

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Don and Rebecca Gruner

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Donald C. Gruner and Rebecca J. Gruner
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 040-930-04

Printed Name Donald C. Gruner / Rebecca J. Gruner

Signed Donald C. Gruner / Rebecca J. Gruner

Address 2308 Dant Court, Reno, NV, 89511 89509

Subscribed and sworn to before me this
13th day of April, 2018.

Saraj Lorenz
Notary Public in and for said county and state

My commission expires: 2/27/2022



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: _____

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, _____,
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): _____

Printed Name _____

Signed _____

Address _____

Subscribed and sworn to before me this _____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a “secondary dwelling” in this application. The “main dwelling” is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

5. What additional roadway, driveway, or access improvements are you planning?

6. A parking space is required. How are you providing the additional parking?

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

--

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
------------------------------	-----------------------------	-------------------------------

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

--

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

--

13. List who the service provider will be for the following utilities:

a. Sewer Service	
b. Electrical Service	
c. Solid Waste Disposal Service	
d. Water Service	

Lakeside Ranch Estates HOA

Professionally Managed by:

Associa Sierra North

10509 Professional Circle, Suite 200, Reno, NV 89521

Phone (775) 626-7333; Fax: (775) 626-7374; Website: www.associasn.com

February 21, 2018

Don & Becky Gruner
c/o George K. Trowbridge Architect
2715 Last Chance Court
Reno, NV 89511

Re: ARC Request for New Home Construction
2715 Last Chance Court
Reno, NV 89511

Dear George,

The Architectural Review Committee has reviewed and Approved the plans for your clients Mr. and Mrs. Don Gruner new home construction as submitted.

If you have any questions please feel free to contact the ARC through our Community Manager.

Thank you for cooperating with the Architectural submittal process.

All architectural approvals/denials of plans shall not constitute a representation, warranty, or guarantee that such plans and specifications comply with engineering design practices or zoning and building ordinances, or other governmental agency regulations or restrictions. The Architectural Review Committee shall not be responsible for reviewing, nor shall its approval of any plan or design, be deemed approval, from the standpoint of structural safety or conformance with building or other codes. By approving such plans and specifications, neither the Architectural Committee nor the Declarant assumes any liability or responsibility therefore nor for any defect in the structure constructed from such plans or specifications.

There shall be no interference with the established drainage in the property unless an adequate alternative provision, previously approved in writing by the Architectural Committee, is made for proper drainage, and such alternative provision will not harm or unduly increase the burden on any adjacent Lots or Common elements. For the purpose hereof, "established" drainage is defined as the drainage which exists at the time a Lot is conveyed to an Owner by Declarant or later grading changes which are shown on plans approved by the Architectural Committee.

Sincerely,

Lakeside Ranch Estates
Architectural Committee

Lakeside Ranch Estates HOA

Professionally Managed by:

Associa Sierra North

10509 Professional Circle, Suite 200, Reno, NV 89521

Phone (775) 626-7333; Fax: (775) 626-7374; Website: www.associasn.com

February 21, 2018

Don & Becky Gruner
c/o George K. Trowbridge Architect
2715 Last Chance Court
Reno, NV 89511

Re: ARC Request for Pool House Construction
2715 Last Chance Court
Reno, NV 89511

Dear George,

The Architectural Review Committee has reviewed and Approved the plans for your clients Mr. and Mrs. Don Gruner to construct a Pool House as submitted.

If you have any questions please feel free to contact the ARC through our Community Manager.

Thank you for cooperating with the Architectural submittal process.

All architectural approvals/denials of plans shall not constitute a representation, warranty, or guarantee that such plans and specifications comply with engineering design practices or zoning and building ordinances, or other governmental agency regulations or restrictions. The Architectural Review Committee shall not be responsible for reviewing, nor shall its approval of any plan or design, be deemed approval, from the standpoint of structural safety or conformance with building or other codes. By approving such plans and specifications, neither the Architectural Committee nor the Declarant assumes any liability or responsibility therefore nor for any defect in the structure constructed from such plans or specifications.

There shall be no interference with the established drainage in the property unless an adequate alternative provision, previously approved in writing by the Architectural Committee, is made for proper drainage, and such alternative provision will not harm or unduly increase the burden on any adjacent Lots or Common elements. For the purpose hereof, "established" drainage is defined as the drainage which exists at the time a Lot is conveyed to an Owner by Declarant or later grading changes which are shown on plans approved by the Architectural Committee.

Sincerely,

Lakeside Ranch Estates
Architectural Committee

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Bill Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID 04093004	Status Active	Last Update 4/11/2018 2:06:36 AM
Current Owner: GRUNER TRUST, DONALD & REBECCA 2308 DANT CT RENO, NV 89509	SITUS: 2715 LAST CHANCE CT WCTY NV	
Taxing District	Geo CD:	
Legal Description		
SubdivisionName LAKESIDE RANCH ESTATES PHASE 1 Range 19 Township 18 Lot 6		

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/21/2017	2017	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/2/2017	2017	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/1/2018	2017	\$0.00	\$0.00	\$0.00	\$0.00
INST 4	3/5/2018	2017	\$0.00	\$0.00	\$0.00	\$0.00
Total Due:			\$0.00	\$0.00	\$0.00	\$0.00

Tax Detail

	Gross Tax	Credit	Net Tax
State of Nevada	\$233.89	(\$193.92)	\$39.97
Truckee Meadows Fire Dist	\$742.95	(\$632.14)	\$110.81
Washoe County	\$1,914.77	(\$1,587.55)	\$327.22
Washoe County Sc	\$1,566.39	(\$1,298.71)	\$267.68
TRUCKEE MDWS/SUN VALLEY WATER BASIN	\$0.03	\$0.00	\$0.03
Total Tax	\$4,458.03	(\$3,712.32)	\$745.71

Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2017	2017128701	B17.20598	\$745.71	7/31/2017

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

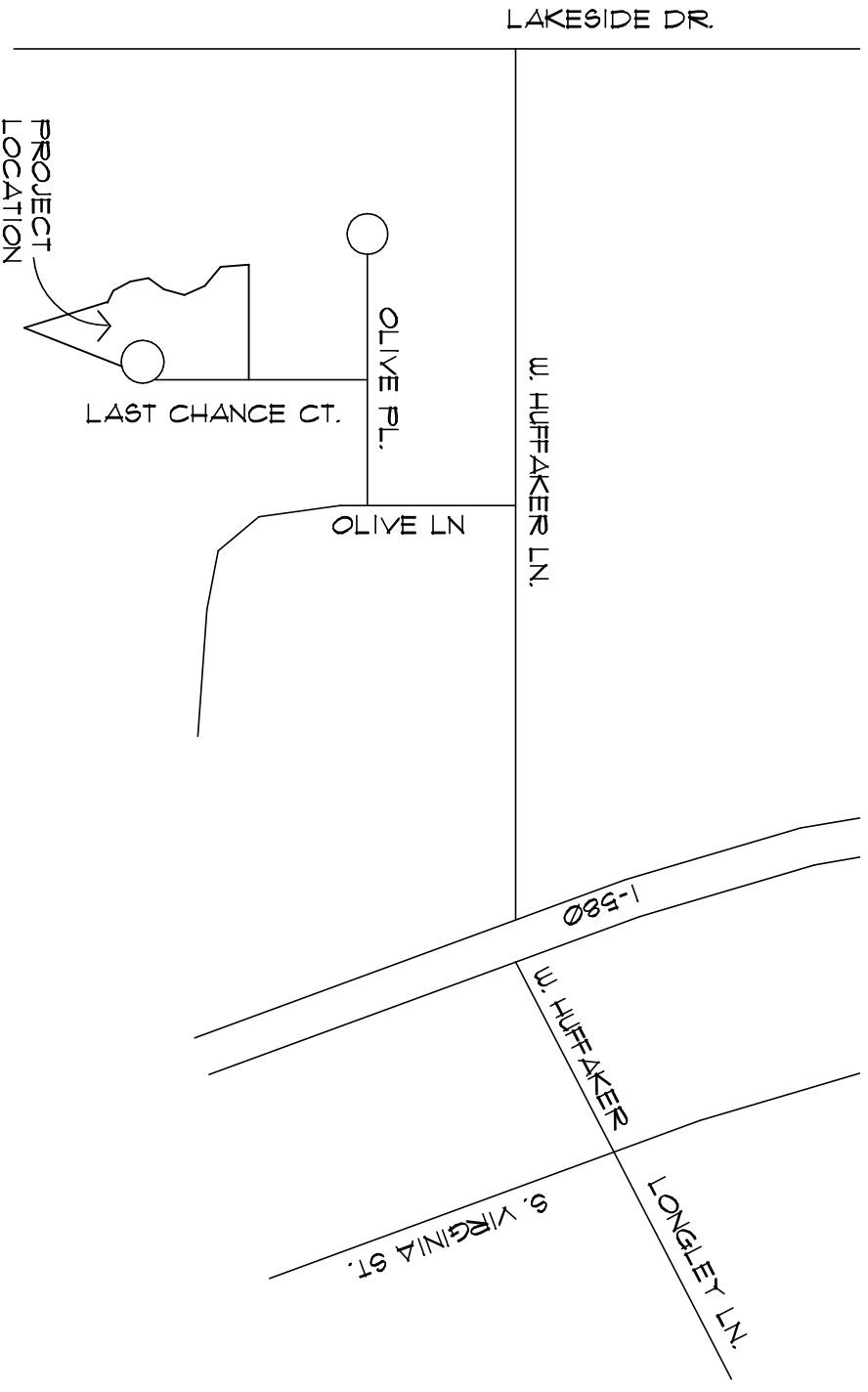
Change of Address

All requests for a mailing address change must be submitted in writing, including a signature (unless using the online form).

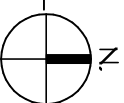
To submit your address change online [click here](#)

Address change requests may also be faxed to: (775) 328-2500

Address change requests may also be mailed to:
Washoe County Treasurer
P O Box 30039
Reno, NV 89520-3039



VICINITY MAP



NOT TO SCALE

LAKESIDE RANCH ESTATES
 PHASE 1, LOT #6
 A.P.N. 040-930-04

FOR: DON & BECKY GRUNER
2715 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

ALL DESIGNS & DRAWINGS AS INSTRUMENTS OF SERVICE ARE COPYRIGHT BY THE ARCHITECT UNDER PROVISIONS OF NRS 623. UNAUTHORIZED DUPLICATION OF DESIGNS OR DISTRIBUTION OF DRAWINGS IS PROHIBITED.

DATE:	4-12-18
REVISIONS	

George K. Troubridge
George K. Troubridge
 ARCHITECT

1325 Alamo Ave, Ste. 285
 RENO, NEVADA 89502
 (775) 322-5997
 (775) 322-6288 FAX
 www.gktarch@gmail.com

FILE NO.	1724
SHEET:	A-1

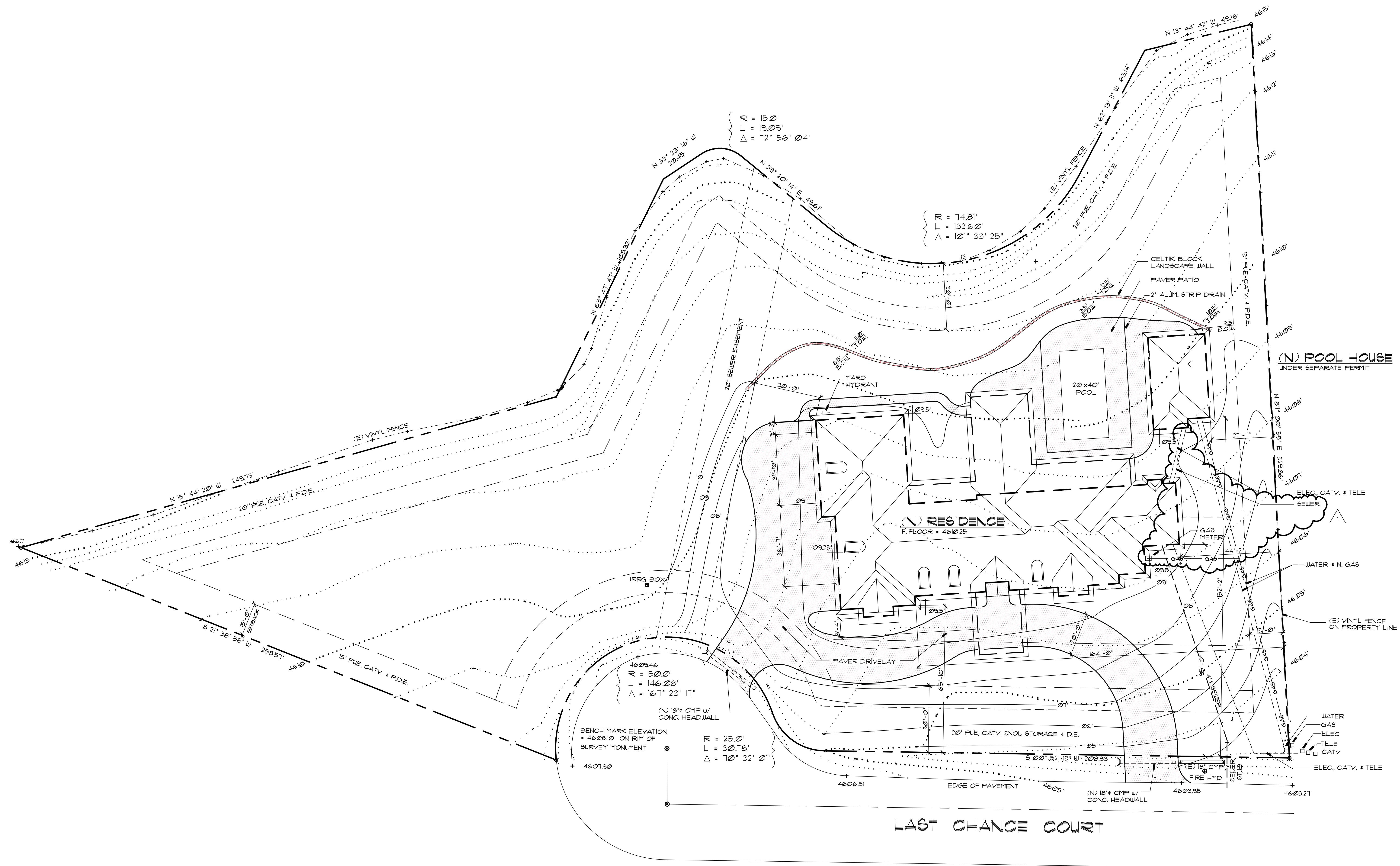
DATE:	3-1-18
REVISIONS	
	3-19-18

GENERAL NOTES:

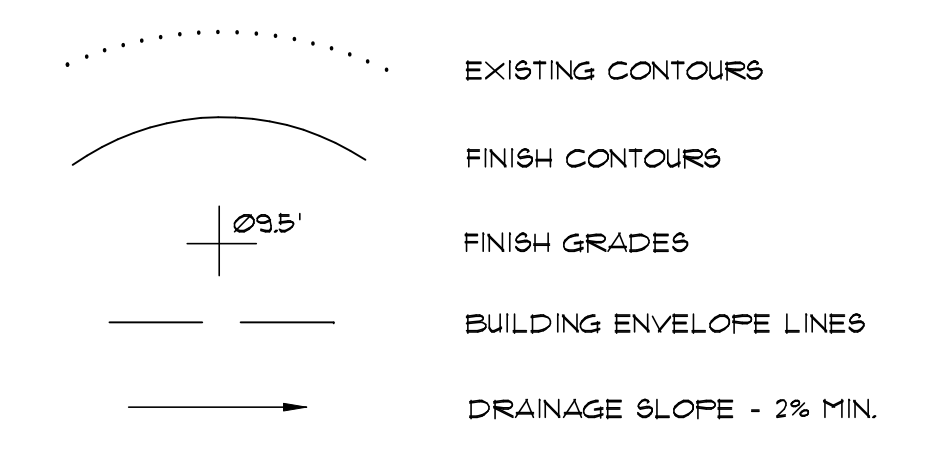
- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2012 I.R.C. 2012 I.E.C.C. WASHOE COUNTY BUILDING & PLANNING DEPARTMENTS AND ANY APPLICABLE C.C.R.'S WITHIN THIS SUBDIVISION.
- FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
- FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
- ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
- STRUCTURAL DETAILS AND CALCULATIONS HAVE BEEN PREPARED FOR THIS PROJECT & ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS.

1325 ARMISTE WAY, SUITE 285
 775.332-8997
 (775)332-8997
 WWW.GKARCHITECT.COM
 GENCOR@GMAIL.COM

George K. Tombridge
 ARCHITECT



SITE LEGEND



SITE NOTES:

- GEOTECHNICAL ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONCRETE FORMS. GEOTECHNICAL ENGINEER'S RECOMMENDATIONS CONCERNING FOOTING DEPTH, COMPACTION, FILL MATERIAL, ETC. SHALL BE FOLLOWED.
- ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE CONCRETE PAVERS OVER 6" TYPE II BASE COMPACTED TO 95%. IF ROUGH CONCRETE IS PROVIDED IT SHALL BE 4000 PSI MIN. W/ #3 BARS @ 18" O.C. EA. WAY, CHAIRED UP TO HD SLAB.
- CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO DRIVE AREA.
- RETAIN ALL STONES FROM EXCAVATION. LARGER Boulders SHALL BE PLACED RANDOMLY IN PLANTER AREAS.
- SITE GRADES SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE STRUCTURE.
- IF ROCK RIP-RAP IS USED IT SHALL BE GRADED FROM 3/4" TO 2" SIZE MIN. 4" DEPTH & PLACED AS A MIXED AGGREGATE.
- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY.

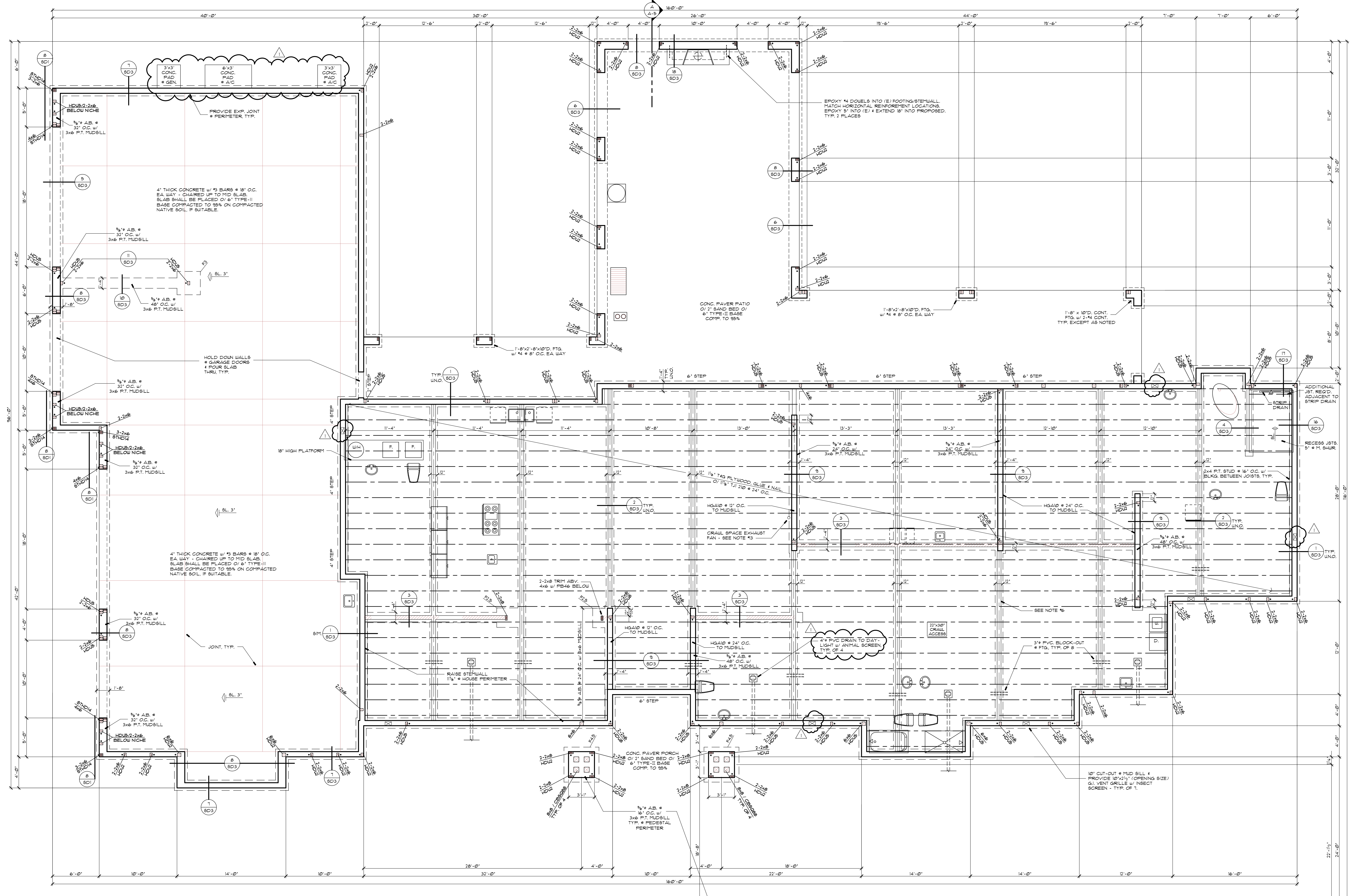
SITE PLAN
 SCALE: 1" = 20'-0"
 LAKESIDE BANCH ESTATES
 PHASE I, LOT 16
 APN 040-930-04

DRAWING INDEX	
A-1	SITE PLAN, DRAWING INDEX
A-2	FOUNDATION PLAN
A-3	FLOOR PLAN
A-4	ROOF FRAMING PLAN
A-5	BUILDING SECTION & DETAILS
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL NOTES / SCHEDULES STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
ME-1	MECHANICAL/ELECTRICAL PLAN

