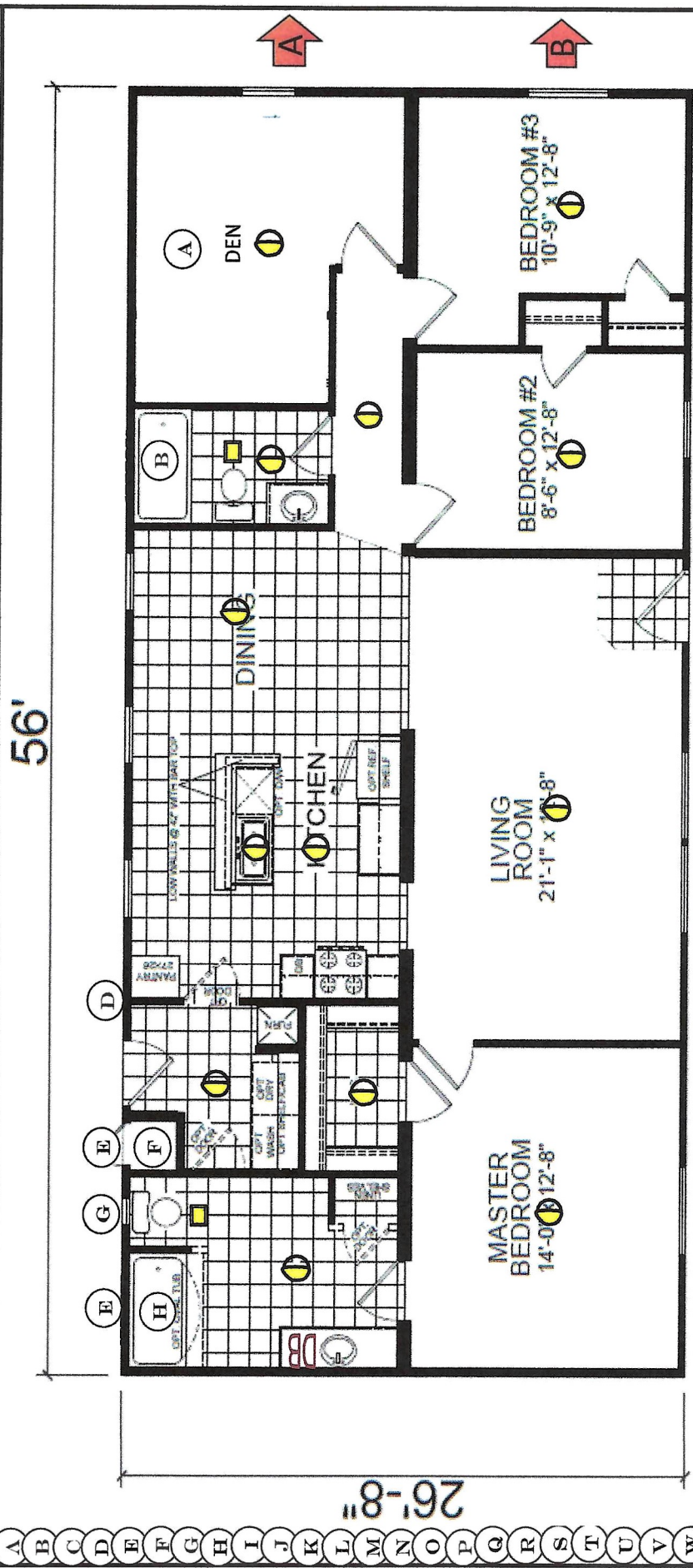
SHEET:

EL-101

PROPRIETARY AND CONFIDENTIAL
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Copy

Exhaust Fan w/ Light	Can Light	USB receipt	Bank of Drawers	Dix Porch Light	Shutters
Switch	Ceiling Fan	Solar Tube	Rollout Shelves	Dix Light Over mirror	Chandelier
Recept	TV Jack	Pendant Light	Hose Bib	PONY EXPRESS	
GFCI	Phone Jack	J-Box	Paddle fan prep	BELL	SF 1,493
		Hitch End		28415	

