

Community Services Department
Planning and Development
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: <u>DADAR15-01</u>	
Project Name: Lindberg Residence			
Project Description: Permit of existing inlaws quarters that was built by previous owner. New Owner would like to permit existing inlaws quarters. 1536 sqf of current building was converted without permits and under this proposed permit the footage will be reduced to 934 sqf.			
Project Address: 20957 Eaton RD, WCTY			
Project Area (acres or square feet): 934 square feet			
Project Location (with point of reference to major cross streets AND area locator): Eaton Road & Ames Road. Pleasant Valley Estates.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
045-337-11	1.01		
Section(s)/Township/Range: Portions of the northeast 1/4 of sec. 7 & northwest 1/4 of sec. 8			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>Jon & Michal Lindberg</u>		Name:	
Address: 20957 Eaton RD. WCTY		Address:	
Zip: 89511 <u>89521</u>		Zip:	
Phone: 775-342-7551	Fax:	Phone:	Fax:
Email: jon@visiondesignpainting.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: John		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Building Tectonics Inc.		Name:	
Address: 4615 Aircenter Cir		Address:	
Reno, NV	Zip: 89502		Zip:
Phone: 775-358-4433	Fax: 775-358-4435	Phone:	Fax:
Email: ron@btect.com		Email:	
Cell: 775-224-6375	Other:	Cell:	Other:
Contact Person: Ron Cohen		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

2180 sqf

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

Currently 1536 will reduce living area to 934 with the remainder being storage.

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

The building currently exists as inlaws quarters today. Both building have wood siding with wood trim. Both building are similar in construction methods.

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

Water is provided to the building by local onsite well. A new proposed septic system of larger capacity is being provided under BLD Permit #15-1410. Dave Kelly from Health as reviewed the site plan and has guided for compliance.

5. What additional roadway, driveway, or access improvements are you planning?

There is a existing gravel driveway that runs from the front of the property to the rear of the property along the northeast property line. This drive way is used to access the existing building.

6. A parking space is required. How are you providing the additional parking?

There is ample parking at the front of the building and still allows access to rear of property from the front.

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

Completion 2015

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

We do not anticipate any negative impacts to adjacent properties.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

Unkown.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

The secondary dwelling does exist, however does not have a permit to exist.

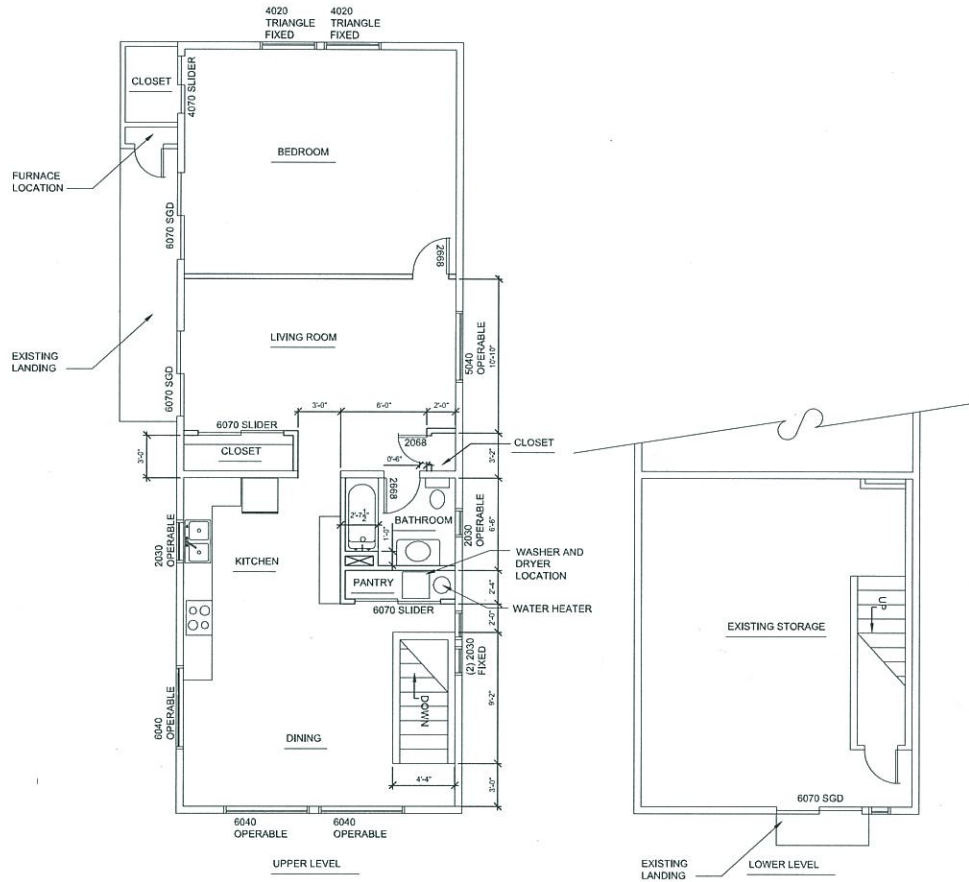
12. List the age and size of the unit If you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