NEW RESIDENCE
 FOR DON & BECKY GEMNER
 WASHOE COUNTY, NEVADA

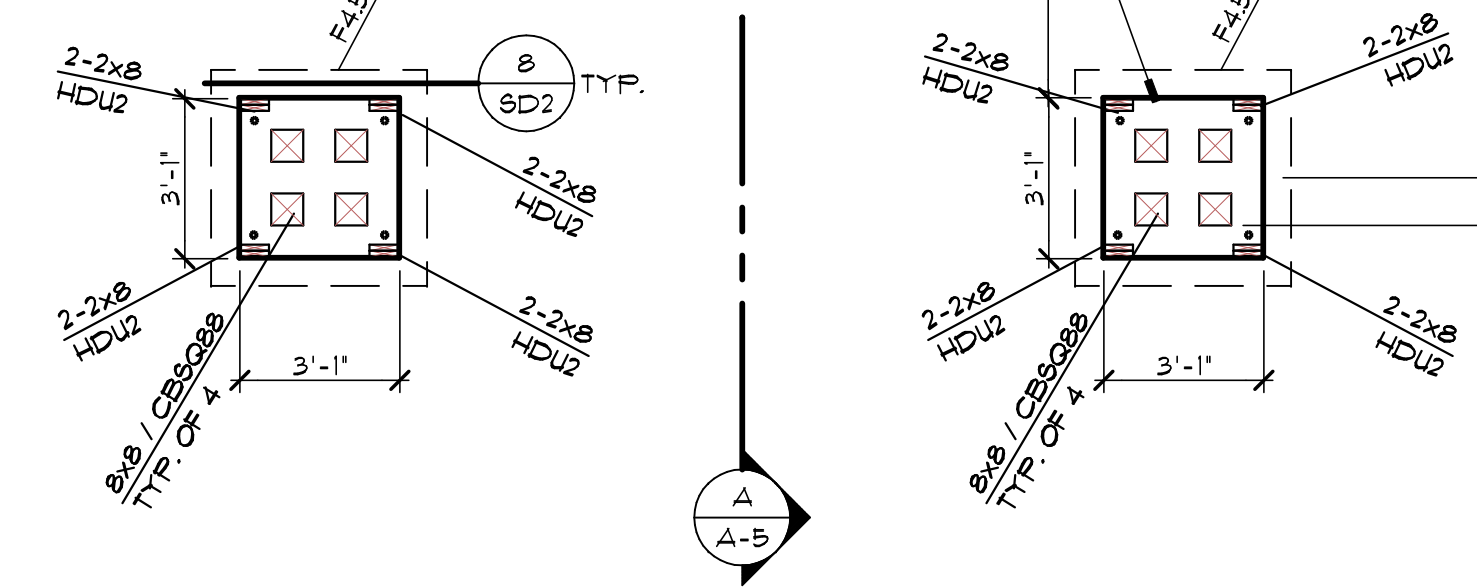
FILE NO.
 1724
 SHEET:
 A-1

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AB. NOTE:
 3/8" AB. @ 48" O.C. w/
 3x6 FT. MUDSILL
 EXCEPT AS NOTED ON PLAN
 INC. OUTDOOR LIVING WALLS

FOOTING SCHEDULE	
MARK	FTG. SIZE & REINFORCEMENT
F2	24" SQ. X 10" D. w/ (3) #4 EA. WAY
F2B	30" SQ. X 10" D. w/ (4) #4 EA. WAY
F3	36" SQ. X 10" D. w/ (5) #4 EA. WAY
F4B	54" SQ. X 12" D. w/ (7) #4 EA. WAY

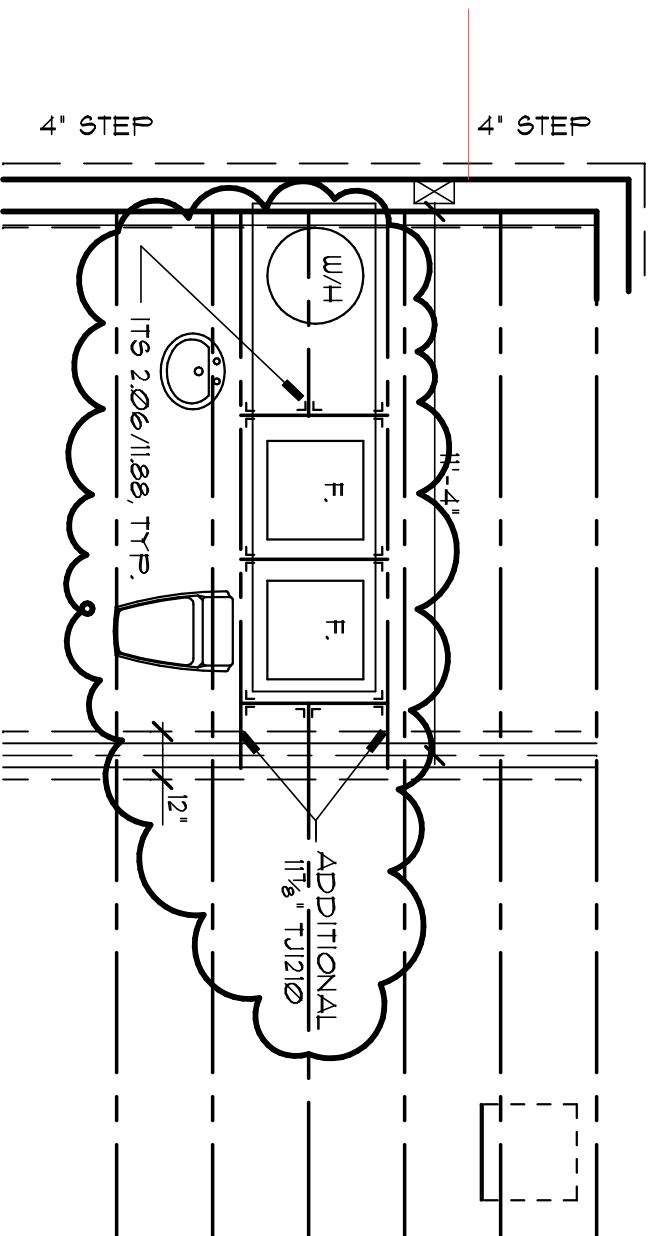


FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

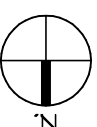
1. GEOTECHNICAL ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONC. FORMS. GEOTECHNICAL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, FILL MATERIAL, ETC. SHALL BE FOLLOWED.
2. CONC. FOOTINGS 18" X 10" w/ 2-#4 REBAR CONT. TYP. UNO. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE EXT. ELEV. FOR FOOTING & EXT. FLOOR DEPTHS. MIN. 2'-0" FIELD VERIFY.
3. 8" CONC. FOUNDATION WALL. MIN. 3/4" SEE DTLS FOR REINFORCING.
4. 1 1/2" TJI 200 FLOOR JOISTS @ 24" O.C. TYP. BLK. SOLID @ ALL SUPPORT LINES. PROVIDE CRUSH BLOCK, WEB STIFFENERS, ETC. PER MFR.
5. 1 1/2" T&G PLYWOOD APA RATED STURD-I-FLOOR - 48/24 w/ 100 # 6" O.C. BOUNDARY EDGES AND DRAG STRUTS w/ 100 # 10" O.C. FIELD - GLUE & NAIL THROUGHOUT, TYP.
6. TYPICAL FLOOR SUPPORT SHALL BE 2x6 @ 24" O.C. CRIPPLE WALL w/ FT. BILL. ALIGN STUDS w/ JOISTS, 0' CONT. 12" W. X 10" D. CONC. FTG.
7. PROVIDE R-30 INSULATION @ RM JOISTS & FLOOR. INSULATE ALL PIPES & DUCTWORK. INSTALL FLOOR INSULATION AFTER STRUCTURE IS WEATHERED IN.
8. ALL FRAMING HARDWARE SHALL BE SYPSON. INSTALL PER MANUF. REQUIREMENTS.
9. ALL SLABS TO BE 4" THICK CONCRETE w/ #3 BARS @ 18" O.C. EA. WAY. CHAINED UP TO MID SLAB. SLAB SHALL BE PLACED OVER 6" TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.
10. APPLY CHEMICAL TERMITTE TREATMENT TO INSIDE & OUTSIDE OF ALL FOUNDATION WALLS TO PROVIDE A UNIFORM TOXIC BARRIER IN ALL ROUTES OF TERMITE ENTRY. APPLY CHEMICALS PER MANUFACTURER'S INSTRUCTIONS.
11. INSULATE ALL PIPES & DUCTS PER I.E.C.C. PROVIDE 10 MIL. VISQUEEN VAPOR BARRIER - MIN. 6" LAP. SEAL SEAMS. ADHERE EDGES TO 6" UP STEMWALL.
12. PROVIDE CONT. FLOOR INSULATION (R-30) @ CRALL ACCESS DOORS. PROVIDE WEATHER STRIPPING @ ALL ACCESS DOORS.
13. CRALL SPACE VENTILATION REQUIRED: 1 CFM PER 50 SQ. FT. 500'S SQ. FT. / 50 @ 100'S CFM REQUIRED - 150 CFM PROVIDED.

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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



NEW RESIDENCE
FOR: DON & BECKY GRUNER
2115 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

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DATE:

3-30-18

REVISIONS

FILE NO.

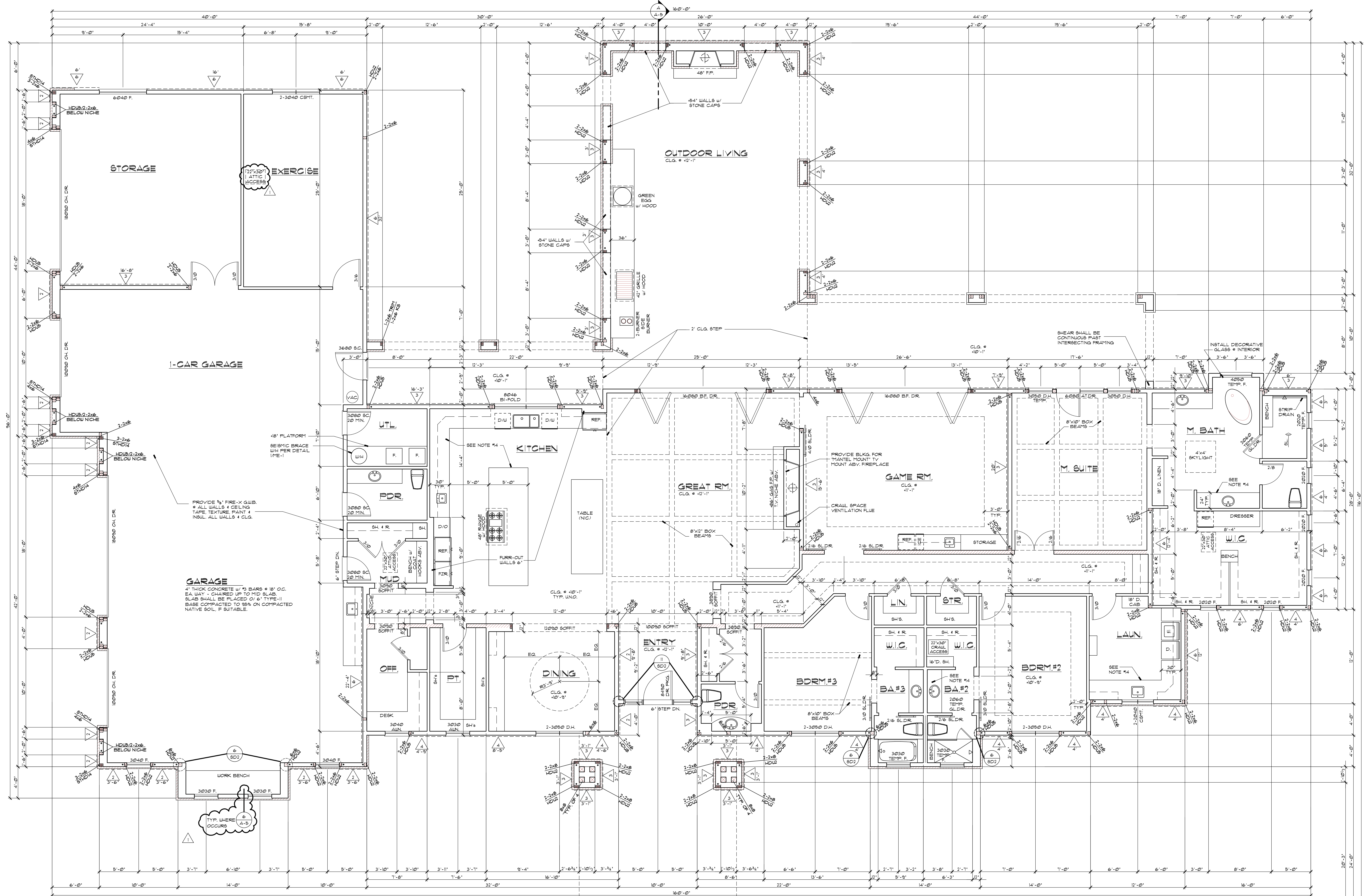
1124

SHEET:

A-2

George K. Tombridge
ARCHITECT

1325 AIRMOTIVE WAY, SUITE 285
 RENO, NEVADA 89502
 (775)322-5997
 (775)322-6288 FAX
 www.GTArchitects.com
 gktarch@gmail.com



GARAGE
 4" THICK CONCRETE W/ 3 BARS @ 18" O.C. EA. WAY - CHAISED UP TO MID SLAB. SLAB SHALL BE PLACED ON 6" TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.

PROVIDE 1/2" FIRE-X G.W.B. # ALL WALLS & CEILING TAPE, TEXTURE PAINT # INSUL. ALL WALLS & CLG.

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

LIVING AREA APPROX. 5,025 SQ. FT.
 OUTDOOR LIVING AREA APPROX. 1,912 SQ. FT.
 GARAGE AREA APPROX. 3,165 SQ. FT.

- FLOOR PLAN NOTES:**
- EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. // 1/2" CDX PLYWOOD (OR EQUAL) SHEATHING (1/4" GAP @ ALL EDGES). VAPOR BARRIER & R-21 INSULATION TYP. INT. NON-BEARING WALLS SHALL BE 2X4 @ 16" O.C. UNDO. PROVIDE ROAM SILL SEAL @ ALL EXTERIOR WALLS.
 - 5/8" G.W.B. @ WALLS & 5/8" G.W.B. CEILINGS TYP. USE 5/8" FIRE-X IN GARAGE & TILE BACKER BD. IN WATER AREAS. ALL CORNICAL CORNERS SHALL BE BULLNOSED.
 - SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
 - TYPICAL PLATE HEIGHT IS 10'-1" AFF. (UNO.) WINDOW HEADER HEIGHT IS 8'-0" AFF. (UNO.) INTERIOR DOOR HEIGHT IS 8'-0" AFF. (UNO.)
 - ALL CEILING FRAMING SHALL BE # 24" O.C. AS FOLLOWS:
 2X4 @ MAX. SPAN 9'-0"
 2X6 @ MAX. SPAN 14'-0"
 2X8 @ MAX. SPAN 18'-6"
 - WHERE POSSIBLE VENT PLUMBING & FLUES TO REAR OF HOUSE.
 - SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS ALL FIXED.
 - PROVIDE SILL PANS @ ALL EXTERIOR DOORS & WINDOWS.
 - PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM & INSULATE ALL PIPES (MIN. R-3). SEE SCHEMATIC ON P-1.
 - GAS FIREPLACES SHALL BE AS-A RATED & INSTALLED PER MANUF. SPECIFICATIONS.
 - PROVIDE FIRE BLOCKING @ MAX. 10'-0" O.C. HORIZ. AT ANY WALL(S) THAT EXCEED 10'-0" IN HEIGHT.
 - PROVIDE CONT. CEILING INSULATION (R-49) @ ATTIC ACCESS DOORS. PROVIDE LEATHER STRIPPING @ ALL ACCESS DOORS.
 - PROVIDE CONT. FLOOR INSULATION (R-30) @ CRAWL ACCESS DOORS. PROVIDE LEATHER STRIPPING @ ALL ACCESS DOORS.
 - ALL KITCHEN, BATHROOM & LAUNDRY ROOM COUNTERTOPS SHALL BE 38" AFF.

DATE:	3-1-18
REVISIONS:	
	3-19-18

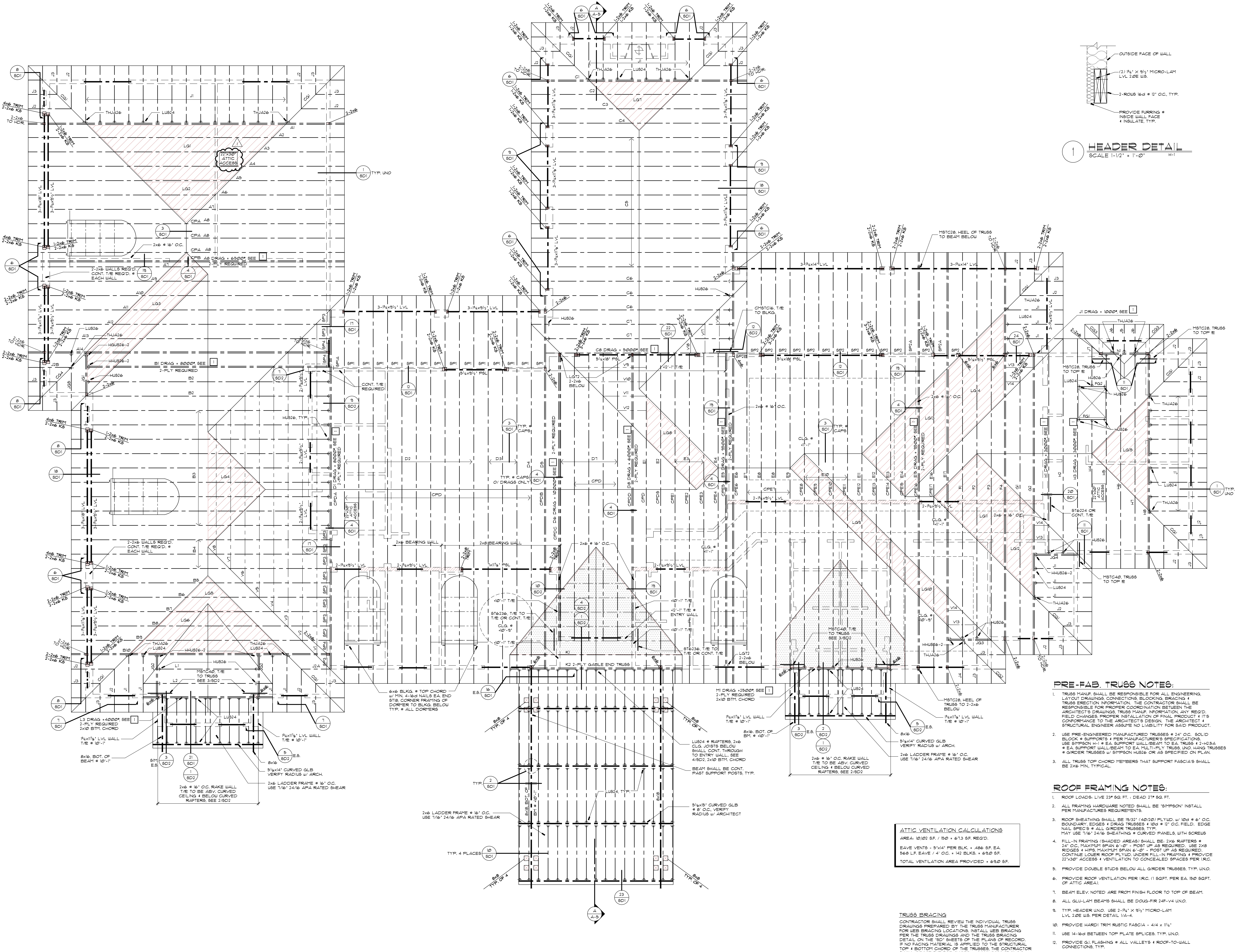
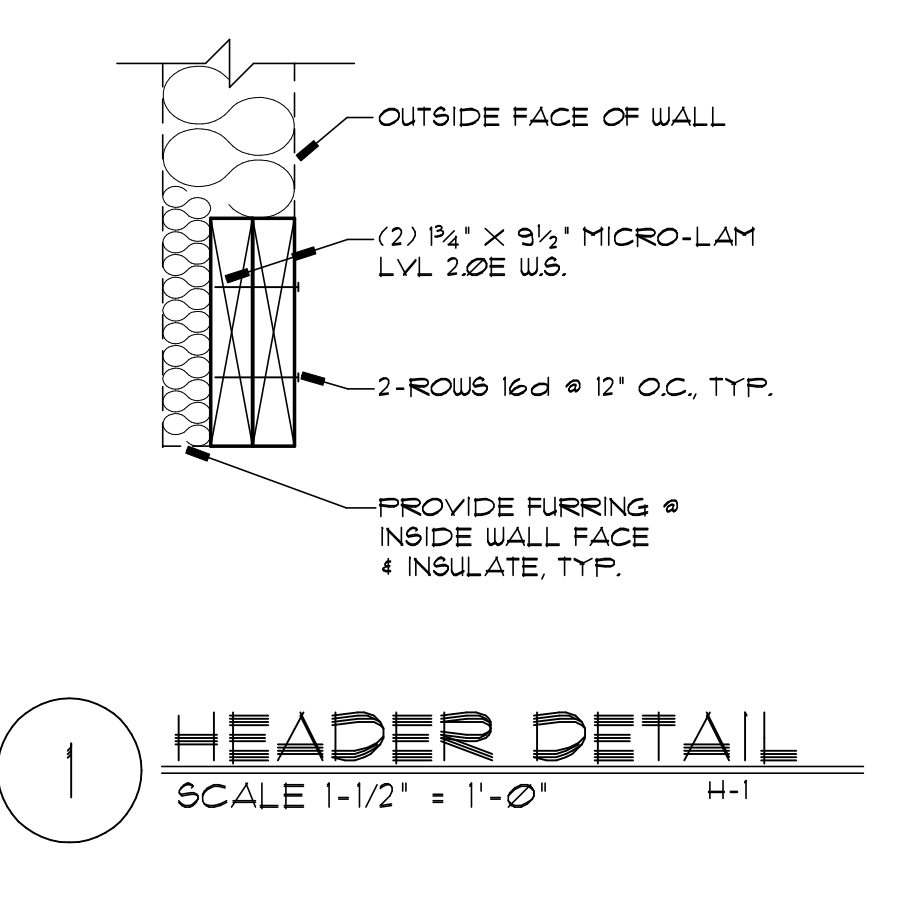
1325 ARMISTE WAY, SUITE 285
 (775) 352-8992
 (775) 352-8997
 (775) 352-8288 FAX
 www.GKArchitect.com
 gkarchitect@gmail.com

George K. Tombridge
 ARCHITECT

FOR:
 DON & BECKY GRUBER
 11724 W. HANLEY BLVD.
 WASHINGTON COUNTY, NEVADA

FILE NO.	11724
SHEET:	A-3

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- PRE-FAB TRUSS NOTES:**
- TRUSS MANUF. SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING BRACING & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN THE ARCHITECT'S DRAWINGS, TRUSS MANUF. INFORMATION, ANY REQ'D. FILE CHANGES FROM INSTALLATION OF FINAL PRODUCT & IT'S CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.
 - USE PRE-ENGINEERED MANUFACTURED TRUSSES @ 24" O.C. SOLID BLOCK & SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON H.I. * EA. SUPPORT WALL BEAM TO EA. TRUSS (2-H28A * EA. SUPPORT WALL BEAM TO EA. MULTI-PLY TRUSS UNO HANG TRUSSES * GIRDER TRUSSES w/ SIMPSON HUBS OR AS SPECIFIED ON PLAN.
 - ALL TRUSS TOP CHORD MEMBERS THAT SUPPORT FASCIA'S SHALL BE 2x6 MIN. TYPICAL.

