



Board of Adjustment Staff Report

Meeting Date: November 3, 2022

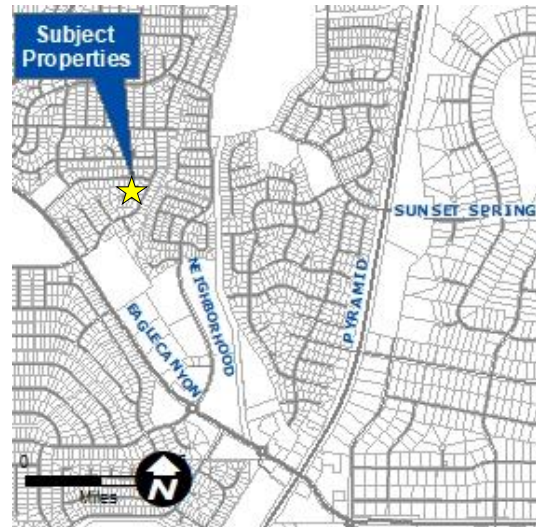
Agenda Item: 8B

ADMINISTRATIVE CASE NUMBER:	WADMIN22-0021 (May-Doyle Garage)
BRIEF SUMMARY OF REQUEST:	To allow for a detached accessory structure larger than the main residence.
STAFF PLANNER:	Julee Olander, Planner Phone Number: 775.328.3627 E-mail: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve an administrative permit for a 2,400 SF detached accessory structure that is larger than the existing 1,558 SF main residence.

Applicant/ Property Owner:	Rebecca J. May-Doyle
Location:	165 Monica Court
APN:	530-173-11
Parcel Size:	0.338 acres
Master Plan:	Suburban Residential (SR)
Regulatory Zone:	Medium Density Suburban (MDS)
Area Plan:	Spanish Springs
Development Code:	Authorized in Article 306, Accessory Uses and Structures; and Article 808, Administrative Permits
Commission District:	4 – Commissioner Hartung



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN22-0021 for Rebecca J May-Doyle, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25

(Motion with Findings on Page 8)

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Project Application Exhibit D
Public Comment Letter Exhibit E