N/A

13. List who the service provider will be for the following utilities:

a. Sewer Service	Sierra Septic
b. Electrical Service	NVEnergy
c. Solid Waste Disposal Service	Waste Managment
d. Water Service	Well

53.5'



PLAN NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.
2. THE CONTRACTOR SHALL PROPERLY SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK AFFECTED.
3. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER IN ADVANCE OR AS SHOWN ON THESE DRAWINGS.
4. REFER TO SHEET AS FOR ALL FRAMING AND INSULATION NOTES. REPORT ANY DISCREPANCIES TO DESIGNER IMMEDIATELY UPON DISCOVERY AND PRIOR TO CONTINUING WITH WORK.
5. ALL WALLS SHALL HAVE GYPSUM BOARD APPLIED, TAPED TEXTURED AND FINISHED. ALL FINISHES FOR FLOOR AND WALL SHALL BE COORDINATED WITH OWNER.



P.O. BOX 50522
SPARKS, NEVADA 89435
PH: 775-233-2247
FAX: 775-273-6020

WWW.ORIGIN8ARCHITECTURE.COM



A RESIDENTIAL PROJECT FOR:
JON LINDBERG
20957 EATON ROAD
RENO, NEVADA 89511
APN: 045-337-11

REVISION AND DESCRIPTION
PLAN CHECK

SHEET DESCRIPTION
FLOOR PLAN

DRAWING SCALE: **NOTED** 30'-0" PROJECT NUMBER: **A-173**

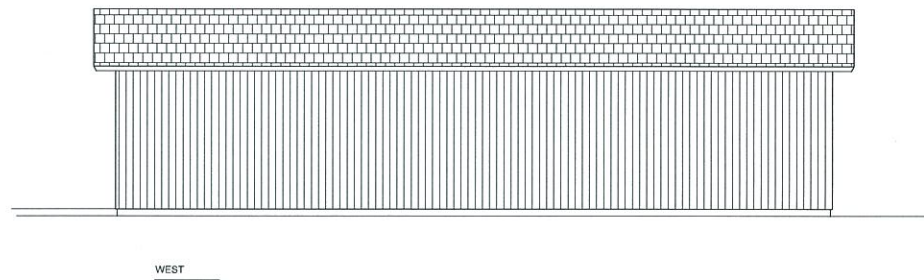
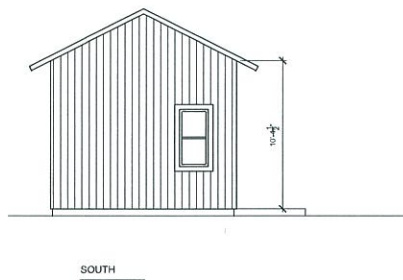
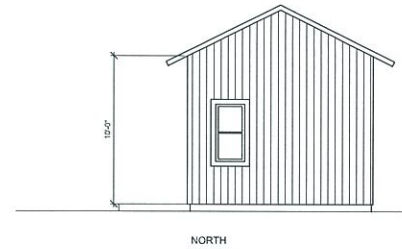
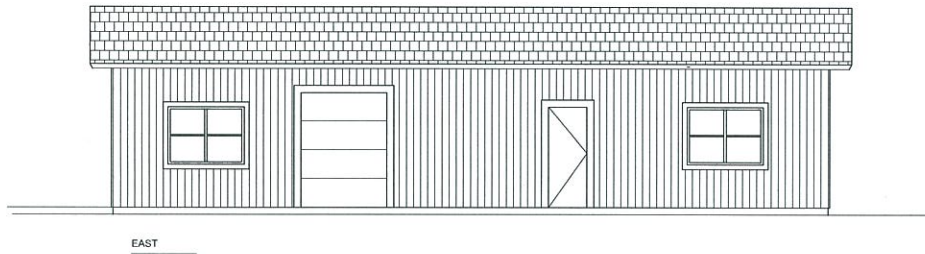
PROGRESS PRINT DATE: **1-12-2015**