- ROOF FRAMING NOTES:**
- ROOF LOADS: LIVE 20' 80 SF, 1' DEAD 21' 80 SF.
 - ALL FRAMING HARDWARE NOTED SHALL BE 'SIMPSON' INSTALL PER MANUFACTURER REQUIREMENTS.
 - ROOF SHEATHING SHALL BE 19/32" (40/20) PLYWOOD w/ 1@E @ 6" O.C. BOUNDARY EDGES & DRAG TRUSSES & 1@E @ 12" O.C. FIELD. EDGE NAIL SPEC'S & ALL GIRDER TRUSSES TYP. MAY USE 1/16" 24/16 SHEATHING * CURVED PANELS WITH SCREWS.
 - FILL-IN FRAMING (SHADED AREAS) SHALL BE 2x6 RAFTERS @ 24" O.C. MAXIMUM SPAN 6'-0" * ROOF UP AS REQUIRED. USE 2x8 RIDGES & HPS MAXIMUM SPAN 6'-0" * POST UP AS REQUIRED. CONTAIN OVER ROOF FILL UNDER FILL-IN FRAMING & PROVIDE 2"x30" ACCESS 4 VENTILATION TO CONCEALED SPACES PER I.R.C.
 - PROVIDE DOUBLE STUDS BELOW ALL GIRDER TRUSSES TYP. UNO.
 - PROVIDE ROOF VENTILATION PER I.R.C. (1) 80FT. PER EA. 1@E 80FT. OF ATTIC AREA.
 - BEAM ELEV. NOTED ARE FROM FINISH FLOOR TO TOP OF BEAM.
 - ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 UNO.
 - TYP. HEADER UNO. USE 2-3/4" x 9/16" MICRO-LAM LVL 2@E WS PER DETAIL V4-4.
 - PROVIDE HARDY TRIM RUSTIC FASCIA - 4/4 x 11/4".
 - USE 14-1@E BETWEEN TOP PLATE SPICES TYP. UNO.
 - PROVIDE GL FLASHING * ALL VALLEYS & ROOF-TO-WALL CONNECTIONS TYP.
 - PROVIDE CONT. CEILING INSULATION (R-49) * ATTIC ACCESS DOORS PROVIDE LEATHER STRIPPING * ALL ACCESS DOORS.
 - SEE SHEET SD-2 FOR INFORMATION ON []
 - 2x6 OR 2x8 BEARING WALL (SEE PLAN) * ALGN (1) 8/16 UNDER EA. TRUSS

ATTIC VENTILATION CALCULATIONS

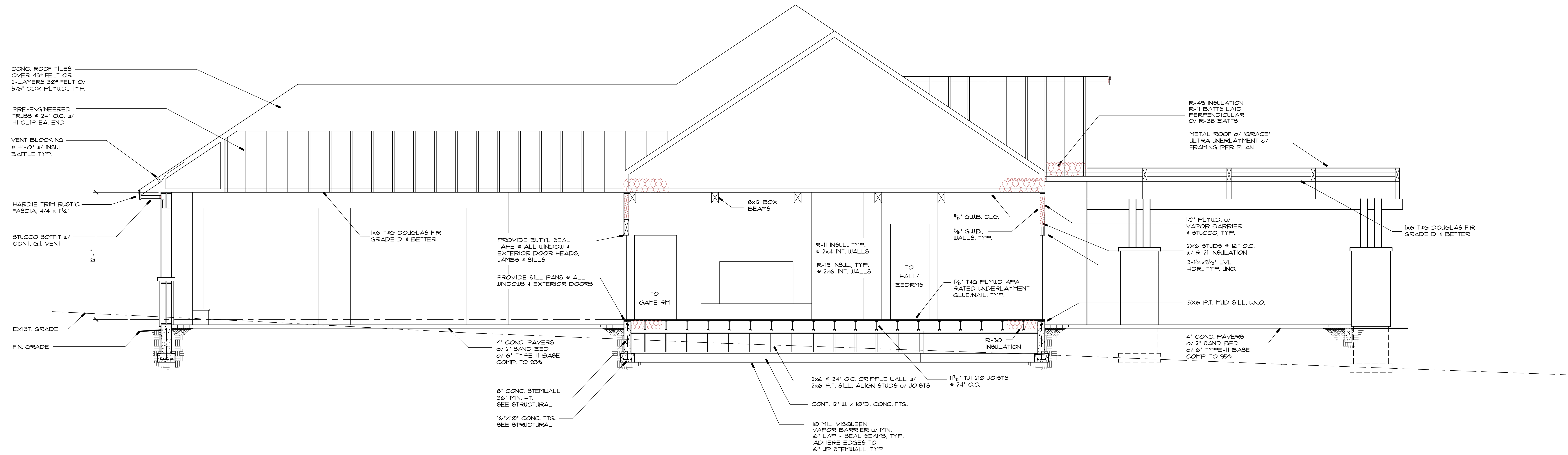
AREA: 10182 SF / 150' x 613 SF REQ'D.

EAVE VENTS - 3/4" PER BLK + 1@E SF EA.
 5@E L.F. EAVE / 4' O.C. + 1/2 BLKS + 6@E SF.

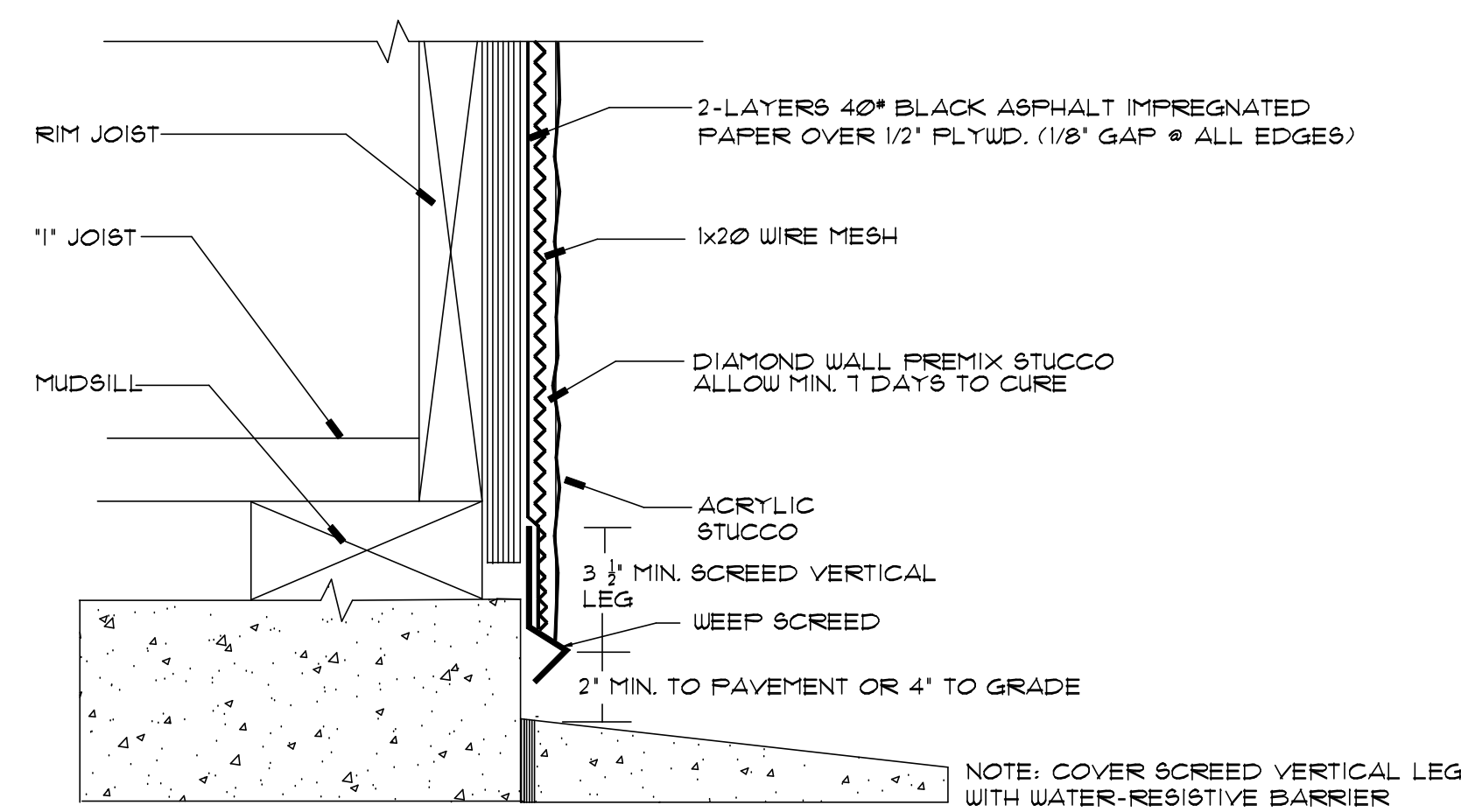
TOTAL VENTILATION AREA PROVIDED = 6@E SF.

TRUSS BRACING
 CONTRACTOR SHALL REVIEW THE INDIVIDUAL TRUSS DRAWINGS PREPARED BY THE TRUSS MANUFACTURER FOR BRACING LOCATIONS. INSTALL BRACING PER THE TRUSS DRAWINGS AND THE TRUSS BRACING DETAIL ON THE 'SD' SHEETS OF THE PLANS OF RECORD. IF NO BRACING IS APPLIED TO THE STRUCTURAL TOP & BOTTOM CHORD OF THE TRUSSES, THE CONTRACTOR SHALL BRACE THE TOP CHORD * A MAXIMUM OF 3' O.C. AND THE BOTTOM CHORD * A MAXIMUM OF 8' O.C. UNLESS THE TRUSS HAS INTERIOR BEARINGS IN WHICH THE BOTTOM CHORD SHALL BE BRACED * A MAXIMUM OF 3' O.C. ALL BRACING SHALL BE TERMINATED PROPERLY TO A RIGID PERMANENT PORTION OF THE STRUCTURE * ONE END AND * A MAXIMUM OF 20' INTERVALS. REFER TO THE TRUSS BRACING DETAILS ON PLANS OF RECORD FOR TYPICAL METHOD OF TERMINATING BRACES. IF OTHER TERMINATION METHODS ARE TO BE USED, CONTACT THE ENGINEER OF RECORD FOR APPROVAL.

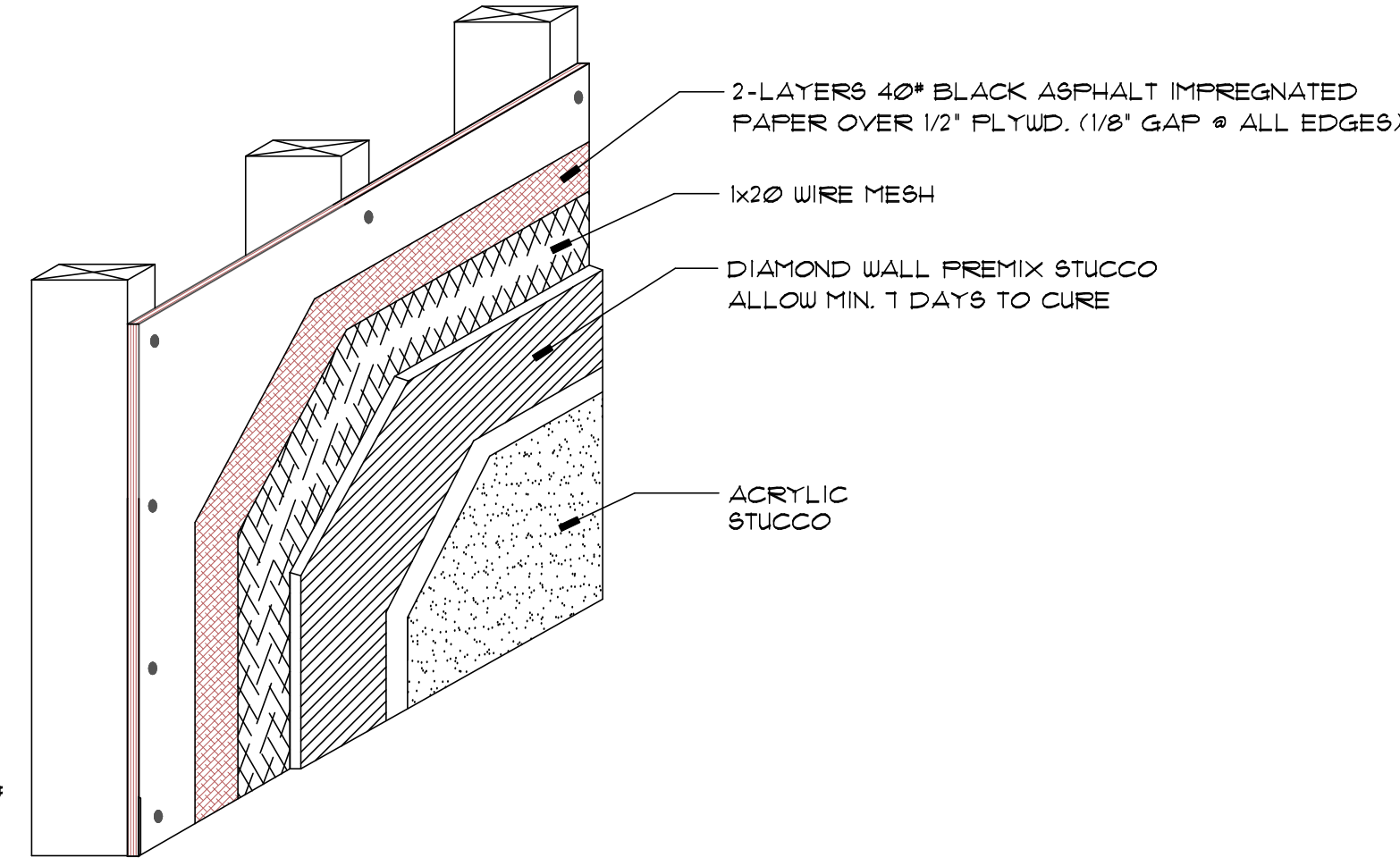
ALT. USE TYPE [] SHEAR WALL, ONE SIDE OF WALL



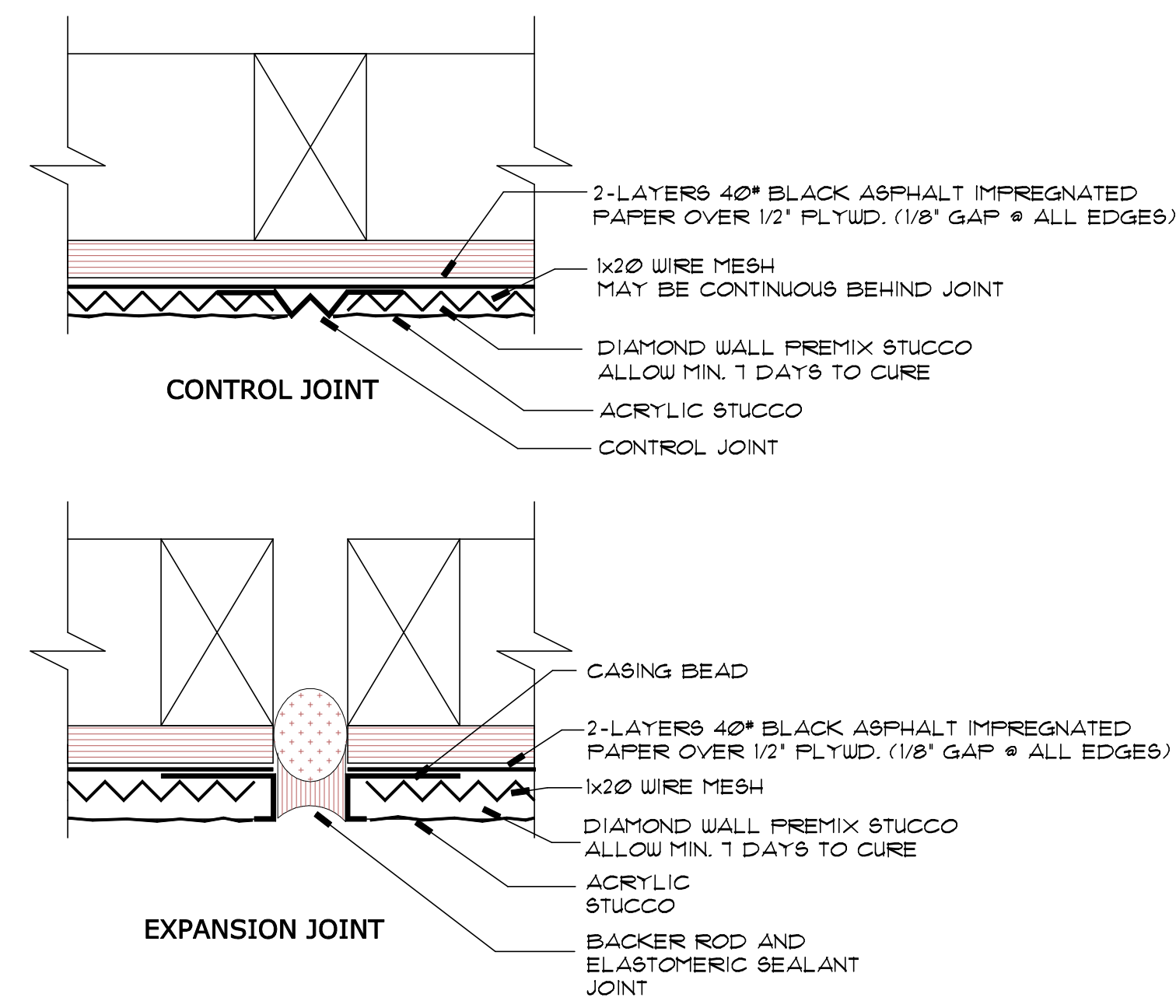
BUILDING SECTION "A"
SCALE: 1/4" = 1'-0"