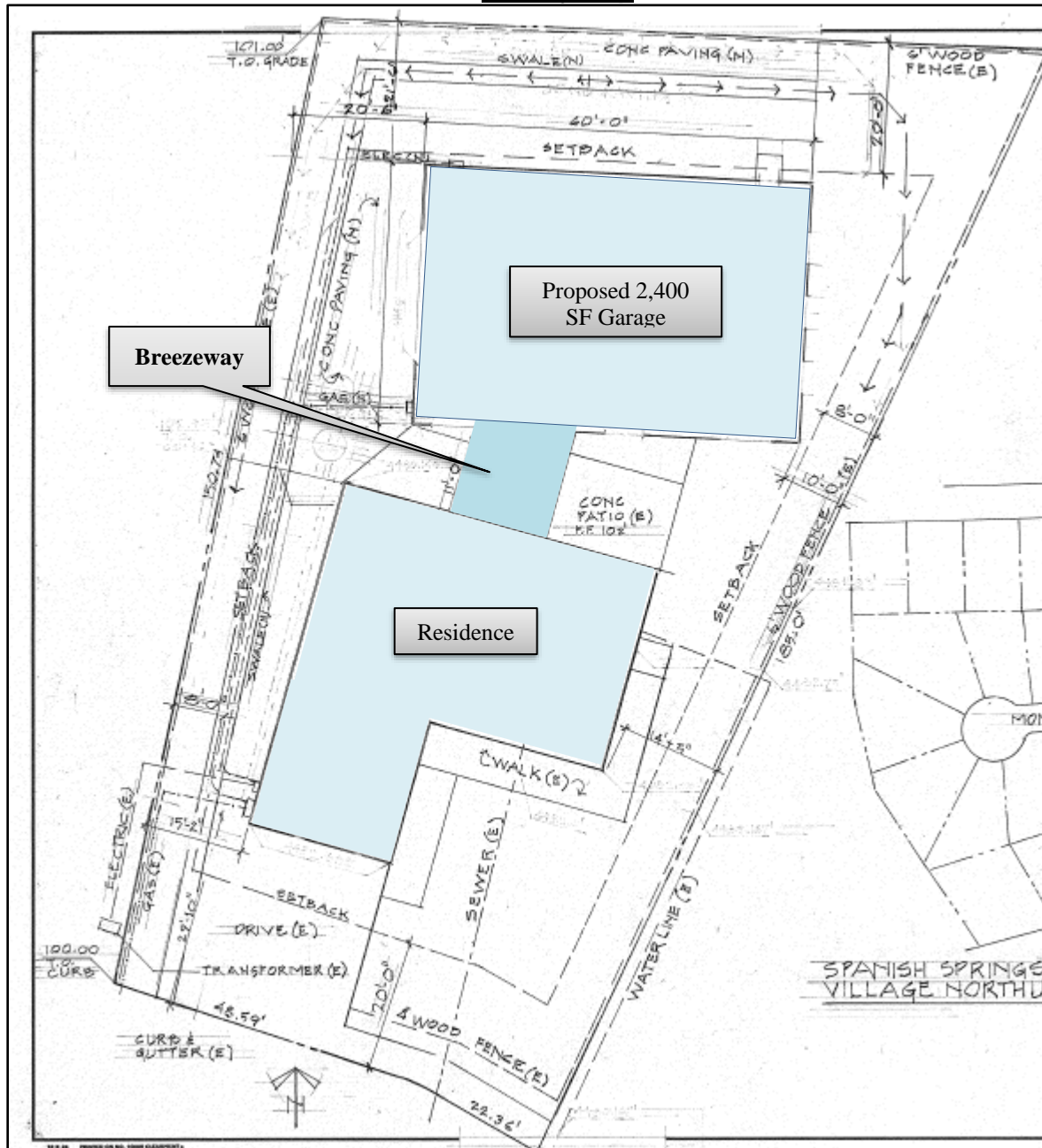
Administrative Permit Definition

The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

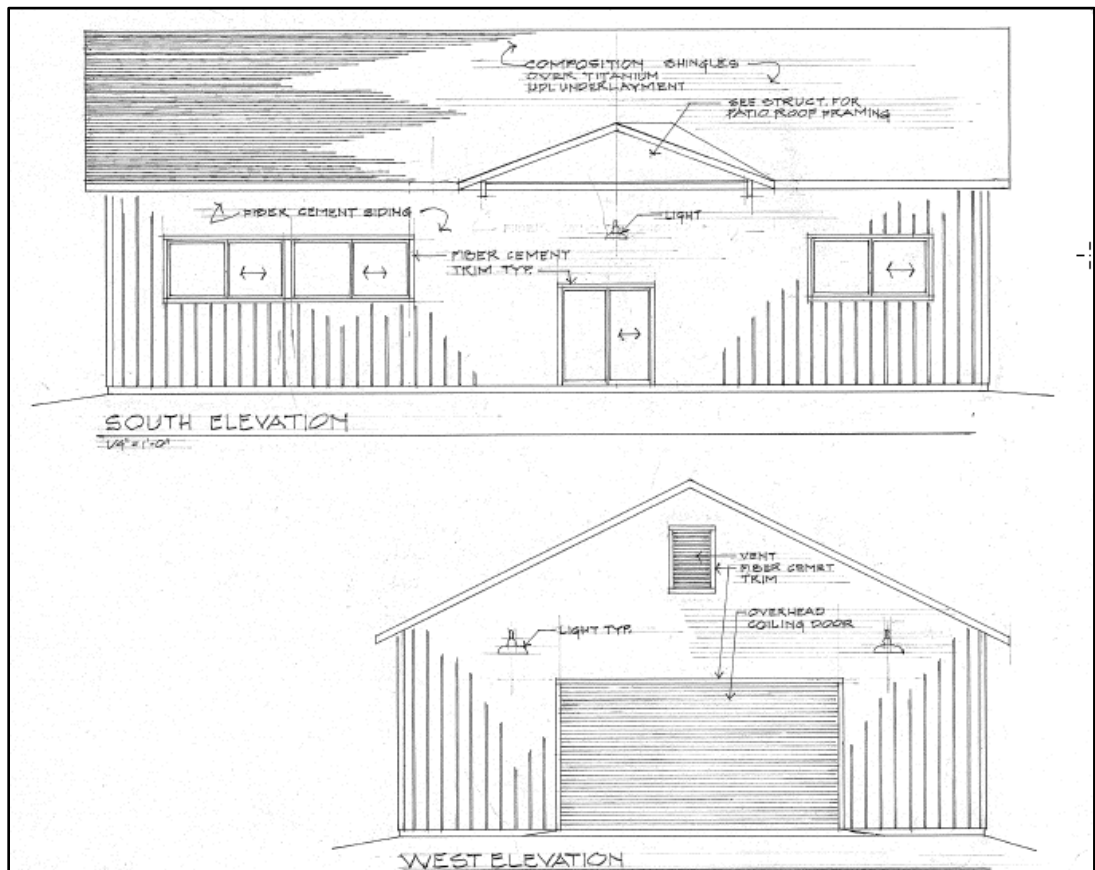
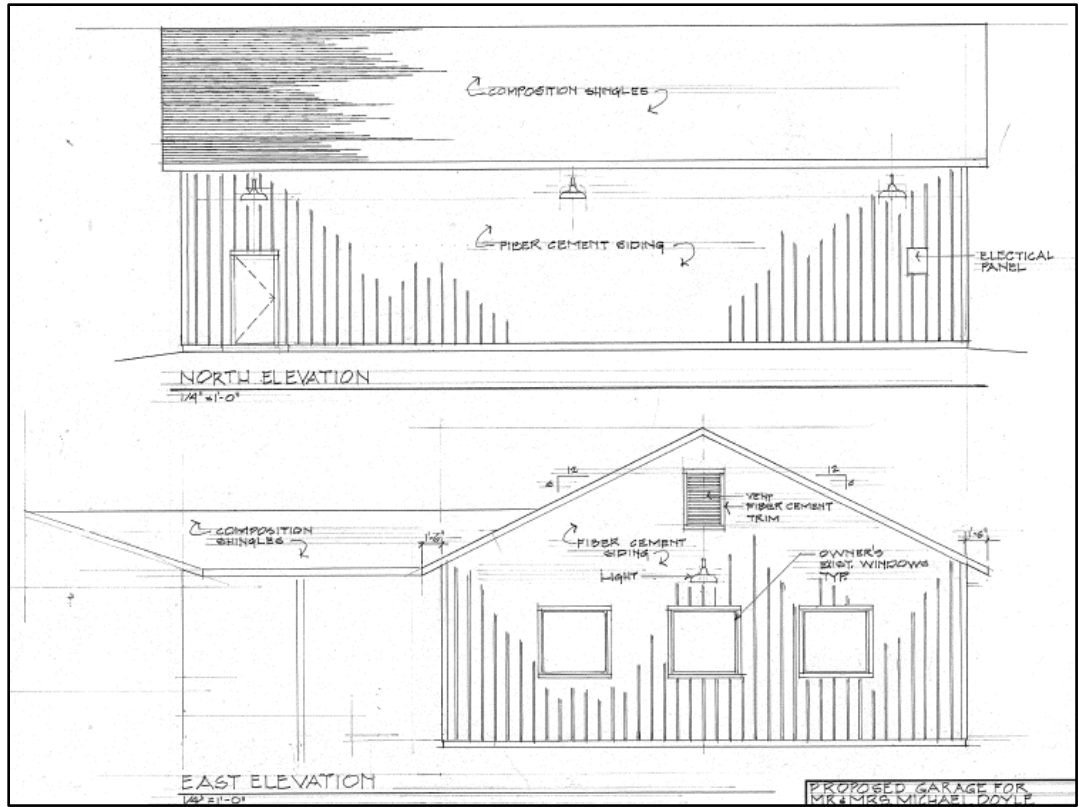
The conditions of approval for Administrative Permit Case Number WADMIN22-0021 is attached to this staff report and will be included with the action order.

The subject property is designated as Medium Density Suburban (MDS) in the Spanish Springs Plan. The Spanish Springs Area Plan per Appendix C requires a special use permit for detached accessory structures. Accessory structures that are larger than the main residence are permitted within the MDS regulatory zone subject to approval of an administrative permit per Washoe County Code 110.306.10(d).

Vicinity Map



Site Plan



Elevations



Vicinity Map

Project Evaluation

The applicant is requesting an administrative permit to approve a $\pm 2,400$ SF. detached accessory structure on a 14,723 SF parcel of land where a $\pm 1,558$ SF. main residence is located. An administrative permit is required per Washoe County Code 110.306.10(d), for accessory structures that are larger than the main residence.

The parcel has a regulatory zone of Medium Density Suburban (MDS) as do the surrounding parcels. The structure will comply with the minimum MDS setbacks of 20 feet in the front and rear and 8 feet on the sides and will meet the required 35-foot height requirement. The allowed lot coverage for MDS building footprint is 50%. The total square footage of the existing and proposed building $\pm 3,958$ SF, approximately 27% of the 14,723 SF lot.

The parcel is relatively flat and the proposed detached accessory structure will be located to the rear of the parcel, behind the residence (See the Site Plan on page 4). The applicant indicates that the structure will be used as a garage and a proposed breezeway will connect the garage to the residence. The breezeway does not create an attached structure per Washoe County Code. The garage will be used to store a large RV, boat and other vehicles. The structure will have electricity, however there will be no plumbing connections. The structure will be painted to match the existing residence and landscaping will be added around the building.

Spanish Springs Area Plan

The subject parcel is located within the Spanish Springs Area Plan. The Spanish Springs Area Plan per Appendix C requires a special use permit for detached accessory structures. There are no other relevant policies related to detached accessory structures.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	X	X		rlandis@washoecounty.gov
Washoe County Engineering & Capital Projects	X	X		rwimer@washoecounty.gov
Washoe County Land Development (All Apps)	X			
Washoe County Sewer	X			
Washoe County Water Rights Manager (All Apps)	X			
WCHD Environmental Health	X	X		jenglish@washoecounty.gov
TMFPD	X	X	X	dway@tmfpd.us
Regional Transportation Commission (All Apps)	X			
Washoe-Storey Conservation District (All Apps)	X	X		shafferjam@gmail.com

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan.

Staff Comment: The requested detached accessory structure does not conflict with the policies, action programs, standards, and maps of the Master Plan and the Spanish Springs Area Plan. The Spanish Springs Area Plan, Appendix C requires the applicant apply for a special use permit. The applicant has applied for an administrative permit per Washoe County Code Article 306, which meets this requirement with the same Findings and review.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: A detached accessory structure will not create a significant demand on the existing utilities, roadway improvements, sanitation, or water supply. The detached accessory structure will have electricity and no water or sewer connections are proposed.

- (c) Site Suitability. That the site is physically suitable for detached accessory structure and for the intensity of such a development.

Staff Comment: The site is relatively flat and physically suitable for a detached accessory structure. There is an existing residence on the site, a detached accessory structure will not be a significant intensification to the site. The structure will be painted to match the main residence and landscaping will be added around the structure.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.
- (e) *Staff Comment: The subject property is located on a residential parcel with a regulatory zone of Medium Density Suburban (MDS). Issuance of a permit for a detached accessory structure will not be significantly detrimental to the public health, safety, or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.*
- (f) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment There is no military installation in the required noticing distance of the proposed structure; therefore, this finding is not required to be made.