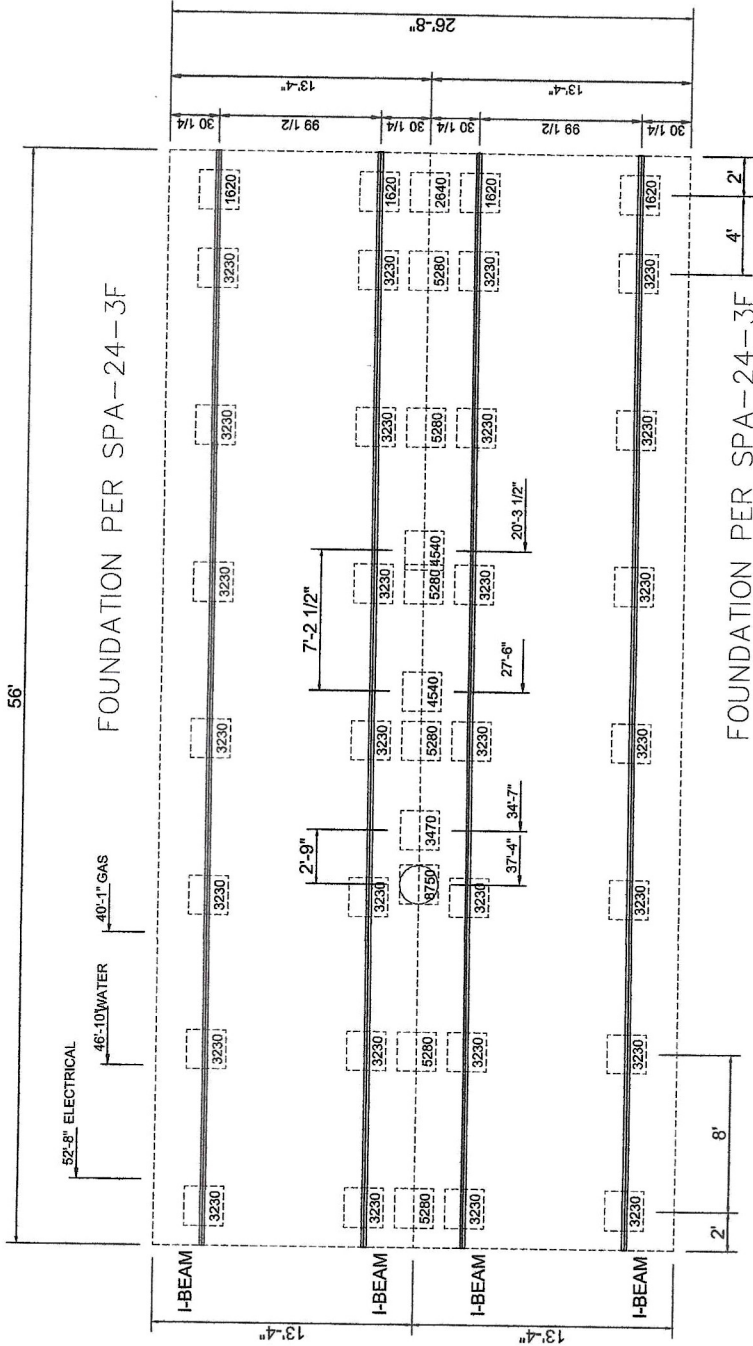


- A OPT DEN
- B 1PC FIBERGLASS TUB/SHOWER
- C WATER UTILITY LOCATION
- D GAS UTILITY LOCATION
- E ELECTRICAL PANEL LOCATION
- F 30 GAL ELECTRIC WATER HEATER
- G 14X42
- H 60" STALL SHOWER ILO TUB/SHOWER
- I
- J
- K
- L
- M
- N
- O
- P
- Q
- R
- S
- T
- U
- V

DRAFT # 1
 OT# 28415

PIER PLACEMENT GENERAL NOTES

1. This plan has been calculated with a 30 pound roof load.
2. All I-Beam piers have a maximum spacing of 8 feet o/c with end piers located no more than 2 feet from each end of I-Beam.
3. See installation manual for pier configurations.
4. All methods of foundation and tie down construction may be used in this plan. The contractor is responsible for providing the method has been designed and stamped by a registered Architect or Engineer and the method meets local and/or state building codes.
5. All dimensions taken from HITCH END of floor.
6. All utility measurements are approximate.



THIS PAGE IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED TO BE USED AS A FOUNDATION PLAN.
 PLEASE REFER TO INSTALLATION MANUAL FOR ALL DETAILS REGARDING THE PIER FOUNDATION.


<p>PULTE HOMES</p>	<p>PROJECT: 09-CM-4564B</p>	<p>SHEET: PF-101</p>
	<p>MODIFICATIONS:</p>	<p>TITLE: PIER FOUNDATION PLAN</p>
<p>83247 1000 WILLOW ST. P.O. BOX 429 LINDSAY, CA</p>	<p>DRAWN BY: M. GONZALEZ</p>	<p>PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINALS. PROPRIETARY RIGHTS RESERVED. COPYRIGHT © 1978-2021 BY PULTE HOMES</p>
<p>83247</p>	<p>DATE: 09-18-2009</p>	<p>FILE NAME: 090815.DWG</p>
<p>83247</p>	<p>SCALE: NOT TO SCALE</p>	

5134 Sun Valley Blvd

Karen Pickens <kpickens@svgid.com>

Tue 3/8/2022 12:16 PM

To: ronbellrealtor@hotmail.com <ronbellrealtor@hotmail.com>

 1 attachments (23 KB)

5134 Sun Valley Blvd.pdf;

Ron,

In speaking with Chris Melton, our Public Works Director, he stated that a will serve letter would not be necessary.