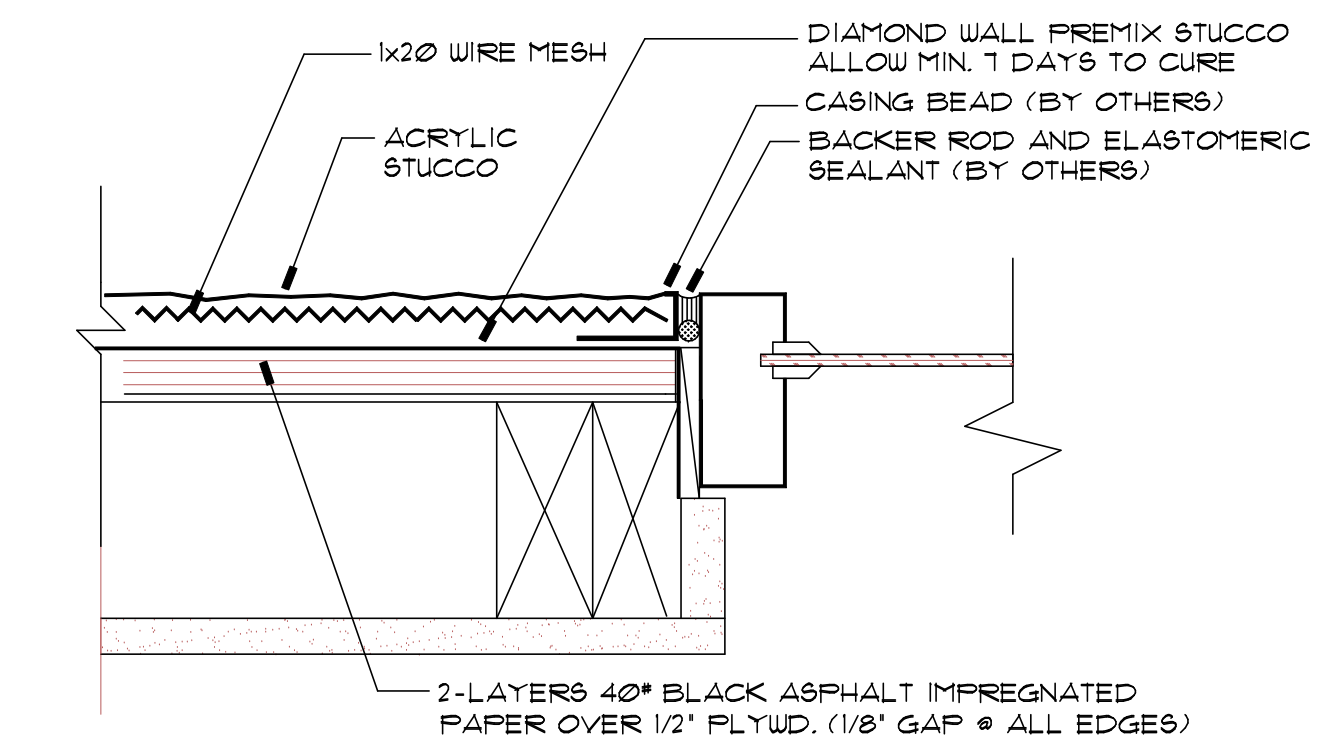
4 TERMINATION DETAIL
NOT TO SCALE



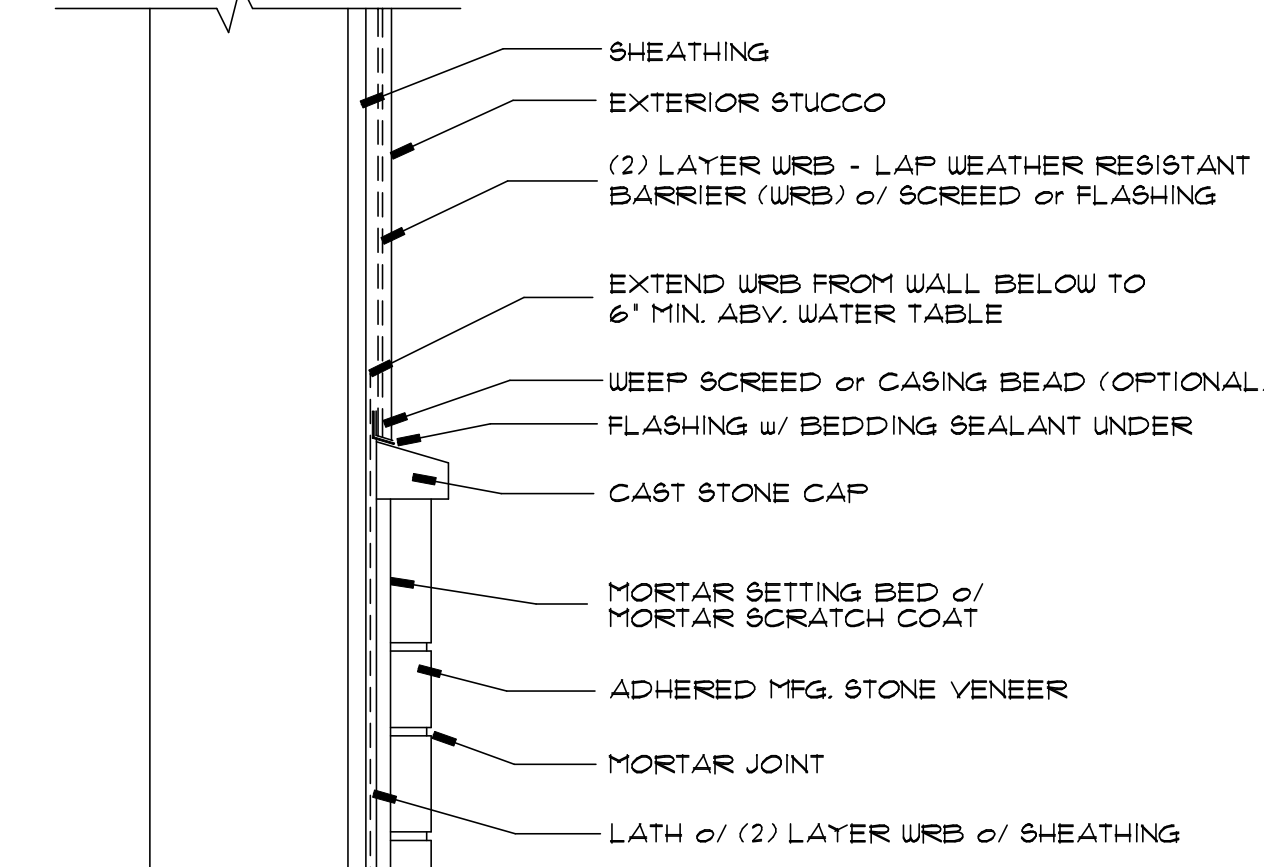
3 APPLICATION DETAIL
NOT TO SCALE



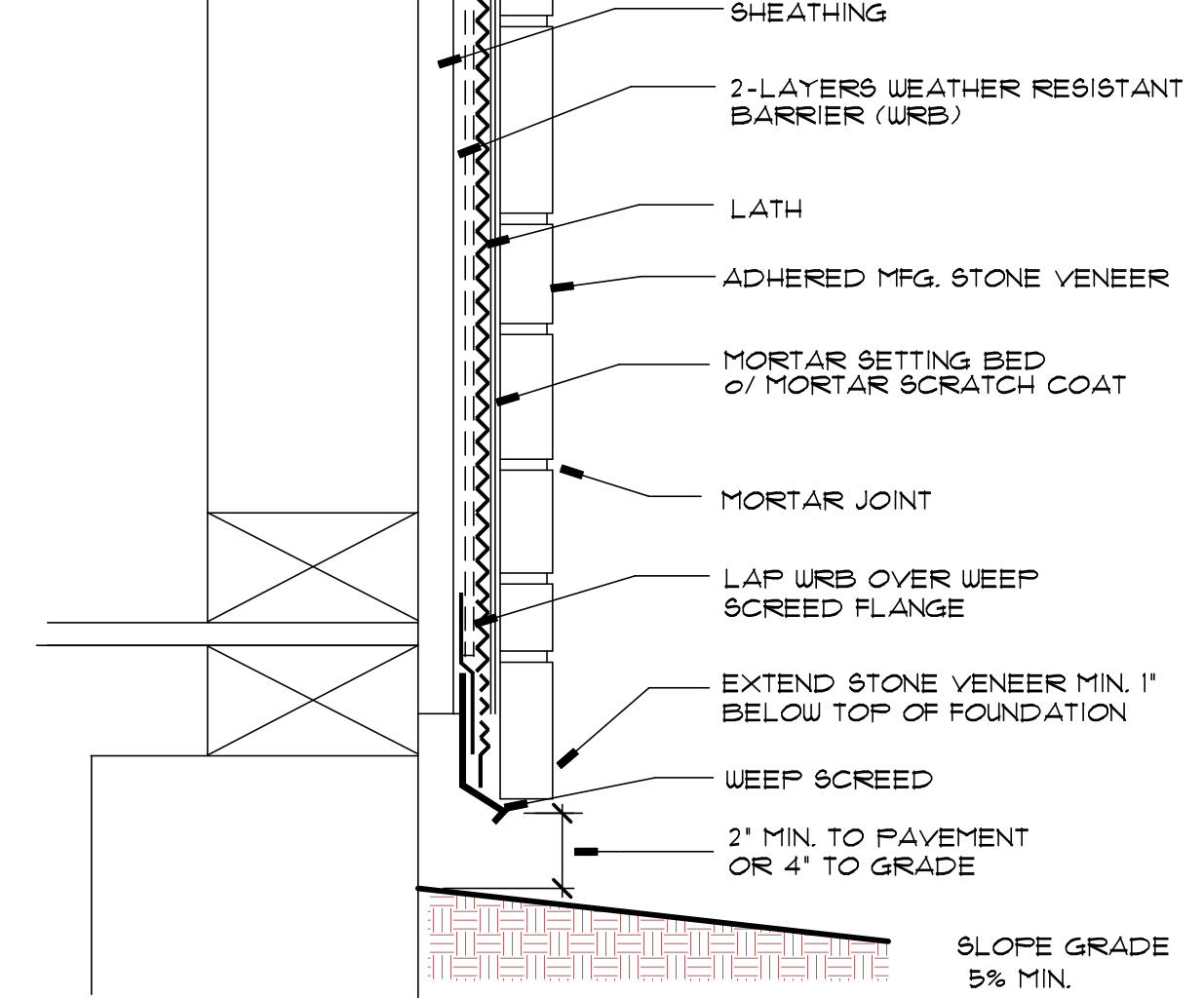
2 CONTROL JOINT / EXPANSION JOINT DETAIL
NOT TO SCALE



1 WINDOW JAMB DETAIL
NOT TO SCALE



6 STUCCO - STONE DETAIL
SCALE: NOT TO SCALE



5 STONE TERMINATION
SCALE: NOT TO SCALE

DATE:	3-1-18
REVISIONS:	
	3-19-18

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George K. Tombridge
 ARCHITECT

FOR: **NEW RESIDENCE**
 DON & BECKY GRUBER
 1500 W. WINDY HILLS DR.
 LAS VEGAS, NEVADA

FILE NO.	1724
SHEET:	6
	A-B

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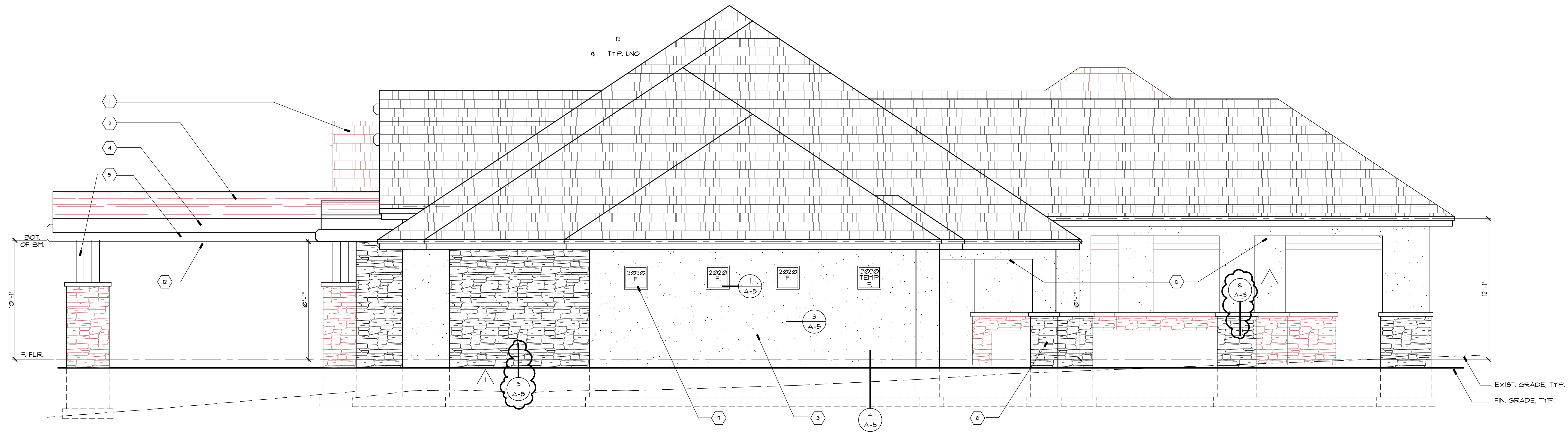
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1	3-19-18

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EAST ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES & EXTERIOR COLORS

- 1 CONCRETE ROOF TILE;
BORAL® SAKONY 900 SLATE
COLOR: CHARCOAL BROWN BLEND
- 2 ROOFING & ARCHED ROOFS:
METAL SALES® MINI-SLATEN 1" w/ 12" PANELS
2" 'GRACE' ULTRA UNDERLAYMENT
COLOR: MEDIUM BRONZE
- 3 STUCCO & STANDARD SOFFITS:
DRYVIT® ACRYLIC - SAND FINE FINISH
COLOR: MATCH SHERWIN-WILLIAMS STONE LION
- 4 JAMES HARDIE® FASCIA:
SHERWIN-WILLIAMS® FLAT ACRYLIC PAINT
COLOR: SU1021 WELL-BRED BROWN
- 5 ROSS, BEAMS & OUTLOOKERS:
SHERWIN-WILLIAMS® FLAT ACRYLIC PAINT
COLOR: SU1021 WELL-BRED BROWN
- 6 ENTRY DOOR:
STEEL GLASS
COLOR:
- 7 WINDOWS:
ANDERSEN® E-SERIES
LOW-E, MIN. U-FACTOR 0.25
GLASS: DARK BRONZE
PROVIDE TRU-SCENE INSECT SCREEN TYP.
1 1/2" RUBBER BRONZE INTERIOR HARDWARE
- 8 STONE VENEER:
BORAL® COUNTRY LEDGE
COLOR: HUDSON BAY
- 9 GARAGE DOORS:
CLOPAY® CANYON RIDGE ULTRA-GRAIN SERIES
DESIGN 22 w/ ARCH-5 - SEEDED GLASS
COLOR:
- 10 GARAGE MAN DOOR:
PLANK STYLE INSULATED STEEL
COLOR:
- 11 VENTS, FLASHING & FLUES:
COLOR: PAINT TO MATCH ROOF
- 12 SOFFITS & RAFTERS ROOFS & OUTDOOR LIVING AREA:
1 1/2" 140 DOUGLAS FIR GRADE D 4 BETTER
COLOR: STAIN SELECTED BY OWNER

STUCCO APPLICATION NOTES:

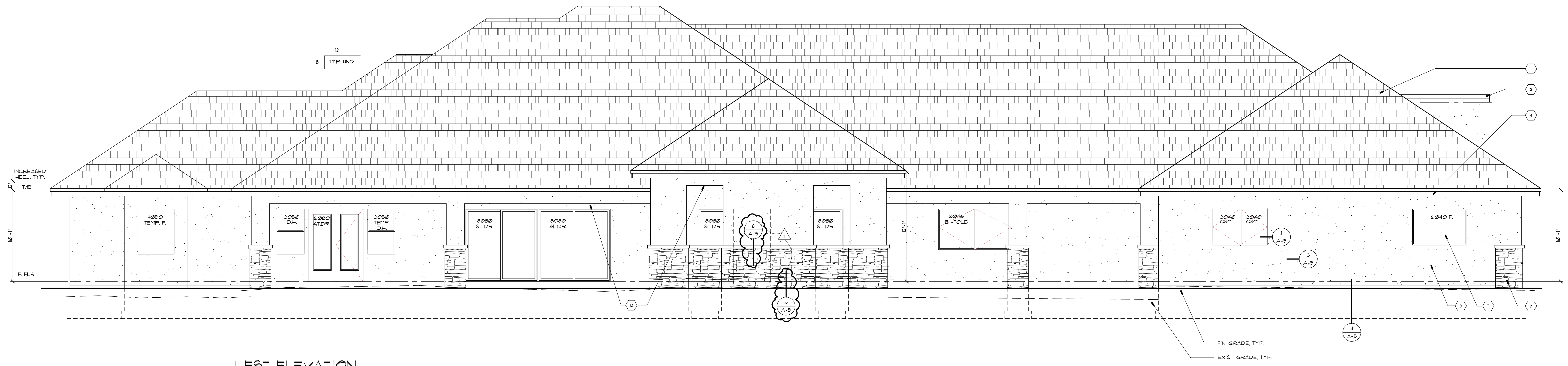
- 1 APPLY 2 LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER 0' 1" EPS TAG ON 1/2" PLTYD. (1/8" GAP @ ALL EDGES.)
- 2 APPLY 1000 WIRE MESH.
- 3 TRIPLE APPLY DIAMOND WALL PREMIX STUCCO & ALLOW MIN. 7 DAYS TO CURE.
- 4 APPLY 'DRYVIT' EXTERIOR STUCCO PER MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER.
- 5 BEVEL ALL HORIZ. SURFACES THAT RECEIVE STUCCO FINISH.
- 6 PROVIDE CONTROL JOINTS AS REQ'D. BY MANUF. SPECS. & KEEP SCREEDS AS REQ'D. BY I.R.C. SECTION R1203.6

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FOR NEW RESIDENCE
 DON & BECKY GRUBER
 11724 6th STREET
 LAS VEGAS COUNTY, NEVADA

FILE NO.	11724
SHEET:	6-6

DATE:	3-1-18
REVISIONS	
1	3-19-18



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES & EXTERIOR COLORS**
- CONCRETE ROOF TILE; BORAL® SAKONY 300 SLATE COLOR; CHARCOAL BROWN BLEND
 - DORMERS & ARCHED ROOFS; METAL SALES® MINI-BATTEN 1" w/ 1" PANELS @ 1" GRACE® ULTRA UNDERLATHMENT COLOR; MEDIUM BRONZE
 - STUCCO & STANDARD SCOFFS; DRYVIT® ACRYLIC - SAND FINE FINISH COLOR; MATCH SHERWIN-WILLIAMS BUTB01 STONE LION
 - JAMES HARDIE® FASCIA; SHERWIN-WILLIAMS® FLAT ACRYLIC PAINT COLOR; SW7021 WELL-BRED BROWN
 - POSTS, BEAMS & OUTLOOKERS; SHERWIN-WILLIAMS® FLAT ACRYLIC PAINT COLOR; SW7021 WELL-BRED BROWN
 - ENTRY DOOR; STEEL GLASS COLOR;
 - WINDOWS; LANGERSEN® E-SERIES LOW-E4, MIN. U-FACTOR @29 COLOR; DARK BRONZE PROVIDE INSECT SCREEN TYP. & OIL RUBBED BRONZE INTERIOR HARDWARE
 - STONE VENEER; BORAL® COUNTRY LEDGE COLOR; HUDSON BAY
 - GH GARAGE DOORS; CLOPATT® CANYON RIDGE ULTRA-GRAN SERIES DESIGN 22 w/ ARCH3 - SEEDED GLASS COLOR;
 - GARAGE MAN DOOR; FLANK STYLE INSULATED STEEL COLOR;
 - VENTS, FLASHING & FLUES; COLOR; PAINT TO MATCH ROOF
 - SCOFFS & RADIUS ROOFS & OUTDOOR LIVING AREA 1/6" T&G DOUGLAS FIR, GRADE D & BETTER COLOR; STAIN SELECTED BY OWNER

- STUCCO APPLICATION NOTES:**
- APPLY 2 LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER @ 1" EPS TAG ON 1/2" PLYD. (1/8" GAP @ ALL EDGES)
 - APPLY 3/32 WIRE MESH
 - TROWEL APPLY DIAMOND WALL PREMIX STUCCO & ALLOW MIN. 1 DAYS TO CURE
 - APPLY DRYVIT® EXTERIOR STUCCO PER MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER
 - BEVEL ALL HORIZ. SURFACES THAT RECEIVE STUCCO FINISH
 - PROVIDE CONTROL JOINTS AS REQD. BY MANUF. SPECS. & KEEP SCREEDS AS REQD. BY I.R.C. SECTION R103.6

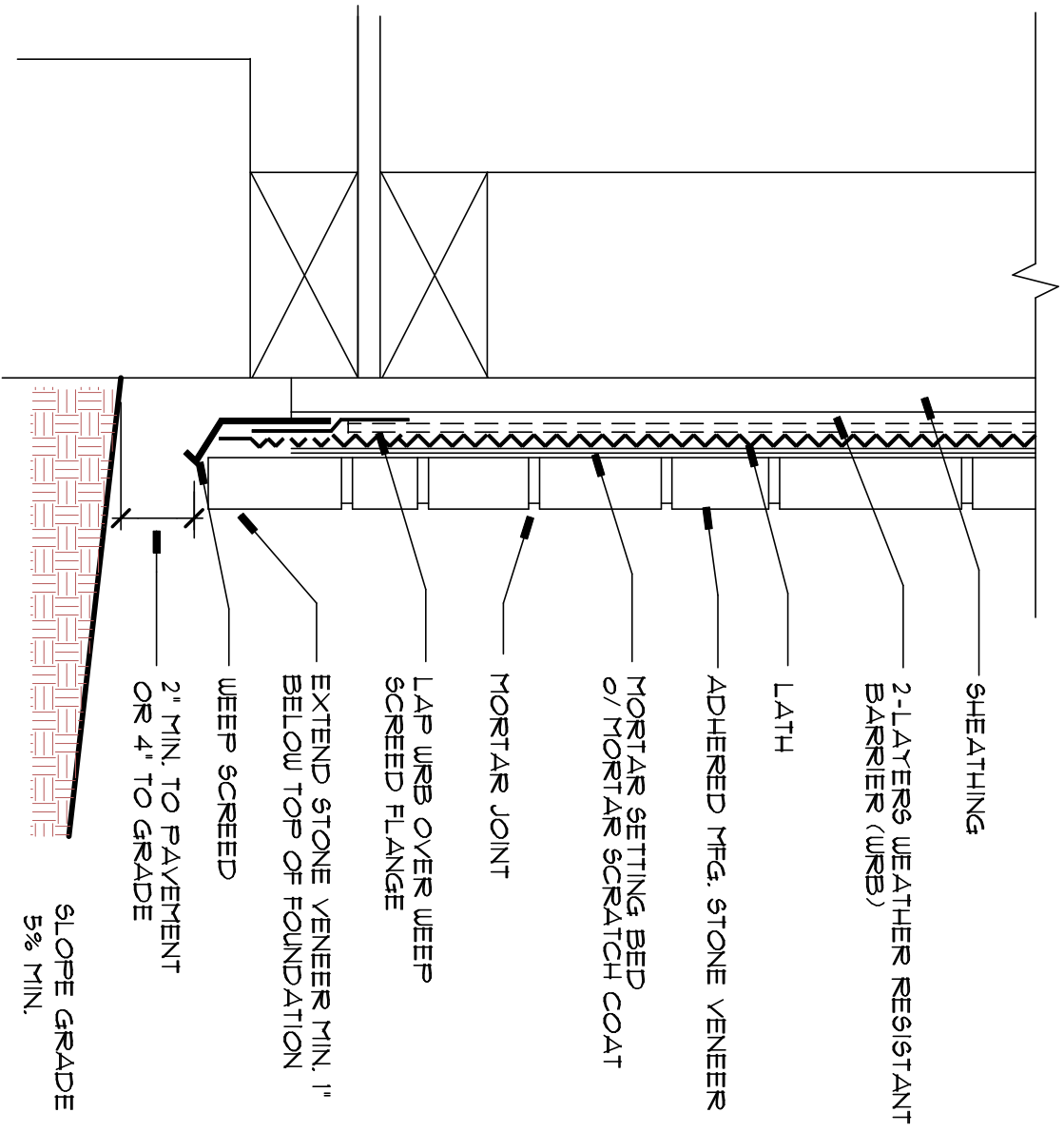
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A-7



5

STONE TERMINATION

SCALE: NOT TO SCALE

NEW RESIDENCE

FOR: DON & BECKY GRUNER
2715 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

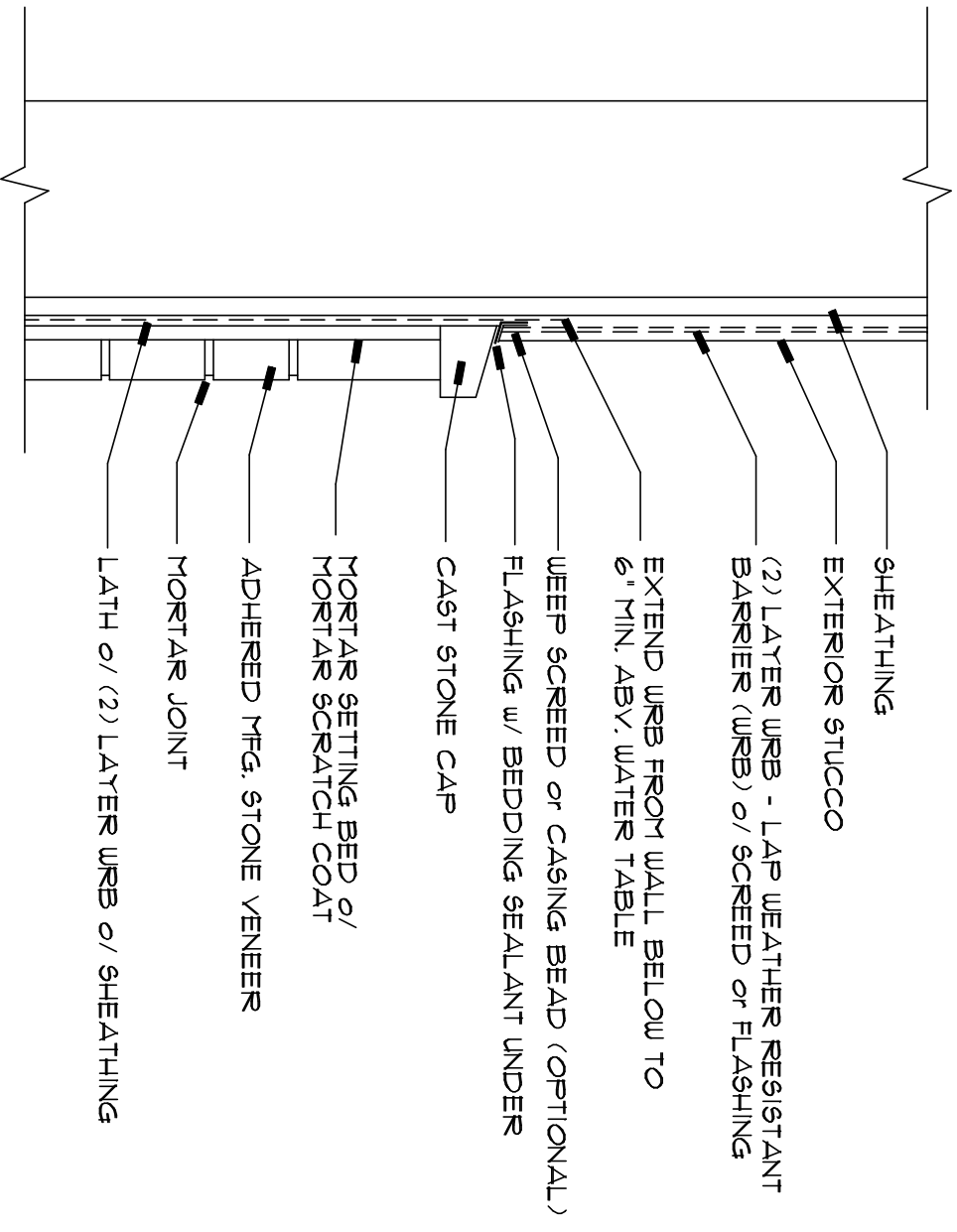
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FILE NO.	1724
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6
STUCCO - STONE DETAIL
 SCALE: NOT TO SCALE

NEW RESIDENCE

FOR: DON & BECKY GRUNER
2715 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