Recommendation

After a thorough analysis and review, Administrative Permit Case Number WADMIN22-0021 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN22-0021 for Rebecca J May-Doyle, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for detached accessory structure and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any

appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant / Property Owner: Michael Doyle
mtdoyle5757@yahoo.com

Rebecca J. May-Doyle
rebmay957@yahoo.com



Conditions of Approval

Administrative Permit Case Number WADMIN22-0021

The project approved under Administrative Permit Case Number WADMIN22-0021 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on November 3, 2022. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. Construction hours are 7am to 7pm Monday through Saturday
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

Truckee Meadows Fire Protection District

2. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

Contact Name – Brittany Lemon, Title, 775.326.6079, blemon@tmfpd.us

- a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <https://tmfpd.us/fire-code/>

*** End of Conditions ***

From: [Landis, Rosa](#)
To: [Olander, Julee](#)
Subject: September Agency Review - Memorandum II, Items 1 & 6
Date: Tuesday, September 27, 2022 1:20:28 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Good afternoon Julee,

I have reviewed items 1 & 6 for the Building Division and here are my comments:

Item 1 – WADMIN22-0021 (May – Doyle Garage)

- The garage must meet the requirements of the 2018 IRC code and the 2018 Northern Nevada Amendments.

Item 6 – WSUP22-0024 (St. Peter Catholic Church)

- Based on the information provided, this structure or portions of this structure will be considered an A-3 occupancy type due to the religious assembly use. The project must meet the requirements of the 2018 IBC and the 2018 IEBC. More information is needed to determine if the size of the proposed building is allowable. Structures containing an A-3 occupancy that are **not** provided with a sprinkler system and constructed with type 5B construction cannot exceed 6,000 sqft in total size. I would recommend a pre-development meeting with the Building Division to go over project limitations and code requirements prior to permit submittal.

Please let me know if you have any questions or need additional information.

Thank you,



Rosa Landis

ICC Certified Plans Examiner | Community Services Department

RLandis@washoecounty.gov | Direct Line: 775.328.2034

In-Office Hours: Mon & Tues, 7:30 am – 4:30pm

Visit us online: www.washoecounty.us/csd

For Building call: 775.328.2020

Building Email: building@washoecounty.gov

1001 E. 9th Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

☆ [Submit a Nomination](#) ☆



INTEROFFICE MEMORANDUM

DATE: September 27, 2022
TO: Julee Olander, Planner, Planning and Building Division
FROM: Robert Wimer, P.E., Engineering and Capital Projects Division

SUBJECT: WADMIN22-0021
APN 530-173-11
May-Doyle Garage

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Engineering and Capital Projects Division recommends approval.



QUALITY
PUBLIC SERVICE



INTEGRITY



EFFECTIVE
COMMUNICATION

From: [Way, Dale](#)
To: [Olander, Julee](#)
Cc: [Lemon, Brittany](#)
Subject: WADMIN22-0021 (May-Doyle Garage)
Date: Friday, September 16, 2022 9:47:18 AM
Attachments: [image001.png](#)

Julee,

TMFPD has no specific comments or special Conditions of Approval on this request.

“This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply.”

<https://tmfpd.us/fire-code/>.

Thank you.

Dale Way

Deputy Fire Chief | Truckee Meadows Fire & Rescue

dway@tmfpd.us | Office: 775.326-6000

3663 Barron Way, Reno, NV 89511



“Committed to excellence, service, and the protection of life and property in our community”

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

September 18, 2022

Washoe County Community Services
Planning and Development Division

RE: May-Doyle Garage; 530-173-11
Administrative Case; WADMIN22-0021

Dear Washoe County Staff:


The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The application is for a parcel which is served by public water and sewerage systems.
- b) Condition #2: The WCHD has no comments, concerns or conditions for the application as proposed.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,


James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services
Washoe County Health District





Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

September 20, 2022

Washoe County Community Services Department

C/O Julee Olander, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

Re: WADMIN22-0021 May-Doyle Garage

Dear Julee,

In reviewing the administrative permit for a detached accessory dwelling, the Conservation District has the following comments.

The District supports the matching color of the main residence to the secondary dwelling and recommend the roof colors match as well.

With the applicant adding landscape, we propose adding several evergreen and deciduous trees to further filtering of this detached unit.

Additionally, we recommend placing 3-to-4-inch rock in the flow line of the swale to minimize the transport of down stream sediment.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources and any questions call us at (775) 750-8272.

Sincerely,

Jim Shaffer

2

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>May-Doyle Attached Garage</i>			
Project Description: <i>Addition of 2400 sq ft garage and breeze way to existing house</i>			
Project Address: <i>165 Monica Ct Spanish Springs NV 89441</i>			
Project Area (acres or square feet): <i>2670 sq ft.</i>			
Project Location (with point of reference to major cross streets AND area locator): <i>165 Monica Ct, Spanish Springs Village N. 1 LT 62, BLK A</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>530-173-11</i>	<i>0.34</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: <i>Rebecca J. May-Doyle</i>		Professional Consultant:	
Name: <i>Rebecca J. May-Doyle</i>		Name:	
Address: <i>165 Monica Ct</i>		Address:	
<i>Sparks NV Zip: 89441</i>		Zip:	
Phone: <i>775/315-4091</i> Fax:		Phone: Fax:	
Email: <i>rebmay957@yahoo.com</i>		Email:	
Cell: <i>775-315-4091</i> Other:		Cell: Other:	
Contact Person: <i>Rebecca May-Doyle</i>		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: May-Doyle Attached Garage			
Project Description: Addition of 2400 sq ft garage and breeze-way to existing house			
Project Address: 165 Monica Ct, Spanish Springs, NV 89441			
Project Area (acres or square feet): 2670 sq ft			
Project Location (with point of reference to major cross streets AND area locator): Spanish Spring Village N1 LT62 BLK A			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
530-173-11	0.34		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: Michael Doyle		Professional Consultant:	
Name: Michael Doyle		Name:	
Address: 165 Monica Ct		Address:	
Sparks NV Zip: 89441		Zip:	
Phone: 775-527-9486 Fax:		Phone: Fax:	
Email: mtdoyle5757@upho.com		Email:	
Cell: 775-527-9486 Other:		Cell: Other:	
Contact Person: Mike Doyle		Contact Person:	
Applicant/Developer: 1		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

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**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Storage Garage

2. What section of the Washoe County code requires the Administrative permit required?

? what is the code?

3. What currently developed portions of the property or existing structures are going to be used with this permit?

LIE INTO rear of house (Preezeaway) patio cover

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Power from existing transformer to Garage for power

5. Is there a phasing schedule for the construction and completion of the project?

N/A

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Building will not being seen from the street

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

landscaping with building

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Color matching home - large trees