SHEET NUMBER: **A3**

1 FLOOR PLAN - IN LAWS QUARTERS
Scale: 1/4" = 1'-0"

PLAN NOTES:

1. THE ELEVATIONS ON THIS SHEET ARE EXISTING.



1 EXISTING ELEVATIONS - OFFICE / STORAGE
Scale: 1/4" = 1'-0"



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CONTRACTOR:
A RESIDENTIAL PROJECT FOR
JON LINDBERG
2605 TWIN LANE
RENO, NEVADA 89511
APR: 045-037-11

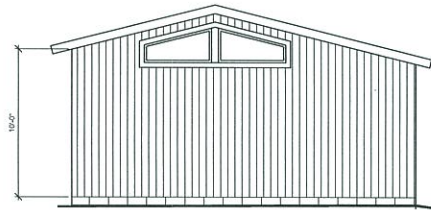
REVISION AND DESCRIPTION

EXISTING ELEVATIONS

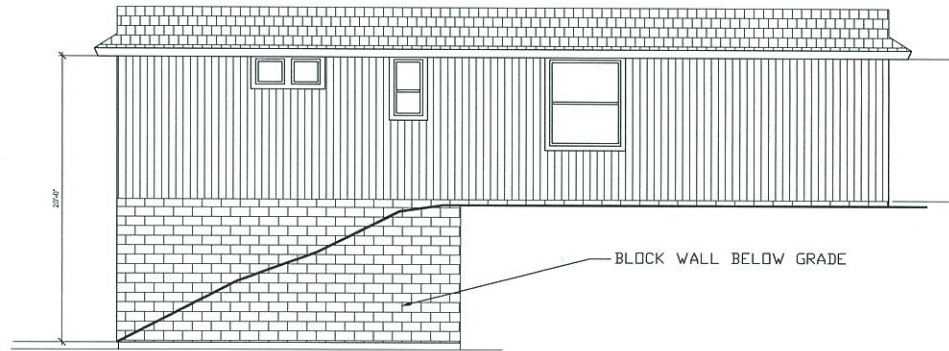
ISSUING REVISION	ISSUE PROJECT NUMBER
NOTED	A-173
ISSUING REVISION DATE	1-12-2015

ISSUE NUMBER
A10

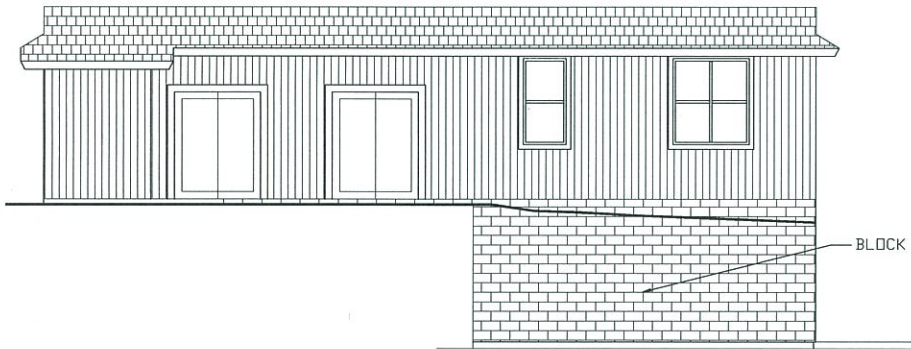
PLAN NOTES:
 1. THE ELEVATIONS ON THIS SHEET ARE EXISTING.



WEST



NORTH



SOUTH



EAST

1 EXISTING ELEVATIONS -IN-LAWS QUARTERS
 Scale: 1/4" = 1'-0"



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A RESIDENTIAL PROJECT FOR:
 JON LINDBERG
 2987 EASTON ROAD
 RENO, NEVADA 89511
 APR: 045-337-11

REVISION NO.	DESCRIPTION

EXISTING ELEVATIONS

DRAWING SCALE: NOTED
 PROJECT NUMBER: A-173
 PROJECT START DATE: 1-12-2015

DRAWING NAME: A11