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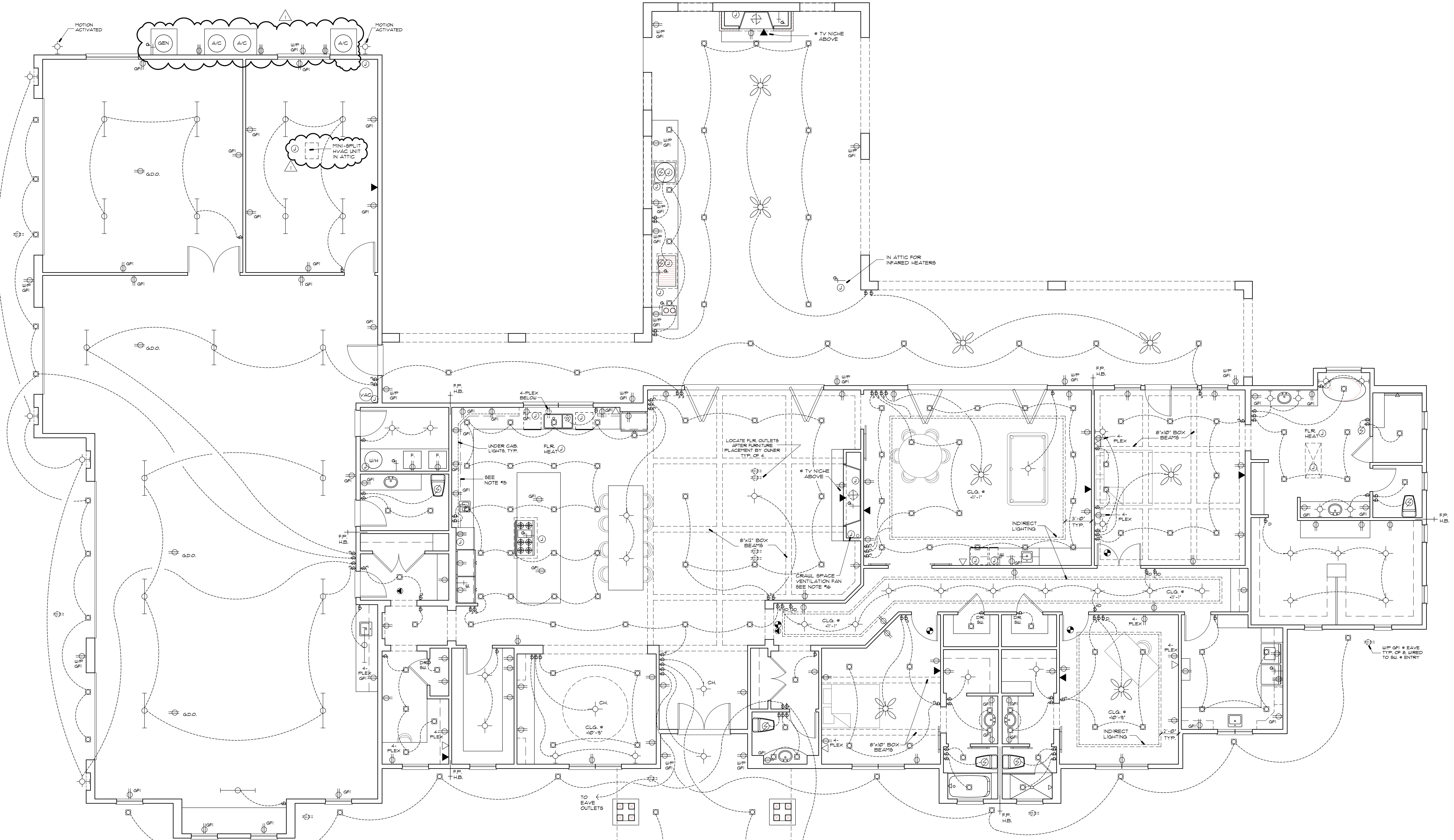
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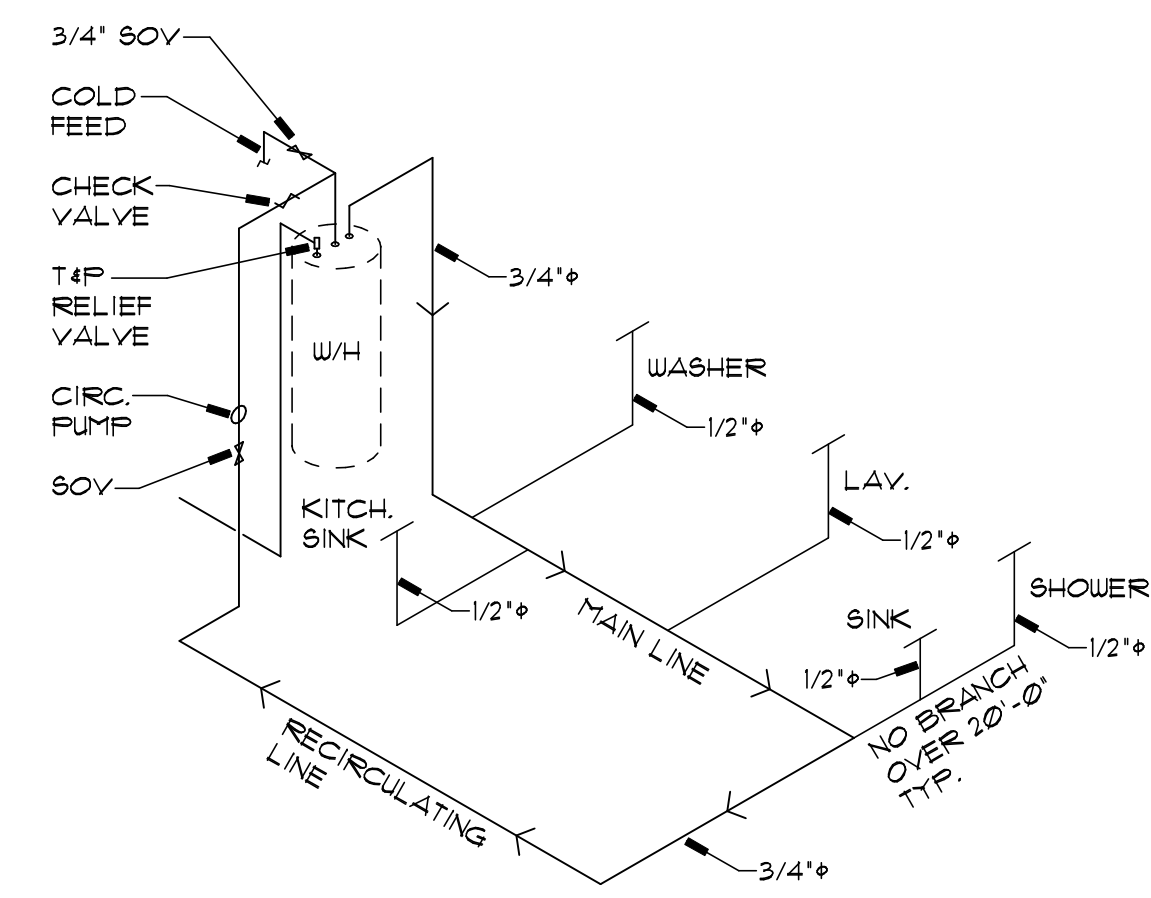


MECH./ELEC. LEGEND

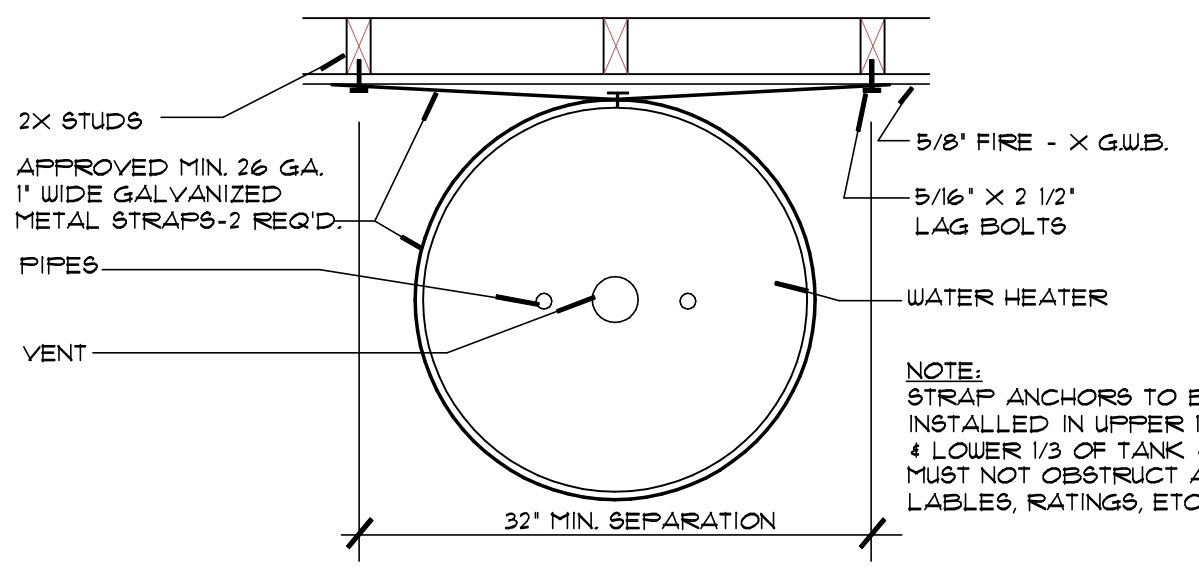
- ⊕ 110 V. DUPLEX OUTLET - GFI WHERE NOTED - OUTLETS LESS THAN 5'-6" AFF. SHALL BE TAMPER RESISTANT
- ⊕ 110 V. DUPLEX OUTLET - HALF SWITCHED
- ⊕ 110 V. 1/2" BOX
- ⊕ 220 V. OUTLET (PROVIDE DISCONNECT * A/C CONDENSER)
- ⊕ SWITCH - DIMMER (D), 3-WAY (3), PILOT LIGHT (PL.), MOTION SENSOR (M), AS NOTED.
- ⊕ RECESSION LIGHT - (IC-RATED, PRODUCT AND INSTALLATION SHALL MEET 2012 IECC SECTION 402.4.4. PROVIDE DIMMERS * ALL CIRCUITS & LENSES IN WATER AREAS, CLOSETS & * EXTERIOR ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS')
- ⊕ SURFACE MOUNTED LIGHT - CHANDELIER (CH)
- ⊕ WALL MOUNTED LIGHT
- ⊕ FAN OR FAN/LIGHT - V.T.O.
- ⊕ SMOKE DETECTOR - 110 V.
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ TELEPHONE - CATEGORY & WIRING
- ⊕ CABLE T.V. - RG & WIRING
- ⊕ DECORATIVE FAN OR FAN/LIGHT
- ⊕ LED LIGHT FIXTURE
- ⊕ GAS STUB (G) - WATER STUB (W)
- ⊕ FROST PROOF HOSE BIBB * 48"

- NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE N.E.C., I.R.C., 2012 IECC AND THE 2015 NORTHERN NEVADA ENERGY CODE AMENDMENTS, AS APPEARED BY THE LOCAL GOVERNING AUTHORITY.
 2. ALL SWITCHES SHALL BE LOCATED CLEAR OF DOOR SWINGS.
 3. SEE SHEET A-3 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.
 4. PROVIDE SMOKE DETECTORS w/ BATTERY BACK-UP WHERE NOTED INTER-CONNECT ALL SMOKE DETECTORS.
 5. PROVIDE DBL. SWITCHES TO ALL DECORATIVE FANLIGHTS.
 6. ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF.
 7. ALL GARAGE OUTLETS SHALL BE GFI & MTD. * MIN. 48" AFF.
 8. ATTIC SUPPLY DUCTS SHALL HAVE A MIN. R-8 INSULATION. ALL OTHER DUCTS SHALL HAVE A MIN. R-6 INSULATION.
 9. ALL IS & 1/2" AMP. OUTLETS SHALL BE AFCI EXCEPT WHEN GFCI IS REQD. CLEARANCE OF 36" IN FRONT & 30" WIDTH IS MAINTAINED FROM GROUND OR SLAB TO 2" HT. OF 6 1/2" FT.
 10. A/C DISCONNECTS SHALL BE LOCATED SUCH THAT THE REQD. CLEARANCE OF 36" IN FRONT & 30" WIDTH IS MAINTAINED FROM GROUND OR SLAB TO 2" HT. OF 6 1/2" FT.
 11. PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM, SEE SCHEMATIC, DETAIL 2ME-1.
 12. PROVIDE SURGE PROTECTION * ELECTRIC PANELS FOR ENTIRE HOME.
 13. A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
 14. PROVIDE ALL TESTING AND INSPECTIONS REQD BY 2012 IECC.
 15. PROVIDE CONT. PLUG STRIP BELOW KITCHEN UPPER CABINETS.
 16. PROVIDE 1" BOX & EXHAUST FAN IN CRALL SPACE FAN SHALL BE PANASONIC® EV-18VGB, VENT THROUGH ROOF w/ 3" EXHAUST DUCT w/ ROOF CAP. CRALL SPACE VENTILATION REQUIRED: 1 CFM PER 50 SQ. FT. 5,025 SQ. FT. / 50 * 1025 CFM REQUIRED - 150 CFM PROVIDED.

MECH./ELEC. PLAN
 SCALE: 1/4" = 1'-0"

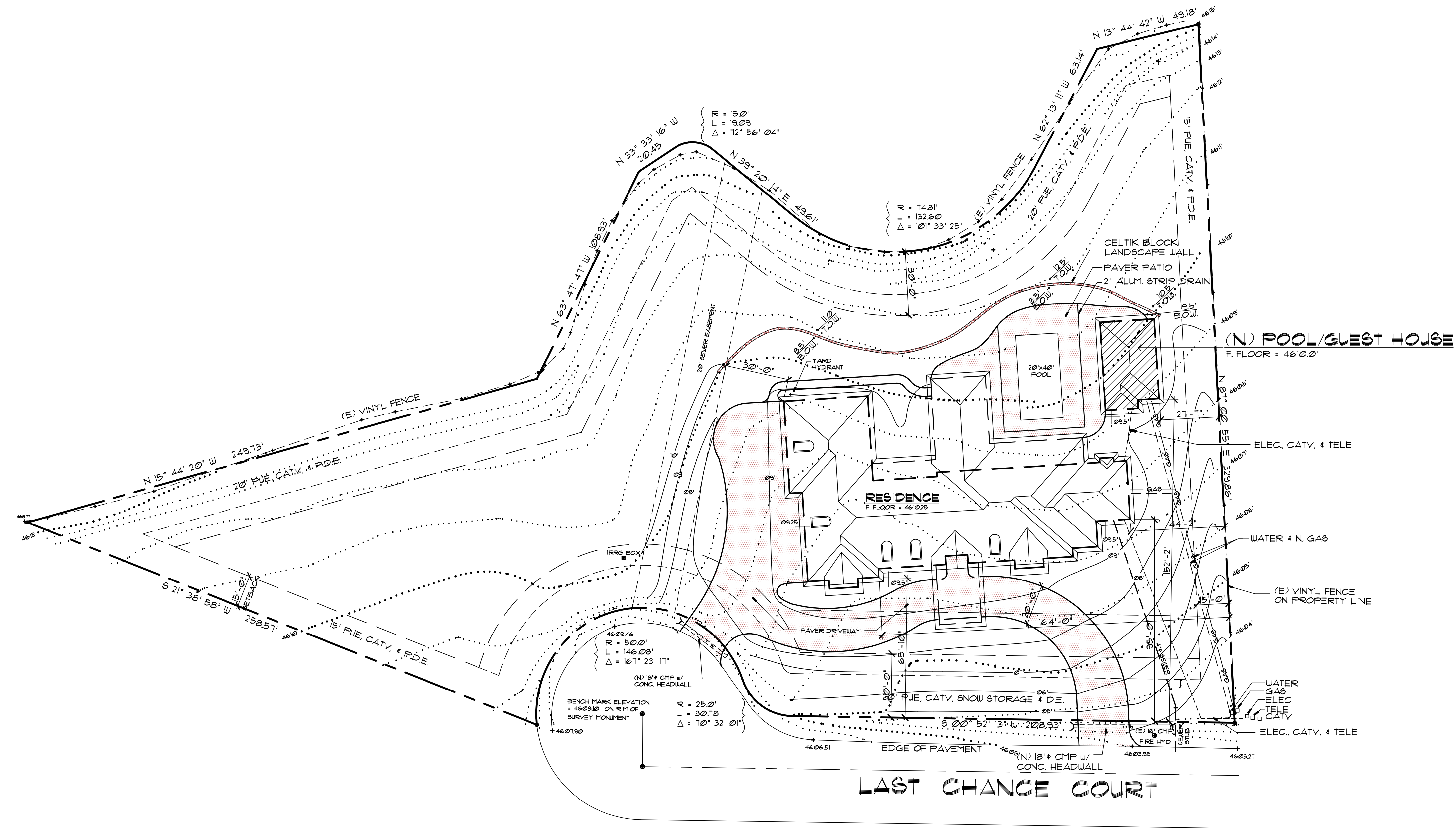


- NOTES:**
1. ALL DISTANCES OFF MAIN LOOP SHALL BE LESS THAN 20'-0".
 2. 3/4" PIPE SHALL BE INSUL w/ "MOOLOCK" 1 1/2" WALL (R = 2.96)
 3. 1/2" PIPE SHALL BE INSUL w/ "MOOLOCK" 5/8" x 1/2" WALL (R = 3.07)
- CALCULATIONS:**
- MAXIMUM WATER TEMPERATURE = 140° F.
 DESIGN AMBIENT TEMPERATURE = 65° F.
- DELTA T° = 15° F.
- DELTA T° / 25 BTU/H·F. = 3
 75° / 25 BTU/H·F. = 3
 1/2" CLOSED CELL FOAM INSUL. = 3R > 3.3R > OK

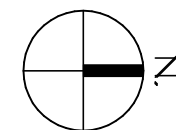


W/H SEISMIC BRACING
 NO SCALE

2 HOT WATER CIRCULATION SYSTEM (SCHEMATIC ONLY)
 NO SCALE



SITE PLAN
SCALE: 1" = 30'-0"



LAKESIDE RANCH ESTATES
PHASE I, LOT #6
A.P.N. 040-930-04

GENERAL NOTES:

- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2012 I.R.C., 2012 I.E.C.C., WASHOE COUNTY BUILDING & PLANNING DEPARTMENTS AND ANY APPLICABLE C.C.A.R.'S WITHIN THIS SUBDIVISION.
- FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
- FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
- ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
- STRUCTURAL DETAILS AND CALCULATIONS HAVE BEEN PREPARED FOR THIS PROJECT & ARE AN INTEGRAL PART OF THE CONSTRUCTION DOCUMENTS.

SITE LEGEND

- EXISTING CONTOURS
- FINISH CONTOURS
- FINISH GRADES
- BUILDING ENVELOPE LINES
- DRAINAGE SLOPE - 2% MIN.

SITE NOTES:

- GEOTECHNICAL ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONCRETE FORMS. GEOTECHNICAL ENGINEER'S RECOMMENDATIONS CONCERNING FOOTING DEPTH, COMPACTION, FILL MATERIAL, ETC. SHALL BE FOLLOWED.
- ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE CONCRETE PAVERS OVER 6" TYPE-II BASE COMPACTED TO 95%. IF POURED CONCRETE IS PROVIDED IT SHALL BE 4000 PSI MIN. w/ #3 BARS @ 18" O.C. EA. WAY, CHAIRED UP TO MID SLAB.
- CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO DRIVE AREA.
- RETAIN ALL STONES FROM EXCAVATION. LARGER BOULDERS SHALL BE PLACED RANDOMLY IN PLANTER AREAS.
- SITE GRADES SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE STRUCTURE.
- IF ROCK RIP-RAP IS USED IT SHALL BE GRADED FROM 3/4" TO D SIZE, MIN. 4" DEPTH & PLACED AS A MIXED AGGREGATE.
- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY.