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

6-10 Total around - inside

Parking large RV. ~~off~~ inside - Boat Rec. vehicles

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

large trees existing will cover shop from view

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

required lighting only

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

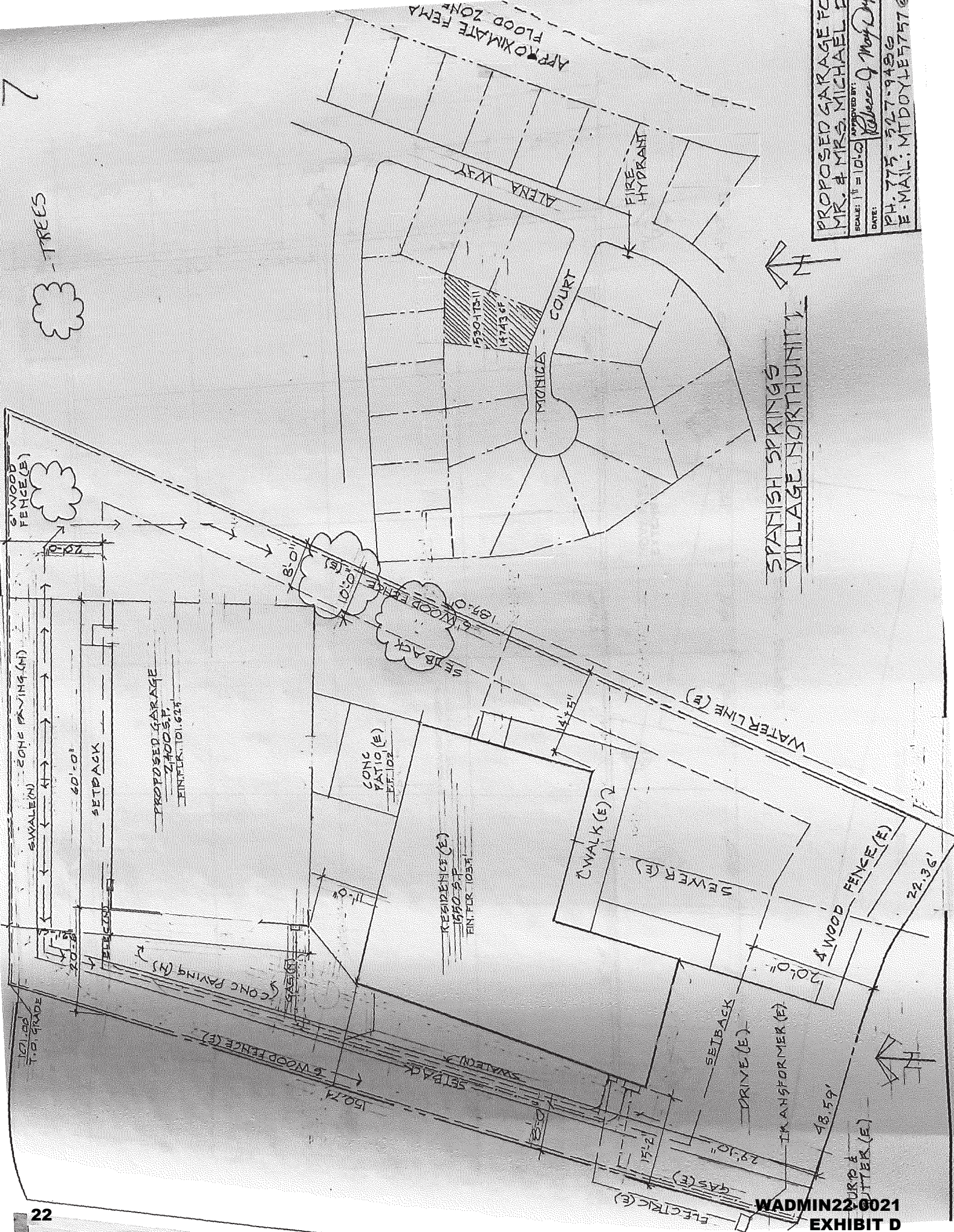
a. Sewer Service	NO
b. Water Service	NO

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A



APPROXIMATE FEMA FLOOD ZONE

ALPHA WAY

MICHIGAN COURT

FIRE HYDRANT

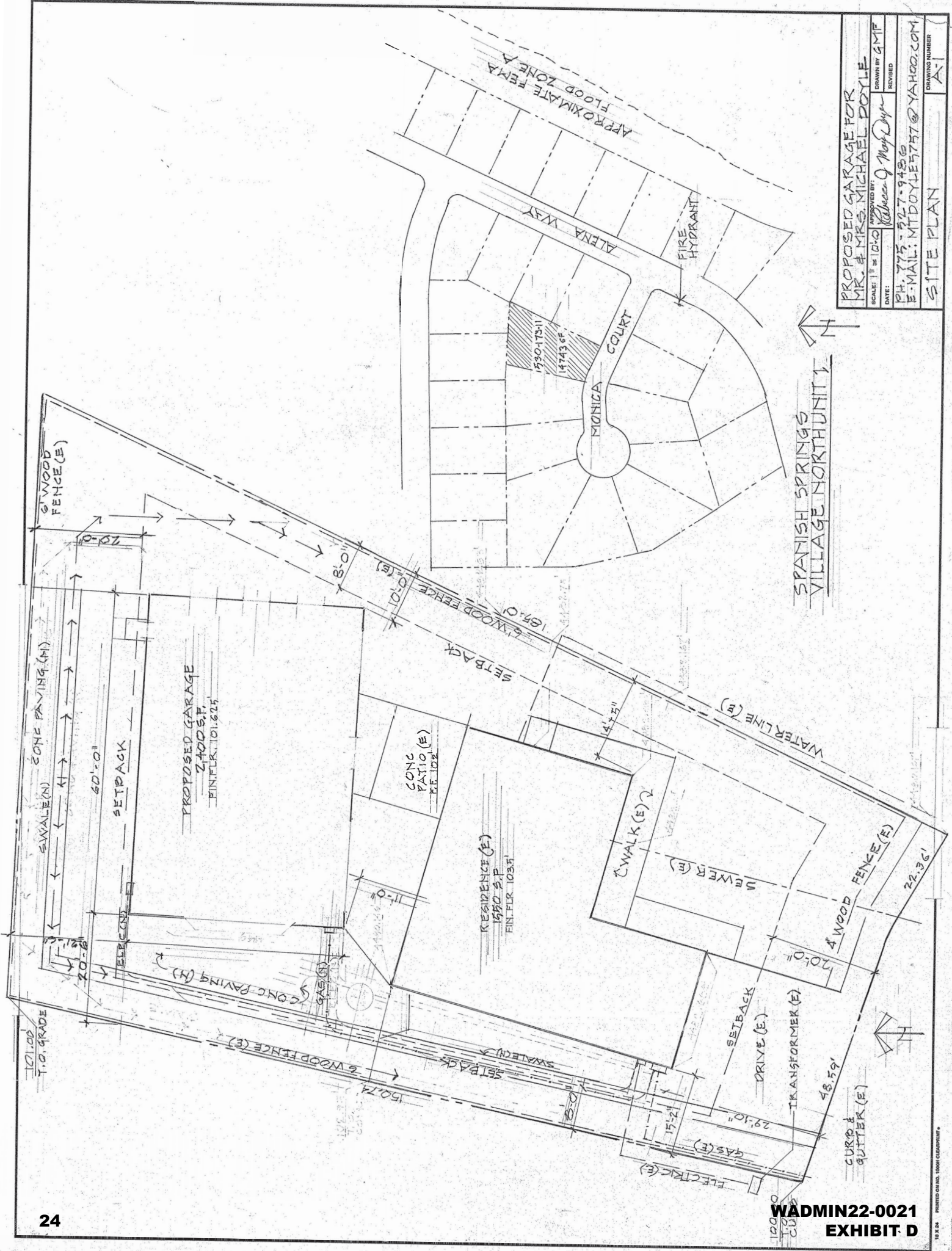
SPANISH SPRINGS VILLAGE NORTH UNIT 1

PROPOSED GARAGE FOR MR. & MRS. MICHAEL DOUGLAS
 SCALE: 1" = 10'-0"
 DATE: 10/1/88
 APPROVED BY: [Signature]
 PH. 775-527-9486
 E-MAIL: MTD0Y1E5757@