I have attached a copy of the last account at this address and as we have provided service to this location in the past, no letter should be needed.

This address was initially set up September 14, 1999 with water and sewer service. The last account (attached) shows connection date of September, 8, 2010 with a final account date of January 19, 2011.

If you need anything else, please give us a call.

Thank you,

Karen T Pickens
SVGID, Utility Billing Rep
P:775-673-2220 |F:775-673-1835
kpickens@svgid.com

-
www.svgid.com



Account History Report

User: karen
Printed: 03/08/2022 - 12:04PM

Account Status: Delete
Connect Date: 09/08/2010 Final Date: 01/19/2011
Customer Name: [REDACTED]
Care Of: [REDACTED]
Customer Address: 5134 SUN VALLEY BLVD
SUN VALLEY, NV 89433-8120

Home Phone: [REDACTED] Ext: [REDACTED]
Business Phone: [REDACTED] Ext: [REDACTED]
Account Number: [REDACTED] Reference Number: 16396

SUN VALLEY GENERAL
IMPROVEMENT DISTRICT



Total Account Balance: 0.00
Total Deposits: [REDACTED] Total Refunds: [REDACTED]
Owner Name: MOGUL DOG TRUST
Service Address: 5134 SUN VALLEY BLVD

Tran Date	Tran Type	Description	Amount	WTR REC-100%	SWR N/A	WSRC N/A	SSRC N/A	PEN N/A	MISCEL N/A	REC N/A	REC-20% N/A
		Current Balance By Service									
02/09/2011	Adjustment	Convert Adjustment	[REDACTED]	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
				0.00							
01/31/2011	Adjustment	Convert Adjustment	[REDACTED]	-75.44	-59.91	0.00	0.00	-5.32	0.00	-9.42	0.00
				0.00							
01/31/2011	Refund	Refund of Deposit Amount	[REDACTED]	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
				0.00							
01/19/2011	Balance		[REDACTED]	75.44	23.82	0.00	0.00	5.32	0.00	9.42	0.00
				0.00							
01/19/2011	Billing	Convert Billing	[REDACTED]	6.52	5.79	0.00	0.00	0.00	0.00	0.91	0.00
				0.00							
01/19/2011	Adjustment	Convert Adjustment	[REDACTED]	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
				0.00							
01/19/2011	Adjustment	Convert Adjustment	[REDACTED]	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
				0.00							
01/13/2011	Balance		[REDACTED]	68.92	18.03	0.00	0.00	5.32	0.00	8.51	0.00
				0.00							

EXHIBIT D
SUP-2-0008



Gas-Electric Bill



C A06 B06

RON V. BELL
5134 SUN VALLEY BLVD
SUN VALLEY, NV 89433

Electric Usage: Domestic Service

Average Daily Electric Usage

Usage in total electric kilowatt hours

Average Daily Cost this month **\$0.49**

Last Year This Year

0 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec

Please Pay By: Dec 21, 2021
\$24.12

Additional time is provided to pay this bill. Please pay the amount due by Dec 29, 2021 to avoid a 1% late fee or deposit.

Account: **1000072823301506967**

Customer Number: **728233**

Premises Number: **150696**

Billing Date: Dec 3, 2021

Next Read Date: Dec 30, 2021

Account Summary

Previous Account Balance	8.03
PAST DUE	8.03
Electric Charges	16.01
Miscellaneous	0.08
Current Amount Due	\$24.12

Please be aware that your payment has been late twice in the last 12 months. Avoid additional late charges or a deposit by paying on time. We are here to help - please call if you need assistance.

Meter Information

If NV Energy is unable to read your meter because of circumstances beyond control, you may be billed based on estimated usage for that billing period.

Meter#	Type	Service Period	Bill Days	Previous	Current	Multiplier	Usage
CC038331197	kWh	Oct 28, 2021 to Nov 30, 2021	33	0	0	1	0

Charge Details

Basic Service Charge	15.25
Local Government Fee	5% 0.76

Total Electric Service Amount \$16.01

Miscellaneous Charges & Adjustments

Late Charge - Electric	0.08
------------------------	------

Total Miscellaneous Charges & Adjustments \$0.08

Customer Service: (775) 834-4444 or (800) 962-0399 Toll Free 24/7, excluding holidays **Emergencies:** (775) 834-4100
Para servicio en español (775) 834-4700. TDD/TYY: 711 - Hearing impaired service available 24/7 days a week.