DRAWING INDEX

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A-6	EXTERIOR ELEVATIONS
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL NOTES / SCHEDULES
ME-1	MECHANICAL/ELECTRICAL PLAN

DATE:	3-9-18
REVISIONS	

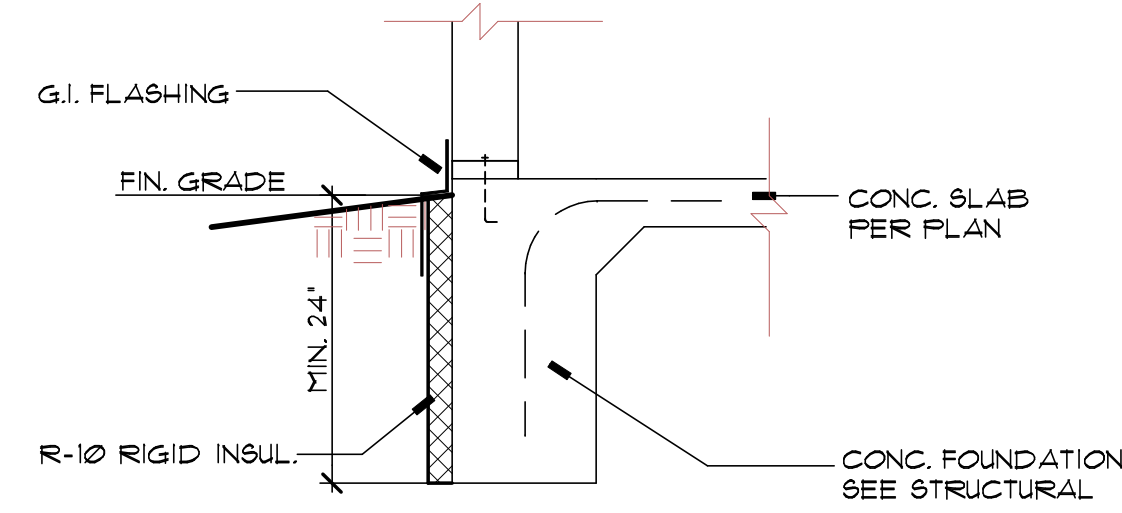
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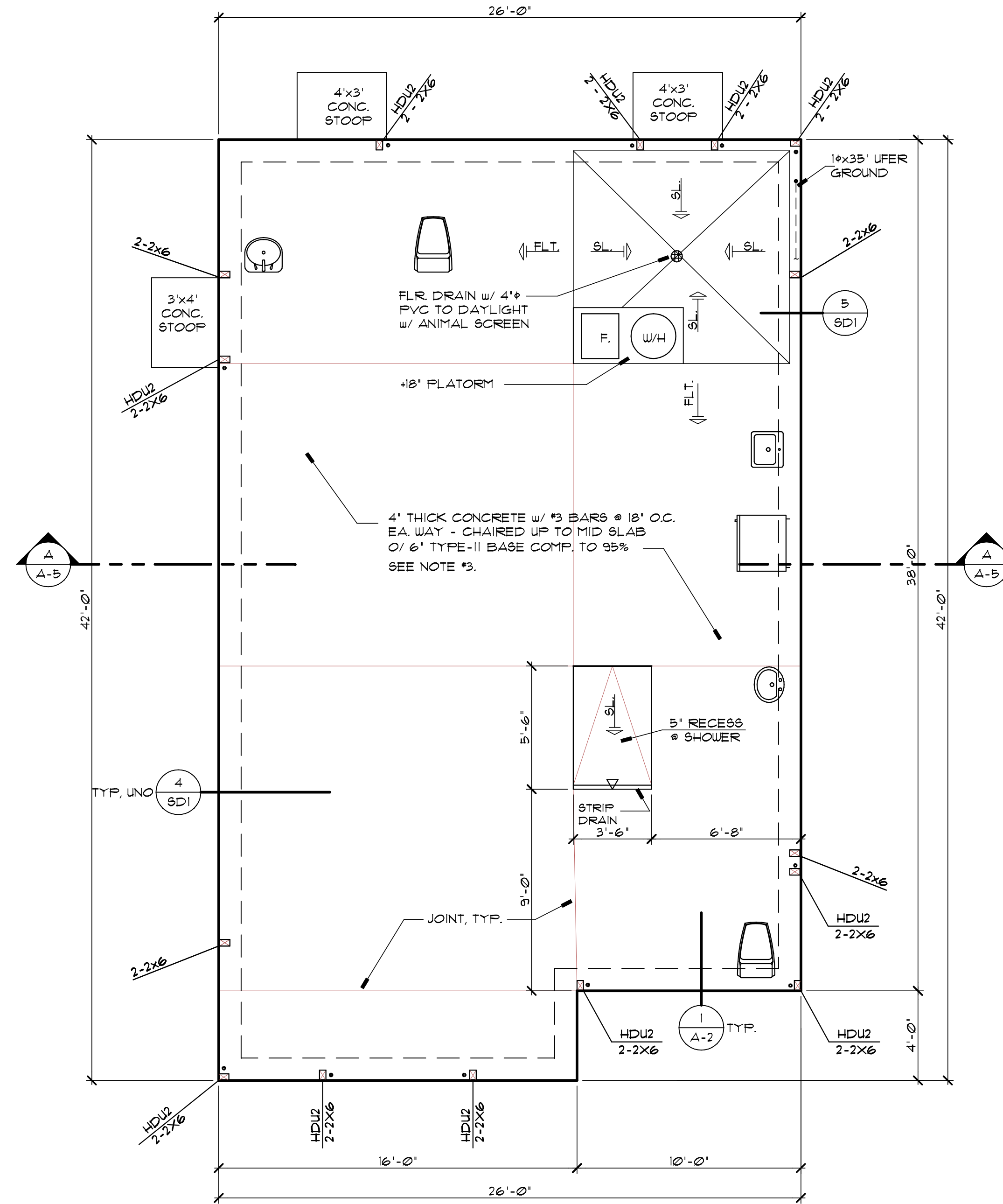
NEW POOL/GUEST HOUSE
FOR: DON & BECKY GRUNER
LAST CHANCE COURT
WASHOE COUNTY, NEVADA

FILE NO.	1724.1
SHEET:	A-1

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1 INSULATION DETAIL
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

A.B. NOTE:
5/8" @ AB, @ 48" O.C. w/
2x6 P.T. MUDSILL
EXCEPT AS NOTED ON PLAN

FOUNDATION NOTES:

1. GEOTECHNICAL ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONC. FORMS. GEOTECHNICAL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, FILL MATERIAL, ETC. SHALL BE FOLLOWED.
2. CONC. FOOTINGS SEE STRUCTURAL DETAILS SHEET SD1. STEP FOOTINGS AS REQD. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE EXT. ELEV. FOR FOOTING @ EXT. PIER DEPTHS, MIN. 2'-0", FIELD VERIFY.
3. PROVIDE SLAB SHIELD INSULATION @ 1/2" MIL. 'STEGO-WRAP' VAPOR BARRIER - MIN. 6" LAP, SEAL BEAMS
4. ALL FRAMING HARDWARE SHALL BE 'SIMPSON'. INSTALL PER MANUF. REQUIREMENTS.
5. ALL SLABS TO BE 4" THICK CONCRETE w/ #3 BARS @ 18" O.C. EA. WAY - CHAIRED UP TO MID SLAB. SLAB SHALL BE PLACED OVER 6" TYPE-II BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.
6. APPLY CHEMICAL TERMITE TREATMENT TO INSIDE & OUTSIDE OF ALL FOUNDATION WALLS TO PROVIDE A UNIFORM TOXIC BARRIER IN ALL ROUTES OF TERMITE ENTRY. APPLY CHEMICALS PER MANUFACTURERS INSTRUCTIONS.
7. INSULATE ALL PIPES & DUCTS PER I.E.C.C. PROVIDE R-10 RIGID INSULATION @ SLAB PERIMETER

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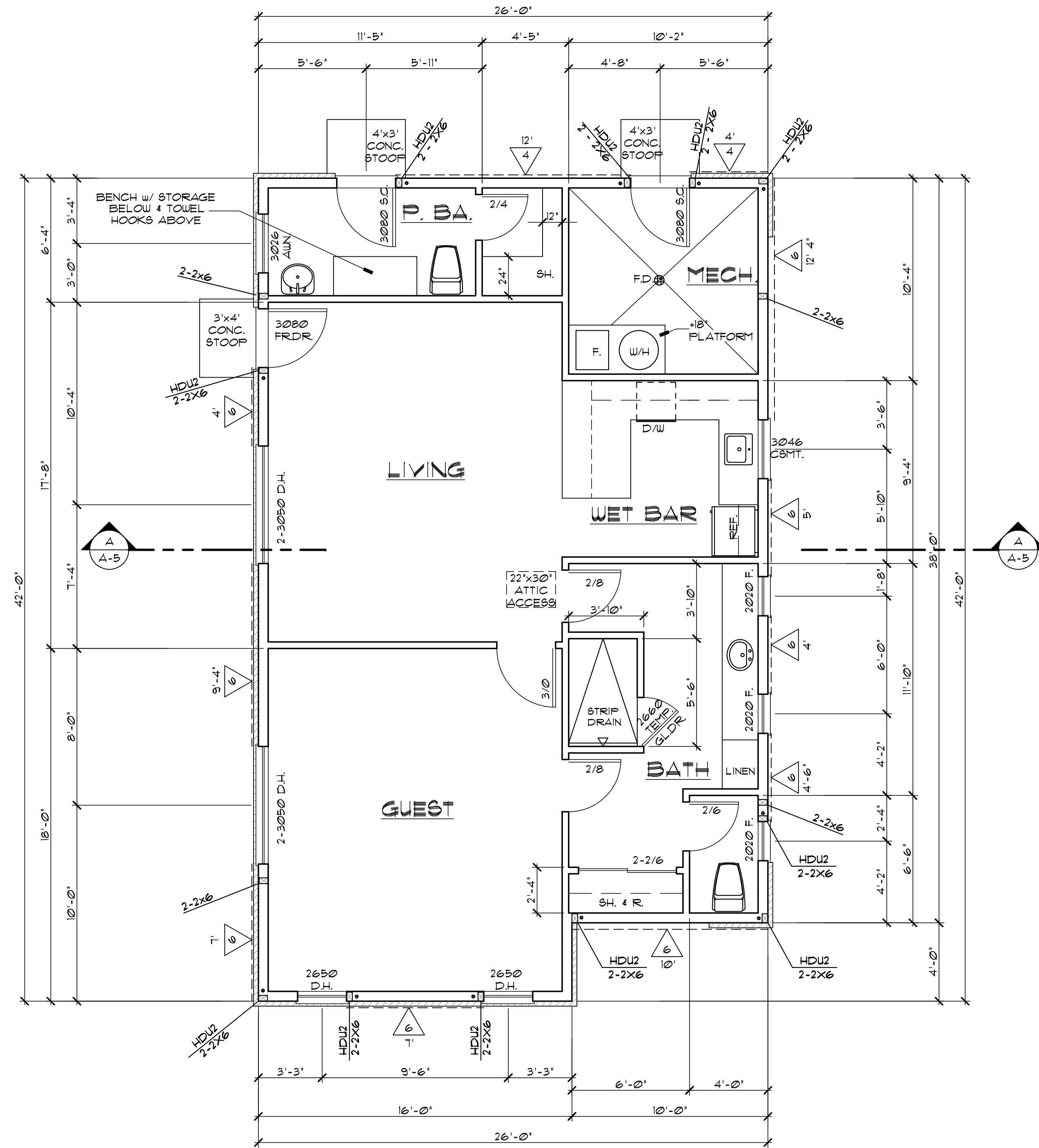
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NEW POOL/GUEST HOUSE

FOR: DON & BECKY GRUNER
2715 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

FILE NO.	17241
SHEET:	A-2

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POOL/GUEST PLAN
 SCALE: 1/4" = 1'-0"
 LIVING AREA APPROX. 1,252 SQ. FT.

FLOOR PLAN NOTES:

- EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. w/ 1/2" CDX PLYWOOD (OR EQUAL) SHEATHING (1/8" GAP @ ALL EDGES), VAPOR BARRIER & R-21 INSULATION TYP. INT. NON-BEARING WALLS SHALL BE 2X4 @ 16" O.C. UNO. PROVIDE FOAM BILL SEAL @ ALL EXTERIOR WALLS.
- 5/8" G.W.B. @ WALLS & 5/8" G.W.B. CEILINGS TYP. USE 5/8" FIRE-X IN GARAGE & TILE BACKER BD. IN WATER AREAS. ALL DRYWALL CORNERS SHALL BE BULLNOSED.
- SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
- TYPICAL PLATE HEIGHT IS 9'-1" AFF. (UNO.); WINDOW HEADER HEIGHT IS 8'-0" AFF. (UNO.); INTERIOR DOOR HEIGHT IS 8'-0" AFF. (UNO.)
- ALL CEILING FRAMING SHALL BE @ 24" O.C. AS FOLLOWS:
 2X4'S MAX. SPAN 9'-0"
 2X6'S MAX. SPAN 14'-0"
 2X8'S MAX. SPAN 18'-6"
- WHERE POSSIBLE VENT PLUMBING & FLUES TO REAR OF HOUSE.
- SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS ALL FIXED.
- PROVIDE GILL FANS @ ALL EXTERIOR DOORS & WINDOWS.
- PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM & INSULATE ALL PIPES (MIN. R-3); SEE SCHEMATIC ON ME-1.
- ALL WET BAR AND BATHROOM COUNTERTOPS SHALL BE 3/8" AFF.
- PROVIDE CONT. CEILING INSULATION (R-49) @ ATTIC ACCESS DOORS. PROVIDE WEATHER STRIPPING @ ALL ACCESS DOORS.
- PROVIDE CONT. R-10 RIGID INSULATION @ SLAB PERIMETER TYP.

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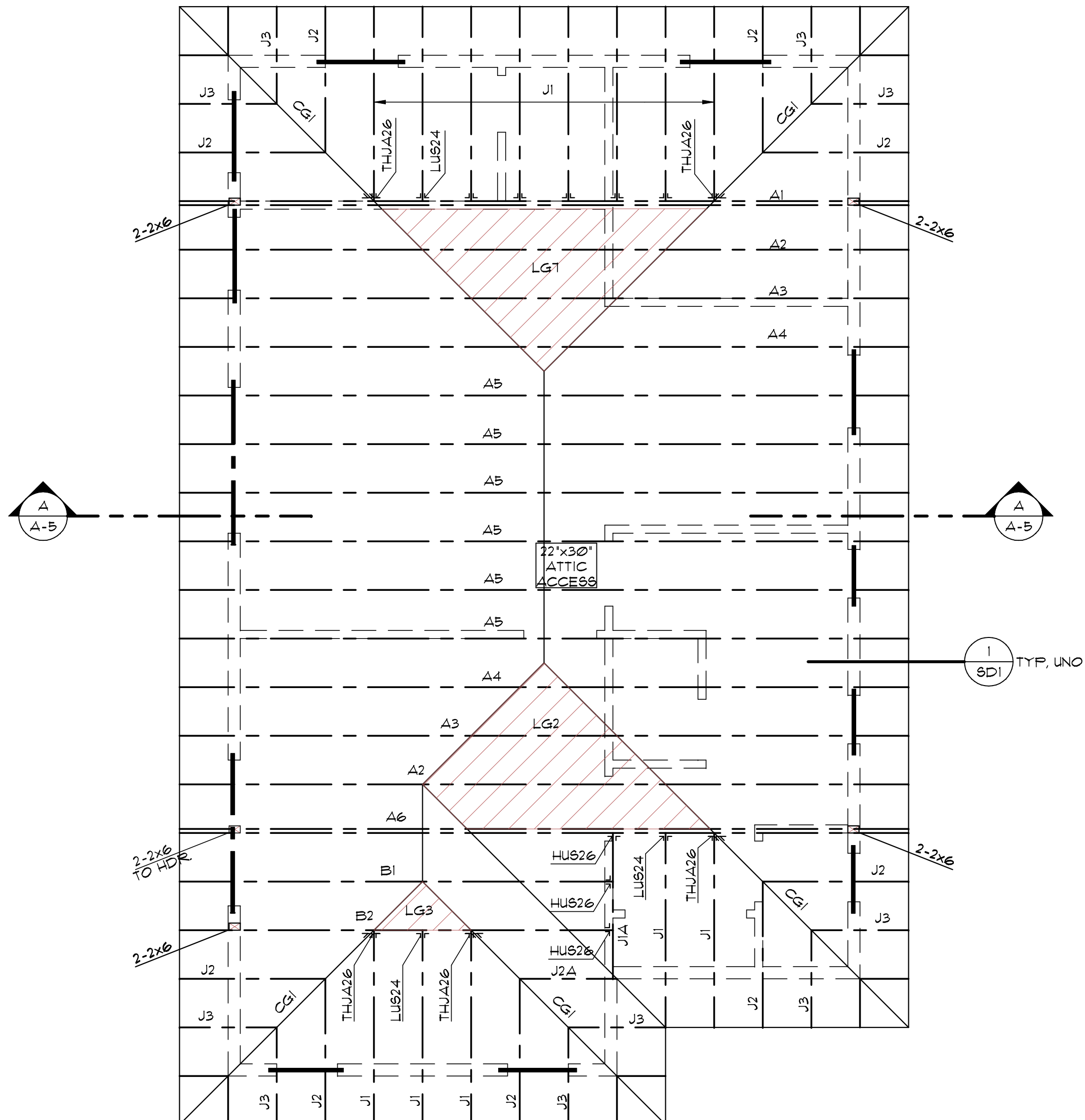
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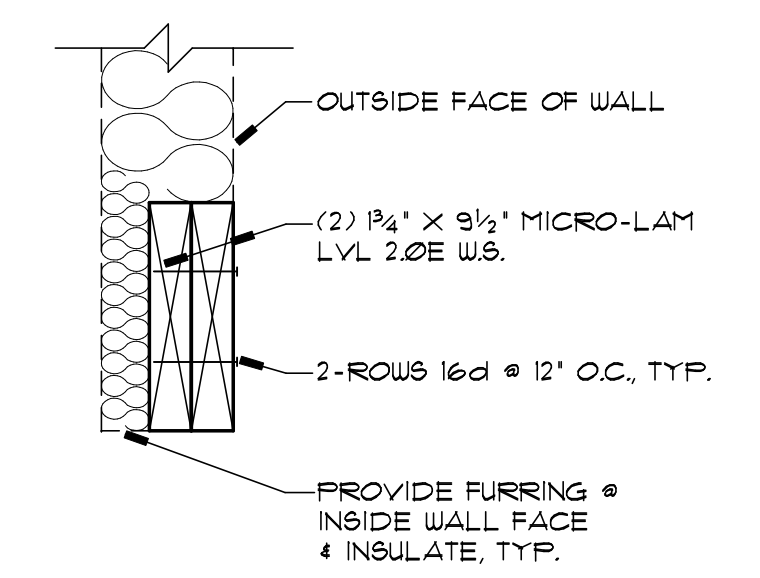
FILE NO.	1724.1
SHEET:	A-3

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ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

TRUSS BRACING
CONTRACTOR SHALL REVIEW THE INDIVIDUAL TRUSS DRAWINGS PREPARED BY THE TRUSS MANUFACTURER FOR WEB BRACING LOCATIONS. INSTALL WEB BRACING PER THE TRUSS DRAWINGS AND THE TRUSS BRACING DETAIL ON THE '9D' SHEETS OF THE PLANS OF RECORD. IF NO BRACING MATERIAL IS APPLIED TO THE STRUCTURAL TOP & BOTTOM CHORD OF THE TRUSSES, THE CONTRACTOR SHALL BRACE THE TOP CHORD @ A MAXIMUM OF 3' O.C. AND THE BOTTOM CHORD @ A MAXIMUM OF 8' O.C. UNLESS THE TRUSS HAS INTERIOR BEARING IN WHICH THE BOTTOM CHORD SHALL BE BRACED @ A MAXIMUM OF 3' O.C. ALL BRACING SHALL BE TERMINATED PROPERLY TO A RIGID, PERMANENT PORTION OF THE STRUCTURE @ ONE END AND @ A MAXIMUM OF 20' INTERVALS, REFER TO THE TRUSS BRACING DETAIL ON PLANS OF RECORD FOR TYPICAL METHOD OF TERMINATING BRACES. IF OTHER TERMINATION METHODS ARE TO BE USED, CONTACT THE ENGINEER OF RECORD FOR APPROVAL.



1 HEADER DETAIL
SCALE 1-1/2" = 1'-0"

ATTIC VENTILATION CALCULATIONS	
AREA:	1092 SF. / 150 = 7.28 SF. REQ'D.
EAVE VENTS - 5"x14" PER BLK = .486 SF. EA.	
136 L.F. EAVE / 6' O.C. = 22 BLKS. = 10.69 SF.	
TOTAL VENTILATION AREA PROVIDED = 10.69 SF.	

PRE-FAB. TRUSS NOTES:

- TRUSS MANUF. SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN THE ARCHITECT'S DRAWINGS, TRUSS MANUF. INFORMATION, ANY REQ'D. FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & IT'S CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & STRUCTURAL ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.
- USE PRE-ENGINEERED MANUFACTURED TRUSSES @ 24' O.C. SOLID BLOCK @ SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON I-H1 @ EA. SUPPORT WALL/BEAM TO EA. TRUSS & 2-H2.5A @ EA. SUPPORT WALL/BEAM TO EA. MULTI-PLY TRUSS UNO. HANG TRUSSES @ GIRDER TRUSSES w/ SIMPSON HU526 OR AS SPECIFIED ON PLAN.
- ALL TRUSS TOP CHORD MEMBERS THAT SUPPORT FASCIA'S SHALL BE 2X6 MIN. TYPICAL.

ROOF FRAMING NOTES:

- ROOF LOADS: LIVE 23' SQ. FT. ; DEAD 21' SQ. FT.
- ALL FRAMING HARDWARE NOTED SHALL BE 'SIMPSON' INSTALL PER MANUFACTURER'S REQUIREMENTS.
- ROOF SHEATHING SHALL BE 19/32" (40/20) PLYWD. w/ 10d @ 6' O.C. BOUNDARY EDGES & DRAG TRUSSES & 10d @ 12' O.C. FIELD. EDGE NAIL SPEC'S @ ALL GIRDER TRUSSES, TYP.
- FILL-IN FRAMING (SHADED AREAS) SHALL BE 2X6 RAFTERS @ 24' O.C. MAXIMUM SPAN 6'-0" - POST UP AS REQUIRED. USE 2X8 RIDGES & HIPS, MAXIMUM SPAN 6'-0" - POST UP AS REQUIRED. CONTINUE LOWER ROOF PLYWD. UNDER FILL-IN FRAMING & PROVIDE 22'x30' ACCESS & VENTILATED SPACES PER I.R.C.
- PROVIDE DOUBLE STUDS BELOW ALL GIRDER TRUSSES, TYP. UNO.
- PROVIDE ROOF VENTILATION PER I.R.C. (1 SQ.FT. PER EA. 150 SQ.FT. OF ATTIC AREA).
- BEAM ELEV. NOTED ARE FROM FINISH FLOOR TO TOP OF BEAM.
- ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 UNO.
- TYP. HEADER UNO. USE 2-3/4" X 9 1/2" MICRO-LAM LVL 2.0E W.S. PER DETAIL 1/A-4.
- PROVIDE HARDI TRIM RUSTIC FASCIA - 4/4 X 9 1/4"
- BOTTOM CHORD SLOPE @ ALL SCISSOR TRUSSES SHALL BE 3:12.
- USE 12-16d BETWEEN TOP PLATE SPICES, TYP. UNO.
- PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS, TYP.
- PROVIDE CONT. CEILING INSULATION (R-49) @ ATTIC ACCESS DOORS. PROVIDE WEATHER STRIPPING @ ALL ACCESS DOORS.
- SEE SHEET 9D-2 FOR INFORMATION ON 1