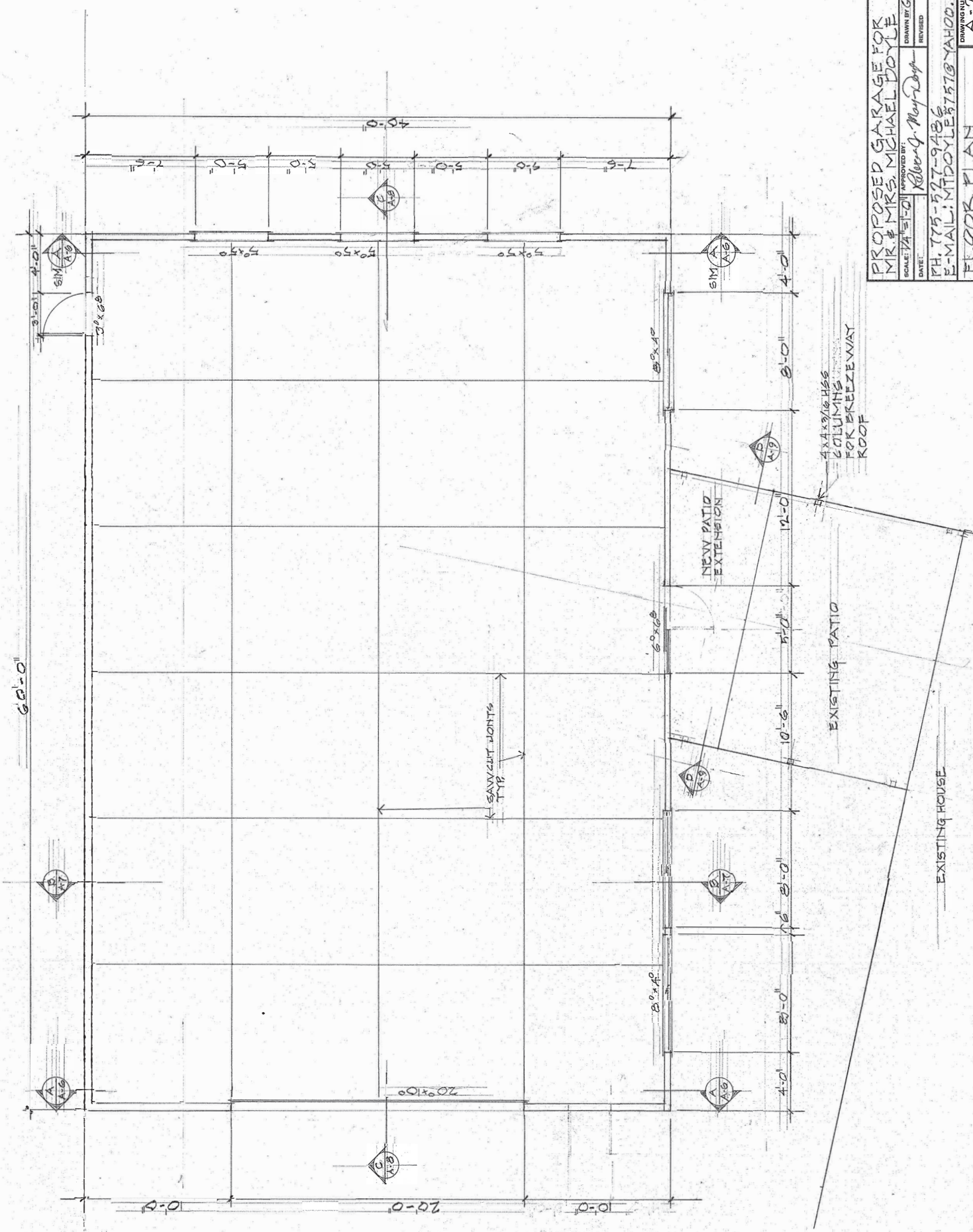


LOOKING AT HOUSE
FROM ACROSS STREET
OF NEIGHBORES

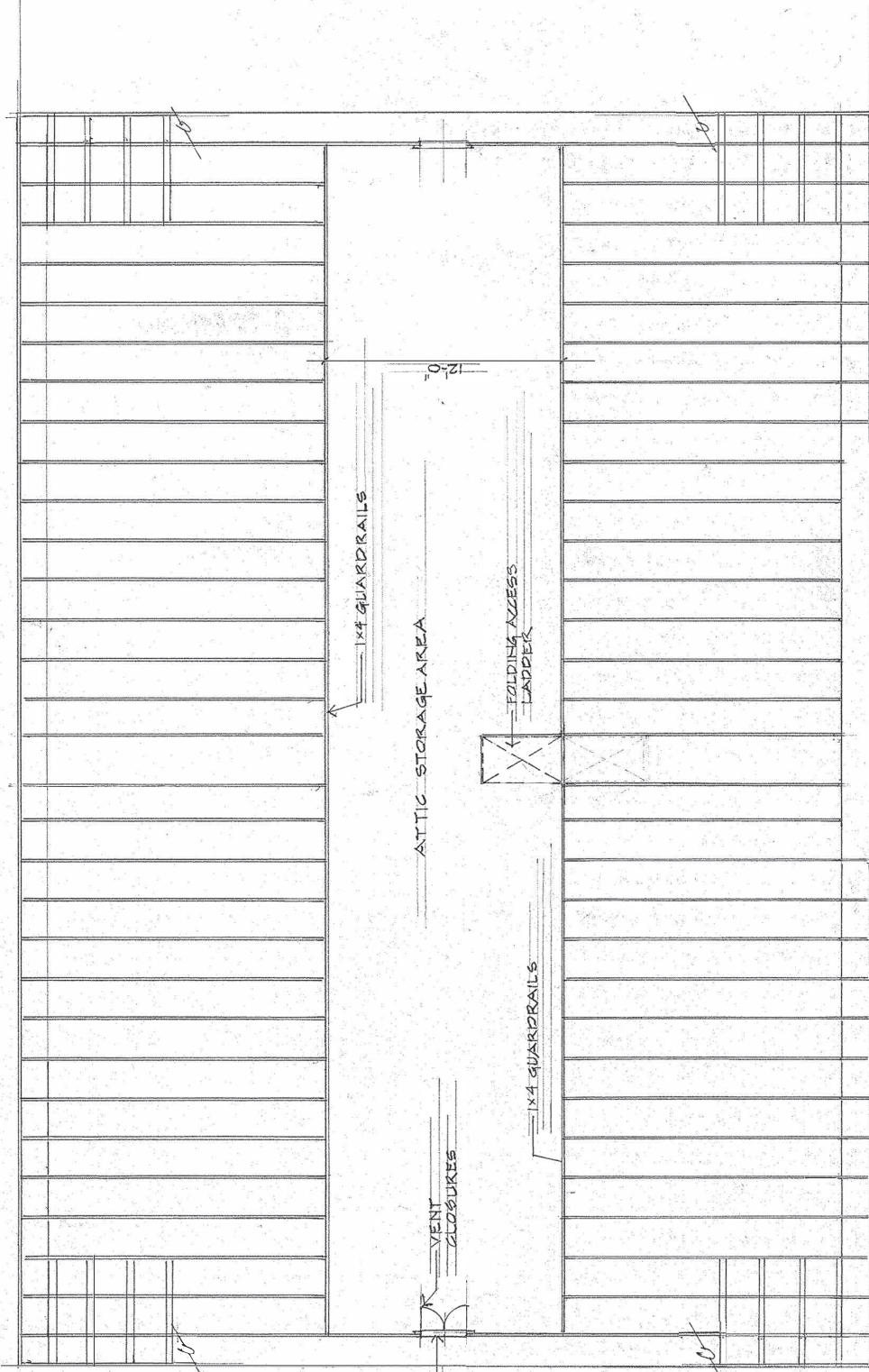


PROPOSED GARAGE FOR
 MR. & MRS. MICHAEL DOYLE
 SCALE: 1" = 10'-0"
 APPROVED BY: Rebecca Q. May Doyle
 DRAWN BY: GMF
 DATE: [blank]
 PH: 775-927-9456
 E-MAIL: MTD@YAHOO.COM
 YAHOO.COM
 DRAWING NUMBER: AI