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NEW POOL/GUEST HOUSE

FOR: DON & BECKY GRUNER
2715 LAST CHANCE COURT
WASHOE COUNTY, NEVADA

FILE NO.	17241
SHEET:	1

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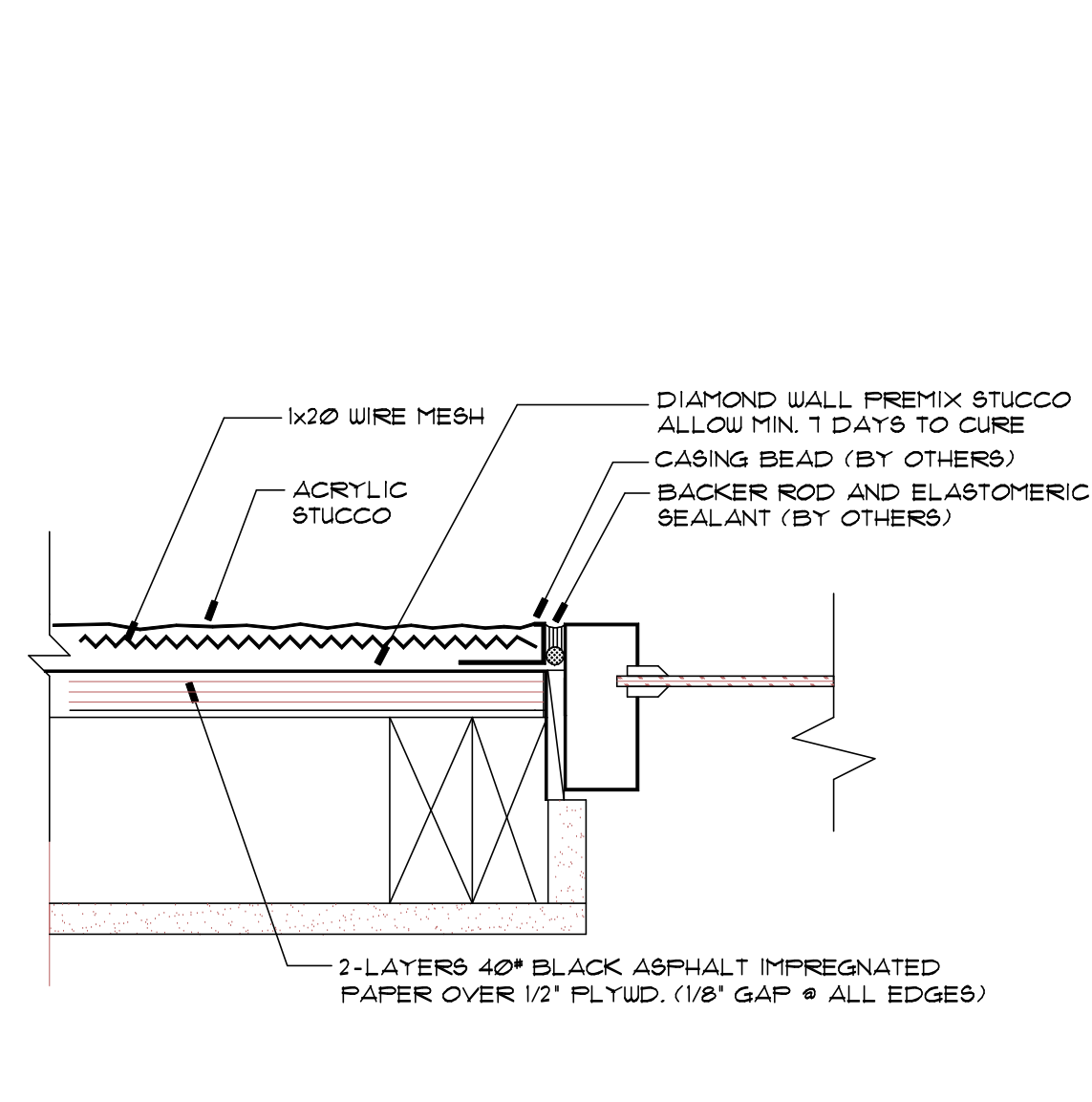
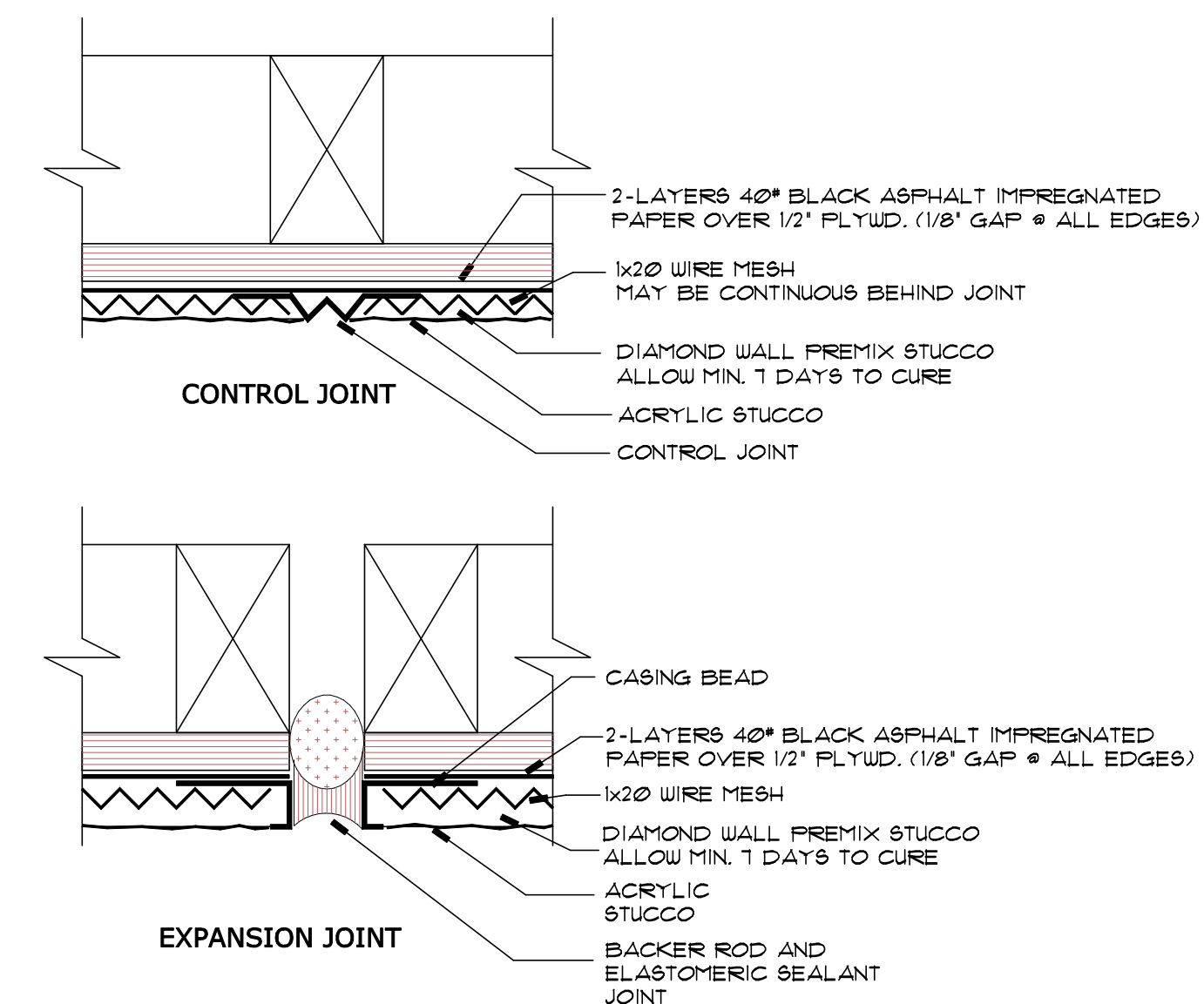
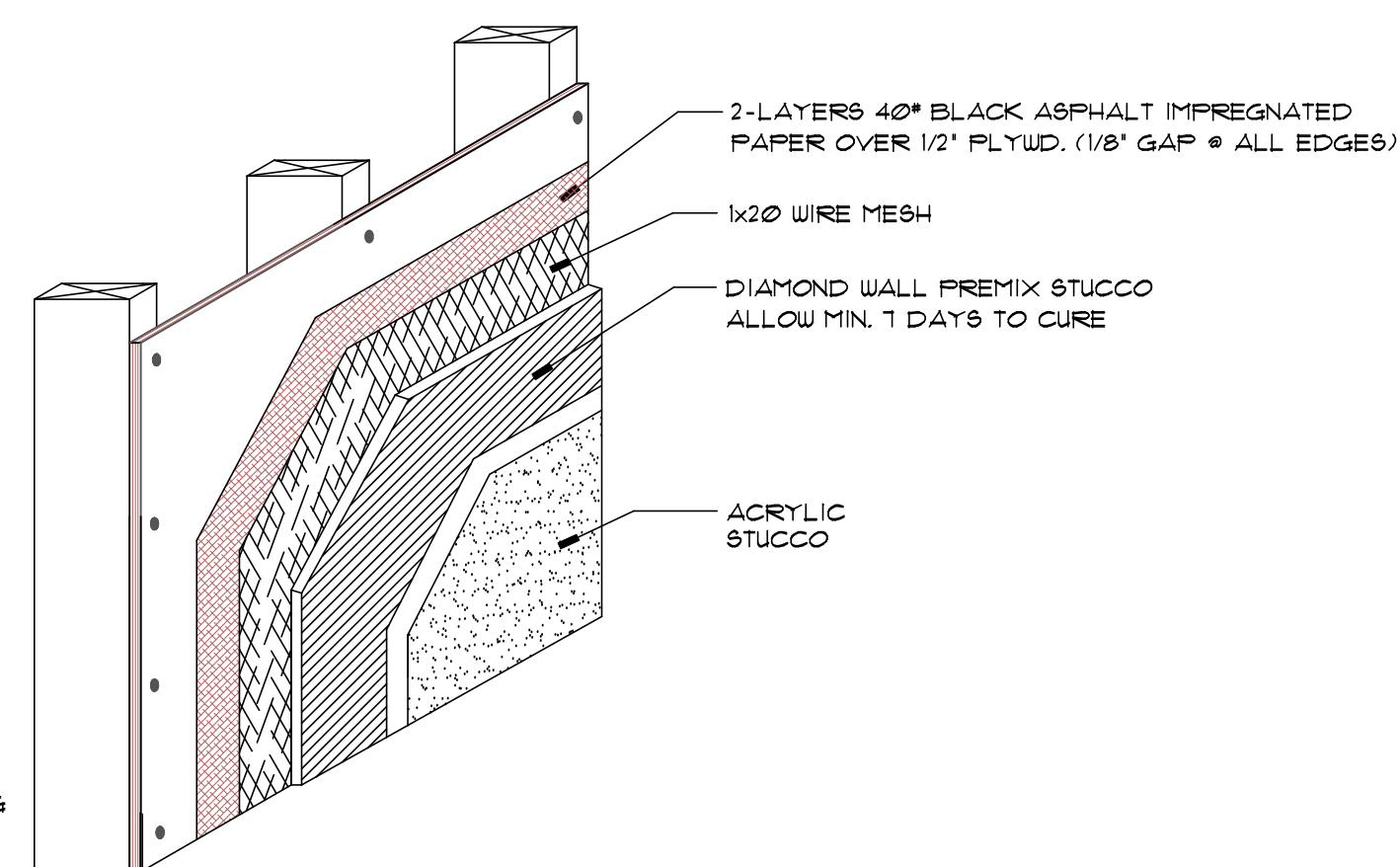
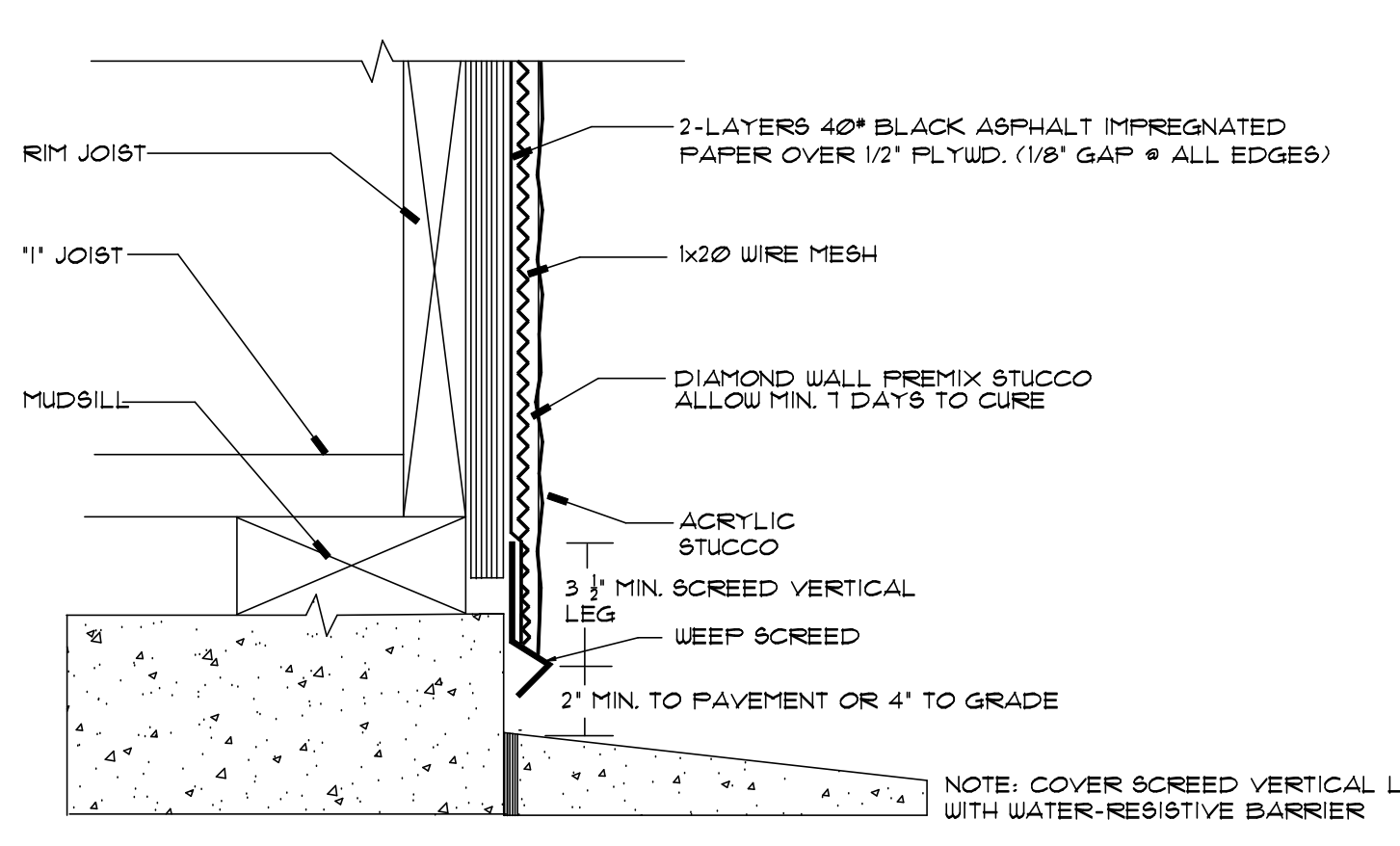
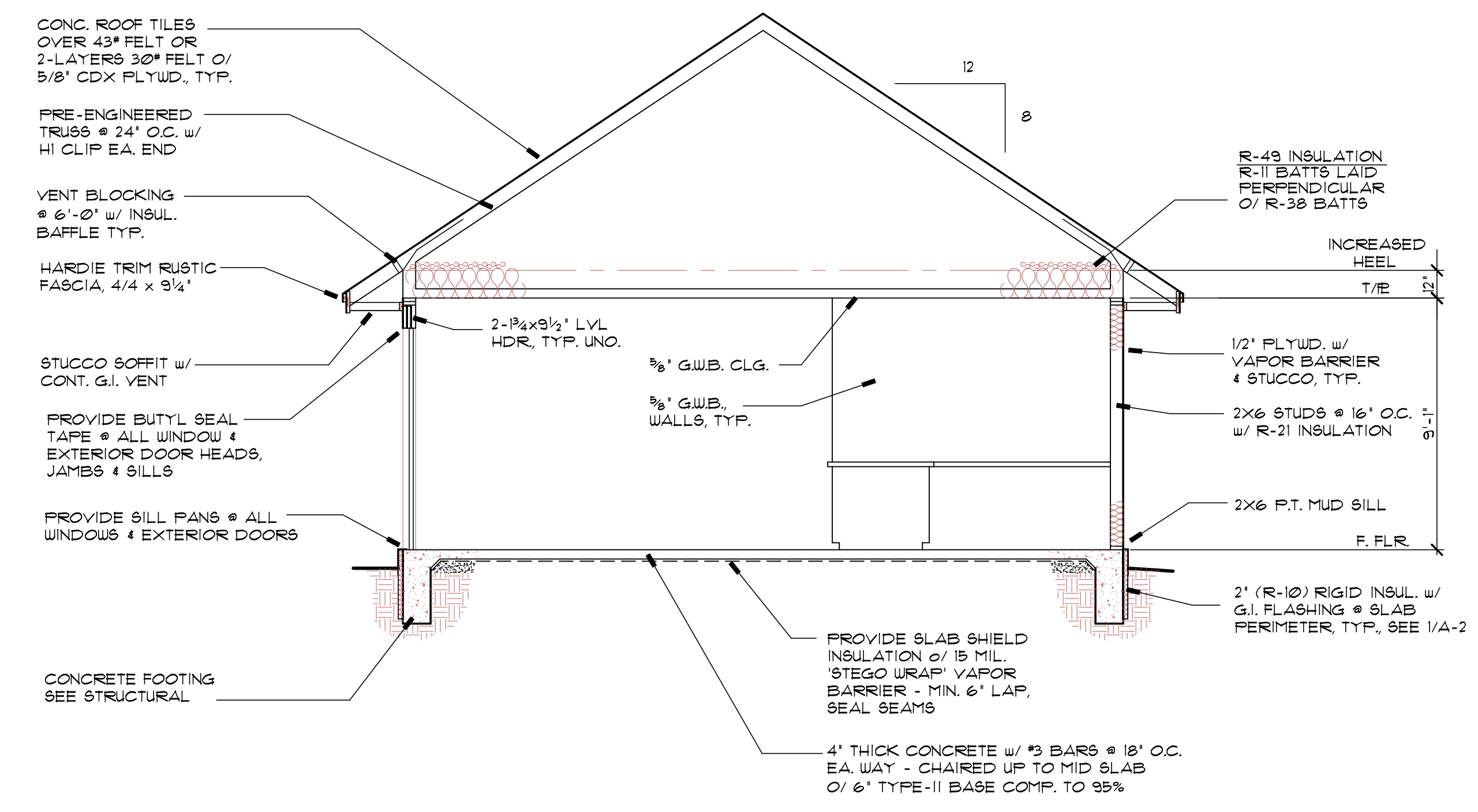
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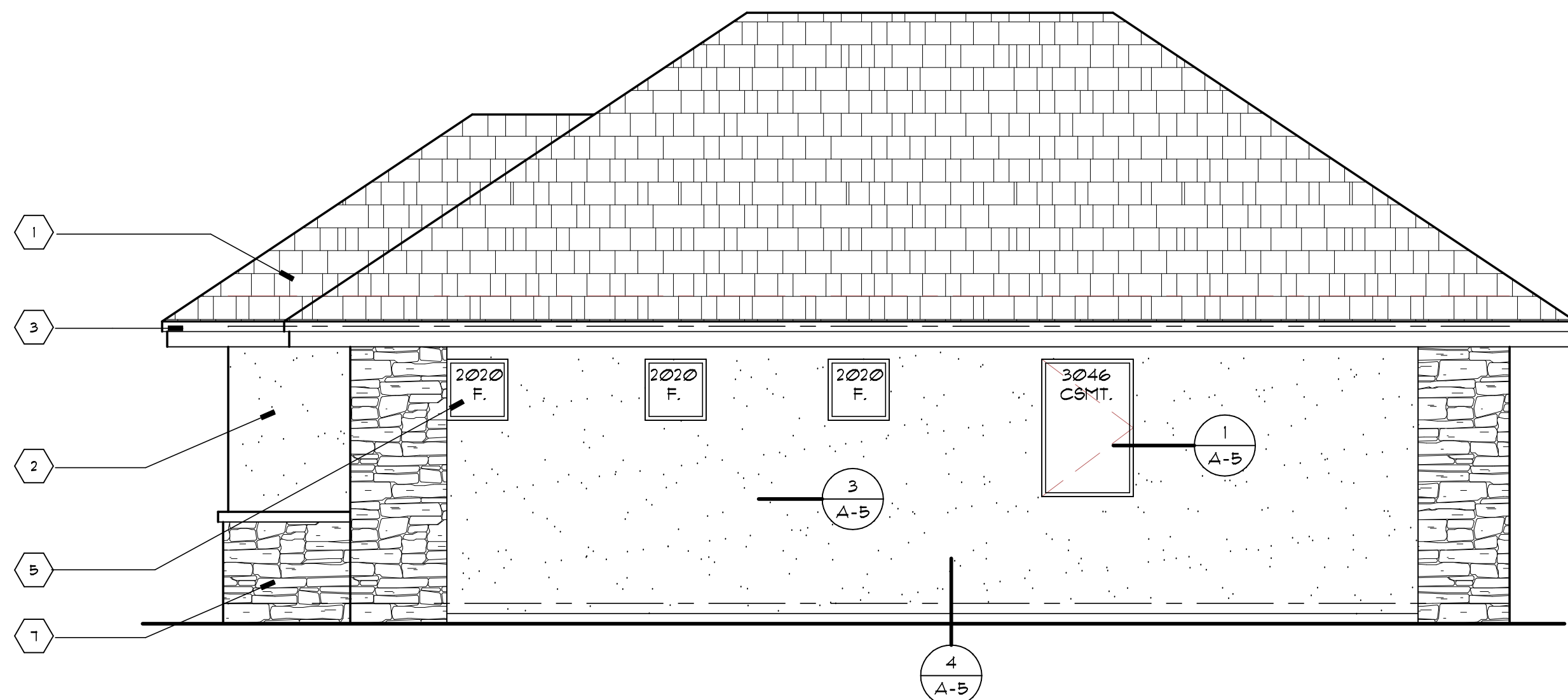
NEW POOL/GUEST HOUSE