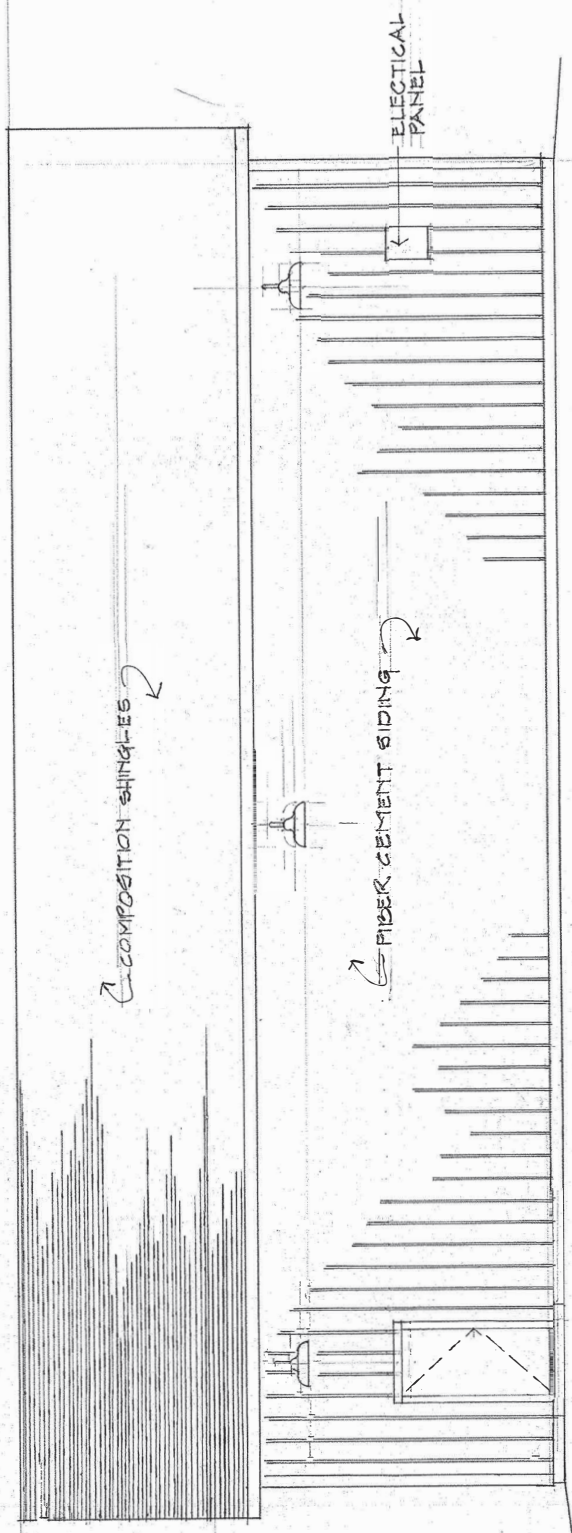
SPANISH SPRINGS
 VILLAGE NORTH UNIT 1



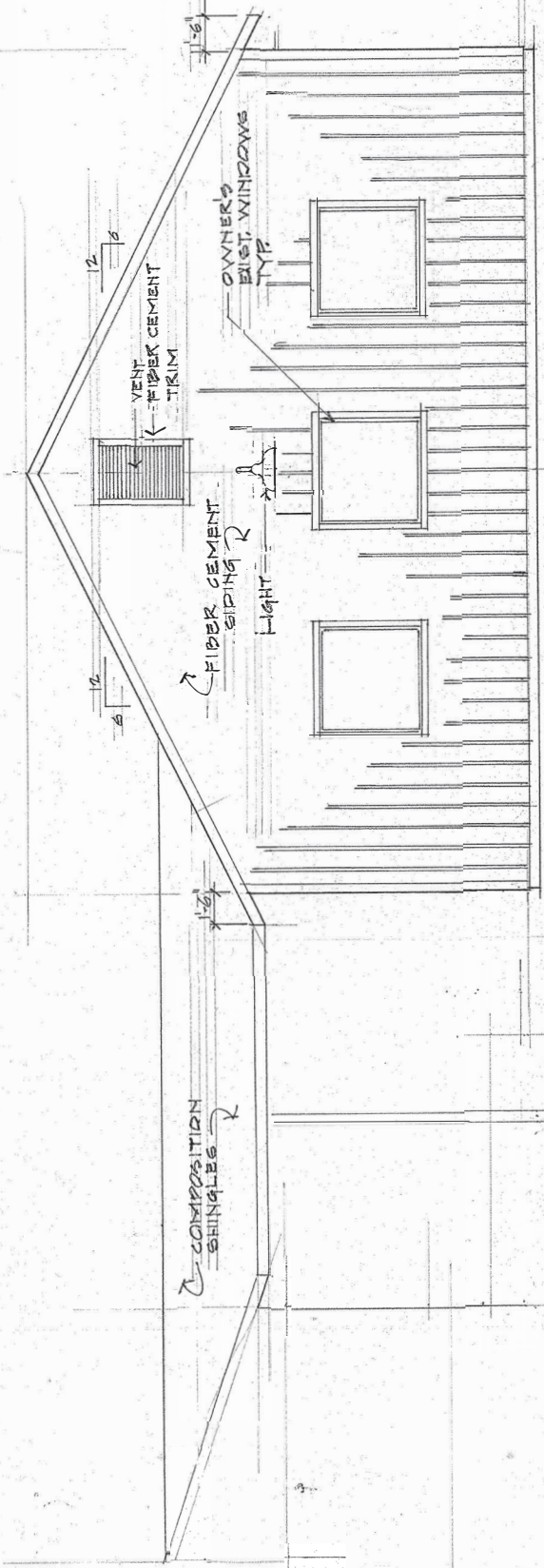
PROPOSED GARAGE FOR
 MR. & MRS. MICHAEL DOYLE
 SCALE: 1/4" = 1'-0"
 DATE: 11-1-01
 DRAWN BY: G.M.F.
 REVISED
 PH: 775-777-9486
 E-MAIL: MTD@DOYLE8751@YAHOO.COM
 DRAWING NUMBER
 A-2



PROPOSED GARAGE FOR
 MR & MRS. MICHAEL DOYLE
 SCALE: 1/4" = 1'-0"
 DATE: *12/15/05*
 APPROVED BY: *Robert P. May-Dogg*
 DRAWN BY: GMP
 REVISED
 PH: 773-577-9488
 E-MAIL: MTD@DOYLE7747@YAHOO.COM
 DRAWING NUMBER: A-3

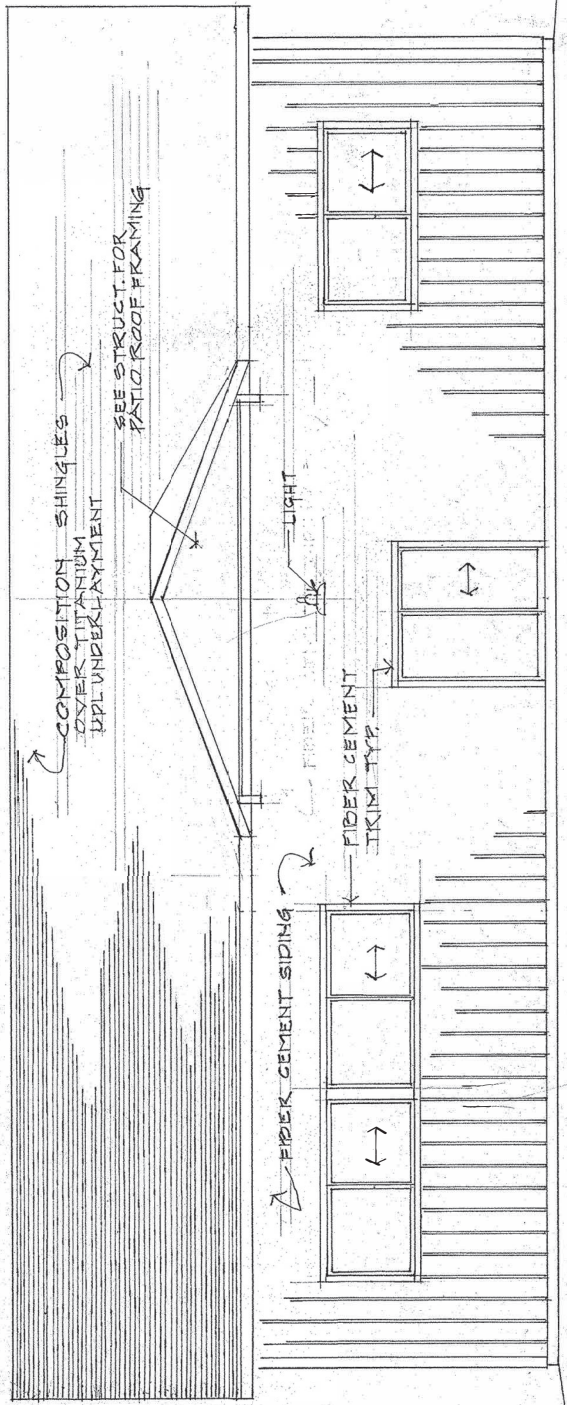


NORTH ELEVATION
 1/4" = 1'-0"

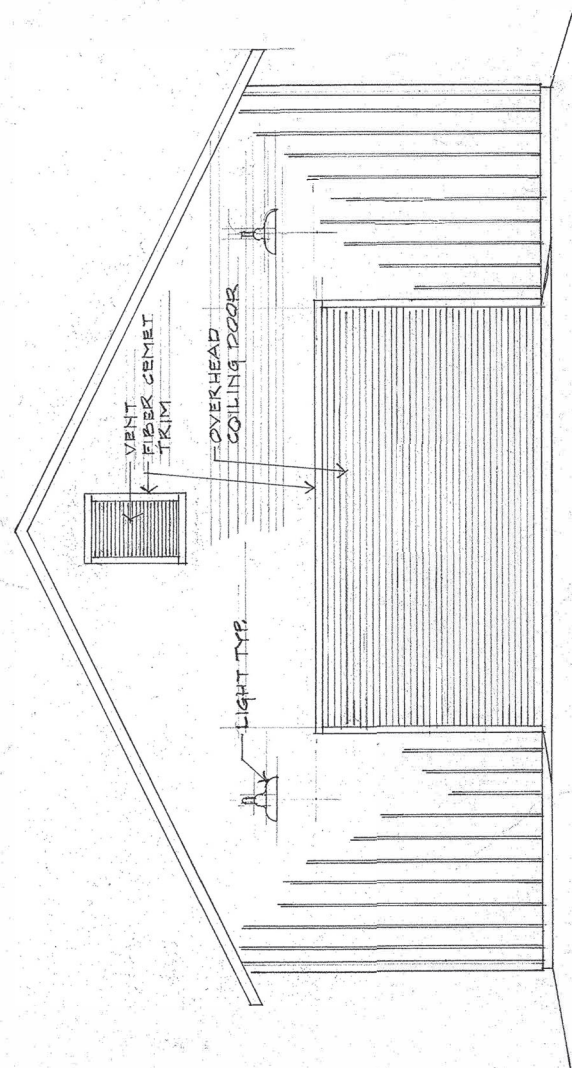


EAST ELEVATION
 1/4" = 1'-0"

PROPOSED GARAGE FOR MR & MRS MICHAEL DOYLE	
SCALE: 1/4" = 1'-0"	DESIGNED BY: <i>Kelley & My Day</i>
DATE:	DRAWN BY: GMF
	REVISED
PH: 775-527-9486	
E-MAIL: MDOYLE575@YAHOO.COM	
BUILDING ELEVATIONS	DRAWING NUMBER A-4

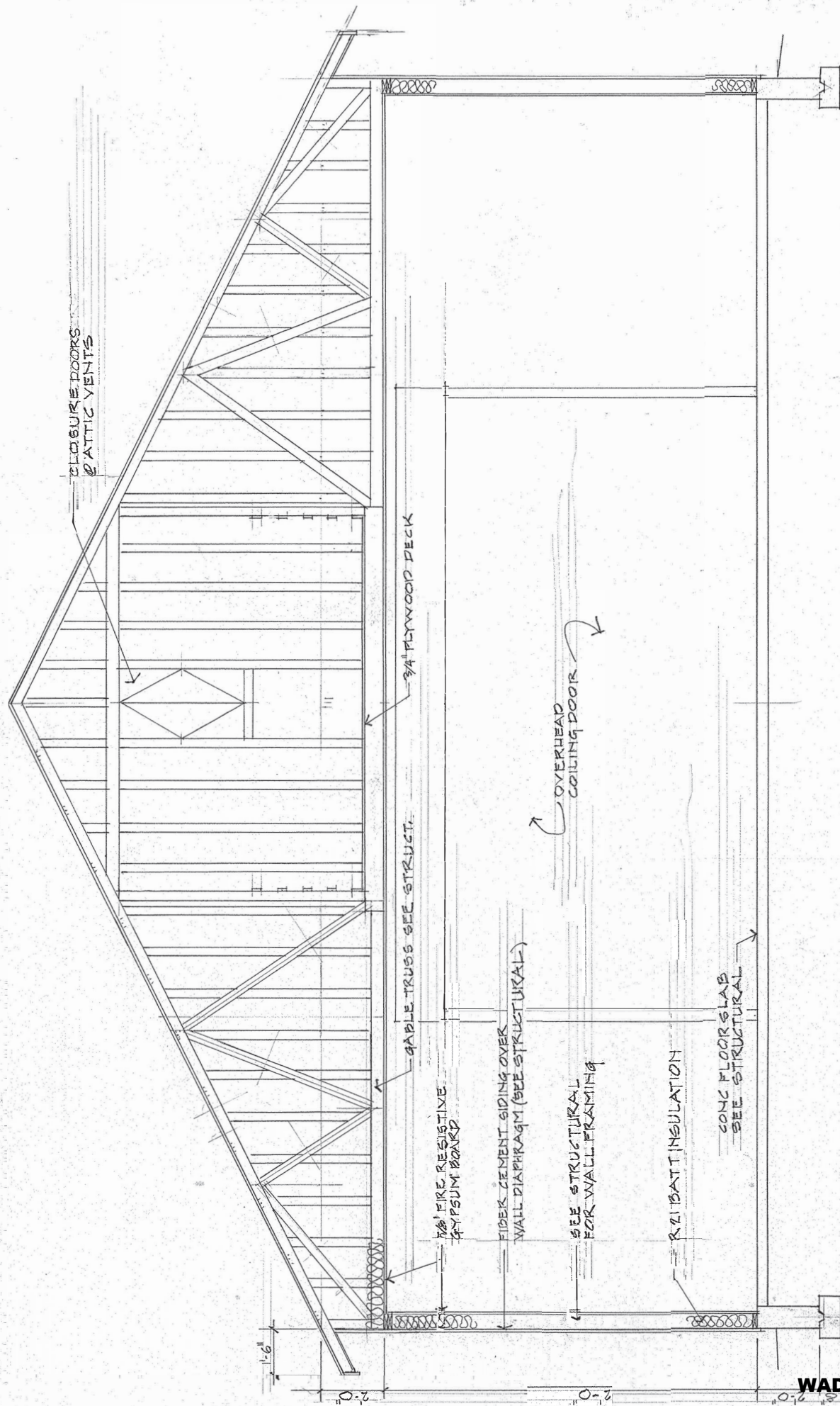


SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

PROPOSED GARAGE FOR MR & MRS. MICHAEL DOYLE		APPROVED BY: <i>Kelcey J. May Doyle</i>
SCALE: 1/4" = 1'-0"	DRAWN BY: GMT	REVISED
DATE:	PH: 775-527-9486 E-MAIL: MTD@YAHOO.COM	
BUILDING ELEVATIONS		DRAWING NUMBER: A-5



CLOSURE DOORS
& PATIO VENTS

3/4" PLYWOOD DECK

GABLE TRUSS SEE STRUCT.