FOR: **DON & BECKY GRUNER**
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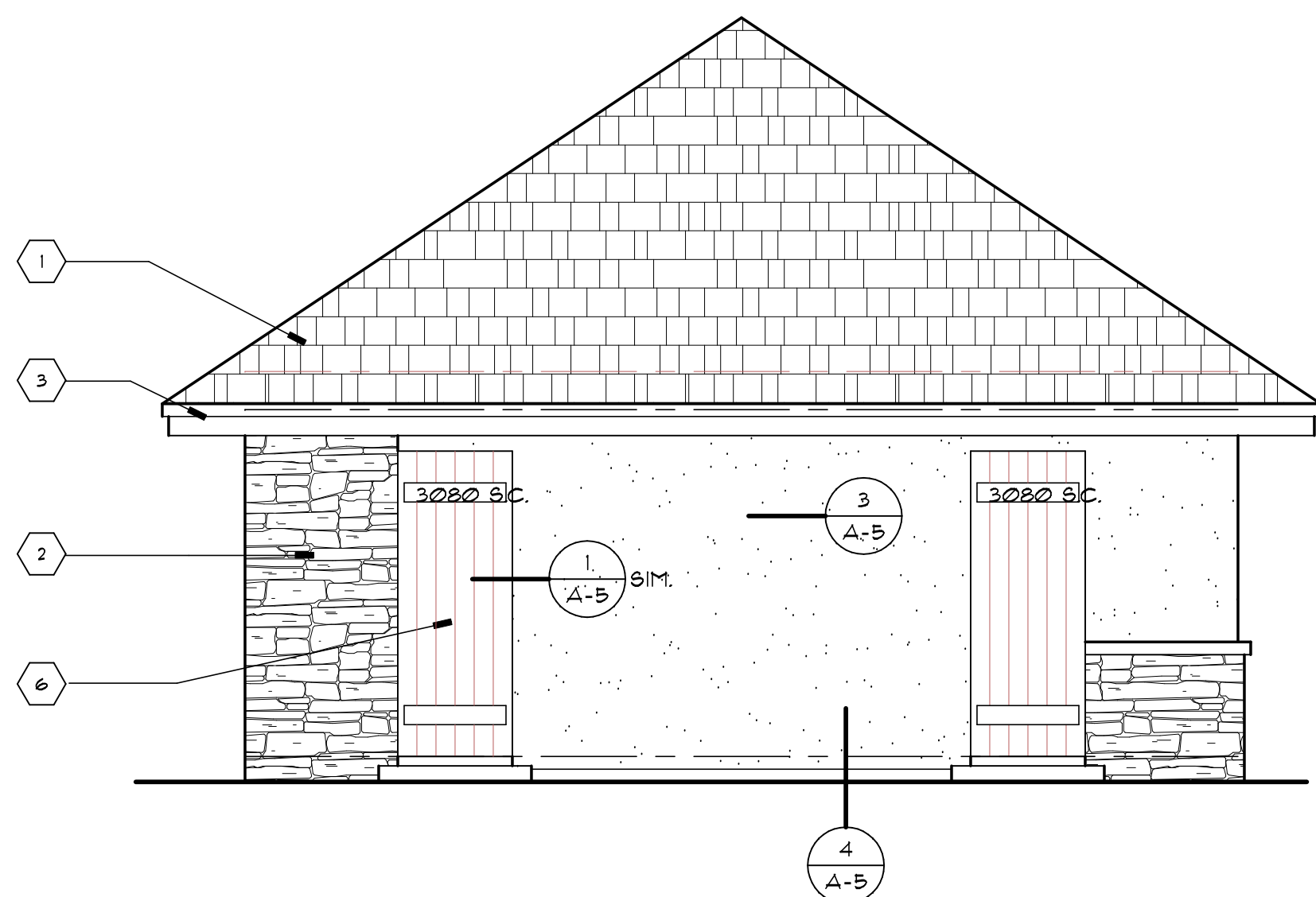
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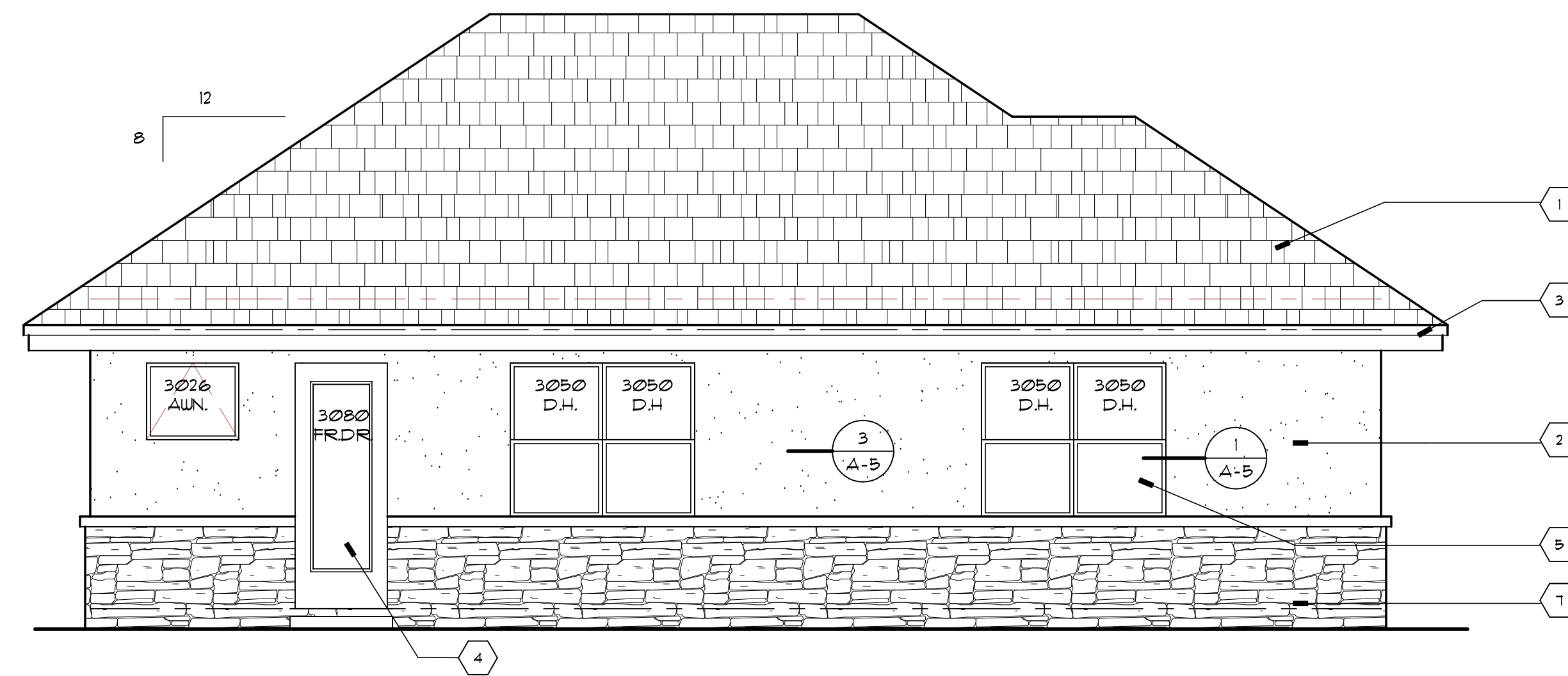




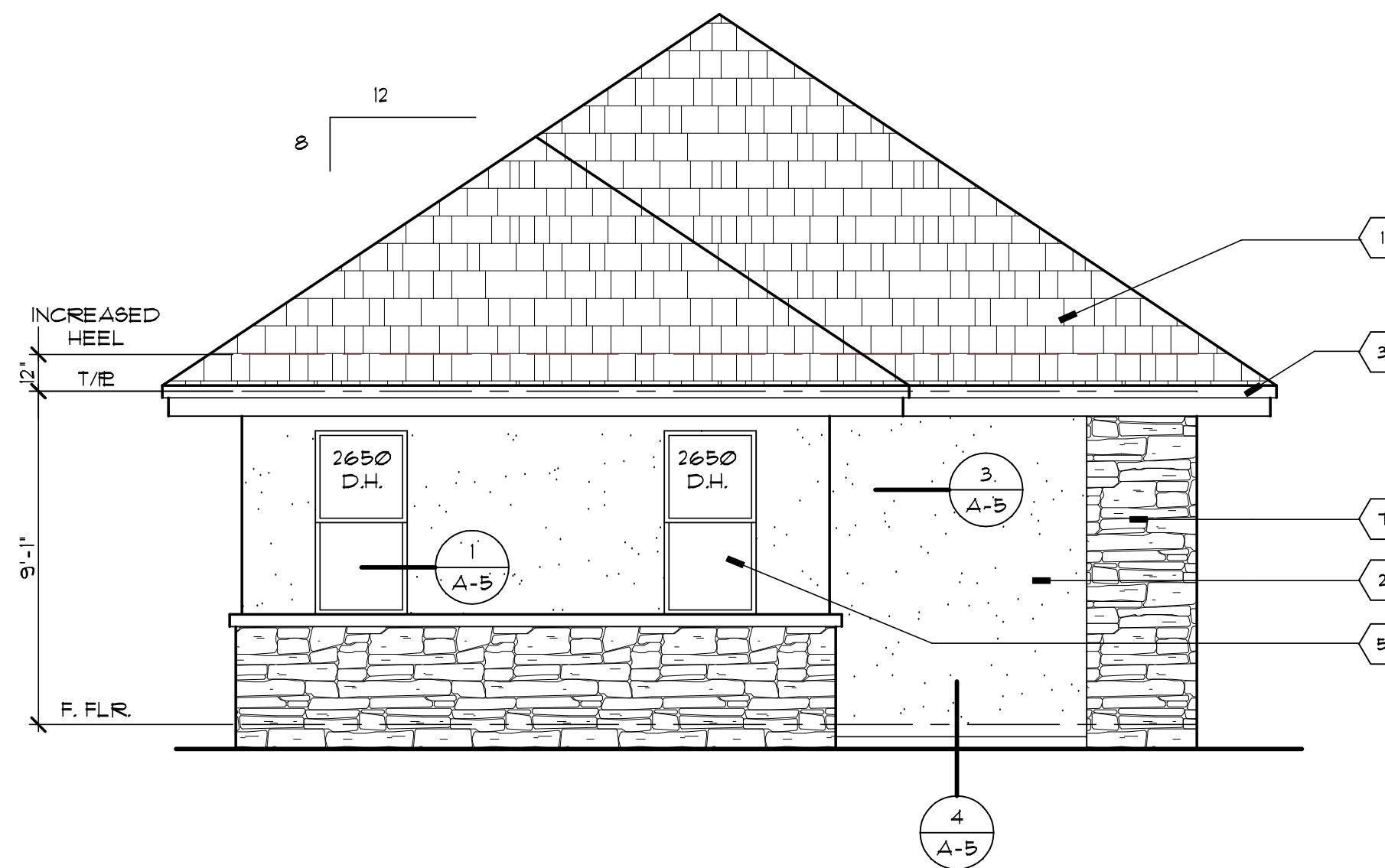
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES & EXTERIOR COLORS**
- 1 CONCRETE ROOF TILE:
'BORAL' SAXONY 900 SLATE
COLOR: CHARCOAL BROWN BLEND
 - 2 STUCCO & STANDARD SOFFITS:
'DRYVIT' ACRYLIC - SAND FINE FINISH
COLOR: MATCH SHERWIN-WILLIAMS SW7501 STONE LION
 - 3 'JAMES HARDIE' FASCIA:
'SHERWIN-WILLIAMS' FLAT ACRYLIC PAINT
COLOR: SW7021 WELL-BRED BROWN
 - 4 ENTRY DOOR:
STEEL/GLASS
COLOR:
 - 5 WINDOWS:
'ANDERSEN' E-SERIES
LOW-E4, MIN. U-FACTOR 0.29
COLOR: DARK BRONZE
PROVIDE TRU-SCENE INSECT SCREEN, TYP.
& OIL RUBBED BRONZE INTERIOR HARDWARE
 - 6 POOL EQUIP. & BATHROOM DOORS:
PLANK STYLE INSULATED STEEL
COLOR:
 - 7 STONE VENEER:
'BORAL' COUNTRY LEDGE
COLOR: HUDSON BAY
 - 8 VENTS, FLASHING & FLUES:
COLOR: PAINT TO MATCH ROOF

- STUCCO APPLICATION NOTES:**
1. APPLY 2-LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER 0/1" EPS T&G ON 1/2" PLYWD. (1/8" GAP @ ALL EDGES).
 2. APPLY 1x20 WIRE MESH.
 3. TROWEL APPLY DIAMOND WALL PREMIX STUCCO & ALLOW MIN. 7 DAYS TO CURE.
 4. APPLY 'DRYVIT' EXTERIOR STUCCO PER MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER.
 5. BEVEL ALL HORIZ. SURFACES THAT RECEIVE STUCCO FINISH.
 6. PROVIDE CONTROL JOINTS AS REQ'D. BY MANUF. SPECS. & WEEP SCREEDS AS REQ'D. BY I.R.C. SECTION R103.6

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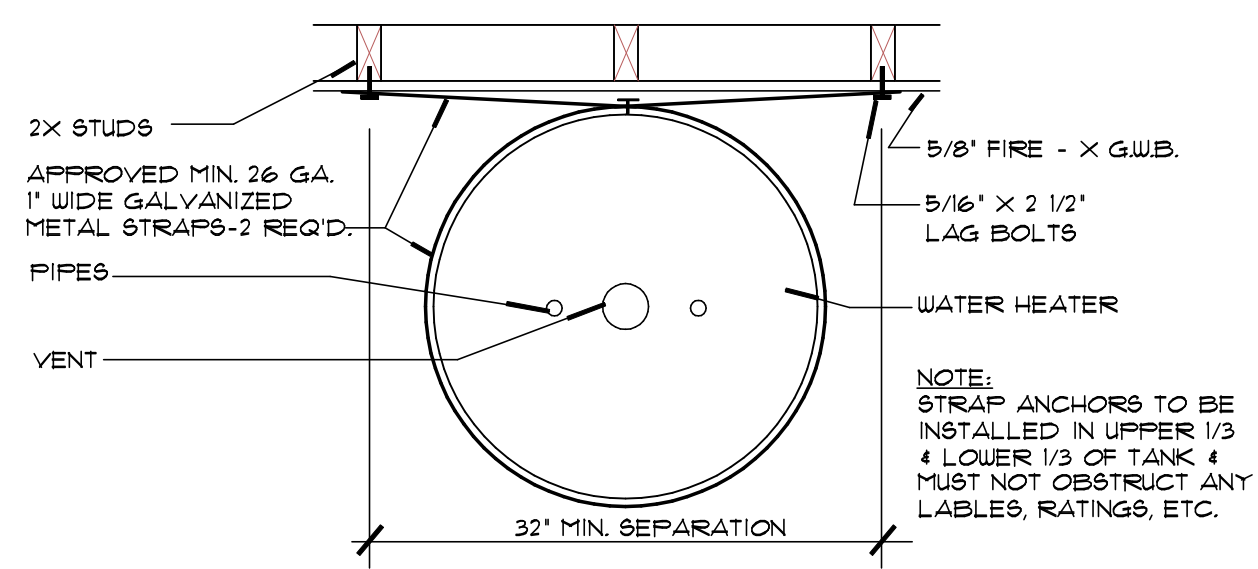
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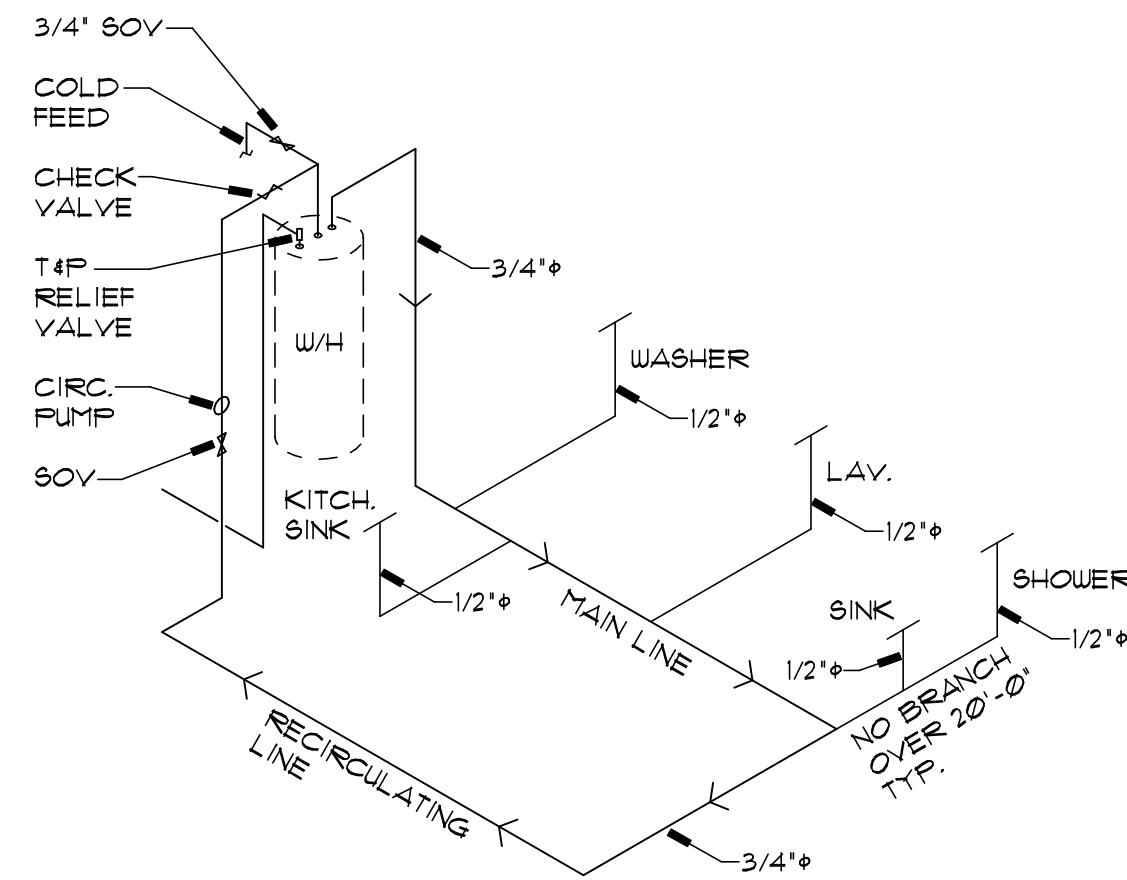
FOR: DON & BECKY GRINER
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1 W/H SEISMIC BRACING
NO SCALE



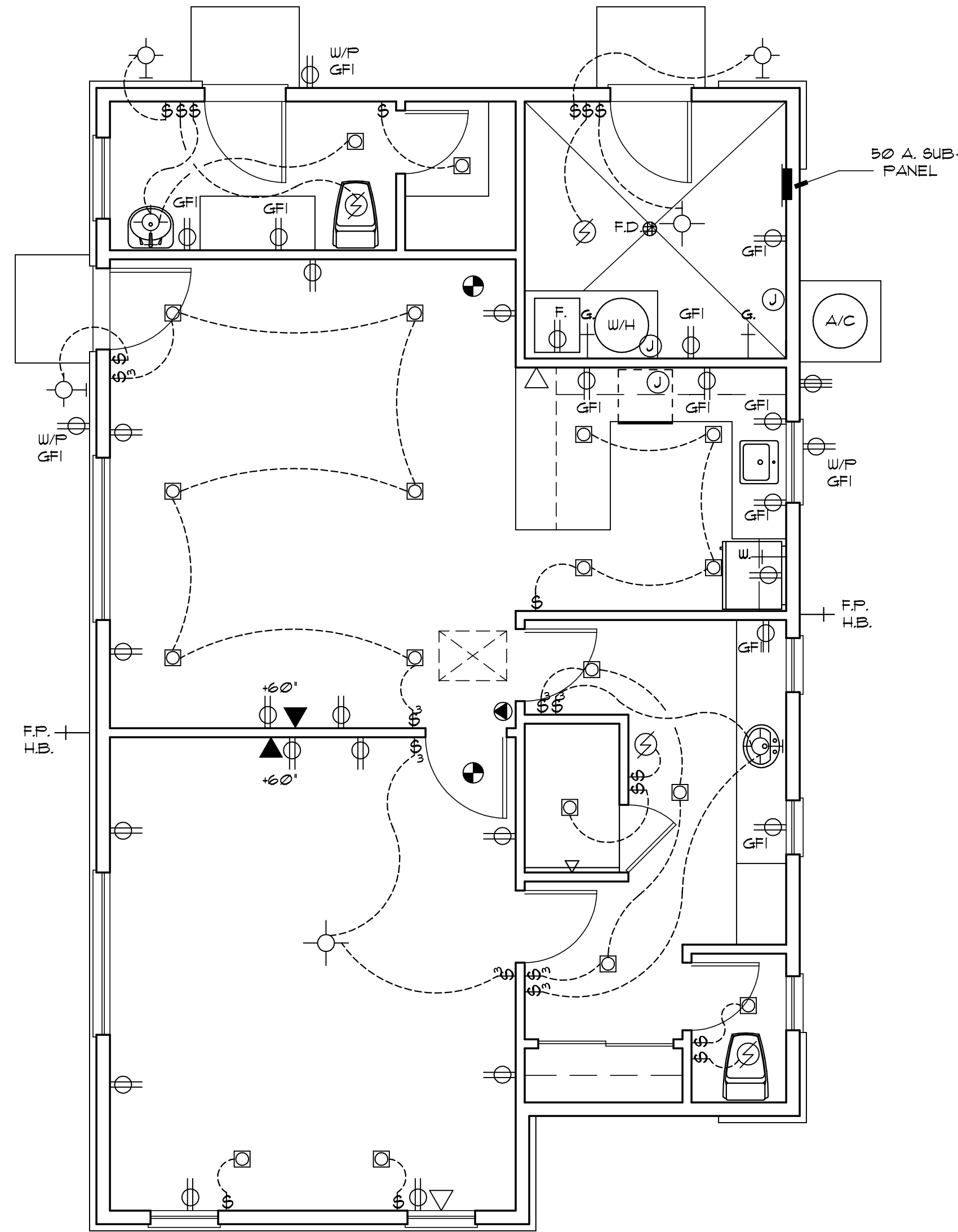
NOTES:

- ALL DISTANCES OFF MAIN LOOP SHALL BE LESS THAN 20'-0".
- 3/4" PIPE SHALL BE INSUL. w/ 'MCOLOCK' 1/8" x 1/2" WALL (R = 2.36).
- 1/2" PIPE SHALL BE INSUL. w/ 'MCOLOCK' 5/8" x 1/2" WALL (R = 3.07).

CALCULATIONS:

MAXIMUM WATER TEMPERATURE	= 140° F.
DESIGN AMBIENT TEMPERATURE	= 65° F.
DELTA T'	= 75° F.
DELTA T' / 25 BTUH/°F.	= 1/R REQ'D.
75° / 25 BTUH	= 3
1/2" CLOSED CELL FOAM INSUL.	= 3R > 33R = OK.

2 HOT WATER CIRCULATION SYSTEM (SCHEMATIC ONLY)
NO SCALE



POOL/GUEST HOUSE
MECH. / ELEC. PLAN
SCALE: 1/4" = 1'-0"

MECH./ELEC. LEGEND

- 110 V. DUPLEX OUTLET - GFI WHERE NOTED - OUTLETS LESS THAN 5'-6" AFF. SHALL BE TAMPER RESISTANT
- 110 V. DUPLEX OUTLET - HALF SWITCHED
- 110 V. 'J' BOX
- 220 V. OUTLET (PROVIDE DISCONNECT @ A/C CONDENSER)
- SWITCH - DIMMER (D); 3-WAY (3); PILOT LIGHT (P.L.); MOTION SENSOR (M); AS NOTED.
- RECESSED LIGHT - IC-RATED, PRODUCT AND INSTALLATION SHALL MEET 2012 IECC SECTION 402.4.4. PROVIDE DIMMERS @ ALL CIRCUITS & LENSES IN WATER AREAS, CLOSETS & @ EXTERIOR. ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS'
- SURFACE MOUNTED LIGHT - CHANDELIER (CH)
- WALL MOUNTED LIGHT
- FAN OR FAN/LIGHT - V.T.O.
- SMOKE DETECTOR - 110 V.
- CARBON MONOXIDE DETECTOR
- TELEPHONE - CATEGORY 5 WIRING
- CABLE T.V. - RG 6 WIRING
- DECORATIVE FAN OR FAN/LIGHT
- FLUORESCENT LIGHT FIXTURE
- GAS STUB (G.) - WATER STUB (W)
- FROST PROOF HOSE BIBB

NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE N.E.C., I.R.C., 2012 IECC AND THE 2015 NORTHERN NEVADA ENERGY CODE AMENDMENTS, AS AMENDED BY THE LOCAL GOVERNING AUTHORITY.
- ALL SWITCHES SHALL BE LOCATED CLEAR OF DOOR SWINGS.
- SEE SHEET A-3 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.
- PROVIDE SMOKE DETECTORS w/ BATTERY BACK-UP WHERE NOTED INTER-CONNECT ALL SMOKE DETECTORS.
- PROVIDE DBL. SWITCHES TO ALL DECORATIVE FAN/LIGHTS.
- ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF.
- ALL GARAGE OUTLETS SHALL BE GFI & MTD. @ MIN. 18" AFF.
- ATTIC SUPPLY DUCTS SHALL HAVE A MIN. R-8 INSULATION. ALL OTHER DUCTS SHALL HAVE A MIN. R-6 INSULATION.
- ALL 15 & 20 AMP. OUTLETS SHALL BE AFCI, EXCEPT WHEN GFCI IS REQ'D.
- A/C DISCONNECTS SHALL BE LOCATED SUCH THAT THE REQ'D. CLEARANCE OF 36" IN FRONT & 30" WIDTH IS MAINTAINED FROM GROUND OR SLAB TO A HT. OF 6 1/2 FT.
- PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM, SEE SCHEMATIC, DETAIL 2/ME-1.
- PROVIDE SURGE PROTECTION @ ELECTRIC PANELS FOR ENTIRE HOME.
- A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- PROVIDE ALL TESTING AND INSPECTIONS REQ'D BY 2012 IECC.

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