1/2" FIRE RESISTIVE
GYPSUM BOARD

FIBER CEMENT SIDING OVER
WALL DIAPHRAGM (SEE STRUCTURAL)

SEE STRUCTURAL
FOR WALL FRAMING

R-21 BATT INSULATION

CONC FLOOR SLAB
SEE STRUCTURAL

OVERHEAD
CEILING DOOR

BUILDING SECTION AA
1/2" = 1'-0"

PROPOSED GARAGE FOR
MR. & MRS. MICHAEL DOYLE

SCALE: 1/2" = 1'-0"

APPROVED BY: *Robert J. Mayo*

DRAWN BY: SMT

REVIEWED:

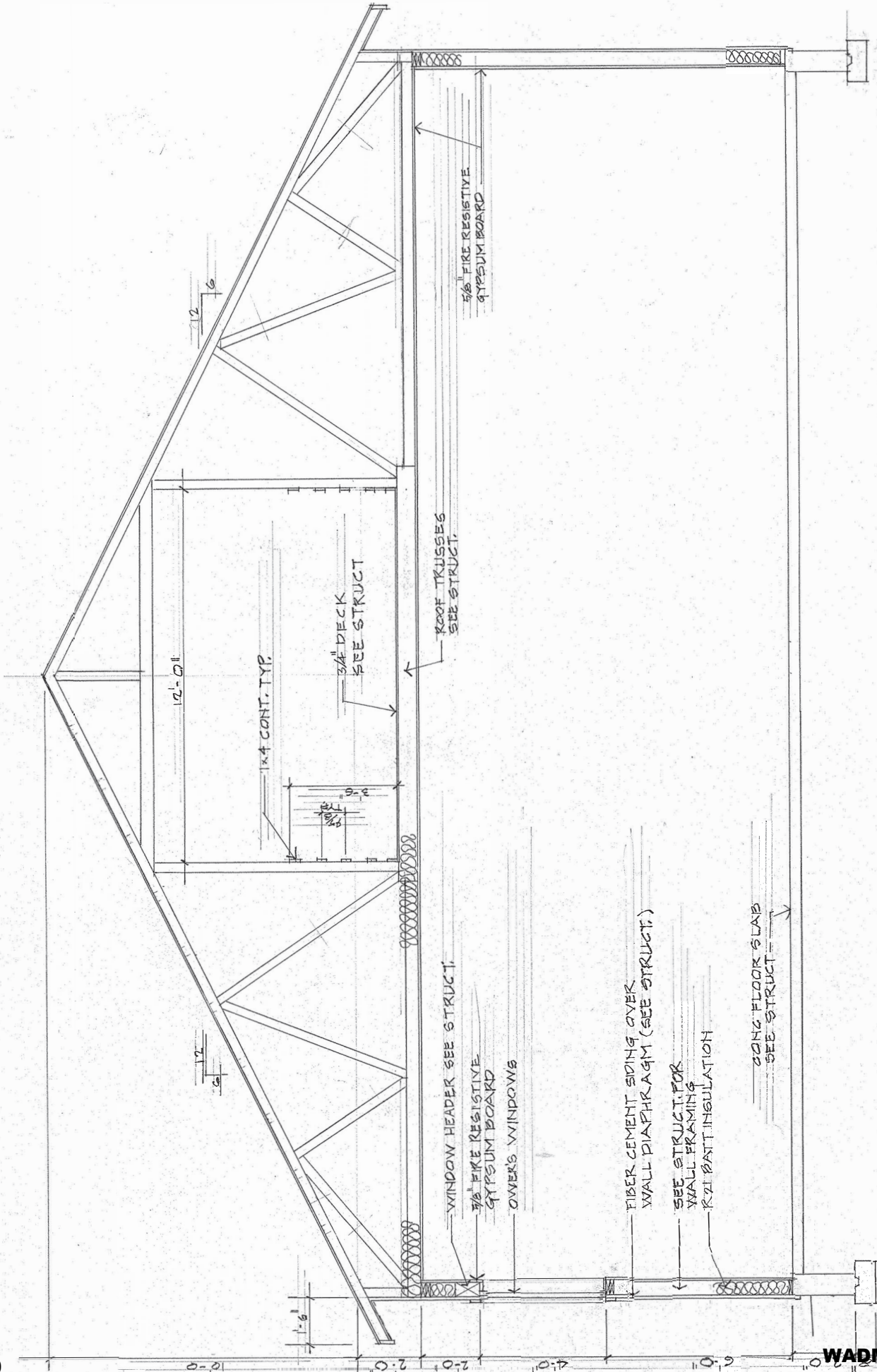
DATE: 07.17.94

PH: 775-527-9486

E-MAIL: MDOYLE@YAHOO.COM

BUILDING SECTION

DRAWING NUMBER: A-6



PROPOSED GARAGE FOR
 MR & MRS MICHAEL DOYLE
 SCALE: 1/2" = 1'-0"
 DATE: 10/20/04
 APPROVED BY: Rebecca M. Doyle
 DRAWN BY: GJM
 REVISED
 PH: 775-527-9486
 E-MAIL: MTD@YLE5757@YAHOO.COM
 BUILDING SECTION
 DRAWING NUMBER
 A-7

BUILDING SECTION BB
 1/2" = 1'-0"

William Heckt
834 Alena Way
Sparks, NV 89441

Washoe County Planning and Building Division
1001 E. Ninth St., Bldg. A, Reno, NV 89512

Re: 165 Monica Court Case# WADMIN22-0021

For the record letter opposing construction application

Thank you for the card notifying neighbors of the application submitted to construct what amounts to a home addition that nearly triples the current square footage and completely fills the property.

The application describes the construction as a 40x60 garage used for storage and the card describes it as a "2400 SF detached accessory structure." Both descriptions are disingenuous. The main building would be attached to the current house by a connector. The plan submitted does not give the dimensions of the connector but it looks to be about 400 SF. The current building is 1558 SF. The proposed structure is 2400 + 400 or 2800 SF. Together it is 4358 SF.

It is inconceivable for me to think that this would be built in the backyard next to mine. It could not be hidden. The application states, "Building will not be seen from the street." The photo attached to the application shows the neighbor's fence and trees. The application lists "landscaping with building" as the only benefit to the community (item #7) but gives no detail. The plan shows little room for landscaping that would benefit anyone. It does show an 8' paved driveway circling the building up to the fence on all sides.

It's an issue for every homeowner in the subdivision. It would be the largest structure in the subdivision. It would block the backyard views of all the adjoining neighbors. Stormwater runoff will affect them all. The plan calls for 7 additional lights so light pollution is an issue.

This is a nuisance oversized construction out of character with the area and without thought for the surrounding residents, who learned of it by postcard from the county administration not from the property owner or from the HOA. The enjoyment and use of a person's property should not impact grossly or unreasonably the enjoyment, use and value of another's. Designated storage buildings in the Eagle Canyon Subdivision are generally of the backyard shed type. The proposed attached structure is something quite different.

I ask that the application be rejected as incompatible with the character of the subdivision or that the comment period be extended to allow for further input from neighbors and the homeowners association.



William Heckt
Neighborhood Homeowner

Copies: Neighbors
Eagle Canyon HOA